

REVISED.
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MAR 22 2024

CITY CLERK'S OFFICE
For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0052

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Jaswinder Singh Multani, Harminder Singh Multani, Harbhajan Kaur Multani
Address 28 Estateview Circle, Brampton, ON, L6P 0R6.
Phone # 416-897-4640 **Fax #** _____
Email Harminder2002@hotmail.com

2. **Name of Agent** Abhishek Rajgor/ MEM Engineering Inc.
Address 28-2355 Derry Road East, Mississauga, ON, L5S 1V6.
Phone # 905-673-9100 **Fax #** _____
Email mem.bldgpermits@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

1. To permit a proposed storage shed having a gross floor area of 129.42 sq.m whereas the by-law permits a maximum gross floor area of 23 sq.m for an individual accessory building. [As Per Section 10.3(e)]

2. To permit a door to the proposed storage shed having a height of 3.66 m whereas the by-law permits a door to an accessory building to have a maximum height of 2.4 m. [As Per Section 10.3(j)]

3. To permit a garden suite located in the front yard (where Luross Gate is the front lot line), whereas the by-law permits a garden suite in the rear or interior side yard.

4. To permit a garden suite having a total gross floor area of 99.4 sq.m (including 77.36sq.m dwelling and 22.04sq.m attached garage), whereas the by-law permits a garden suite having a maximum gross floor area of 80 sq.m in a Residential Estate zone.

4. **Why is it not possible to comply with the provisions of the by-law?**

As per the design and location of the proposed storage shed and garden suite, it is difficult to comply with the zoning by law.

5. **Legal Description of the subject land:**
Lot Number 35
Plan Number/Concession Number 43M-440
Municipal Address 28 Estateview Cir, Brampton, ON L6P 0R6

6. **Dimension of subject land (in metric units)**
Frontage 270.19m
Depth 103.05m
Area 8114.64 m2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing two storey brick dwelling.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Existing two storey brick dwelling, Proposing a new storage shed of 84.73 sq.m. located at the North-West side of the property and proposing a new garden suite + garage of 99.4sq.m located in the front yard.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	30.50m from LUROSS GATE (Property Line)
Rear yard setback	31.32m from NORTH-WEST SIDE
Side yard setback	37.96m from Goreway Drive (Property Line)
Side yard setback	27.37m from Estateview Dr. (Property Line)

PROPOSED

	Garden Suite	Storage Shed
Front yard setback	16.48m (from Luross Gate)	75.95m (from Luross Gate)
Rear yard setback	68.36m (North-West Side)	4.54m (North-West Side)
Side yard setback	69.6m (from Goreway Drive)	39.21m (from Goreway Drive)
Side yard setback	50.54m (from Estateview Cir.)	39.62m (from EstateView Cir.)

10. Date of Acquisition of subject land: 2015
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2000
15. Length of time the existing uses of the subject property have been continued: 24 Yrs

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

pbhishet28

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF MISSISSAUGA

THIS 08 DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, _____, OF THE _____ OF _____ IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE _____ OF _____ IN THE _____ OF _____ THIS _____ DAY OF _____, 20____.

A Commissioner etc.

pbhishet28

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	_____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
_____ Zoning Officer	_____ Date

DATE RECEIVED MARCH 22, 2024
 Date Application Deemed Complete by the Municipality Clare
 Revised 2022/02/17

28 ESTATEVIEW CIR, BRAMPTON, ON L6P 0R6

SCOPE: PROPOSED GARDEN SUITE AT THE SOUTH-EAST SIDE OF THE LOT.

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- A05 LEGENDS AND NOTES
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- A09 FRONT ELEVATION (GARDEN SUITE)
- A10 RIGHT ELEVATION (GARDEN SUITE)
- A11 REAR ELEVATION (GARDEN SUITE)
- A12 LEFT ELEVATION (GARDEN SUITE)

General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANT'S BEFORE PROCEEDING
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DRAWINGS ARE NOT TO BE SCALED

LEGENDS:-

REVISION NO.	DATE	DESCRIPTION	BY

Firm Name and Address
MEM ENGINEERING INC
2355 DERRY ROAD EAST. (UNIT 28)
MISSISSAUGA, ON, L5S 1V6.
905-673-9100
Email:harry@memengineering.ca

PROJECT TITLE:

28 ESTATEVIEW CIR,
BRAMPTON, ON L6P 0R6

SHEET TITLE:

COVER PAGE

CLIENT EMAIL:
CLIENT CONTACT:
SCALE: DRAWING NO.:
PLOT DATE: 2024-03-21
DRAWN BY: AR
CHECKED BY: HS

REVISED
RECEIVED

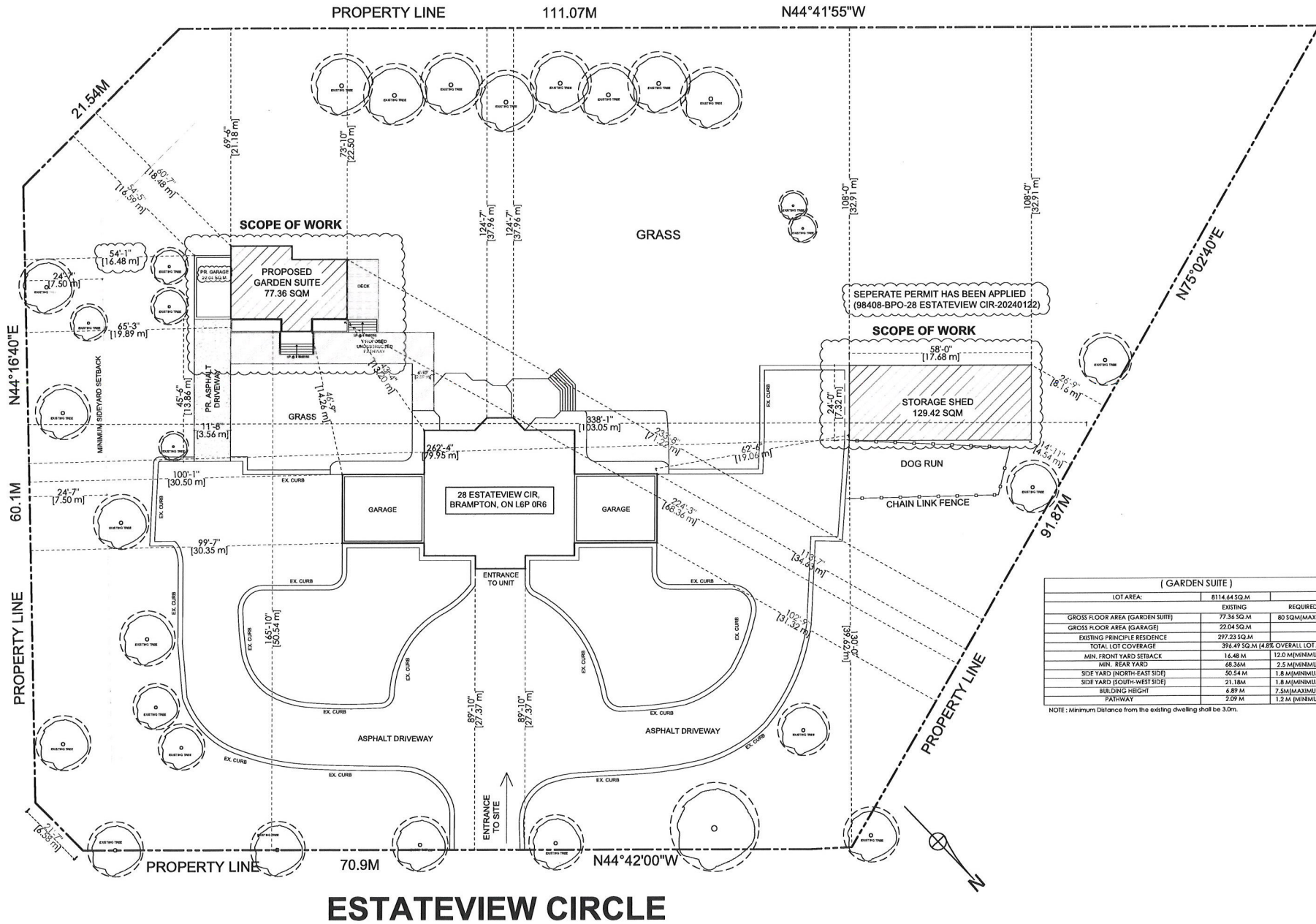
MAR 22 2024

CITY CLERK'S OFFICE

A0

GOREWAY DRIVE

LUROSS GATE



[GARDEN SUITE]		
LOT AREA:	8114.64 SQ.M	
		REQUIRED
GROSS FLOOR AREA [GARDEN SUITE]	77.36 SQ.M	80 SQ.M (MAXIMUM.)
GROSS FLOOR AREA [GARAGE]	22.04 SQ.M	
EXISTING PRINCIPAL RESIDENCE	297.23 SQ.M	
TOTAL LOT COVERAGE	396.49 SQ.M (4.8% OVERALL LOT AREA)	
MIN. FRONT YARD SETBACK	16.48 M	12.0 M (MINIMUM.)
MIN. REAR YARD	68.36 M	2.5 M (MINIMUM.)
SIDE YARD [NORTH-EAST SIDE]	55.54 M	1.8 M (MINIMUM.)
SIDE YARD [SOUTH-WEST SIDE]	21.18 M	1.8 M (MINIMUM.)
BUILDING HEIGHT	6.89 M	7.5 M (MAXIMUM.)
PATHWAY	2.09 M	1.2 M (MINIMUM.)

NOTE: Minimum Distance from the existing dwelling shall be 3.0m.

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 905-673-9100
 Email:harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
SITE PLAN

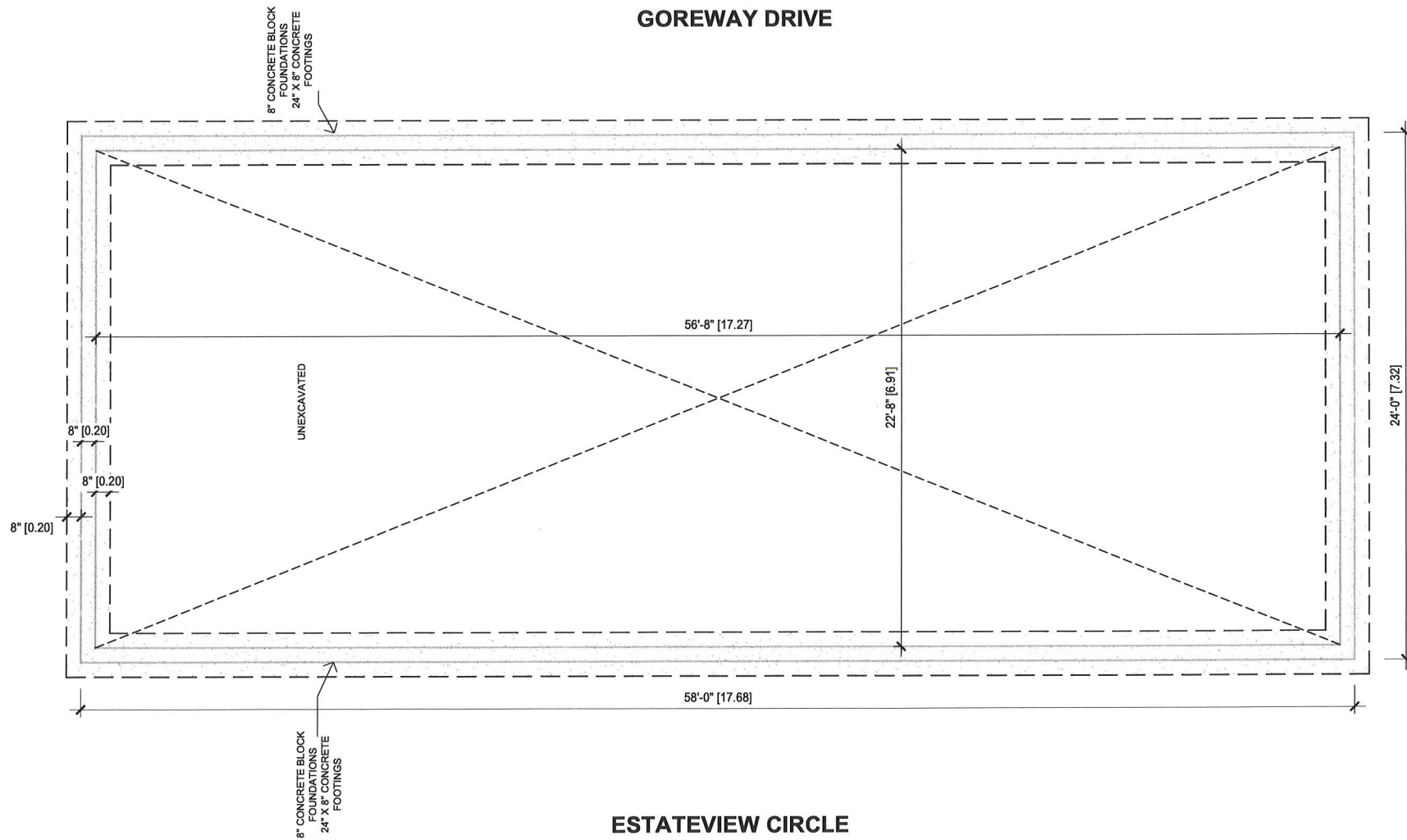
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 CLIENT CONTACT:

SCALE: DRAWING NO.:
 PLOT DATE: 2024-03-21
 DRAWN BY: AR
 CHECKED BY: HS

S01

SITE PLAN
 SC: 1:400

NOTE: THE SCOPE OF WORK INCLUDES ONLY PROPOSED GARDEN SUITE ON THE SOUTH-WEST SIDE OF THE LOT. THERE IS NO OTHER CHANGE IN THE EXISTING STRUCTURE.



SHED - PROPOSED FOUNDATION PLAN
 SC: 3/16" = 1'-0"

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 905-673-9100
 Email: hary@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

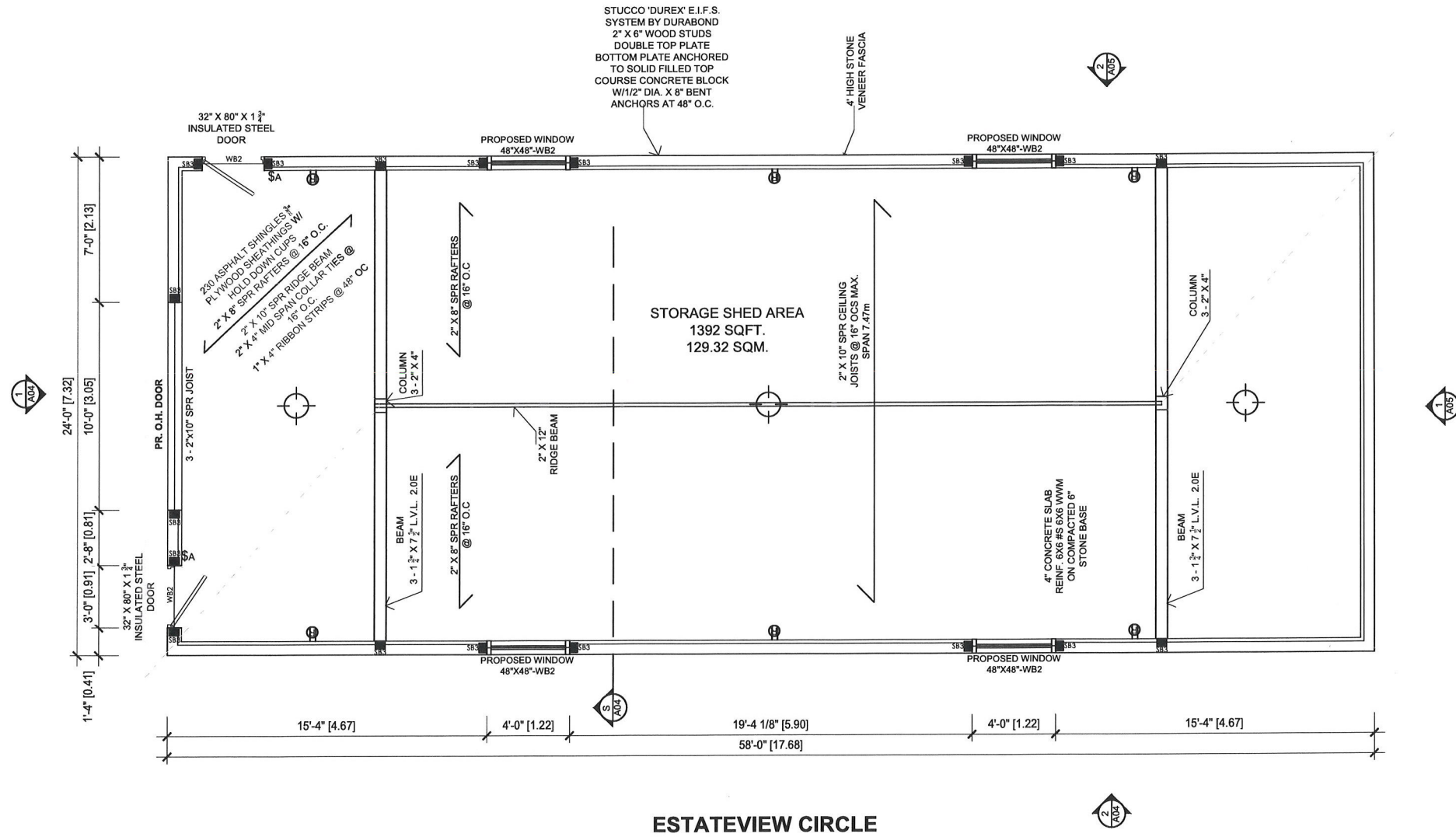
SHEET TITLE:
**SHED - PROPOSED
 FOUNDATION PLAN**

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:	A01
PLOT DATE: 2024-01-17	
DRAWN BY: AR	
CHECKED BY: HS	

GOREWAY DRIVE



ESTATEVIEW CIRCLE

SHED - PROPOSED FLOOR PLAN

SC: 3/16" = 1'-0"

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 905-673-9100
 Email: harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
 SHED - PROPOSED
 FLOOR PLAN

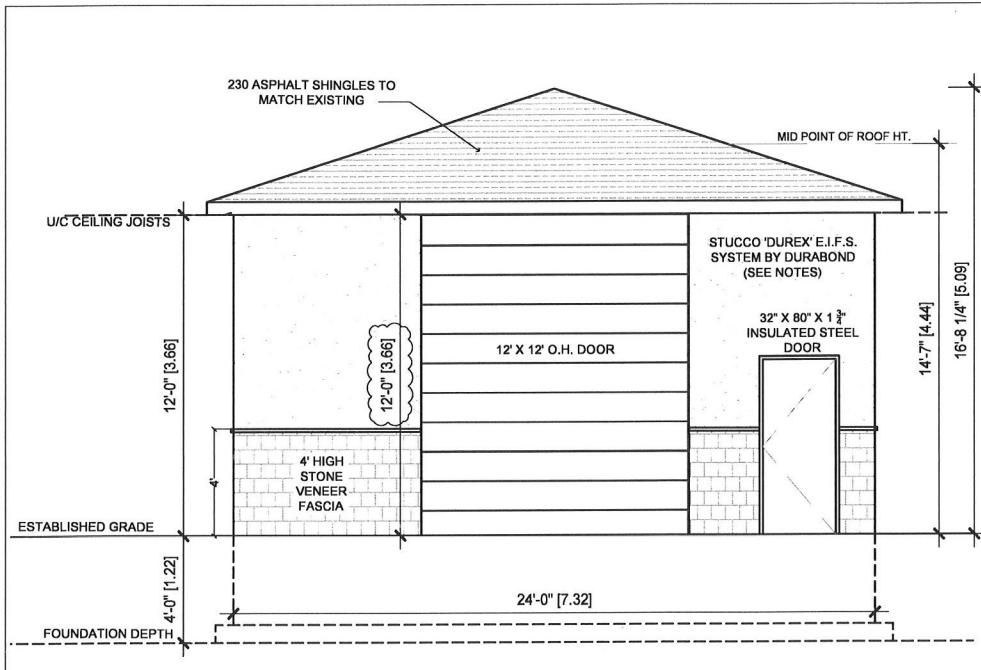
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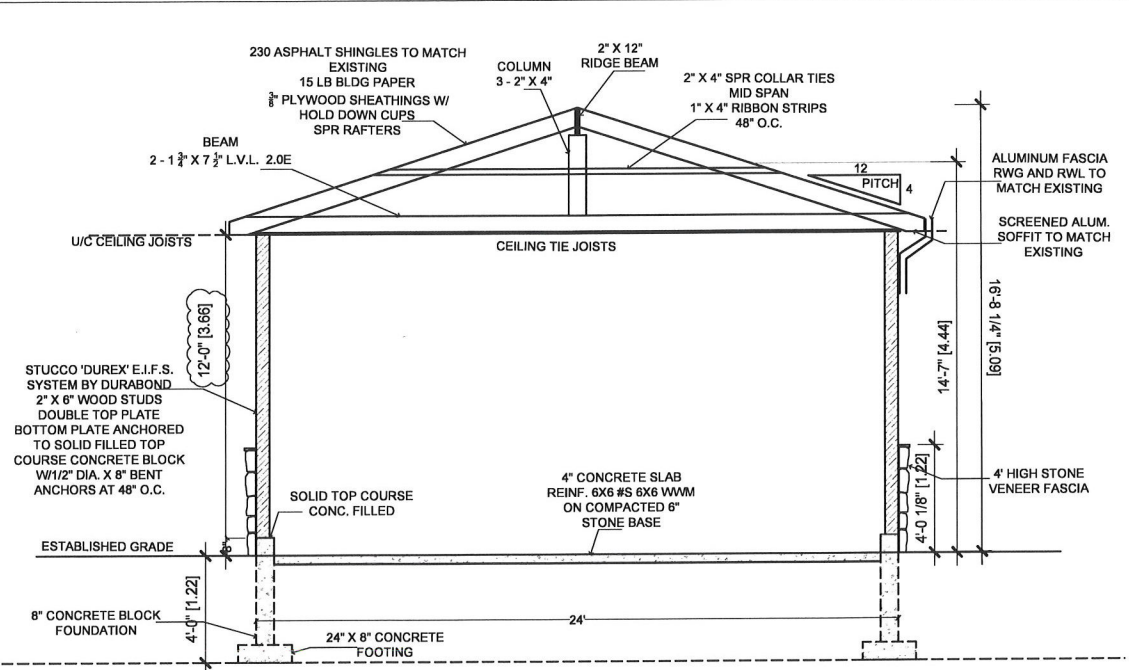
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PLOT DATE:
 2024-01-17
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 AR
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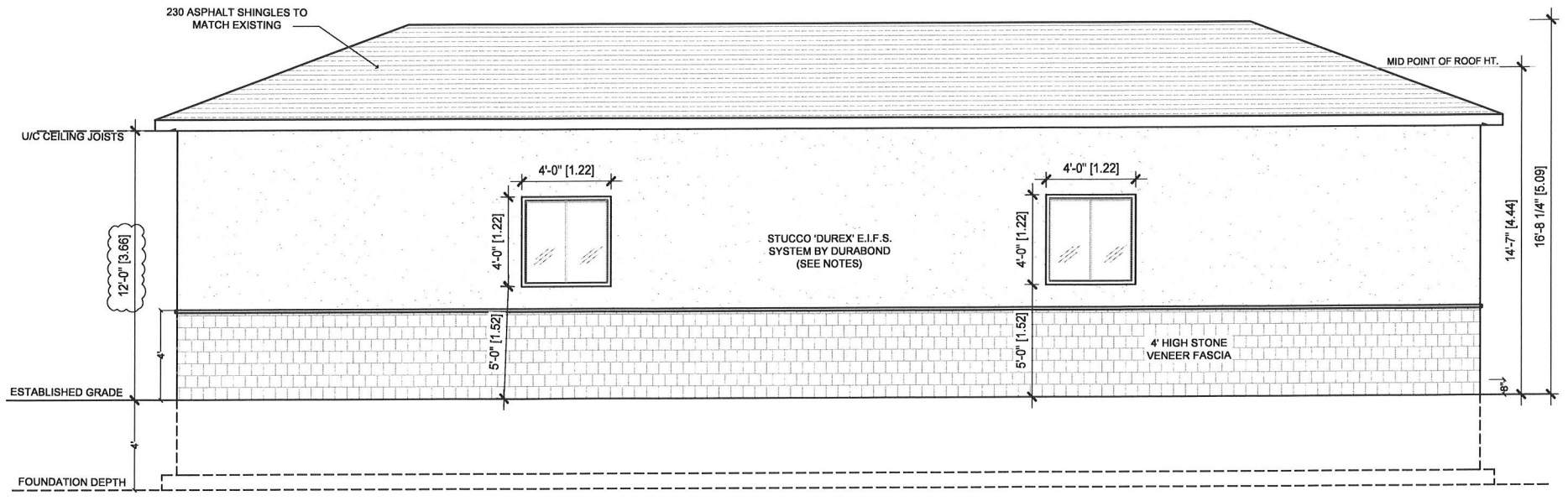
A02



1 SHED - ELEVATION
A04 SC: 3/16" = 1'-0"



S SHED - SECTION
A04 SC: 3/16" = 1'-0"



2 SHED - ELEVATION
A04 SC: 3/16" = 1'-0"

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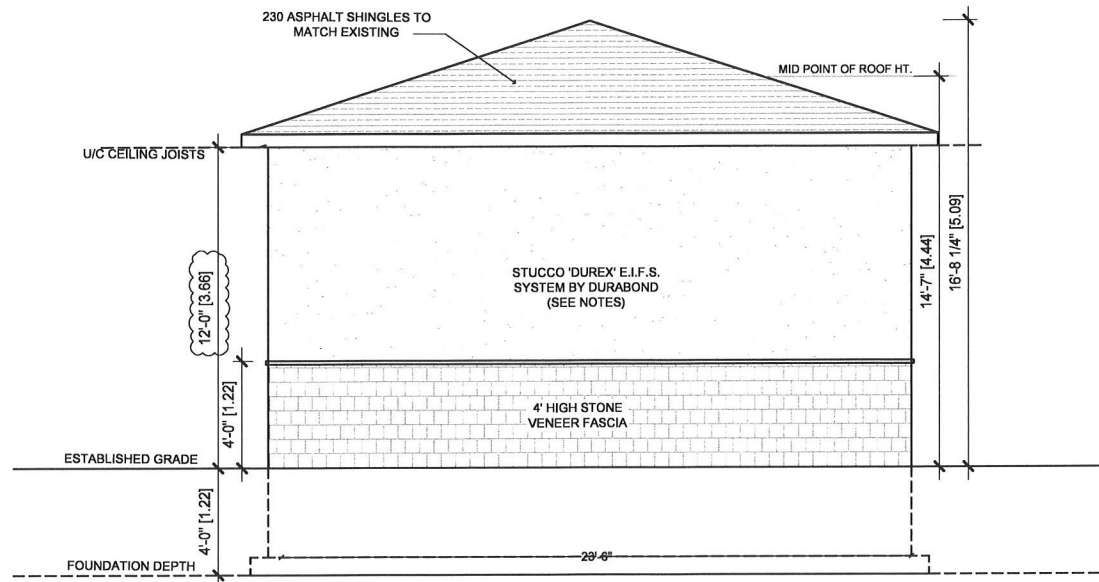
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 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
 SHED - SECTION AND
 ELEVATIONS

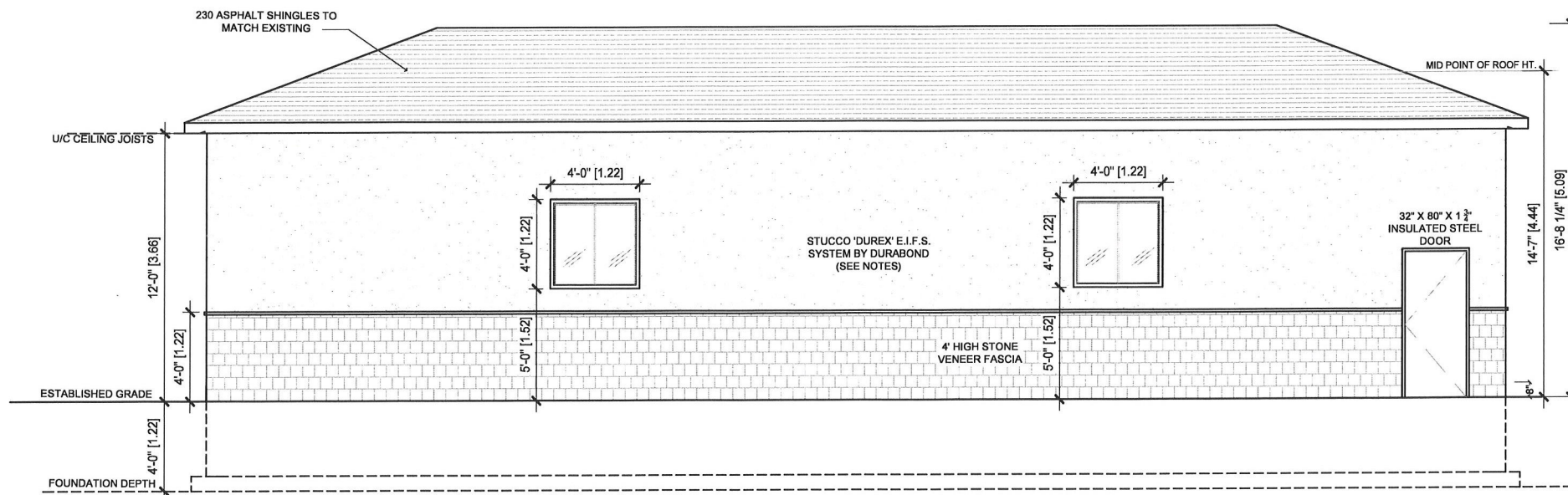
CLIENT EMAIL:
 CLIENT CONTACT:

SCALE: DRAWING NO.:
 PLOT DATE: 2024-02-20
 DRAWN BY: AR
 CHECKED BY: HS

A03



1 SHED - ELEVATION
 A05 SC: 3/16" = 1'-0"



2 SHED - ELEVATION
 A05 SC: 3/16" = 1'-0"

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 MISSISSAUGA, ON, L5S 1V6.
 905-673-9100
 Email: harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
 SHED - ELEVATIONS

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:

DRAWING NO.:

PLOT DATE:
 2024-02-20
 DRAWN BY:
 AR
 CHECKED BY:
 HS

A04



NOTES:

STUCCO WALL SYSTEMS SHALL BE DUREX STUCCO WALL SYSTEM BY DURABOND PRODUCTS LTD. AND SHALL BE MIN. 1 HR. FIRERATED CONSISTING OF DUREX ARCHITECTURAL COATINGS BRUSH COAT 2 COATS DUREX UNIPLAST / STUCCO BINDER GALVANIZED METAL LATH MECHANICALLY FASTENED MASONRY, CONCRETE BLOCK, BRICK OR CONCRETE SUBSTRATES
 OR
 DUREX ARCHITECTURAL COATINGS
 2 COATS DUREX UNIPLAST / STUCCO BINDER
 FIBERGLASS MESH 040
 RIGID POLYSTYRENE INSULATION (R-8 MIN. W/ 2" X 4" , 2" X 6" WOOD OR 3-5"/8" METAL STUD FRAMING) FASTENERS
 MOISTURE BARRIER
 EXTERIOR GRADE 1/2" CEMENT BOARD / 1/2" DENS - GLASS GOLD (PLYWOOD SHEATHING WHEN 2" X 4" MIN. WOOD STUDS USED)
 3 1/2" 20 GAUGE MIN. STEEL STUDS (2" X 4" , 2" X 6" WD STUDS) @ 16" O.C. (6" R-24 SOUND ATTENUATION BLANKET/ INSULATION WITH 2" X 6" WD. STUD FRAMING)
 2 mm. POLYETHYLENE VAPOR BARRIER
 1 LAYER 1/2" (MIN) FIRECODE DRYWALL AND
 ALL MECHANICAL FASTENERS SHALL BE CORROSION RESISTANT.

WOOD LINTEL SCHEDULE

WB1	Up to 3'-6" Opening	3 - 2" x 6"
WB2	Up to 5'-6" Opening	3 - 2" x 8"
WB3	Up to 6'-6" Opening	3 - 2" x 10"
WB4	Up to 7'-6" Opening	3 - 2" x 12"
WB5	Up to 8'-6" Opening	3 - 1 3/4" X 11 7/8" LVL 2.0 E

LEGEND & SYMBOLS

\$A	SINGLE POLE SWITCH
	DUPLEX RECEPTACLE OUTLET
	LIGHTING FIXTURE

SB2 - 3-2"X"4" SOLID BEARING
 SB3 - 3-2"X"6" SOLID BEARING
 SB4 - 4-2"X"6" SOLID BEARING
 SB5 - 5-2"X"6" SOLID BEARING
 SB6 - 5-2"X8" SOLID BEARING
 ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

General Notes

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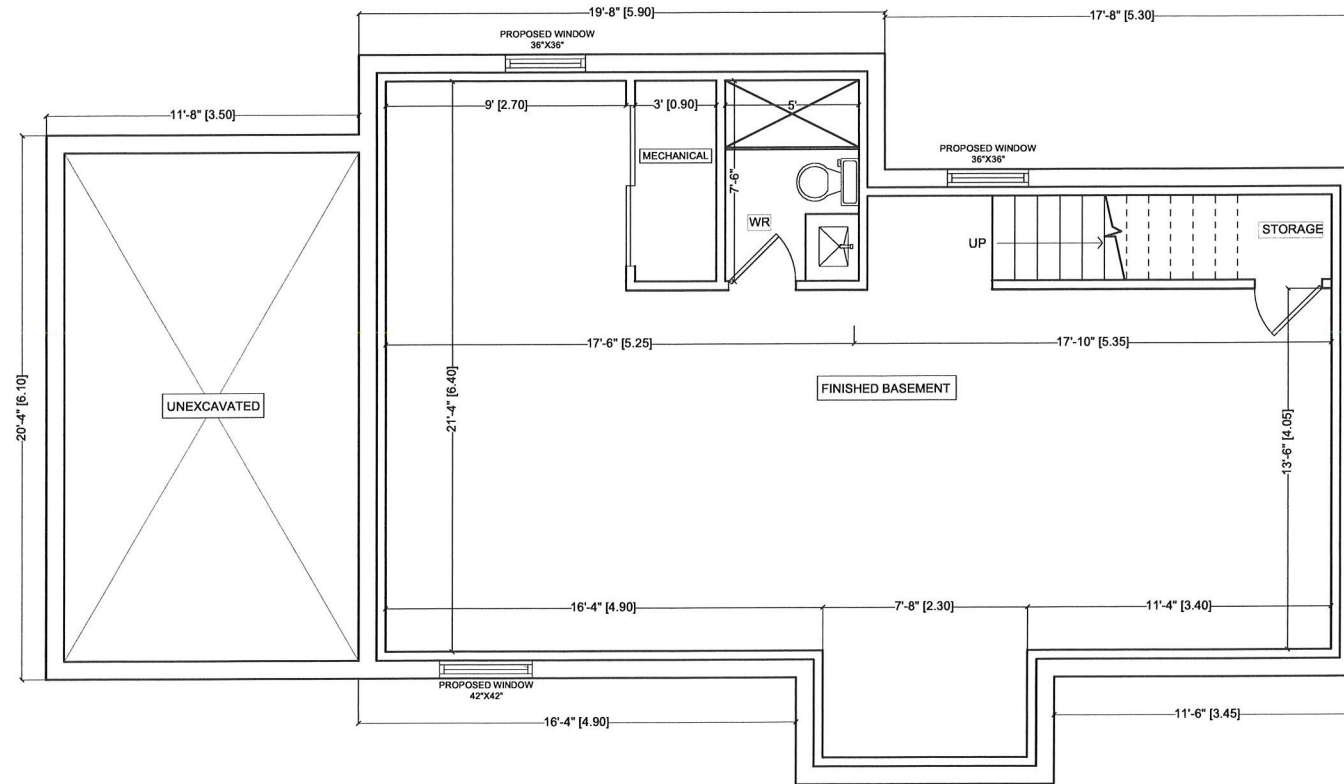
Firm Name and Address
MEM ENGINEERING INC
 2355 DERRY ROAD EAST. (UNIT 2B)
 MISSISSAUGA, ON, L5S 1V6.
 905-673-9100
 Email:harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR.
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
LEGENDS AND NOTES

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE:	DRAWING NO.:
PLOT DATE: 2024-02-20	A05
DRAWN BY: AR	
CHECKED BY: HS	



GARDEN SUITE - BASEMENT FLOOR PLAN

SC: 3/16" - 1'-0"

General Notes

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 MISSISSAUGA, ON, L5S 1V6.
 905-673-9100
 Email: harry@memengineering.ca

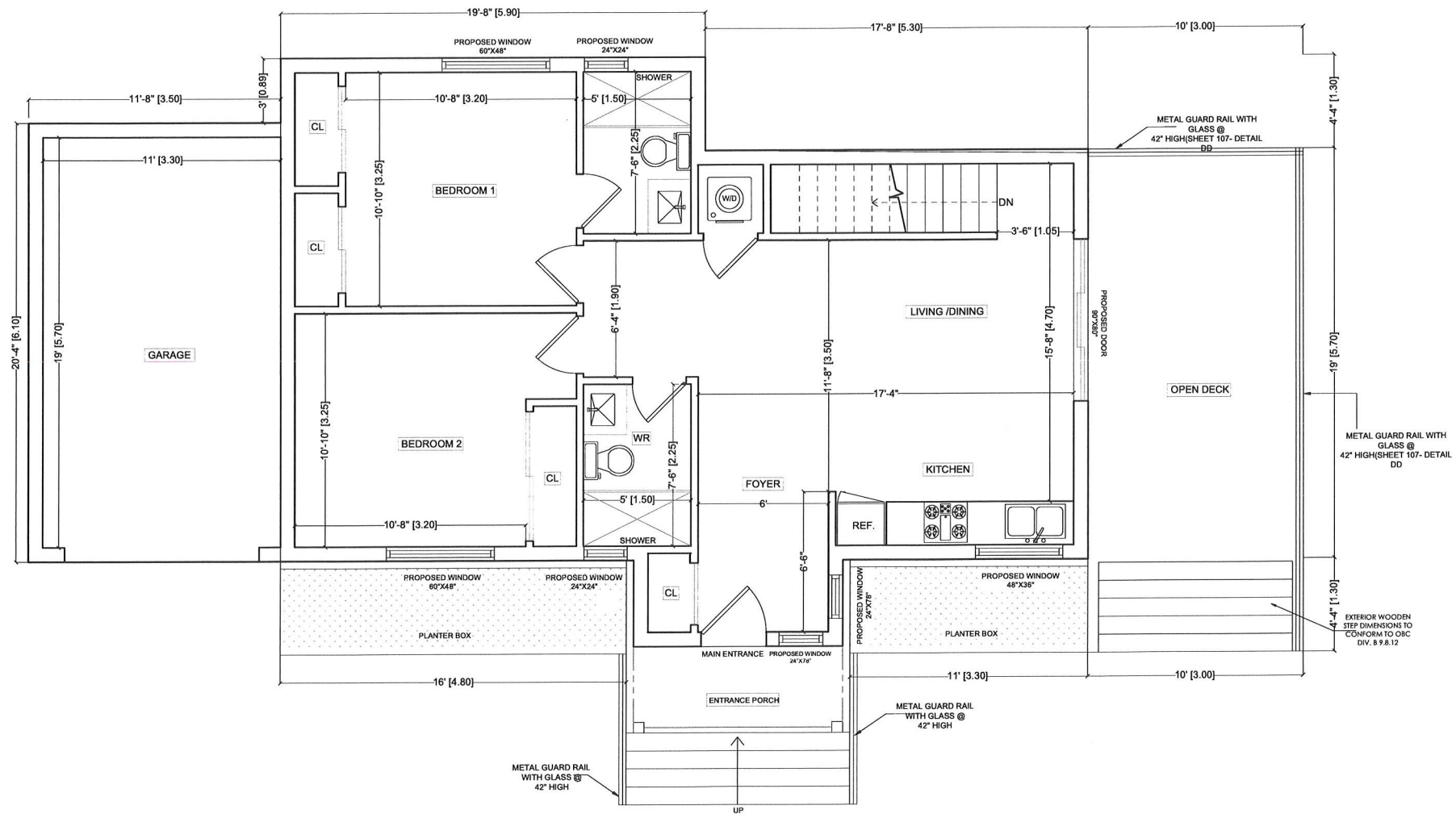
PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
BASEMENT FLOOR PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:	DRAWING NO.:
PLOT DATE: 2024-02-20	A6
DRAWN BY: AR	
CHECKED BY: HS	



GARDEN SUITE- MAIN FLOOR PLAN

SC: 3/16" - 1'-0"

General Notes

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 905-673-9100
 Email: harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
MAIN FLOOR PLAN

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE:	DRAWING NO.:
PLOT DATE: 2024-02-20	A07
DRAWN BY: AR	
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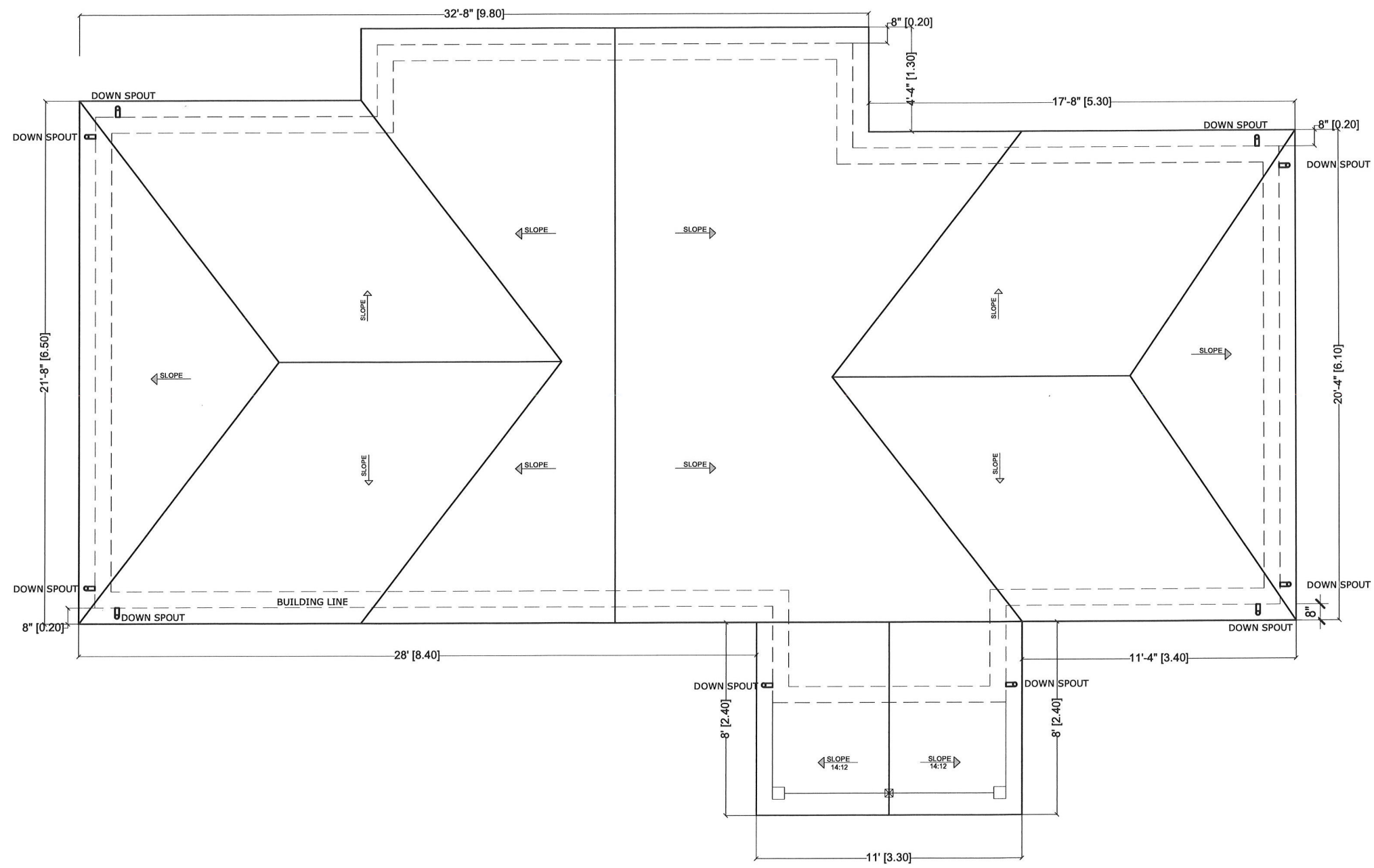
Firm Name and Address
MEM ENGINEERING INC
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PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
ROOF PLAN

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE:	DRAWING NO.:
PLOT DATE: 2024-02-20	A08
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CHECKED BY: HS	



GARDEN SUITE- ROOF PLAN
 SC: 3/16" - 1'-0"

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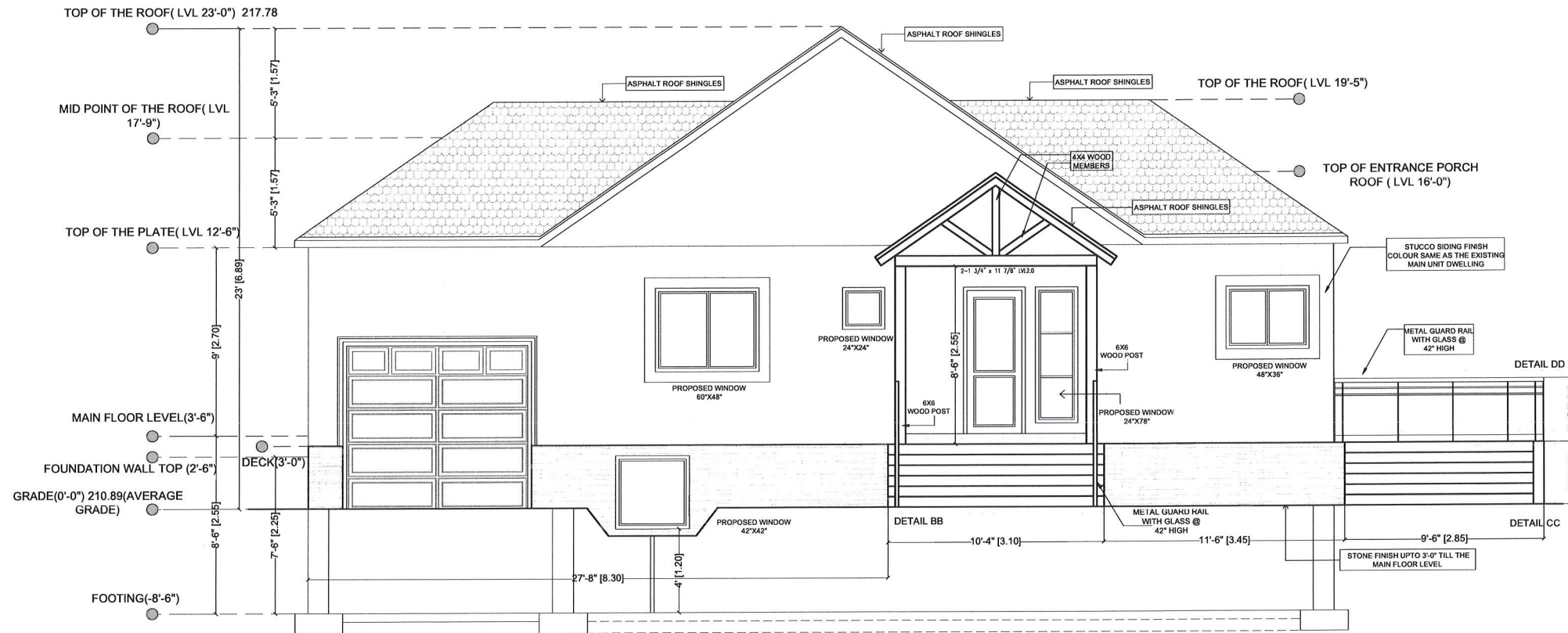
PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
FRONT ELEVATION

CLIENT EMAIL:
 CLIENT CONTACT:

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 DRAWN BY: AR
 CHECKED BY: HS

A09



NOTE: PROPOSED EXTERIOR WALL FINISH COLOUR TO MATCH THE EXTERIOR WALL FINISH COLOUR OF THE EXISTING DWELLING

FRONT ELEVATION

SC: 3/16" - 1'-0"

EXISTING DWELLING (REFERENCE)



General Notes

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
- DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION NO.	DATE	DESCRIPTION	BY

Firm Name and Address
MEM ENGINEERING INC
 2355 DERRY ROAD EAST. (UNIT 28)
 MISSISSAUGA, ON, L5S 1V6
 905-673-9100
 Email:harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

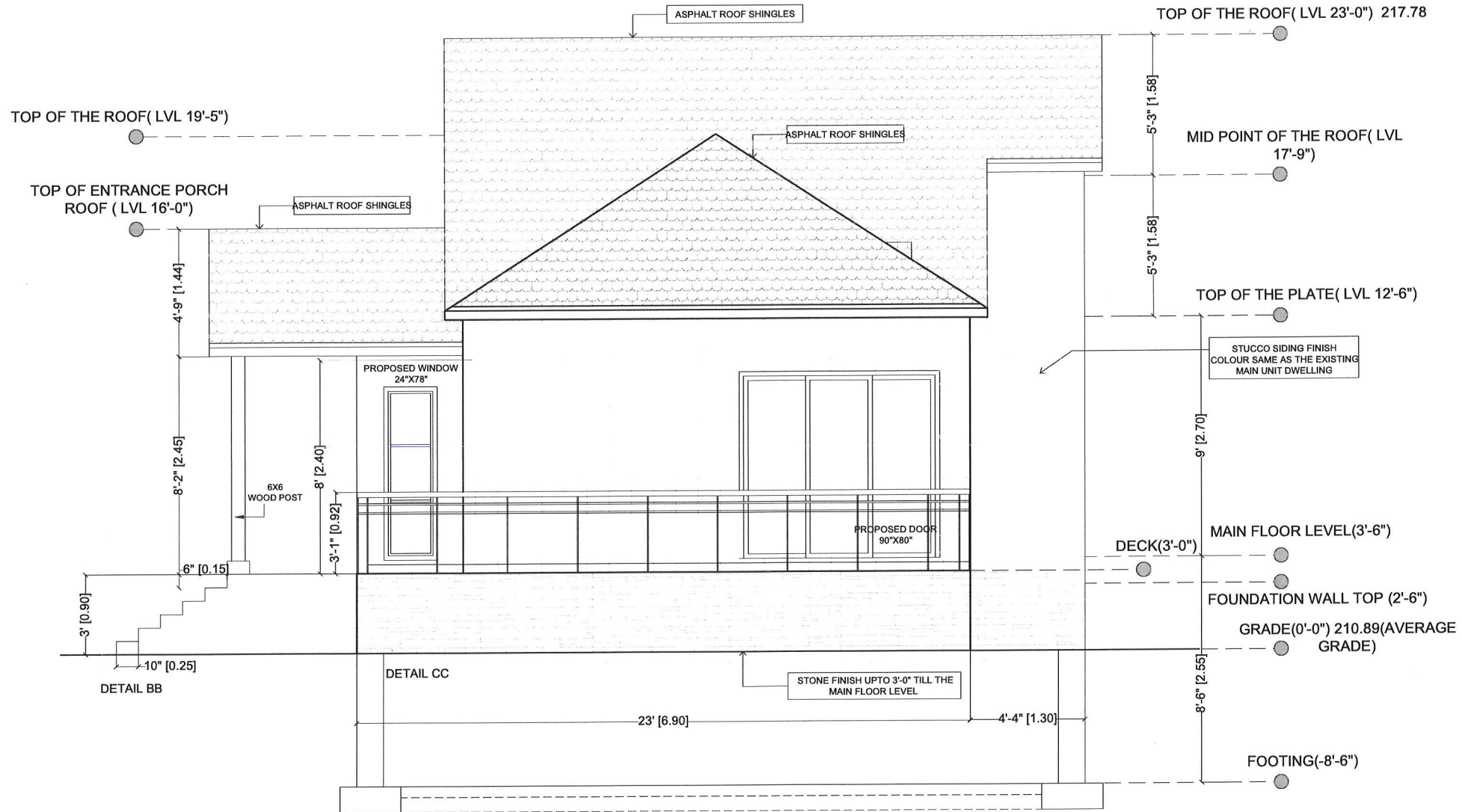
SHEET TITLE:
SIDE ELEVATION

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE:
 PLOT DATE:
 2024-02-20
 DRAWN BY:
 AR
 CHECKED BY:
 HS

DRAWING NO.:

A10



EXISTING DWELLING (REFERENCE)



R.H.S. ELEVATION

SC: 3/8" - 1'-0"

General Notes

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
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LEGENDS:-

REVISION		
NO.	DATE	DESCRIPTION

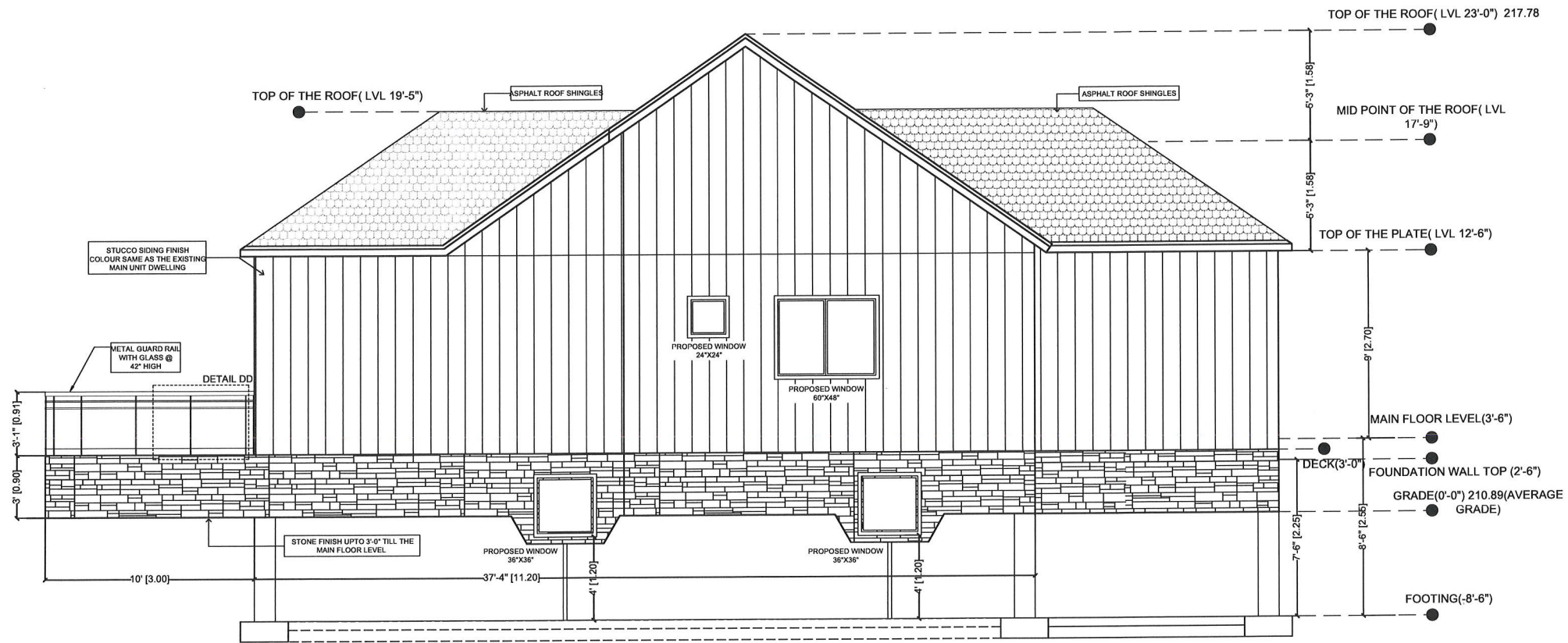
Firm Name and Address
MEM ENGINEERING INC
 2355 DERRY ROAD EAST. (UNIT 28)
 MISSISSAUGA, ON, L5S 1V6.
 905-673-9100
 Email:harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
REAR ELEVATION

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE:	DRAWING NO.:
PLOT DATE: 2024-02-20	A11
DRAWN BY: AR	
CHECKED BY: HS	



NOTE: PROPOSED EXTERIOR WALL FINISH COLOUR TO MATCH THE EXTERIOR WALL FINISH COLOUR OF THE EXISTING DWELLING

REAR ELEVATION
 SC: 3/16" - 1'-0"

EXISTING DWELLING (REFERENCE)



General Notes

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
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- DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION NO.	DATE	DESCRIPTION	BY

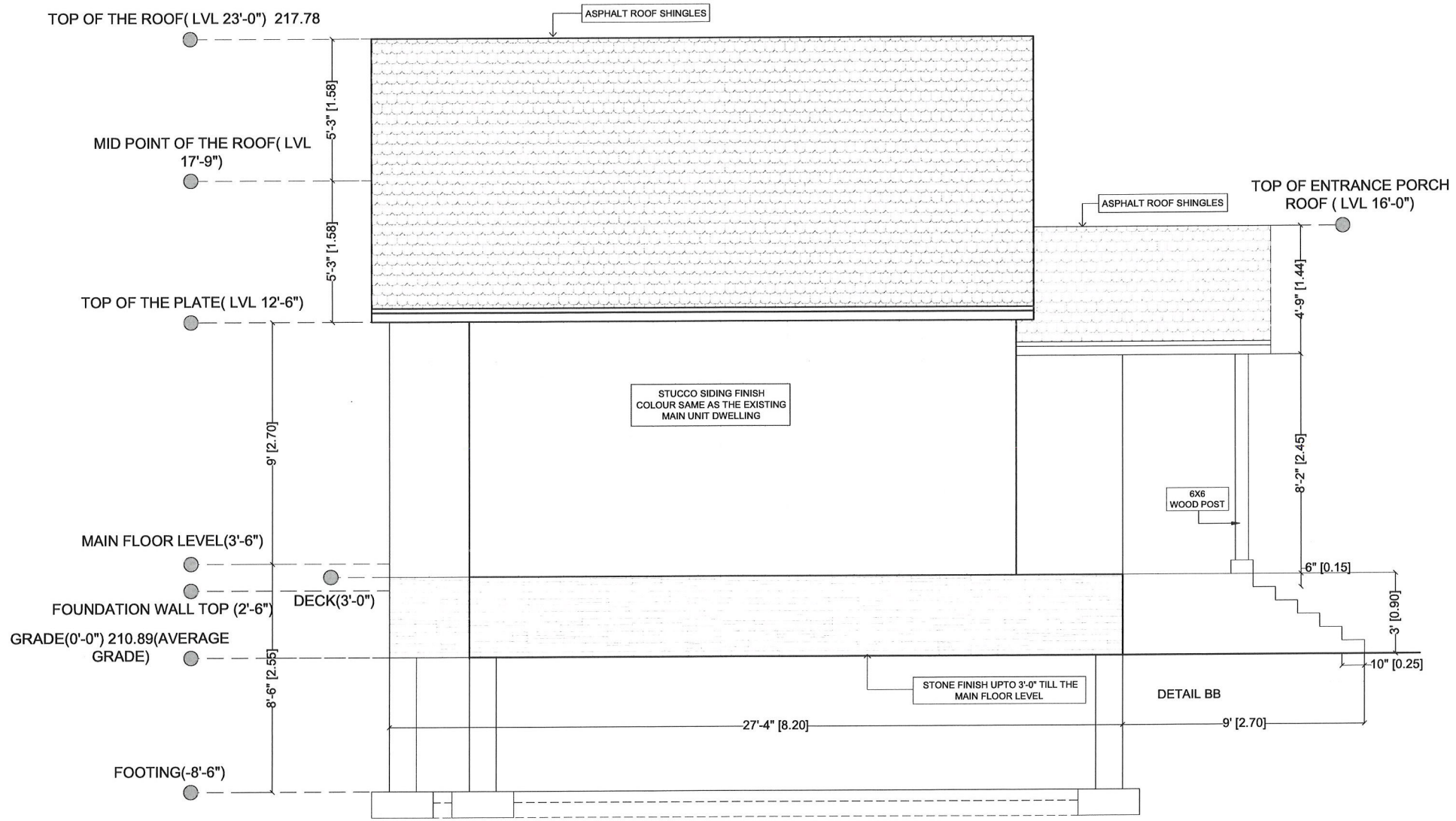
Firm Name and Address
MEM ENGINEERING INC
 2355 DERRY ROAD EAST. (UNIT 28)
 MISSISSAUGA, ON, L5S 1V6.
 905-673-9100
 Email: harry@memengineering.ca

PROJECT TITLE:
 28 ESTATEVIEW CIR,
 BRAMPTON, ON L6P 0R6

SHEET TITLE:
SIDE ELEVATION

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE: DRAWING NO.:
 PLOT DATE: **A12**
 2024-02-20
 DRAWN BY: AR
 CHECKED BY: HS



NOTE: PROPOSED EXTERIOR WALL FINISH COLOUR TO MATCH THE EXTERIOR WALL FINISH COLOUR OF THE EXISTING DWELLING

L.H.S. ELEVATION
 SC: 3/8" - 1'-0"

EXISTING DWELLING (REFERENCE) →



Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0052

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

(HM)

1. **Name of Owner(s)** Jaswinder Singh Multani, HARMINDER SINGH MULTANI, HARSHATON KAUR MULTANI
Address 28 Estateview Circle, Brampton, ON, L6P 0R6
Phone # 416-897-4640 **Fax #** _____
Email Harminder2002@hotmail.com

2. **Name of Agent** Abhishek Rajgor/ MEM Engineering Inc.
Address 28-2355 Derry Road East, Mississauga, ON, L5S 1V6
Phone # 905-673-9100 **Fax #** _____
Email mem.bldgpermits@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
1. As per ZBL 10.3.(A) Minimum interior side yard required (for storage shed) = 7.5m, whereas the proposed side yard setback is 4.54m
2. As per ZBL 10.3 (E & I) Maximum accessory building area permitted is 23 Sq. m., whereas we are proposing 84.73 sq. m.
3. As per ZBL 10.3 (L) The maximum height of door for accessory structures is 2.4m, whereas the height of proposed overhead door shall be 12'-0" (3.66m)

4. **Why is it not possible to comply with the provisions of the by-law?**
As per the design and location of the proposed storage shed, it is difficult to comply zoning by law.

5. **Legal Description of the subject land:**
Lot Number 35
Plan Number/Concession Number 43M-440
Municipal Address 28 Estateview Cir, Brampton, ON L6P 0R6

6. **Dimension of subject land (in metric units)**
Frontage 270.19m
Depth 80.04m
Area 8114.64 m2

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing two storey brick dwelling.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Existing one storey dwelling to remain, Proposing a 84.73 sq.m. storage shed in the interior side yard of the lot.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 27.37m
Rear yard setback 37.96m
Side yard setback 30.35m (exterior yard)
Side yard setback 31.32m

PROPOSED

Front yard setback 27.37m
Rear yard setback 32.91m
Side yard setback 30.35m (exterior yard)
Side yard setback 4.54m

10. Date of Acquisition of subject land: 2015
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2000
15. Length of time the existing uses of the subject property have been continued: 24 Yrs

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shisheta
Signature of Applicant(s) or Authorized Agent

Shisheta

DATED AT THE CITY _____ OF MISSISSAUGA BRAMPTON
THIS 08th DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, HARMINDER MULTANI OF THE CITY OF WATERLOO
IN THE Region OF KITCHENER WATERLOO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF
February, 2024
[Signature]
A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Shisheta
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	<u>Mature Neighbourhood, RE2</u>
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
<u>Shiza Athar</u> Zoning Officer	<u>2024/02/21</u> Date

DATE RECEIVED Feb 23, 2024.
Date Application Deemed Complete by the Municipality VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 28 Estateview Cir, Brampton, ON L6P 0R6

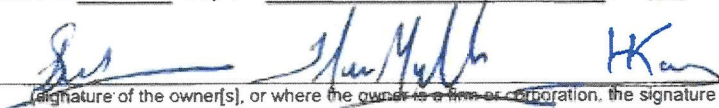
I/We, Jaswinder Singh Multani, Harminder Singh Multani, Harbhajan Kaur Multani
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Abhishek Rajgor/ MEM Engineering Inc.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 08 day of February, 2024.



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

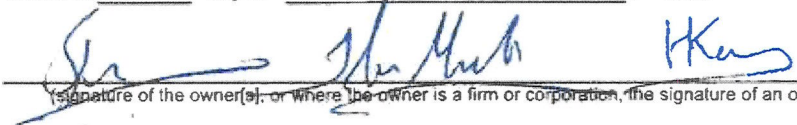
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 28 Estateview Cir, Brampton, ON L6P 0R6

I/We, Jaswinder Singh Multani, Harminder Singh Multani, Harbhajan Kaur Multani
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 08 day of February, 2024.


(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner)

(where the owner is a firm or corporation, please print or type the full name of the person signing)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION