



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Wave Homes 2797180 Ontario Inc.
Address 2332 - 23 Street NE, Calgary, Alberta T2E 8N3
Phone # 403-891-6643 **Fax #** _____
Email josh@wavehomes.ca

2. **Name of Agent** ARUP DATTA ARCHITECT LTD.
Address 337 - 17th Ave SW, Calgary, Alberta T2S 0A5
Phone # 403-244-8818 **Fax #** 403-244-8982
Email info@adal.ca

3. **Nature and extent of relief applied for (variances requested):**

a) Minor variance requested in density reduction from 201 units to 186.
 b) Minor variance requested for parking from 196 - 176
 c) Minor variance in building height.
 Building height 27.95m to (35.300)m
 Building height & Mech. Penthouse 32.45m to (38.90)m
 d) Minor variance in GFA - 14,432m to 16,440.2m

4. **Why is it not possible to comply with the provisions of the by-law?**

The new owners of the project following purchase of the property found out that the previously approved 2-BDR units are not marketable in terms of size & width. Also the stepped floors on the previous design became extremely expensive. In order to work out a proper structural grid the project is redesigned internally keeping the extent same. Keeping the same design features & exterior boundaries this project has been redesigned with

5. **Legal Description of the subject land:**
Lot Number Part of Lot 18
Plan Number/Concession Number Concession 1, East of Hurontario Street, Brampton
Municipal Address 12039 Hurontario Street, Brampton, Ontario L6Z 4P8

6. **Dimension of subject land (in metric units)**
Frontage 46.110m
Depth 85.330m & 84.214m
Area 3929.4m

7. **Access to the subject land is by:**

Provincial Highway	<input checked="" type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A small vinyl clad building & shed

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Mid-Rise residential rental apartment building 11 - storey in height with a mechanical penthouse.

- 9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

EXISTING

Front yard setback	N/A -As previously approved OP2006-215 (By-Law 85-2022 & Zoning By Law 86-2022)
Rear yard setback	N/A - As previously approved OP2006-215 (By-Law 85-2022 & Zoning By Law 86-2022)
Side yard setback	N/A - As previously approved OP2006-215 (By-Law 85-2022 & Zoning By Law 86-2022)
Side yard setback	N/A - As previously approved OP2006-215 (By-Law 85-2022 & Zoning By Law 86-2022)

PROPOSED

Front yard setback	3.0m - Same as previously approved
Rear yard setback	8.8m - Same as previously approved
Side yard setback	4.0m - Same as previously approved
Side yard setback	7.524m - Same as previously approved

- 10. **Date of Acquisition of subject land:** Land is scheduled to close on July 23
- 11. **Existing uses of subject property:** Single Dwelling
- 12. **Proposed uses of subject property:** Residential Rental Apartment
- 13. **Existing uses of abutting properties:** 2 - Side Residential, 1 - Side Gas Station & 1 - Hwy
- 14. **Date of construction of all buildings & structures on subject land:** Tentative date of construction start is August 01, 2024
- 15. **Length of time the existing uses of the subject property have been continued:** Unknown

- 16. (a) **What water supply is existing/proposed?**
 Municipal Other (specify) _____
 Well
- (b) **What sewage disposal is/will be provided?**
 Municipal Other (specify) _____
 Septic
- (c) **What storm drainage system is existing/proposed?**
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Calgary _____

THIS 16 DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ~~Arup Datta~~ Josh Eggleston, OF THE City _____ OF Calgary.

IN THE Province _____ OF Alberta _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Peel THIS 11th DAY OF

March, 2024

Signature of Applicant or Authorized Agent

A Commissioner etc.

Clara Vani
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton

Expires FOR OFFICE USE ONLY
September 20, 2026

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED March 7, 2024

Date Application Deemed Complete by the Municipality Clara

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 12039 Hurontario Street


I/We, 2797180 Ontario Inc.
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Josh Eggleston
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 7 day of March, 2024


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

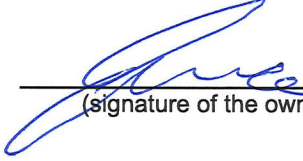
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 1203 9 Hurontario Street

I/We, 2797180 Ontario Inc
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 7 day of March, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

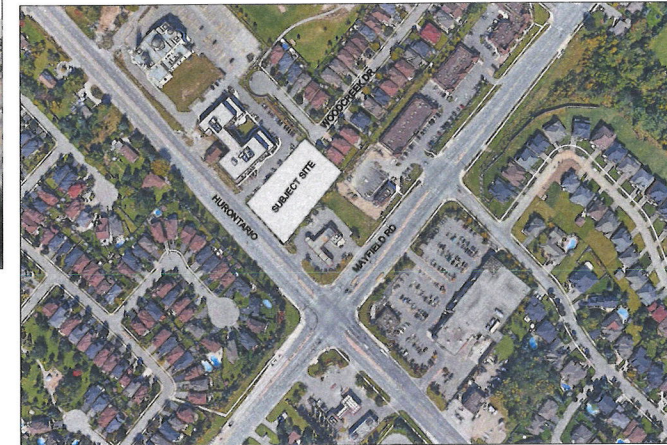
NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



PROPOSED RESIDENTIAL DEVELOPMENT

12039 HURONTARIO STREET, BRAMPTON, ON L6Z 4P8

A0 00-R1	COVER SHEET
A0 01-R1	PROJECT STATISTICS
A1 00-R1	SITE PLAN
A3 00-R1	P2 PARKING LVL
A3 01-R1	P1 PARKING LVL
A3 02-R1	GROUND FLOOR SITE PLAN
A3 03-R1	2ND FLOOR PLAN
A3 04-R1	3RD FLOOR PLAN
A3 05-R1	4TH FLOOR PLAN
A3 06-R1	5TH TO 6TH FLOOR PLAN
A3 07-R1	7TH TO 8TH FLOOR PLAN
A3 08-R1	9TH FLOOR PLAN
A3 09-R1	10TH TO 11TH FLOOR PLAN
A5 00-R1	SOUTH ELEVATION
A5 01-R1	NORTH ELEVATION
A5 02-R1	EAST ELEVATION
A5 03-R1	WEST ELEVATION
A6 00-R1	SECTION A
A6 01-R1	SECTION B
A6 02-R1	SECTION C



ISSUED FOR COA SUBMISSION
FEB 16, 2024

PROJECT INFORMATION

**PROPOSED RESIDENTIAL DEVELOPMENT
12039 HURONTARIO STREET, BRAMPTON, ON L6Z 4P8**

AREA SUMMARY

Lot Area (Existing):	3,929.4 m ²	42,209.6 sqft	
Lot Area (After Road Widening):	3,851.4 m ²	41,455.8 sqft	100%
Area of Road Widening:	77.9 m ²	853.8 sqft	2%
Lot Coverage:	246.5 m ²	2,638.4 sqft	64%
Ground Floor Land Use Open Space:	621.1 m ²	6,809.9 sqft	15%
Building Total GFA:	15,665.5 m ²	169,697.7 sqft	
Floor Space Index (FSI):	4.0		
Building Height:	35.30 m		
Building Height + Mech Pent:	38.90 m		

ROOM	EXTERIOR BUILDING AREA		RESIDENTIAL UNIT AREA		COMMON AREA CIRCULATION		RESIDENTIAL LOCKER AREA		RESIDENTIAL INDOOR AMENITY		RESIDENTIAL OUTDOOR AMENITY		GFA EXCLUSION		GFA	
	Sq.m	Sq.ft	Sq.m	Sq.ft	Sq.m	Sq.ft	Sq.m	Sq.ft	Sq.m	Sq.ft	Sq.m	Sq.ft	Sq.m	Sq.ft	Sq.m	Sq.ft
P1	3,854.3	39,334.6	0.0	0.0	70.3	756.7	0	0	0	0	0.0	0.0	0.0	0.0	0.0	0.0
P11	3,827.3	39,334.6	0.0	0.0	70.3	756.7	0	0	0	0	0.0	0.0	0.0	0.0	0.0	0.0
Ground Floor	1,563.3	16,872.2	1,540.3	11,984.4	109.9	1,182.9	0	0	131.8	1418.6	201.3	2166.8	131.5	1,415.4	1,431.8	15,411.7
2	1,877.6	19,874.3	1,377.6	14,838.4	174.4	1,877.2	17.9	192.6	210.3	2250	349.2	3758.75	77.1	829.8	1,750.7	18,844.3
3	1,256.5	11,950.0	1,558.8	17,033.7	177.4	1,909.7	88.4	951.5					80.2	847.9	1,895.4	20,431.91
4	1,307.8	19,997.0	1,548.0	16,877.6	182.5	1,964.4	37.0	398.3					102.4	1,102.2	1,756.4	18,894.9
5	1,653.9	17,910.0	1,473.0	15,855.3	173.3	1,863.3	0	0					65.4	703.9	1,598.5	17,206.1
6	1,653.9	17,910.0	1,473.0	15,855.3	173.3	1,863.3	0	0					65.4	703.9	1,598.5	17,206.1
7	1,280.2	14,007.0	1,105.0	11,807.0	148.0	1,593.0	24.6	264.8		224.4	2415.4		85.0	914.9	1,216.3	13,092.1
8	1,280.2	14,007.0	1,105.0	11,807.0	148.0	1,593.0	24.6	264.8					85.0	914.9	1,216.3	13,092.1
9	1,218.3	13,321.4	1,058.0	11,368.7	139.1	1,497.2	0	0					80.4	850.1	1,177.2	12,671.2
10	1,064.6	11,459.3	884.4	9,582.7	132.7	1,428.3	0	0					80.4	850.1	1,004.2	10,809.1
11	1,064.6	11,459	884.4	9,582.7	132.7	1,428.3	0	0					80.4	850.1	1,004.2	10,809.1
PENTHOUSE	531.0	5,587.5	0	0	0	0	0	0					0.0	0.0	0.0	0.0
TOTAL	16,440.2	176,960.8	13,831.0	148,722.8	1658.6	17833.02	197.5	2077.0	340.1	3678.6	774.7	8340.9	853.2	9181.6	15845.5	168,406.7

ABOVE GRADE EXCLUDES MECHANICAL PENTHOUSE

EXCLUDES EXTERIOR BALCONIES AREA

GFA IS REDUCED FOR BICYCLE PARKING, STORAGE ROOMS, AND ELEVATOR, BELOW-GRADE ELEVATOR SHAFTS, GARAGE SHAFTS, MECH. PENTHOUSE, VERTICAL PARKING AND OUT STAIRWELLS

Required Vehicle parking- Condominium apartment- (86-2015) 10.9.2 (b)

Residential Parking	Unit type	Parking Rate	No. of Units	Required parking	Rounding
	Studio or 1 Bedroom	1.00	93	93	93.00
	2 Bedroom unit	1.00	75	75	75.00
	3 bedroom or more	1.00	18	18	18.00
	Visitor Parking	0.20	186	37.2	37.00
Total Required Residential Parking					223

Proposed Vehicle Parking - Condominium apartment- (86-2015) 10.9.2 (b)

Use	Units	Proposed Supply	Parking Rate
Total Residential Unit	186		
Residential Parking		155	0.83
Visitor Parking		21	0.11
Total Proposed Parking		176	0.94

Proposed Bicycle Parking

Use	Type	Units/area	No. Rate	Required Space	Proposed Supply
Residential	Short-Term (at grade)		0.1	17	24
	Long-Term (indoor)	186	0.5	93	112
Total Bicycle Parking				110	136

Proposed Amenity space

Use	Units	Minimum Requirement	Minimum Required (m ²)	Total Proposed (m ²)
Indoor Amenity		166		342.1
Outdoor Amenity	186			774.9
Total Amenity		4.0 m ² /Unit	744	1,117

Ontario Building Code Data Matrix				
3.00	Building Code Version	D Reg 2012/2	Last Amendment	o Reg 1911/4
3.01	Project Type:	New		
				(A) 1.1.2
3.02	Major Occupancy classification	Occupancy C, A2, F3	Use Residential Occupancy Assembly Occupancies (i.e. Amusements) Low hazard industrial Occupancies.	
				3.12.1.(1)
3.03	Superimposed Major Occupancies	Yes	Description: Group c above Group A2/F3 Occupancies	3.2.2.7
3.04	Building Area (m ²)	Description	Existing New Total	
			0 2465.5 m ² 2465.5 m ²	(A) 1.4.4.2
3.05	Gross Area (m ²)	Description	Existing New Total	
			0 14,432.5 m ² 14,432.5 m ²	(A) 1.4.1.2
3.06	Mezzanine Area (m ²)	Description	Existing New Total	
			0 0 0	3.2.1.1
3.07	Building Height	9	Storeys above Grade	27.95 m Above Grade
		2	Storey Below Grade	
				(A) 1.4.1.2 & 3.2.1.1
3.08	High Building	Yes		3.2.6
3.09	No. of Streets Firefighter Access	1 Street		3.2.2.10 & 3.2.5
3.10	Building Classification	3.3.3.2.1 3.2.2.23 3.2.2.23	Group/Div. Group/Div. Group/Div.	Group C, Any Height, Any Area, Sprinklered Group A2, Any Height, Any Area, Sprinklered Group F, Div 3, Any Height, Any Area, Sprinklered
				Group /Div
3.11	Sprinkler System	Required Proposed	Entire Building	3.2.1.5 & 3.2.2.17
3.12	Standpipe System	Required		3.2.9
3.13	Fire Alarm System	Required		3.2.4
3.14	Water Service Supply is adequate.	Yes		
3.15	Construction Type:	Restrictions Actual: Heavy Timber Construction	Non Combustible required: Non Combustible No Heavy Timber	3.2.2.20 & 3.2.1.4
3.16	Importance Category	Normal		4.1.2.1.(2)&14.1.2.1.B
3.17	Seismic Hazard index	(e) Fa Sa (0.2) = 0	Seismic design Required For Table 4.1.8.1.B Item 6 to 21:	4.1.2.1.(2) 4.1.8.1B(2)



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PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATTA ARCHITECT LTD.
257, 7TH AVENUE, 8TH FLOOR, CALGARY, ALBERTA, T2S 0A8
TEL: (403) 243-8888 FAX: (403) 243-8887
EMAIL: info@arup.ca

LOCAL ARCHITECT:

NAME: ADDRESS: CITY, PROVINCE, POSTAL CODE: TEL: (905) 880-0000 FAX: (905) 880-0000 E MAIL:

SUB-CONSULTANTS:

STRUCTURAL

NAME: ADDRESS: CITY, PROVINCE, POSTAL CODE: TEL: (905) 880-0000 FAX: (905) 880-0000 E MAIL:

MECHANICAL

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ELECTRICAL

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HVAC

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CIVIL

NAME: ADDRESS: CITY, PROVINCE, POSTAL CODE: TEL: (905) 880-0000 FAX: (905) 880-0000 E MAIL:

LANDSCAPE

NAME: ADDRESS: CITY, PROVINCE, POSTAL CODE: TEL: (905) 880-0000 FAX: (905) 880-0000 E MAIL:

ISSUED FOR / REVISIONS

No.	DATE	DESCRIPTION
1	2024/01/19	SUBMIT FOR CONSTRUCTION

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.

187, 7TH AVENUE, 8TH FLOOR, CALGARY, ALBERTA, T2S 0A8

ARCHITECTURE - INTERIOR DESIGN - PLANNING - LEAD DESIGN

PROJECT #: 1701

PROJECT: HURONTARIO RESIDENTIAL BUILDING

12039 Hurontario St, Brampton, ON L6Z 4P8

DRAWING: PROJECT STATISTICS

DRAWING #: A1.01-R1

SCALE: 1/200

DESIGN BY: DRAWN BY: CHECKED BY: AD EA AD



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THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, DATA, AND REPORTS BEFORE COMMENCING WORK.

PRIME CONSULTANT:

ARCHITECTURAL
ARUP DATTA ARCHITECT LTD.
307-17A AVENUE S.W.
CALGARY, ALBERTA, T2E 5A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: info@arup.ca

LOCAL ARCHITECT:
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (403) 900-0000 FAX: (403) 900-0000
E-MAIL:

SUB-CONSULTANTS:

STRUCTURAL:
NAME:
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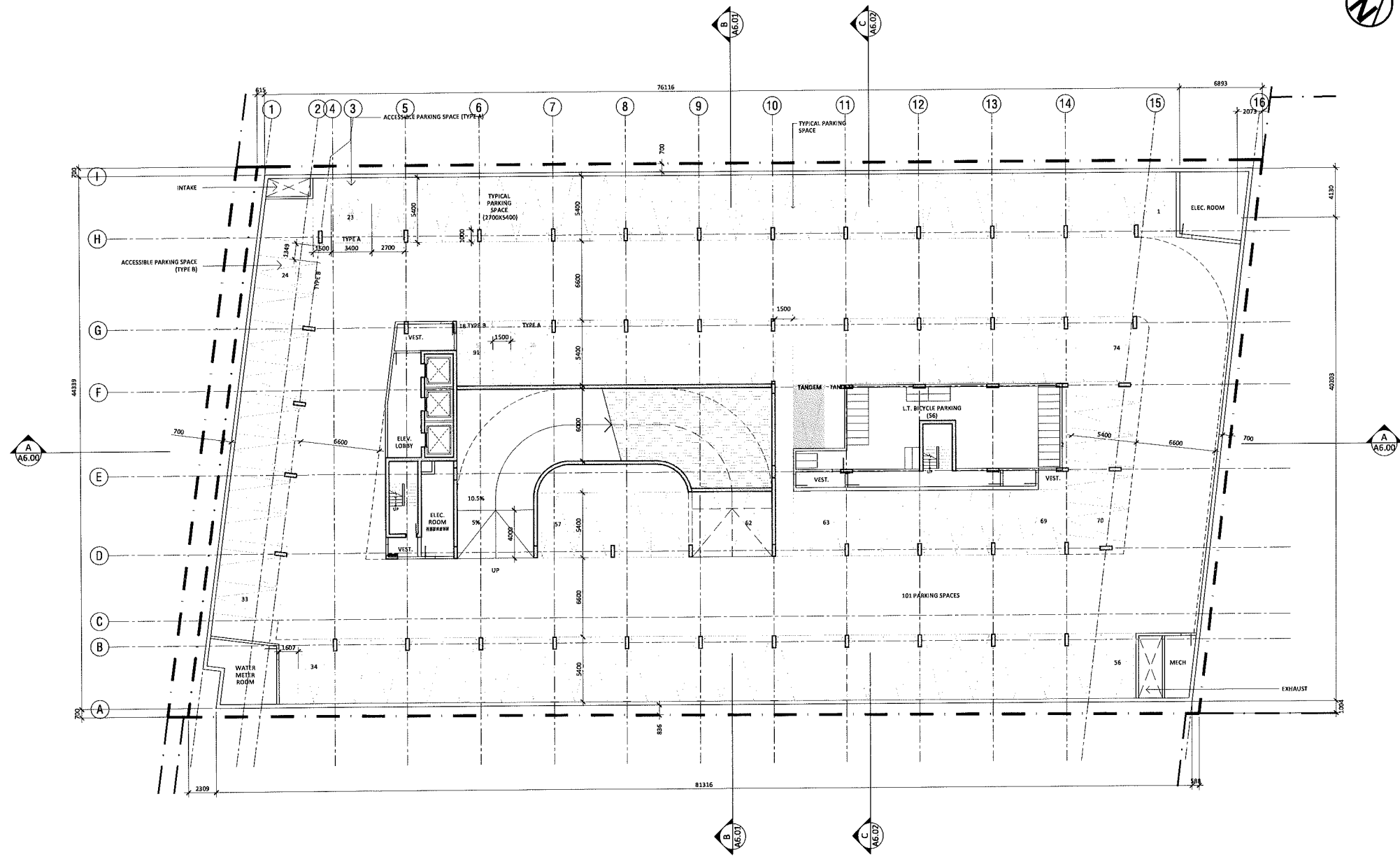
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ELECTRICAL:
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HVAC:
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LANDSCAPE:
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E-MAIL:



No.	DATE	DESCRIPTION
1	2014/02/16	ISSUED FOR COA SUBMISSION

ISSUED FOR / REVISIONS



ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1701

PROJECT:
HURONTARIO RESIDENTIAL BUILDING
12029 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
P2 PARKING LEVEL

DRAWING #:
A3.00-R1

SCALE: 1:150
DESIGN BY: AD DRAWN BY: SA CHECKED BY: AD



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PRIME CONSULTANT:

ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD.
 337 - 7th Avenue S.W.
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 TEL: (403) 244-8818 FAX: (403) 244-8882
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LOCAL ARCHITECT:
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 E.MAIL:

SUB-CONSULTANTS:
STRUCTURAL
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 E.MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E.MAIL:

ISSUED FOR / REVISIONS

No.	DATE	DESCRIPTION
1	2014.03.16	ISSUED FOR COA SUBMISSION

ARUP DATTA ARCHITECT LTD.

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1701

PROJECT:
 HURONTARIO RESIDENTIAL BUILDING

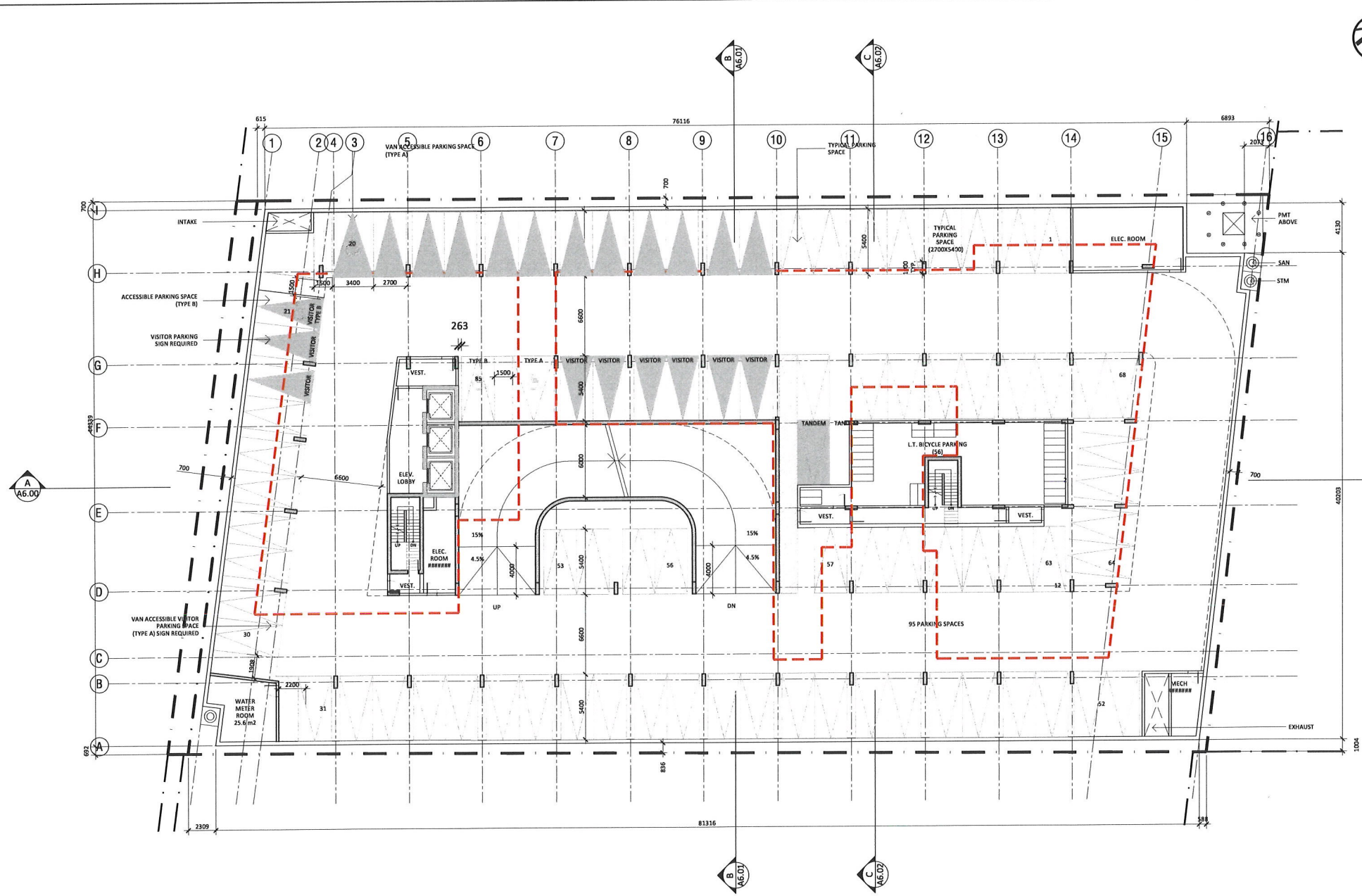
10039 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
 P1 PARKING LEVEL

DRAWING #:
A3.01-R1

SCALE:
 1:150

DESIGN BY: DRAWN BY: CHECKED BY:
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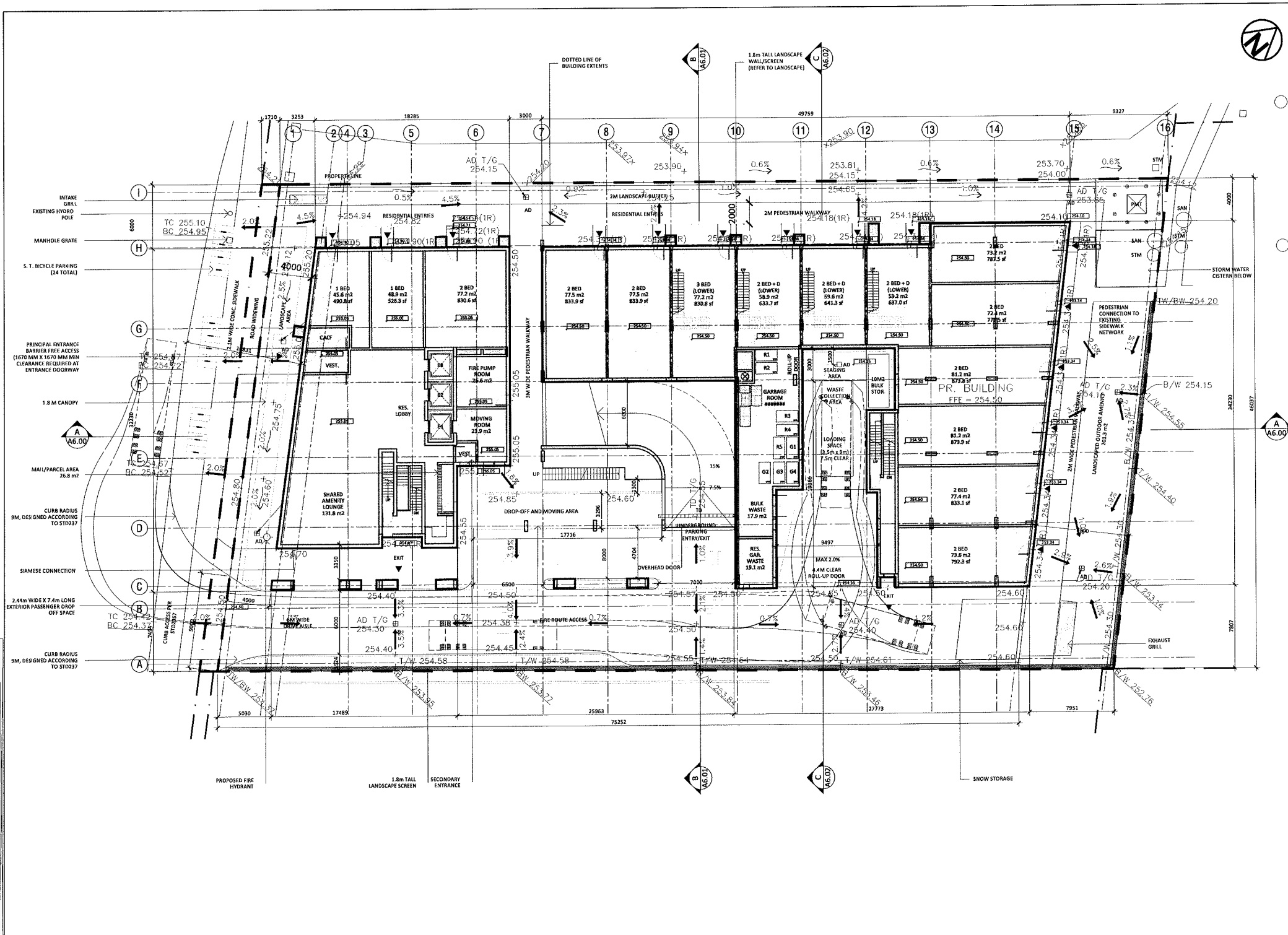
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PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 15039 Hurontario St, Brampton, ON L6Z 4P6
 DRAWING:
GROUND FLOOR / SITE PLAN
 DRAWING #:
A3.02-R1
 SCALE: 1:150
 DESIGN BY: DRAWN BY: CHECKED BY:
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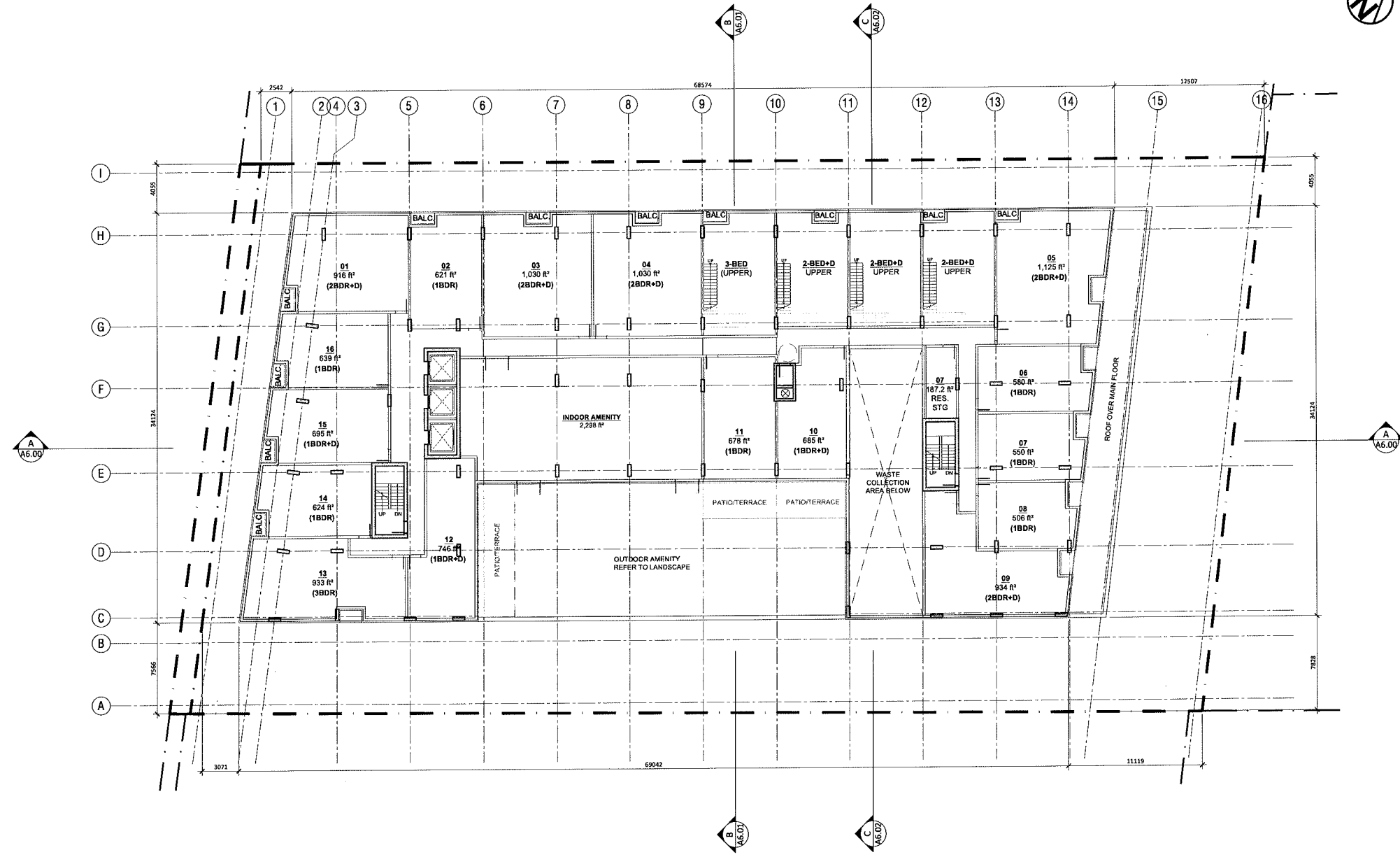
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No.	DATE	DESCRIPTION
1	2012.12.14	ISSUED FOR RFP SUBMISSION
2		
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ARUP DATTA ARCHITECT LTD.
 ARCHITECTURAL - INTERIOR DESIGN - PLANNING - SPACE DESIGN

PROJECT #:	1701
PROJECT:	HURONTARIO RESIDENTIAL BUILDING
12038 Hurontario St, Brampton, ON L6Y 4P8	
DRAWING:	2ND FLOOR PLAN
DRAWING #:	A3.03-R1
SCALE:	1/160
DESIGN BY:	EA
DRAWN BY:	AD
CHECKED BY:	AD





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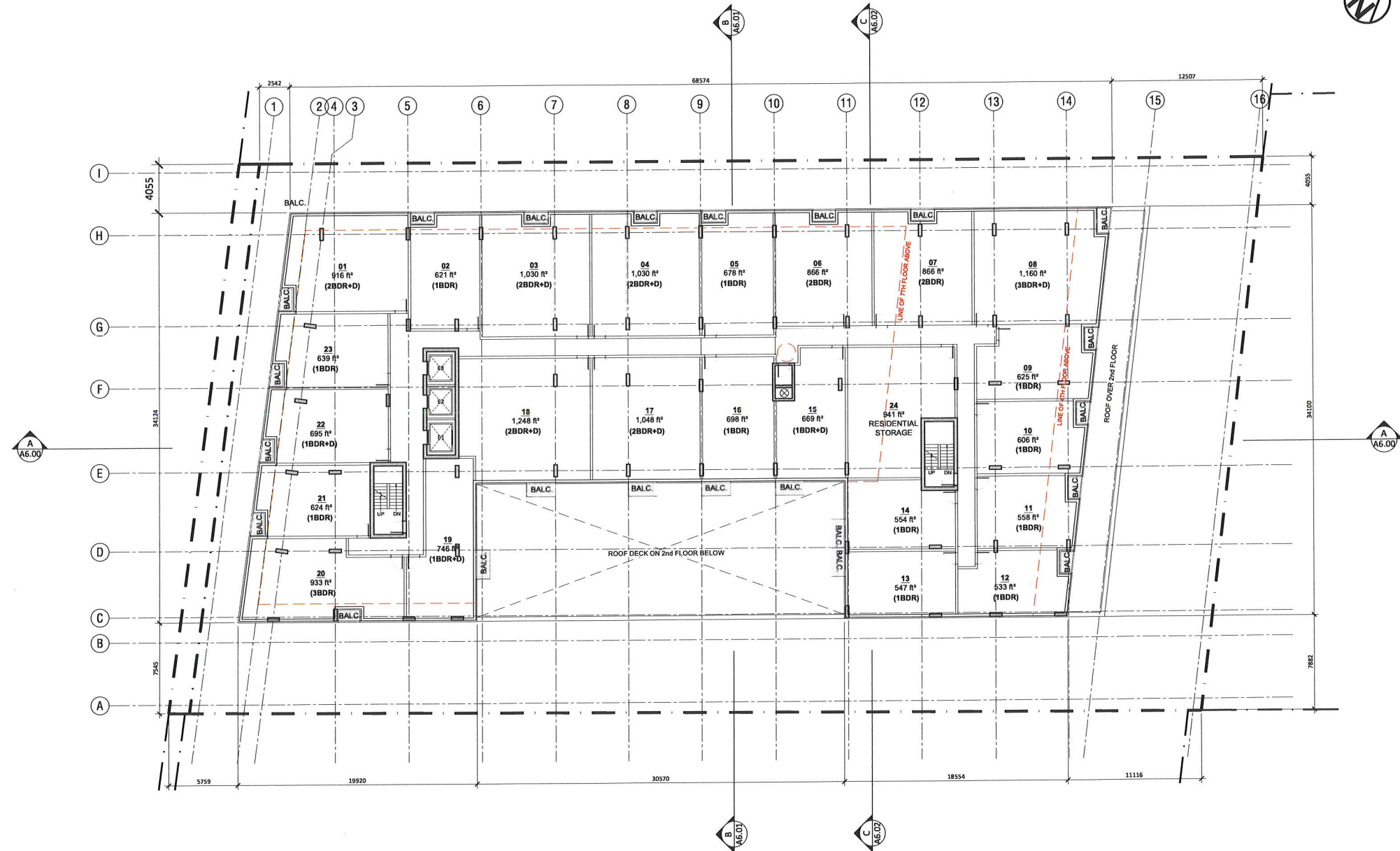
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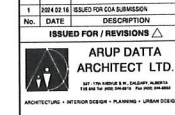
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No.	DATE	DESCRIPTION
1	2014.11.16	ISSUED FOR COA SUBMISSION
ISSUED FOR REVISIONS ▲		



PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12038 Hurontario St, Brampton, ON L6Z 4P6

DRAWING:
3RD FLOOR PLAN

DRAWING #:
A3.04-R1

SCALE: 1/150
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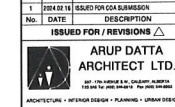
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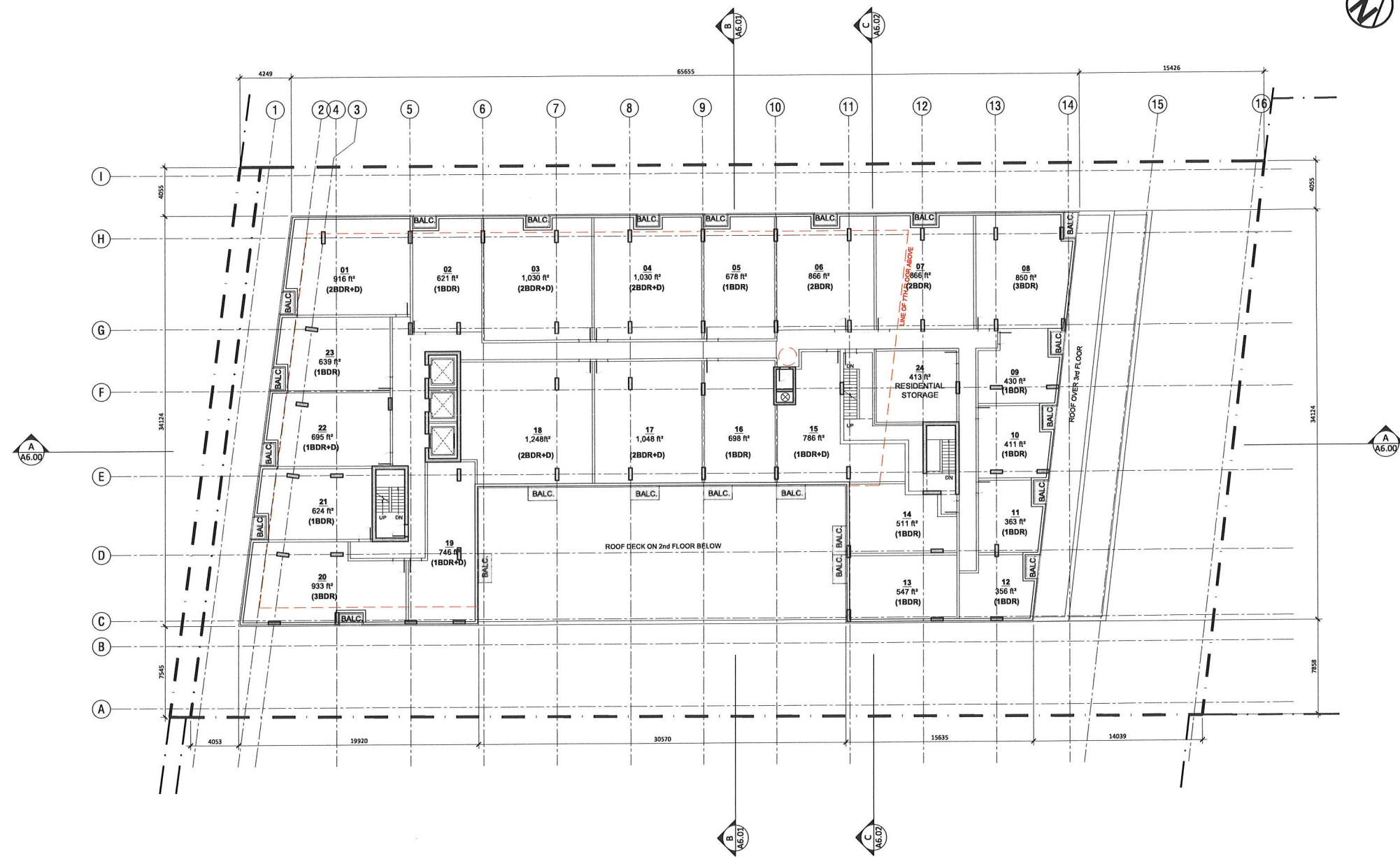
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No.	DATE	DESCRIPTION
1	2024-01-16	ISSUED FOR CEA SUBMISSION
		ISSUED FOR / REVISIONS



PROJECT #:	1701
PROJECT:	HURONTARIO RESIDENTIAL BUILDING
	12039 Hurontario St, Brampton, ON L2Z 4P8
DRAWING:	4TH FLOOR PLAN
DRAWING #:	A3.05-R1
SCALE:	1:150
DESIGN BY:	EA
DRAWN BY:	AD
CHECKED BY:	AD





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 ARCHITECTURE - INTERIOR DESIGN - PLANNING - URBAN DESIGN

PROJECT #: 1701
 PROJECT: HURONTARIO RESIDENTIAL BUILDING
 12039 Hurontario St, Brampton, ON L6Y 4P8
 DRAWING: 5TH & 6TH FLOOR PLAN
 DRAWING #: **A3.06-R1**
 SCALE: 1/150
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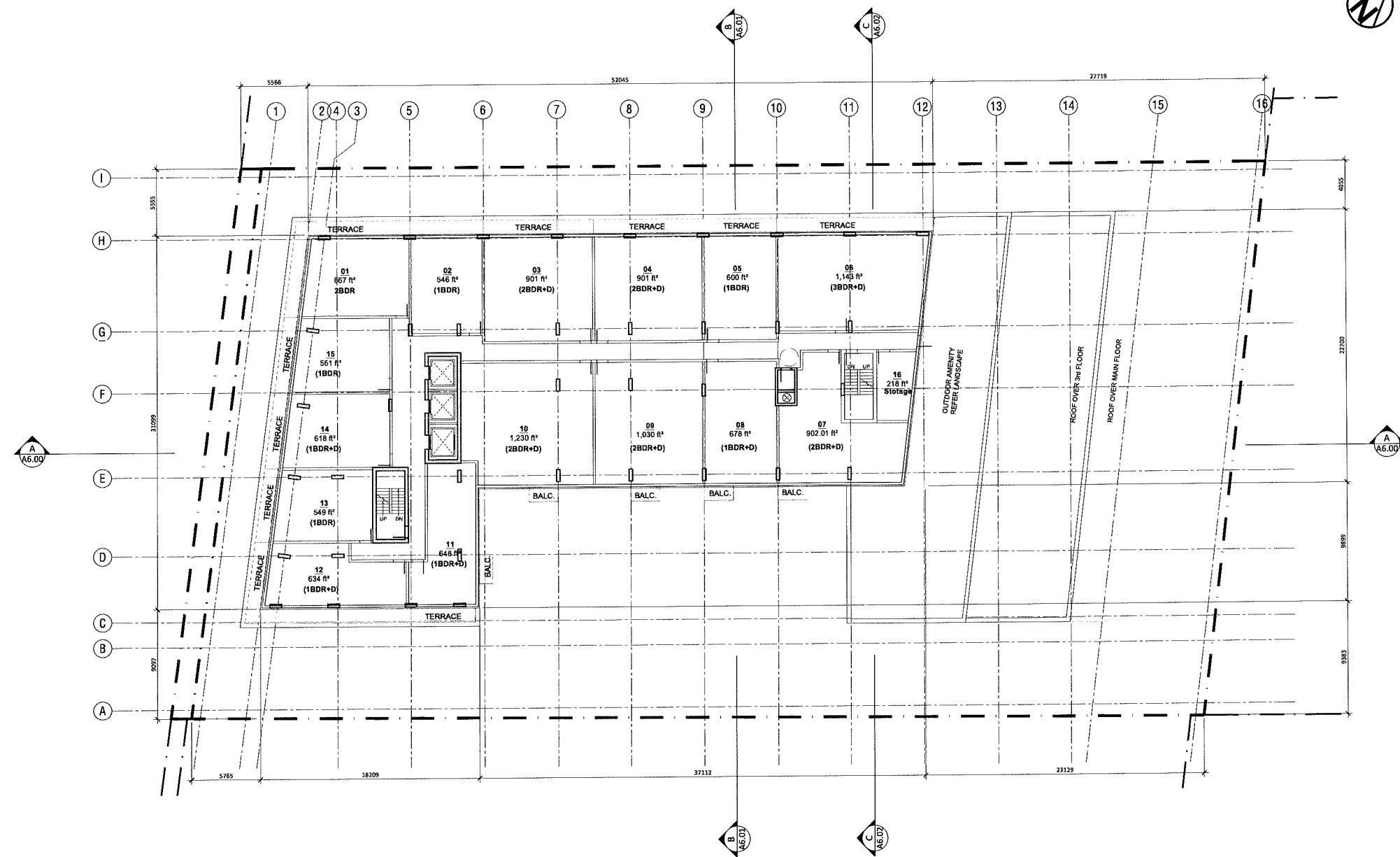
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NO.	DATE	DESCRIPTION
1	2014-01-15	ISSUED FOR CONSTRUCTION
		ISSUED FOR / REVISIONS



PROJECT #:	1701
PROJECT:	HURONTARIO RESIDENTIAL BUILDING
	12088 Hurontario St, Brampton, ON L6T 4P8
DRAWING:	7TH & 8TH FLOOR PLAN
DRAWING #:	A3.07-R1
SCALE:	1:160
DESIGN BY:	AD
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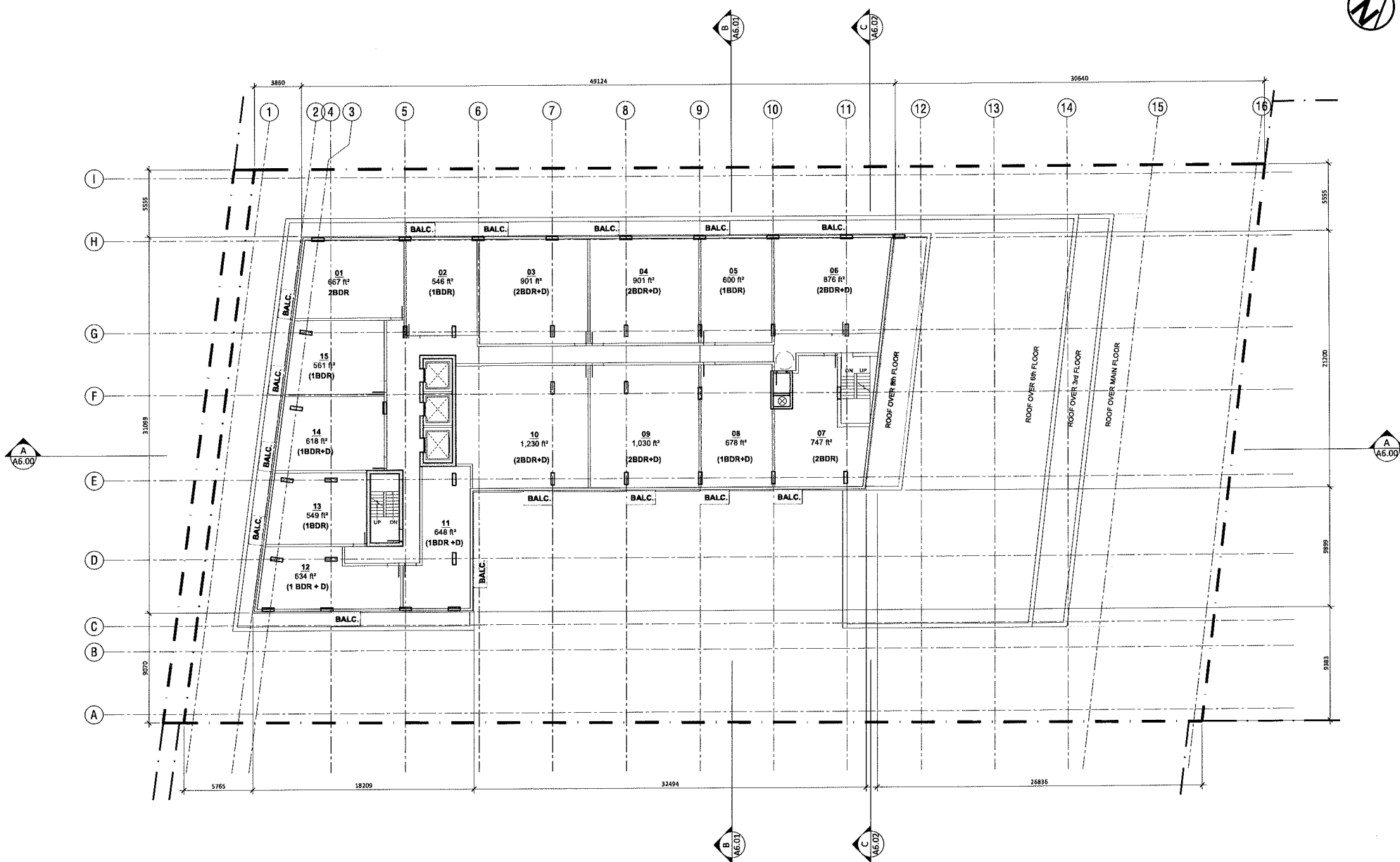
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No.	DATE	ISSUED FOR / REVISIONS	DESCRIPTION
1	2014/07/18	SUBMIT FOR GSA SUBMISSION	



ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1701

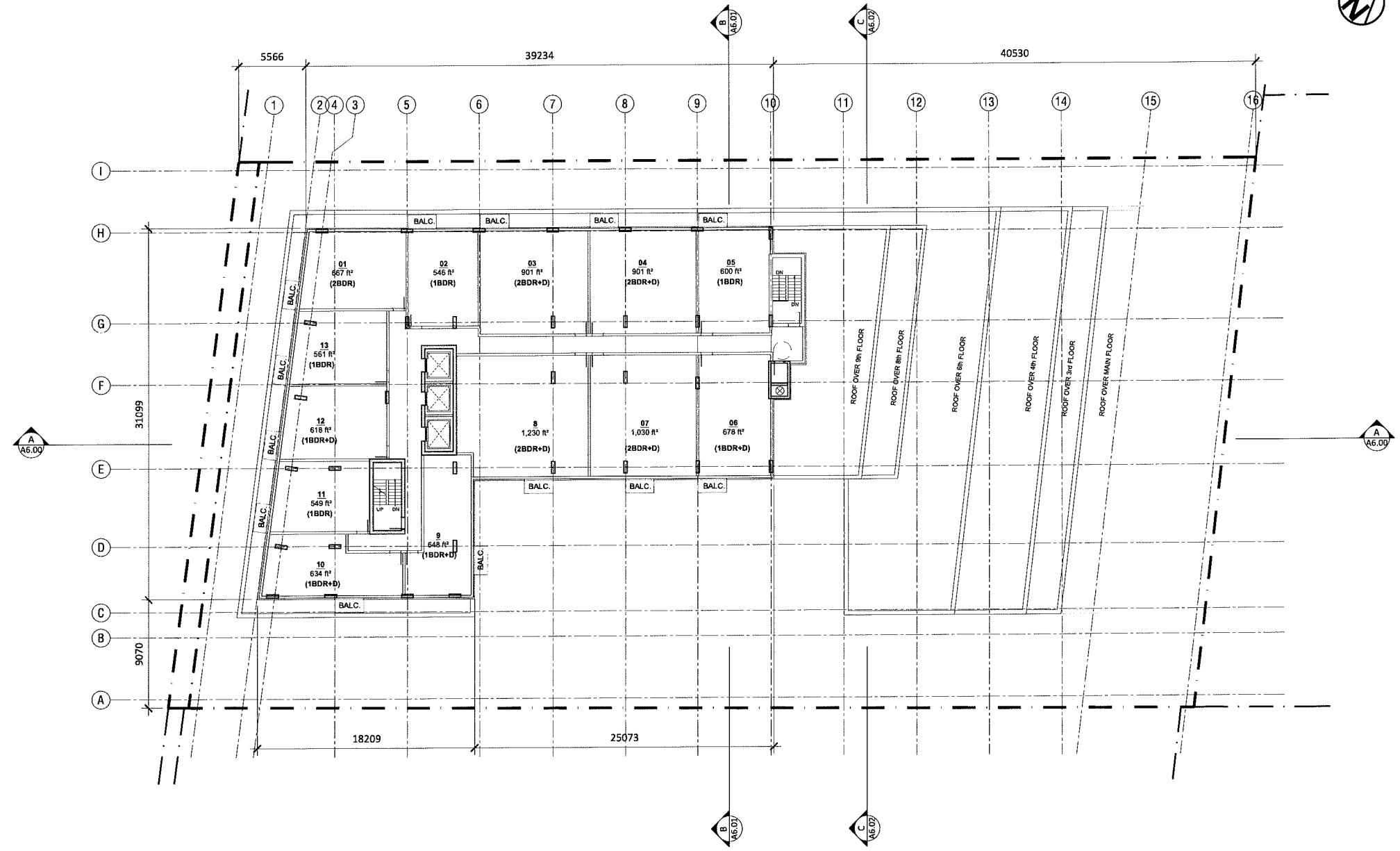
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1205 Hurontario St. Brampton, ON L6Z 4P8

DRAWING:
 9TH FLOOR PLAN

DRAWING #:
 A3.08-R1

SCALE: 1/160

DESIGN BY: EA
 DRAWN BY: AD
 CHECKED BY: AD



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ARCHITECTURAL
 ARUP DATTA ARCHITECT LTD
 237, 27th AVENUE S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8818 FAX: (403) 244-8820
 E-MAIL: info@arup.ca

LOCAL ARCHITECT:

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 E-MAIL:

SUB-CONSULTANTS:

STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (503) 550-0000 FAX: (503) 550-0000
 E-MAIL:

MECHANICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (503) 550-0000 FAX: (503) 550-0000
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
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 TEL: (503) 550-0000 FAX: (503) 550-0000
 E-MAIL:

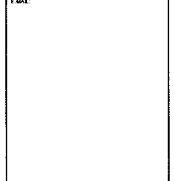
HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (503) 550-0000 FAX: (503) 550-0000
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (503) 550-0000 FAX: (503) 550-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (503) 550-0000 FAX: (503) 550-0000
 E-MAIL:

No.	DATE	DESCRIPTION
1	10/21/11	ISSUED FOR 04A SUBMISSION

ISSUED FOR / REVISIONS



No.	DATE	DESCRIPTION
1	10/21/11	ISSUED FOR 04A SUBMISSION

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
 ARCHITECTURAL - INTERIOR DESIGN - PLANNING - URBAN DESIGN

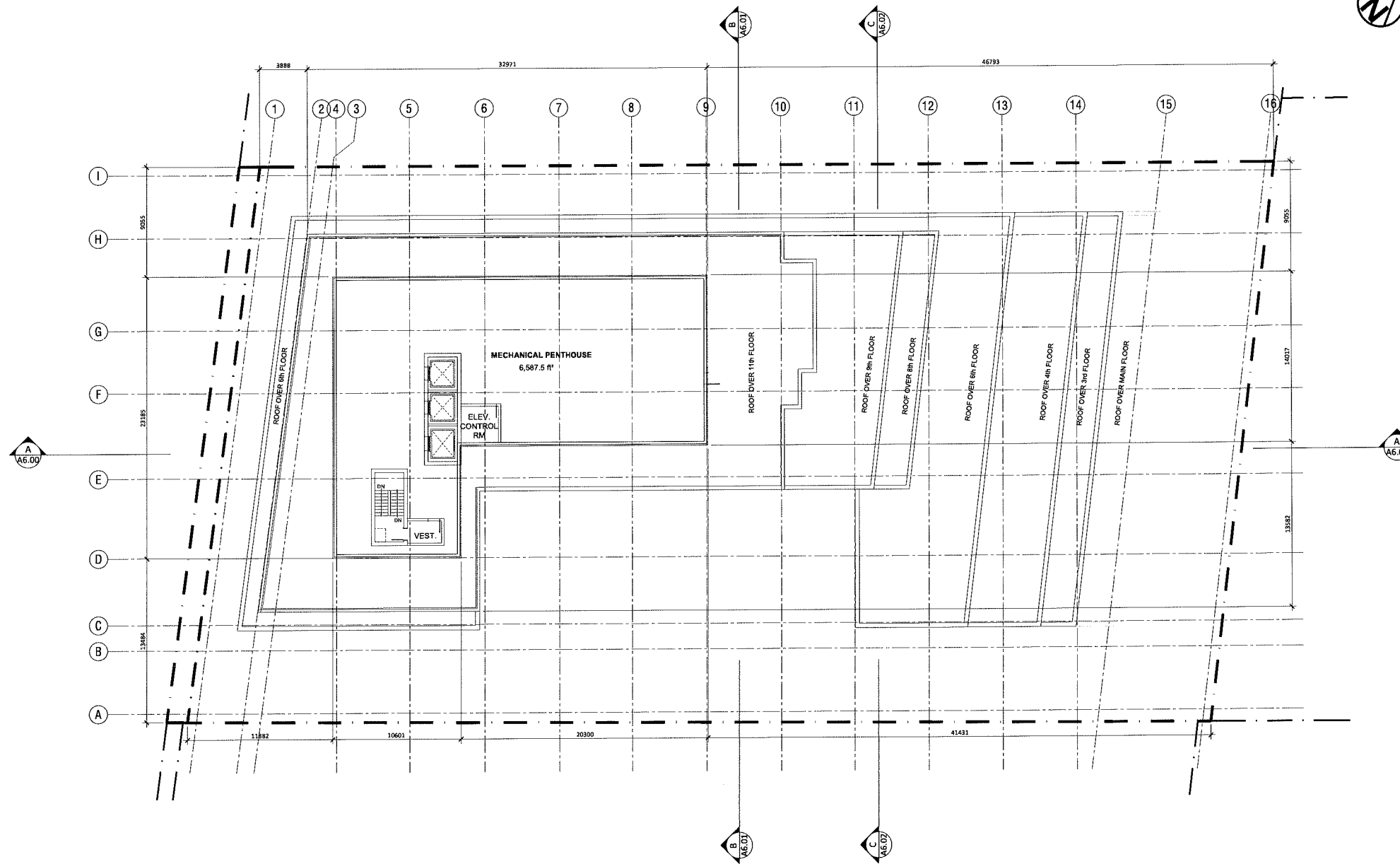
PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12033 Hurontario St., Burlington, ON L4Z 4P9

DRAWING:
 10TH TO 11TH FLOOR PLAN

DRAWING #:
A3.09-R1

SCALE:
 1:150

DESIGN BY: DRAWN BY: CHECKED BY:
 AD EA AD



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257, STRATFORD BLVD.
CALGARY, ALBERTA T2S 8A5
TEL: (403) 244-8818 FAX: (403) 244-8882
E-MAIL: info@arup.ca

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SUB-CONSULTANTS:
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CITY, PROVINCE, POSTAL:
TEL: (905) 905-0000 FAX: (905) 905-0000
E-MAIL:
MECHANICAL
NAME:
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TEL: (905) 905-0000 FAX: (905) 905-0000
E-MAIL:
ELECTRICAL
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 905-0000 FAX: (905) 905-0000
E-MAIL:
HVAC
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 905-0000 FAX: (905) 905-0000
E-MAIL:
CIVIL
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CITY, PROVINCE, POSTAL:
TEL: (905) 905-0000 FAX: (905) 905-0000
E-MAIL:
LANDSCAPE
NAME:
ADDRESS:
CITY, PROVINCE, POSTAL:
TEL: (905) 905-0000 FAX: (905) 905-0000
E-MAIL:

No.	DATE	DESCRIPTION
1	2014/11	ISSUED FOR PERMITS

ARUP DATTA ARCHITECT LTD.
1000 WATSON BLVD. CALGARY, ALBERTA
T2P 0K1
ARCHITECTURAL - MECHANICAL - PLUMBING - ELECTRICAL

PROJECT #: 1701
PROJECT:
HURONTARIO RESIDENTIAL BUILDING
12059 Hurontario St, Brampton, ON L6Z 4P8
DRAWING:
PENTHOUSE PLAN
DRAWING #:
A3.10-R1
SCALE: 1/160
DESIGN BY: DRAWN BY: CHECKED BY:
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 207 - 7TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A5
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 E-MAIL: info@adma.ca

LOCAL ARCHITECT:
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 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

SUB-CONSULTANTS:
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 TEL: (000) 000-0000 FAX: (000) 000-0000
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ELECTRICAL
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 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
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CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
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LANDSCAPE
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 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

No.	DATE	ISSUED FOR / REVISIONS

1 2016.11.14 ISSUED FOR COA SUBMISSION

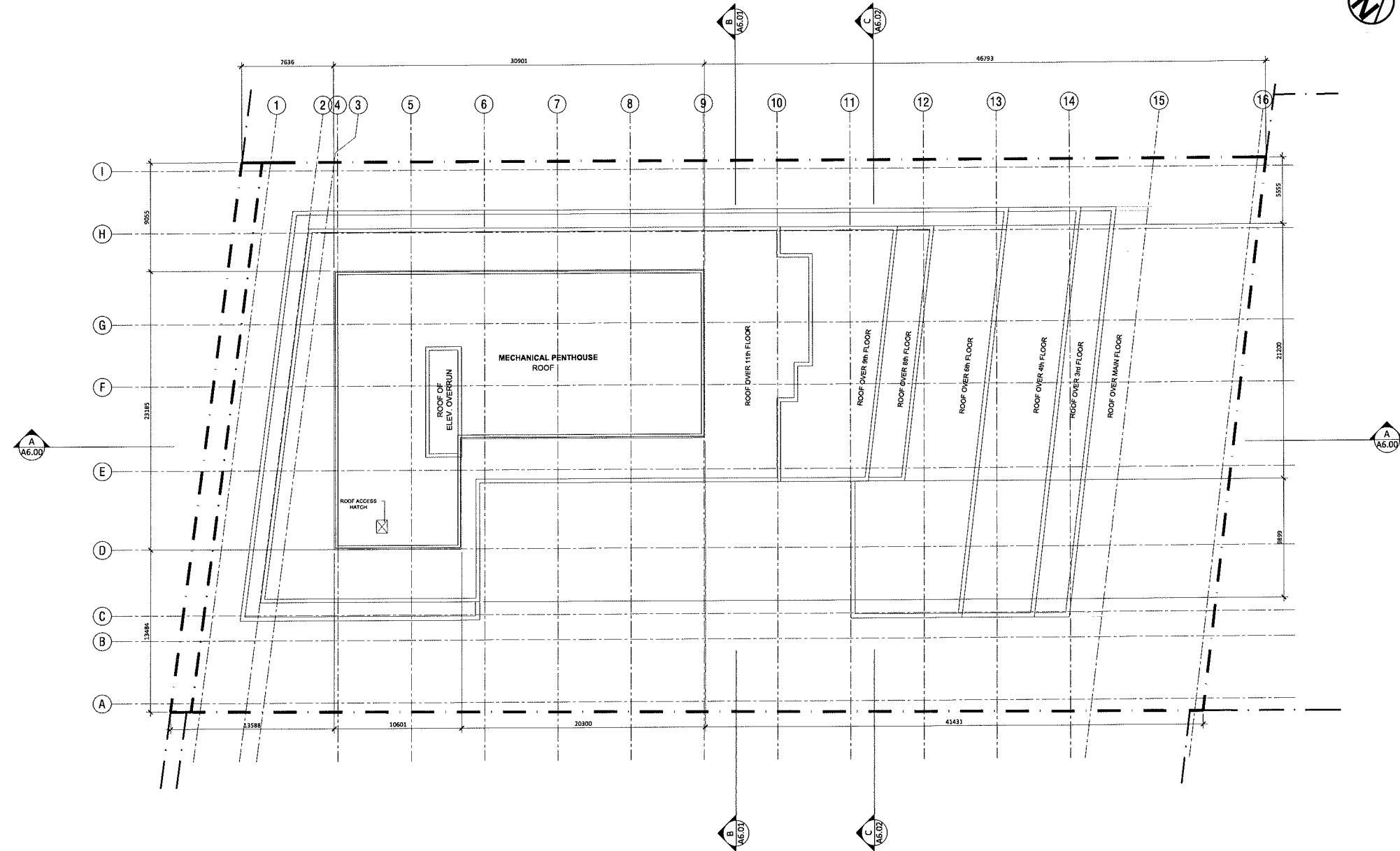
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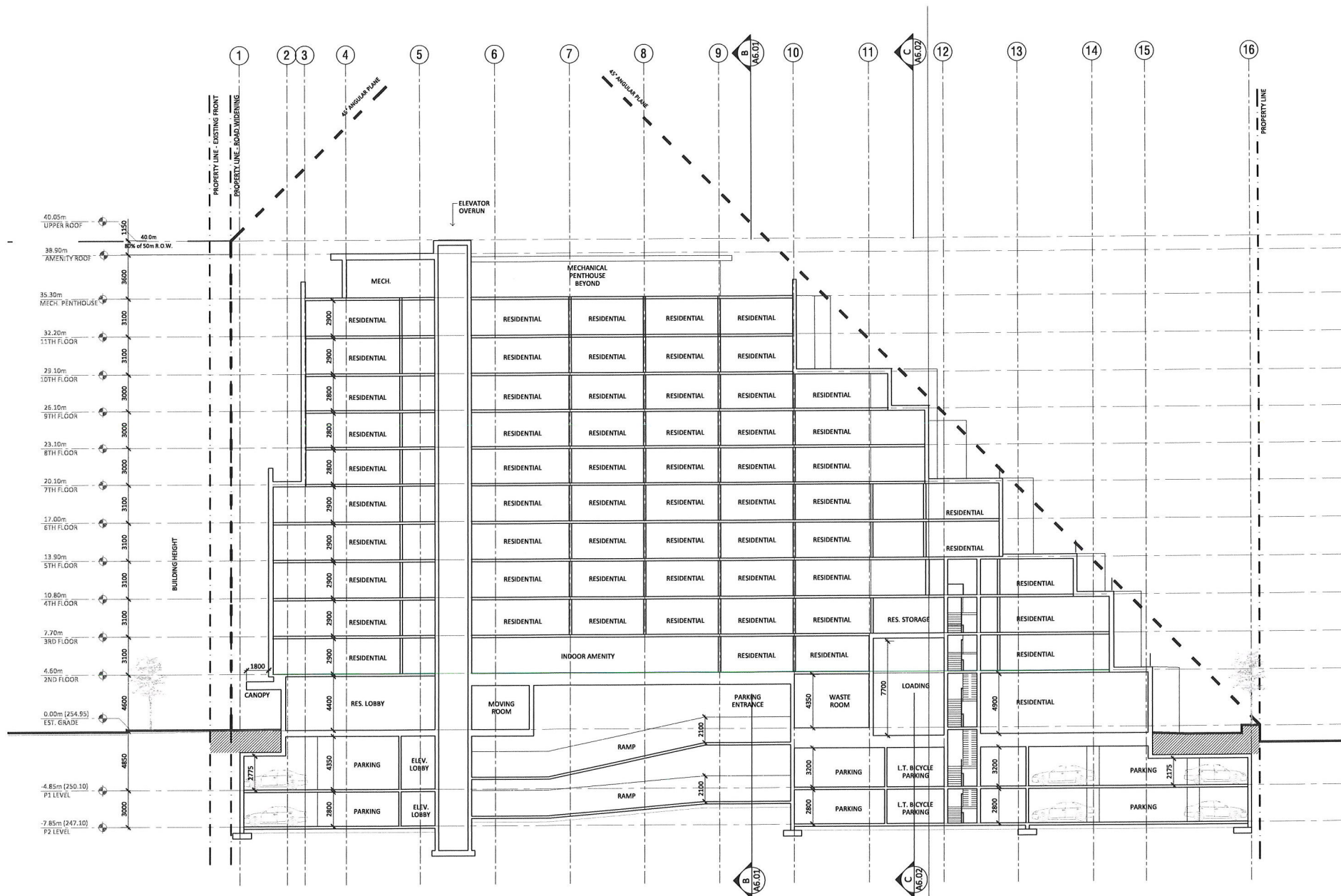
PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12028 Hurontario St. Brampton, ON L6Z 4P6

DRAWING:
ROOF PLAN

DRAWING #:
A3.11-R1

SCALE: 1"=50'
 DESIGN BY: DRAWN BY: CHECKED BY:
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 237, 17th AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8415 FAX: (403) 244-8882
 E MAIL: info@adai.ca

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 TEL: (905) 600-0000
 E MAIL: _____

SUB-CONSULTANTS:
STRUCTURAL
 NAME: _____
 ADDRESS: _____
 CITY, PROVINCE POSTAL: _____ FAX: (905) 600-0000
 TEL: (905) 600-0000
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MECHANICAL
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 ADDRESS: _____
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 TEL: (905) 600-0000
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ELECTRICAL
 NAME: _____
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 TEL: (905) 600-0000
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HVAC
 NAME: _____
 ADDRESS: _____
 CITY, PROVINCE POSTAL: _____ FAX: (905) 600-0000
 TEL: (905) 600-0000
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CIVIL
 NAME: _____
 ADDRESS: _____
 CITY, PROVINCE POSTAL: _____ FAX: (905) 600-0000
 TEL: (905) 600-0000
 E MAIL: _____

LANDSCAPE
 NAME: _____
 ADDRESS: _____
 CITY, PROVINCE POSTAL: _____ FAX: (905) 600-0000
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No.	DATE	DESCRIPTION
1	2024.01.16	ISSUED FOR GEA SUBMISSION
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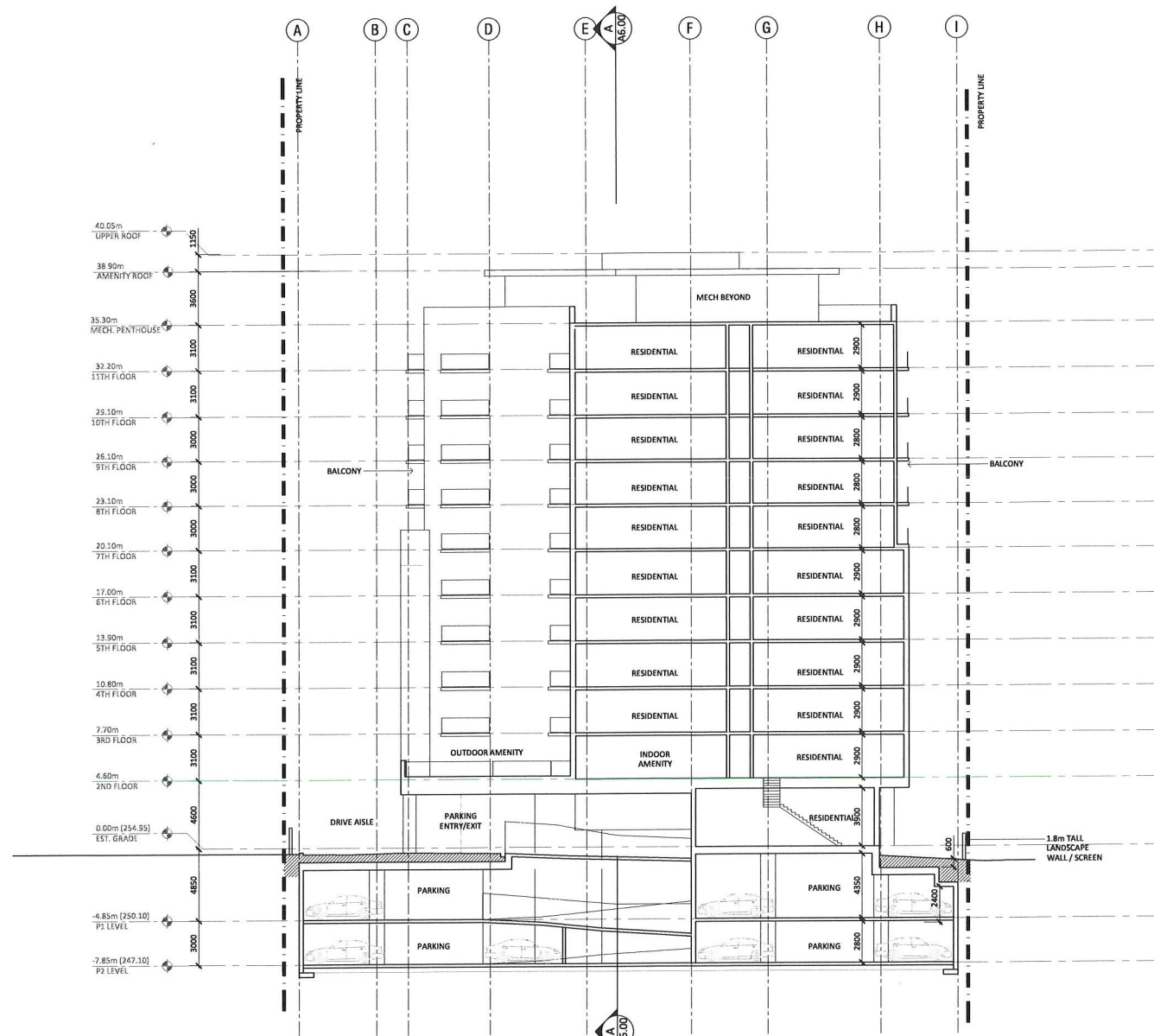
ARUP DATTA ARCHITECT LTD.
 ARCHITECTURE - INTERIOR DESIGN - PLANNING - URBAN DESIGN

PROJECT #: 1701
PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12038 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
SECTION A

DRAWING #:
A6.00-R1

SCALE: 1:150
DESIGN BY: EA **DRAWN BY:** AD **CHECKED BY:** AD



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 CALGARY, ALBERTA T2S 0A8
 TEL: (403) 244-8818 FAX: (403) 244-8882
 E.MAIL: info@adta.ca

LOCAL ARCHITECT:
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SUB-CONSULTANTS:
STRUCTURAL
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 E.MAIL:

MECHANICAL
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 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E.MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E.MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E.MAIL:

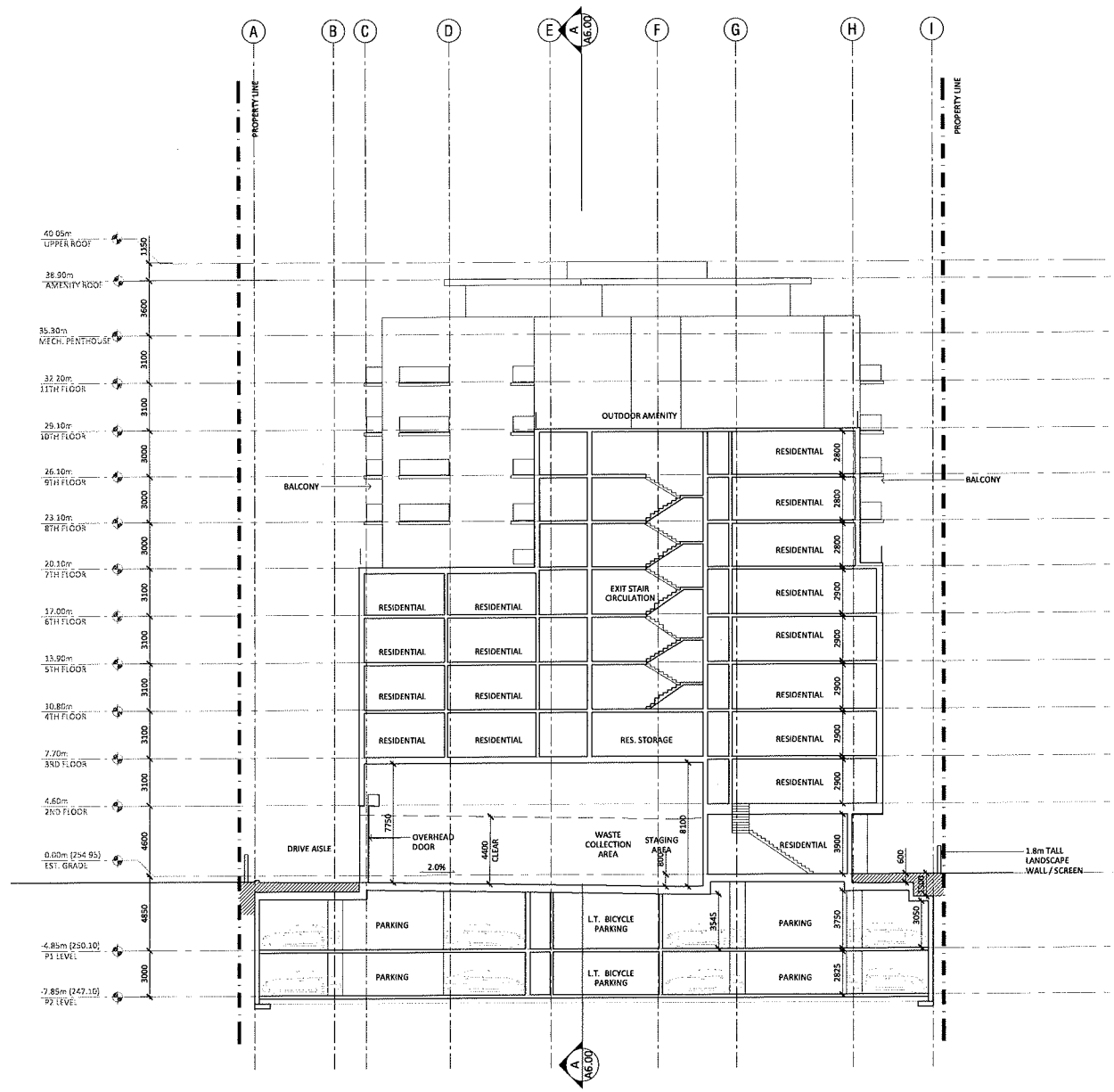
CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E.MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
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No.	DATE	DESCRIPTION
1	2014-02-18	ISSUED FOR CDA SUBMISSION
		ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
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PROJECT #:	1701
PROJECT:	HURONTARIO RESIDENTIAL BUILDING
	12039 Hurontario St, Brampton, ON L6Z 4P8
DRAWING #:	SECTION B
DRAWING #:	A6.01-R1
SCALE:	1:150
DESIGN BY:	EA
DRAWN BY:	AD
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 CALGARY, ALBERTA T2S 0A5
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 E-MAIL: info@arup.ca

LOCAL ARCHITECT:
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 E-MAIL:

SUB-CONSULTANTS:
STRUCTURAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

MECHANICAL
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 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

ELECTRICAL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE, POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
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No.	DATE	DESCRIPTION
1	2014.01.18	ISSUED FOR CONSTRUCTION

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
 ARCHITECTURAL - INTERIOR DESIGN - PLANNING - URBAN DESIGN

PROJECT #: 1701

PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 12025 Hurontario St. Brampton, ON L6Z 4P8

DRAWING:
SECTION C

DRAWING #:
A6.02-R1

SCALE: 1:100
 DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD



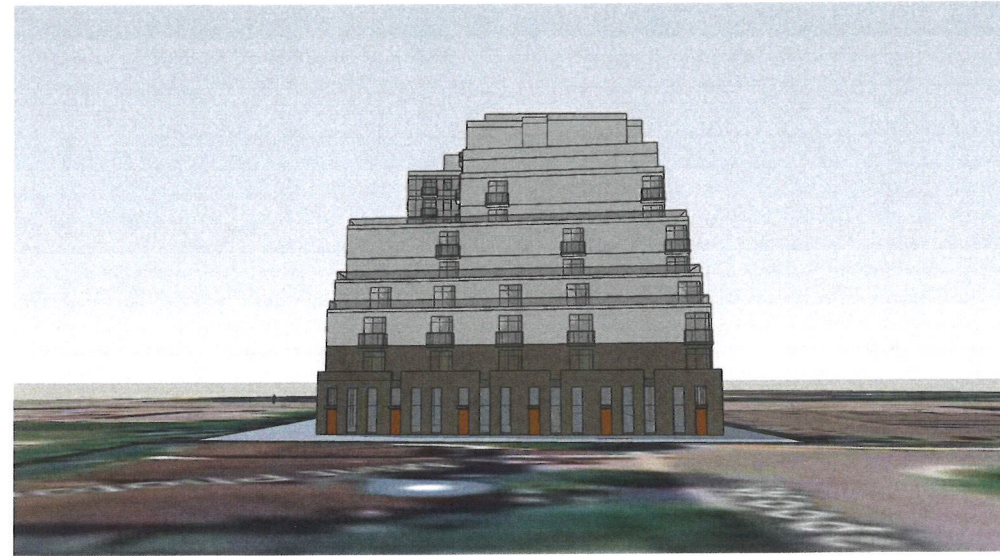
HURONTARIO ST WEST VIEW



HURONTARIO ST SOUTH VIEW



HURONTARIO ST SOUTH VIEW



OLDGATE LANE ELEVATION (REAR)

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LOCAL ARCHITECT:

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E-MAIL:

SUB-CONSULTANTS:

STRUCTURAL

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E-MAIL:

MECHANICAL

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ADDRESS
CITY, PROVINCE POSTAL
TEL: (403) 244-8882 FAX: (403) 244-8882
E-MAIL:

ELECTRICAL

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (403) 244-8882 FAX: (403) 244-8882
E-MAIL:

HVAC

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (403) 244-8882 FAX: (403) 244-8882
E-MAIL:

CIVIL

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (403) 244-8882 FAX: (403) 244-8882
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LANDSCAPE

NAME
ADDRESS
CITY, PROVINCE POSTAL
TEL: (403) 244-8882 FAX: (403) 244-8882
E-MAIL:

No.	DATE	DESCRIPTION
1	2024-02-16	ISSUED FOR CDA SUBMISSION

ISSUED FOR / REVISIONS



PROJECT #: 1701

PROJECT:
HURONTARIO RESIDENTIAL BUILDING
12028 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
PERSPECTIVE VIEWS

DRAWING #:
A7.00-R1

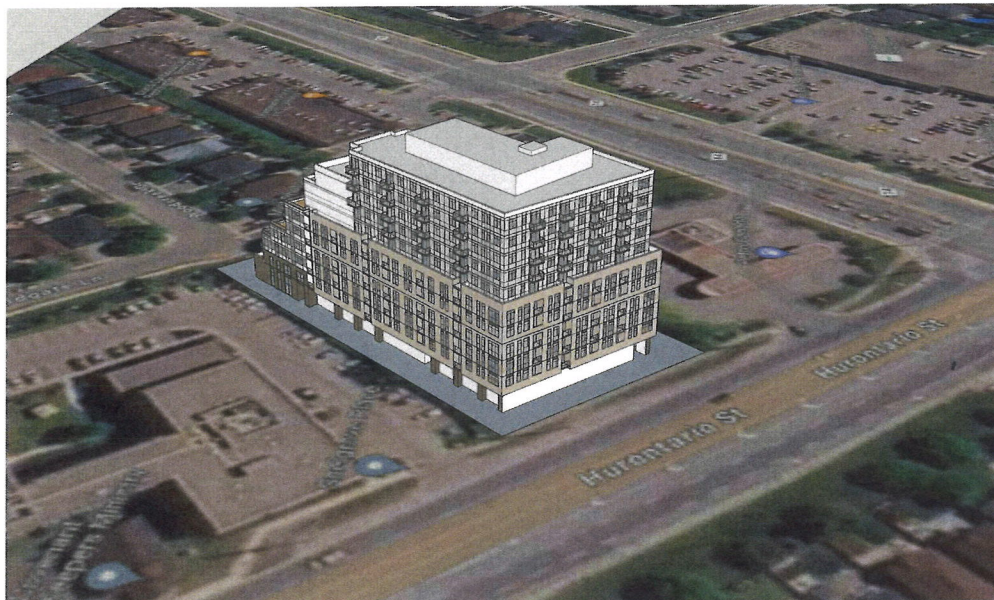
SCALE: N.T.S.
DESIGN BY: DRAWN BY: CHECKED BY:
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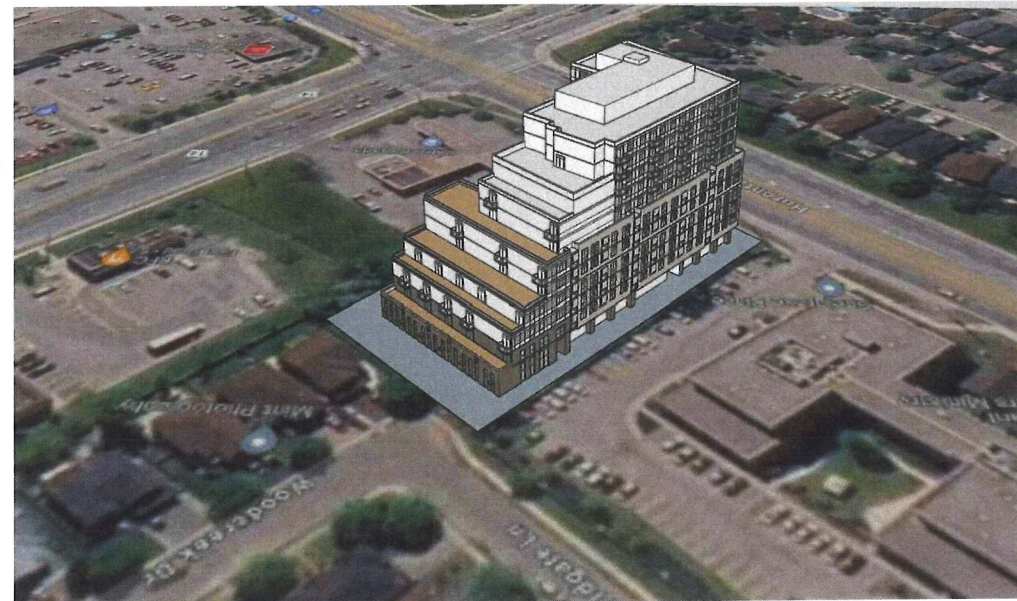
AERIAL VIEW - SOUTH WEST



AERIAL VIEW - SOUTH EAST



AERIAL VIEW - NORTH WEST



AERIAL VIEW - NORTH EAST

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 ARUP DATTA ARCHITECT LTD.
 237-27A AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 248-8818 FAX: (403) 244-8882
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LOCAL ARCHITECT:

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 E-MAIL:

SUB-CONSULTANTS:

STRUCTURAL
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 ADDRESS:
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 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

MECHANICAL
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 TEL: (000) 000-0000 FAX: (000) 000-0000
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ELECTRICAL
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 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

HVAC
 NAME:
 ADDRESS:
 CITY, PROVINCE POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
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CIVIL
 NAME:
 ADDRESS:
 CITY, PROVINCE POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

LANDSCAPE
 NAME:
 ADDRESS:
 CITY, PROVINCE POSTAL:
 TEL: (000) 000-0000 FAX: (000) 000-0000
 E-MAIL:

1 2024.01.16 ISSUED FOR ECA SUBMISSION

No.	DATE	DESCRIPTION
1	2024.01.16	ISSUED FOR ECA SUBMISSION
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ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
 ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1701
 PROJECT:
 HURONTARIO RESIDENTIAL BUILDING
 1939 Hurontario St, Brampton, ON L6Z 4P8

DRAWING:
PERSPECTIVE VIEWS

DRAWING #:
A7.01-R1

SCALE: N.T.S.
 DESIGN BY: AD DRAWN BY: EA CHECKED BY: AD



ARCHITECTURE
INTERIOR DESIGN
MASTER PLANNING
URBAN PLANNING

ARUP DATTA ARCHITECT LTD.

February 16, 2024
Project #1701

Attn: Clara Vani
Committee of Adjustments (COA)
City of Brampton, ON

Dear Madam,

RE: EXPLANATIONS FOR MINOR VARIANCE OF PREVIOUSLY APPROVED OPA-202200106 FOR 12039 HURONTARIO ST., BRAMPTON, ON

We are submitting the application & the required documentation for the minor variance of the above project for the following reasons.

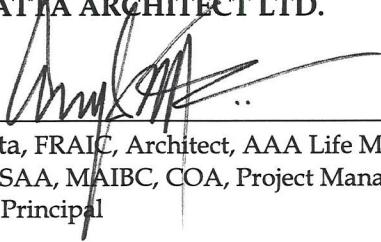
- A. The previously approved SPA-2022-0106 project was sold to our client and upon due diligence they found out that the 2-bedroom units in the approved project is unworkable from marketing point of view and the cost to build was expensive unless major costly structural design changes are done to mitigate the angular 45° plane required by the City's guidelines from the east side.
- B. Hence, we have redesigned the project internally, while keeping exterior of all the sides the same and the stepped east side has been adjusted slightly while fully complying with the 45° angular plane. Please refer to the proposed set of drawings and the previously approved set of drawings for full clarity.
- C. In the proposed design the 2-bedroom units are designed to be larger for better marketability hence our proposed total number of units are 186 compared to 201. However, the GFA has been increased to mitigate the loss of units and hence the increase in height of 2-levels. These additional 2 levels are designed with the 45° angular plan and the overall building still stays within the 12-story height of mid-rise building guidelines for Brampton.
- D. Due to the above changes we have to adjust the parking ratios and the GFA slightly.
- E. Following the approval of the variation in height and the density change we will go for a revised plan application to get parking variance & setbacks on the east side approved.
- F. We are submitting a full package for the proposed design including the 45° angular plane section as well as the final SPA fully approved drawings & the OPA/ZBA approval package for your easy reference.
- G. For the proposed design package, we will provide supplementary drawings elevation & 3D model to further explain the project by next week Wednesday February 21, 2024.

Kindly review and let us know if this is acceptable and also regarding the fees so that we can have our clients pay it to your office from Calgary.

If you require anything else, please call or let me know and we can address right away.

Yours very truly,

ARUP DATTA ARCHITECT LTD.



Arup Datta, FRAIC, Architect, AAA Life Member, FIIA,
MOAA, MSAA, MAIBC, COA, Project Management (Harvard)
President/Principal

**Adoption of Official Plan Amendment OP2006-215 (By-law 85-2022)
and Zoning By-law 86-2022**

12089 Hurontario Street – Ward 2

Date of Decision: April 20, 2022
Date of Notice: April 28, 2022
Last Date of Appeal: May 18, 2022

On the date noted above, the Council of The Corporation of the City of Brampton passed By-law 85-2022, to adopt **Official Plan Amendment OP2006-215, and By-law 86-2022**, to amend Comprehensive Zoning By-law 270-2004, under sections 17 and 34, respectively, of the *Planning Act* R.S.O., c.P.13, as amended, pursuant to an application by 2640267 Ontario Inc. – Black Creek Group, 2797180 Ontario Inc. – Weston Consulting - 12089 Hurontario Street North of Mayfield Road, East of Hurontario Street - Ward 2 (File OZS-2021-0017).

This official plan amendment is exempt from approval by the Region of Peel and the decision of Council is final if a notice of appeal is not received on or before the last day for filing such notice.

The Purpose and Effect of the Official Plan Amendment: to amend the City of Brampton Official Plan, pursuant to an application to redesignate the lands from “Low Density Residential” to “High Density Residential” to permit a residential apartment dwelling.

The Purpose and Effect of the Zoning By-law: to amend comprehensive Zoning By-law 270-2004, as amended, pursuant to an application to rezone the lands from “Agricultural (A)” to “Residential Apartment A – Section 3625 (R4A-3625)” to permit a residential apartment containing approximately 205 units, in accordance with the requirements set out in the By-law.

Location of Lands Affected: north of Mayfield Road and east of Hurontario Street, municipally known as 12089 Hurontario Street.

Obtaining Additional Information: A copy of the by-laws is provided. The complete by-laws and background materials are available for inspection in the City Clerk’s Office during regular office hours, or online at www.brampton.ca. Further enquiries or questions should be directed to Tejinder Sidhu, Development Planner, Planning, Building and Economic Development, at 905-874-2386 or tejinder.sidhu@brampton.ca.

Any and all written submissions relating to this application that were made to Council and the Planning and Development Committee before its decision and any and all oral submissions related to this application that were made at a public meeting, held under the Planning Act, have been, on balance, taken into consideration by Council as part of its deliberations and final decision on this matter.

There are no other applications under the *Planning Act*, pertaining to the subject lands.

When and How to File an Appeal: Any appeal of the official plan amendment or zoning by-law to the Ontario Land Tribunal (OLT) must be filed with the Clerk of the City of Brampton **no later than May 18, 2022**, shown above as the last date of appeal. An appeal form is available from the OLT website at <https://olt.gov.on.ca/appeals-process/forms/>

The Notice of Appeal must:

- (1) set out the reasons for each appeal; and,
- (2) be accompanied by the fee required by the Ontario Land Tribunal in the amount of \$1,100.00 payable by certified cheque or money order to the Minister of Finance, Province of Ontario. A copy of the Ontario Land Tribunal Fee Schedule may be found at <https://olt.gov.on.ca/appeals-process/fee-chart/>

Only individuals, corporations and public bodies may appeal a by-law to the Ontario Land Tribunal (OLT). A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the Council or, in the opinion of the Ontario Land Tribunal, there are reasonable grounds to add the person or public body as a party.

Notice of Appeal may be hand delivered to:

City of Brampton
Office of the City Clerk
2 Wellington St. W.,
Brampton, ON L6Y 4R2
905.874.2114



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 25 -2022

To Adopt Amendment Number OP 2006- 215

To the Official Plan of the
City of Brampton Planning Area

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. Amendment Number OP 2006 – 215 to the Official Plan of the City of Brampton Planning Area is hereby adopted and made part of the Official Plan.

ENACTED and PASSED this 20th day of April, 2022.

Approved as to
form.
2022/04/11
SDSR

Approved as to
content.
2022/04/07
AAP

Patrick Brown, Mayor

MARTIN MEDEIROS, DEPUTY MAYOR

Peter Fay, City Clerk

(OZS-2021-0017)

AMENDMENT NUMBER OP 2006 – 215

To the Official Plan of the
City of Brampton Planning Area

AMENDMENT NUMBER OP 2006 – 215
TO THE OFFICIAL PLAN OF THE
CITY OF BRAMPTON PLANNING AREA

1.0 Purpose:

The purpose of this amendment is to permit the development of a multi-storey apartment building. The amendment re-designates the subject lands from Low Density Residential to High Density Residential in the Snelgrove-Heartlake Secondary Plan (Area 1) as identified on Schedule 'A'.

2.0 Location:

The lands subject to this amendment are located on the east side of Hurontario Street and north of Mayfield Road. The lands are municipally known as 12089 Hurontario Street and are located in Part of Lot 18, Concession 1 in the City of Brampton.

3.0 Amendments and Policies Relative Thereto:

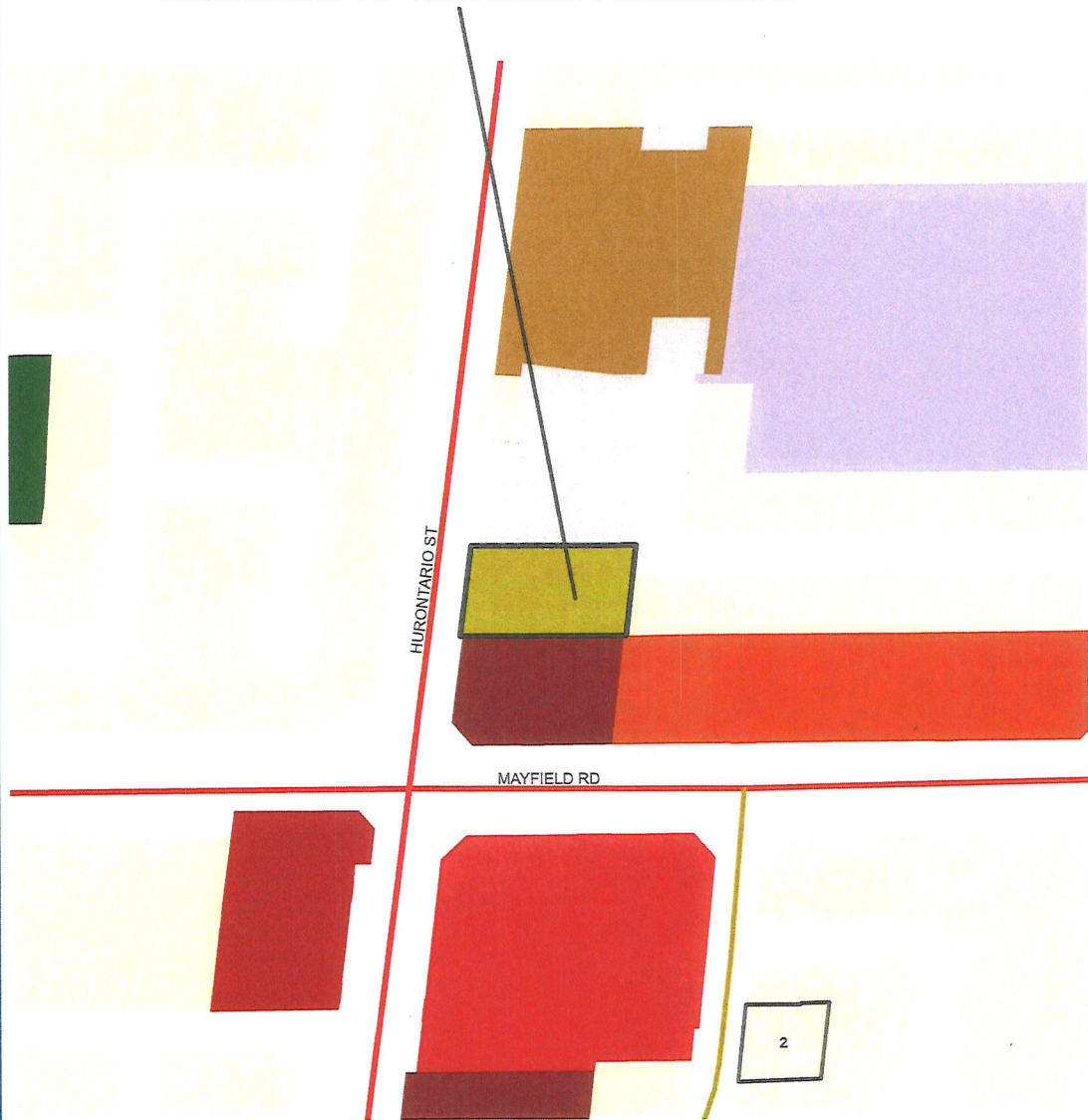
3.1 The document known as the Official Plan of the City of Brampton Planning Area is hereby amended:

- (1) By adding to the list of amendments pertaining to Secondary Plan Area Number 1: Snelgrove-Heartlake Secondary Plan as set out in Part Two: Secondary Plans, thereof, Amendment Number OP 2006- 215

3.2 The document known as Secondary Plan Area 1 – The Snelgrove-Heart Lake Secondary Plan (Part Two: Secondary Plan, as amended, of the City of Brampton Official Plan) is hereby further amended as follows:

- (1) By amending Schedule 1 of the Snelgrove-Heartlake Secondary Plan, as shown on Schedule A to this Amendment, to re-designate the lands from '*Low Density Residential*' to '*High Density Residential*'

LANDS TO BE REDESIGNATED FROM "LOW DENSITY RESIDENTIAL" TO "HIGH DENSITY RESIDENTIAL"



EXTRACT FROM SCHEDULE SP1(A) OF THE DOCUMENT KNOWN AS THE SNELGROVE/HEART LAKE SECONDARY PLAN

COMMERCIAL	EMPLOYMENT	RESIDENTIAL	OPEN SPACE
CONVENIENCE RETAIL	GENERAL EMPLOYMENT 1	LOW DENSITY RESIDENTIAL	NATURAL HERITAGE SYSTEM
DISTRICT RETAIL	GENERAL EMPLOYMENT 2	LOW DENSITY 1 RESIDENTIAL	RECREATION OPEN SPACE
HIGHWAY AND SERVICE COMMERCIAL	PRESTIGE INDUSTRIAL	MEDIUM DENSITY RESIDENTIAL	CEMETERY
HIGHWAY COMMERCIAL		MEDIUM / HIGH DENSITY RESIDENTIAL	PRIVATE COMMERCIAL RECREATION
MIXED EMPLOYMENT COMMERCIAL	INSTITUTIONAL	HIGH DENSITY RESIDENTIAL	
NEIGHBOURHOOD RETAIL	ELEMENTARY SCHOOL	ROADS	UTILITY
SERVICE COMMERCIAL	MIDDLE SCHOOL	COLLECTOR ROAD	UTILITY
SPECIAL SITE AREA	SECONDARY SCHOOL	MINOR ARTERIAL ROAD	
	FIRE STATION	MAJOR ARTERIAL ROAD	
	INSTITUTIONAL	PROVINCIAL HIGHWAY	
	PLACE OF WORSHIP	RAILWAY	





THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 86 - 2022

To amend By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Agricultural (A)	Residential Apartment A – Section 3625 (R4A-3625)

(2) by adding thereto the following Section:

“3625 The lands zoned R4A-3625 on Schedule A to this By-law:

3625.1, Shall only be used for the following purposes:

- (1) Uses permitted in a R4A zone; and
- (2) Purposes accessory to other permitted uses.

3625.2 Shall be subject to the following requirements and restrictions:

- 1) For the purpose of this section, the lot line abutting Hurontario Street shall be deemed the front lot line;
- 2) Maximum Number of Dwelling Units: 205
- 3) Minimum Building Setbacks:
 - a. Front Yard Depth: 3.0 metres
 - b. North Interior Side Yard Width: 4.0 metres
 - c. South Interior Side Yard Width: 7.5 metres
 - d. Rear Yard Depth:
 - i. 8.5 metres to the first storey portion of the building;
 - ii. 8.8 metres to the second storey portion of the building;
 - iii. 11.9 metres to the third storey portion of the building;
 - iv. 14.8 metres to the fourth storey portion of the building;
 - v. 17.7 metres to the fifth storey portion of the building;
 - vi. 20.6 metres to the sixth storey portion of the building;
 - vii. 29.3 metres to the seventh, eighth and ninth storey portion of the building; and
 - viii. 33.8 metres to the mechanical penthouse roof.
- 4) Maximum Building Height: 9 storeys (28.5 metres)

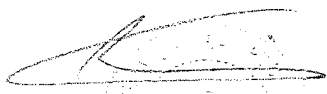
- 5) Notwithstanding Section 3625.2(4), maximum building height excludes the mechanical penthouse, elevator or stairwell shafts, architectural features, or element required for the functioning of the building, which may project beyond the roof surface by a maximum of 5.5 metres.
- 6) Maximum Lot Coverage: 65%
- 7) Maximum Floor Space Index: 3.8
- 8) Minimum Landscape Open Space: 15% of the lot area
- 9) Motor Vehicle Parking:
 - a) For each dwelling unit in an apartment dwelling:
 - (1) Minimum 0.86 parking spaces for residents;
 - (2) Minimum 0.10 spaces for visitors;
 - (3) A maximum of four tandem parking spaces (4) are permitted within an underground parking garage.

ENACTED and PASSED this 20th day of April, 2022.

Approved as to form.
2022/04/11
SDSR

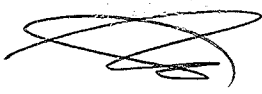
Approved as to content.
2022/04/07
AAP

(OZS-2021-0017)

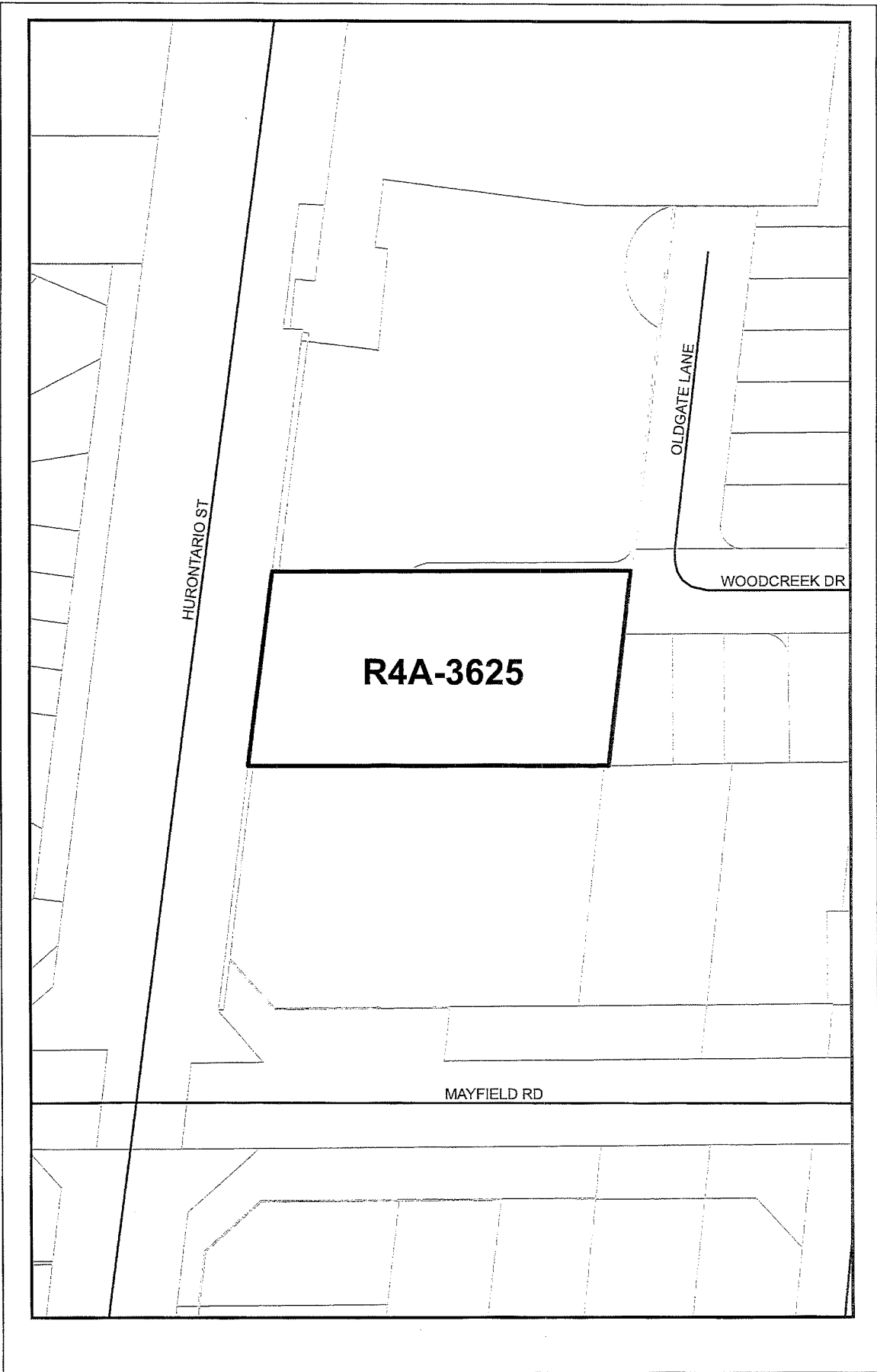


Patrick Brown, Mayor

MARTIN MEDeiros, DEPUTY MAYOR



Peter Fay, City Clerk

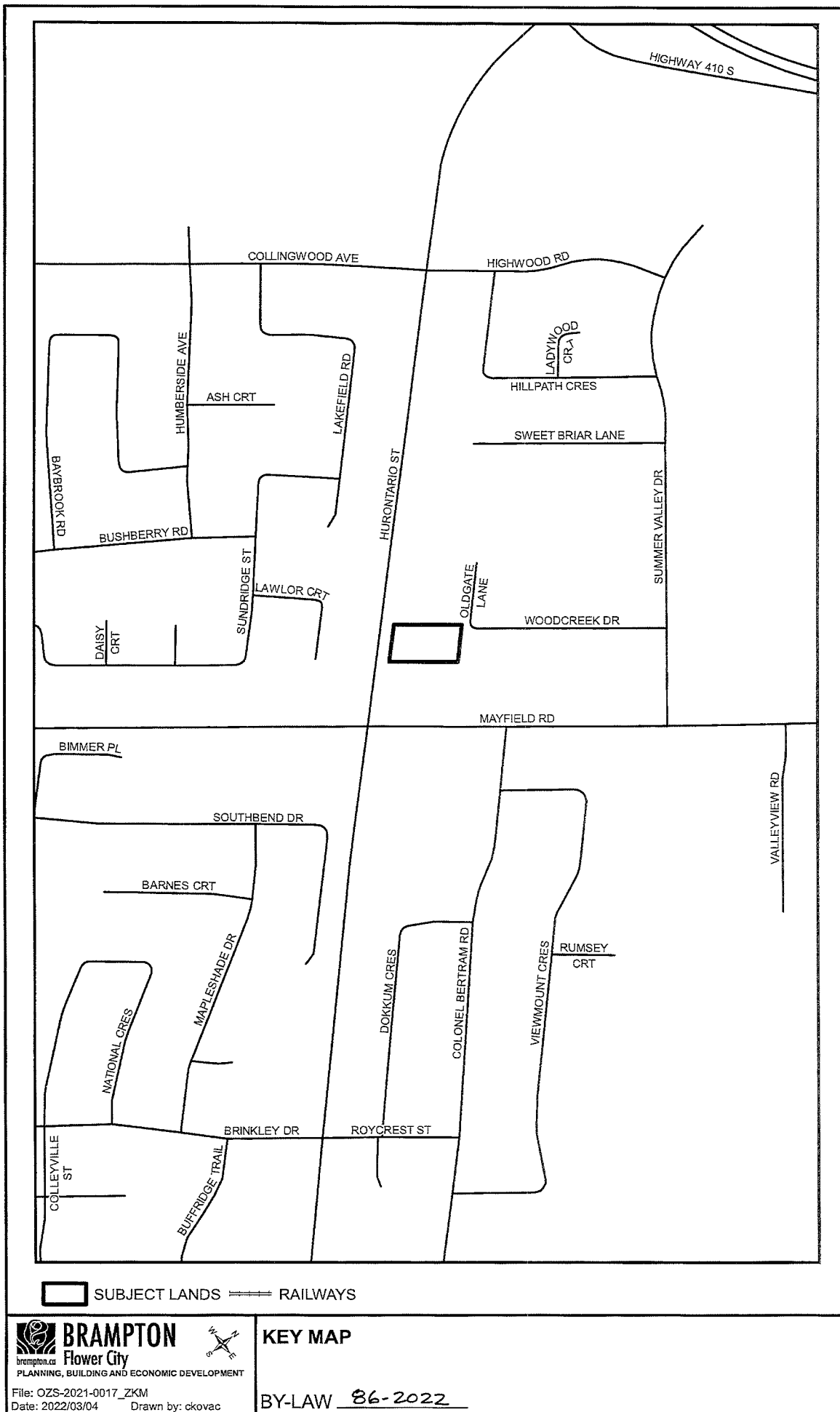


 **BRAMPTON**
Flower City
brampton.ca
PLANNING, BUILDING AND ECONOMIC DEVELOPMENT
File: OZS-2021-0017_ZBLA
Date: 2022/03/04 Drawn by: ckovac

PART LOT 18, CONCESSION 1 E.H.S.

BY-LAW 86-2022

SCHEDULE A



Date: June 27, 2023
TO: Susan Doyle
FROM: Allan A. Parsons
Re: Application for Site Approval
2797180 Ontario Inc.
12035 Hurontario Street
Our File: SPA-2022-0106

Further to the Approval Memo for the above noted application dated May 30, 2023, the Planning Building and Growth Management Department requests that the Approval Memo be amended by deleting Clause 4 c) in its entirety and replacing with the following.

"4 c) Prior to the release of approved site plan drawings, the Owner shall gratuitously convey to the City Part 3 on Plan 43R-40836 for road widening purposes along the entire Hurontario Street frontage and Part 2 on Plan 43R-40836 for a 0.30m reserve along the entire right of way frontage to the satisfaction of the City's Transportation Division and Legal Services Division".

By copy of this memo to the applicant, please note that Ms. Susan Doyle of the Legal Services Department will contact the applicant once the draft site plan agreement has been drafted for execution.

All other information contained in the May 30, 2023 site plan approval memo remains unchanged.

Please contact Tejinder Sidhu of the Development Services Division, at 905-874-2386 with any questions or comments regarding this application.



Allan A. Parsons, MCIP., RPP.
Director, Development Services

Encl(s).

- c. O. Mertiri
- C. Hammond
- A. Vonholt



**Planning, Building, and Growth
Management
Development Services and Design**

C. Durston (Email: admin.development@brampton.ca)
M. Taraborelli
K. DiMartino
A. G. D'Andrea
Michael Vani
Kaveh Wahdat
2797180 Ontario Inc. C/O Jordan Nott



**Planning, Building, and Growth
Management
Development Services and Design**

Date: May 30, 2023
TO: Susan Doyle
FROM: Allan A. Parsons
Re: Application for Site Approval
2797180 Ontario Inc.
12035 Hurontario Street
Our File: SPA-2022-0106

This is to advise that the plans in respect of the above noted project have been approved*, subject to clearance from the Legal and Finance Division, at which point the plans will be signed for release.

Planning staff note that there are no existing site plan agreements registered on title.

The following includes provisions for inclusion in the site plan agreement for the above noted project:

1. Owner: 2797180 Ontario Inc.
2. Legal Description: Part of Lot 18, Concession 1 EHS Chinguacousy as in R0559034; Brampton
3. Approval Plans: see attached Schedule B
4. Special Clauses:
 - a) Prior to the release of the approved plans the owner shall deposit a security in the amount of \$583,000.00 for the following purposes:

Open Space Design & Construction:	Landscaping: \$543,000.00
Engineering & Development Services:	Engineering: \$40,000.00
	a) Lot Grading and Drainage \$ 15,000
	b) Works within City's Right-of-Way \$ 1,250
	c) Retaining/Toe Wall Construction \$ 23,750
 - b) The Owner acknowledges and agrees that should any archaeological resources be discovered they may constitute a new archaeological site, and therefore be subject to Section 48 (1) of the Ontario Heritage Act. Upon the discovery of the archaeological resource(s) any alteration of the Lands must immediately be ceased, a licensed archaeologist shall be engaged to carry out the archaeological

field work in compliance with Section 48 (1) of the Ontario Heritage Act, and the Policy Division (Heritage Section) of the City's Planning and Development Services Department shall be notified. The Owner acknowledges and agrees that the Funeral, Burial and Cremation Services Act, 2002 requires any persons discovering human remains to notify the police or coroner and the Registrar of Cemeteries at the Ministry of Government and Consumer Services. No further work will be permitted on the Lands until such permission, in the form of a written notice from the City is provided to the Owner. The Owner agrees that it releases and forever discharges the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law, from any and all claims, demands, actions, cause of actions and other proceedings and any liability for damages, costs and expenses for or relating to any loss which the Owner may suffer arising out of, incidental to, or in connection with (a) an archaeological assessment(s) and/or field work that is inaccurate, incomplete, misleading or fraudulent; or (b) the issuance of any written notice from the Policy Division (Heritage Section) of the City's Planning and Development Services Department permitting the Owner to continue to work on the Lands; or (c) the period of time during which the Owner is not allowed to work on the Lands. The Owner further agrees to indemnify and forever save harmless the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law from and against any claim, suit, demand, causes of action, and proceedings by whomsoever made or brought, in respect of any costs, expenses, loss, damage or injury including death as well as legal fees arising out of, incidental to or in connection with items (a), (b), or (c) listed immediately above.

- c) Prior to the release of approved site plans the owner shall convey a 1.7m right of way widening along the entire Hurontario Street frontage to the City. In this regard, the Owner shall submit to the Transportation Division for approval and copy Legal Services:
 - i. a draft reference plan;
 - ii. a draft reference plan overlaid onto the proposed site plan, showing only the subject site, depicting a separate part(s) for the lands to be conveyed;
 - iii. a memorandum setting out the part(s) on the draft reference plan that are to be conveyed to the Transportation Division and copied to the Legal Services Division; or
 - iv. a lot schedule;
 - v. upon approval of the draft reference plan by the Transportation Division, deposited copies are to be provided to the Transportation Division and Legal Services.
- d) The owner acknowledges and agrees that the access to Hurontario Street may be restricted to right in/out movements only in the future, if requested by the City. The Owner covenants and agrees that the Owner hereby waives and releases the City

from any claim for compensation, injurious affection or other damages, claims, demands, losses, costs, suits or other proceedings by anyone, arising or which may arise as a result of such access restrictions and limitations.

- e) The Owner shall ensure that all entrances to the site, the road curb and sidewalk will be continuous through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb depression will be provided for at each entrance. Access construction as per City of Brampton Standard # 237;
- f) The owner shall ensure that all above-ground utilities are offset a minimum distance of 1.5 meters from the proposed driveway and indicate as such on a revised site plan. The Owner shall pay all costs associated with the removal and relocation of any above ground utilities and the Owner further shall release and forever discharge the City from and against all claims the Owner may have arising out of the removal and/or relocation of any above ground utility;
- g) The owner must obtain a Road Occupancy and Access Permit from the City of Brampton's Road Maintenance & Operations Section at least two weeks prior to construction of works within the city's road allowance;
- h) On-site sign installations and pavement markings are to be maintained by the owner and/or modified or refreshed at the City's request.

Alectra Utilities

- i) That the Owner grant all necessary aerial or underground easements, as may be required to Alectra Utilities Corporation.
- a) The Owner acknowledges that they shall observe all aerial and underground clearances as may be required by Alectra Utilities Corporation.
- b) The Owner acknowledges that Alectra Utilities Corporation provides one point of connection per legally severed lot. The designer will need to design this and any future extensions from a single distribution point.
- c) The Owner acknowledges that the maximum transformation capacity supplied by Alectra Utilities Corporation is 3,000 kVA.
- d) Anticipated capacity is not guaranteed and must be confirmed with Alectra Utilities Brampton. If capacity is available, it is provided on a first come first serve basis and the applicant is responsible for any expansion costs when the system capacity would have to be enhanced/expanded due to the applicant's loading requirements.

Bell

- j) The Owner acknowledges and agrees to convey any easement(s) as deemed necessary by Bell Canada to service this new development. The Owner further agrees and acknowledges to convey such easements at no cost to Bell Canada.

- k) The Owner agrees that should any conflict arise with existing Bell Canada facilities where a current and valid easement exists within the subject area, the Owner shall be responsible for the relocation of any such facilities or easements at their own cost.

Rogers

- l) That the Developer/Owner will, at its own cost, grant all necessary easements and maintenance agreements required by those CRTC-licensed telephone companies and broadcasting distribution companies intending to serve the Site Plan (collectively, the "Communications Service Providers"). Immediately following registration of the Site Plan, the Developer/Owner will cause these documents to be registered on title.

Enbridge

- m) The owner acknowledges that they shall contact Enbridge Gas Inc.'s Customer Connections department by emailing SalesArea20@Enbridge.com to determine gas availability, service and meter installation details and to ensure all gas piping is installed prior to the commencement of site landscaping (including, but not limited to: tree planting, silva cells, and/or soil trenches) and/or asphalt paving.
- n) The owner acknowledges that if the gas main needs to be relocated as a result of changes in the alignment or grade of the future road allowances or for temporary gas pipe installations pertaining to phased construction, all costs are the responsibility of the applicant
- o) The owner acknowledges that in the event that easement(s) are required to service this development, and any future adjacent developments, the owner will provide the easement(s) to Enbridge Gas Inc. at no cost.

Enclosed is a copy of the approved* site plan for your record.

By copy of this memo to the applicant, please note that Ms. Susan Doyle of the Legal Services Department will contact the applicant once the site plan agreement has been drafted for execution. Also copies of the precedent letter of credit and insurance certificate will be provided at that time along with legal fee requirements. Also note that Mrs. Colleen Durston, of the Development Administration Section, will confirm if a cash payment in lieu of parkland dedication is required. If a payment is required, Realty Services Section will determine the amount to be paid prior to building permit issuance. Please note that the calculation of this payment may be subject to an update prior to the Building Permit issuance.

Please contact Tejinder Sidhu of the Planning, Building, and Growth Management Department, at 905-874-2386 with any questions or comments regarding this application.

* denotes that approval of the plans is conditional upon the Owner satisfying the noted legal requirements (including site plan agreement execution and payment of legal fees), and financial requirements (posting of securities and confirmation of insurance).



Allan A. Parsons, MCIP., RPP.
Director, Development Services

Encl(s).

- c. O. Mertiri
- C. Hammond
- A. Vonholt
- C. Durston (Email: admin.development@brampton.ca)
- M. Taraborelli
- Kelly DiMartino
- A. G. D'Andrea
- Michael Vani
- Kaveh Wahdat
- 2797180 Ontario Inc. C/O Jordan Nott



**Planning, Building, and Growth
Management
Development Services and Design**

Zoning Non-compliance Checklist

File No.
~~A-2022-~~

A 2024-0072

Applicant: Wave Homes
 Address: 12039 Hurontario Street
 Zoning: R4A 3625
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
BUILDING HEIGHT	To permit a building height of 38.90 metres	Whereas the by-law requires 9 storeys (28.5)	
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR			
BUILDING SIZE			
SIDE DOOR			
COVERAGE			
PARKING			
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
SCHEDULE 'C'			
FENCE HEIGHT			

Rose Bruno
 Reviewed by Zoning

February 27, 2024
 Date