

Cultural Heritage Impact Assessment

7699 Creditview Road

Churchville Heritage Conservation District

City of Brampton, Ontario

October 2023



Owner: Ray Guinness



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1.0 Executive Summary

This Heritage Impact Assessment (HIA) has been prepared for the property owner of 7699 Creditview Road at the request of the City of Brampton to determine if the proposed addition poses negative impact to the subject property, the designated heritage properties around it and within the Churchville Heritage Conservation District (CHCD).

The Churchville Heritage District Plan was prepared under Part V of the Ontario Heritage Act for the City of Brampton in May of 1990 and was adopted by City Council on October 10, 1990. The heritage district was subsequently created by By-Law 219-1990. The office consolidation incorporates all modifications and referrals made by By-Law 243-2007 that was approved by the Ontario Municipal Board on September 11, 2009 and November 25, 2009.

The existing house at 7699 Creditview Road does not have cultural heritage value in an of itself other than as a modest sized dwelling on as large rural lot. The architectural style is not one recognized within the CHCD. The property makes a contribution in contextual cultural heritage value to this part of Creditview Road streetscape with its typical frontage and deep lot with landscape features in the form of mature trees and sloping topography down to the rivers edge and helps define the character of the area. These attributes are visually linked to its surroundings - what the Churchville HCD Plan describes as the “fine scenic views over the surrounding landscape, and the ever-present influence of the Credit River and its steep valley”.

It is noted that there appears to be errors on the elevations (A200) as there is an unexplained double line lacking cladding and another line vertically between the upper windows that do not appear to be shown or explained in the balance of the drawing set and should be corrected.

It is recommended that the proposed roofline be altered to reflect the same 6”/12” roofline of the existing dwelling rather than the proposed 5”/12” and 2 ½”/12” rooflines. The hood above the front door would benefit front a lower pitch as well to further reflect the low horizontal lines of the existing dwelling.

As the second floor of the proposed addition is over symmetrically placed garage doors it is recommended that the windows above be centred above each door with windows similar to one another to provide some balance. The windows on the upper left are separated rather than coupled like the other windows on the façade of the existing dwelling and are recommended to be coupled.

It is recommended that the cladding for the addition be a close match and oriented on the addition in the same horizontal pattern as the existing dwelling.

The proposed addition has been objectively assessed as it is currently proposed and while RHC has recommended some alterations to the design otherwise anticipates no negative impacts to the cultural heritage value of the subject property and the Churchville HCD.

Client/Proponent Contact Information

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2.0 Study Rationale and Methodology

The property owner has been required by the City of Brampton to submit a Cultural Heritage Impact Assessment (CHIA) as part of a complete application for approval of a proposed addition to the property at 7699 Creditview Road.

The CHIA Terms of Reference specifies the content required in such an assessment. This Cultural Heritage Impact Assessment (CHIA) was undertaken according to guidelines set out in the Ontario Ministry of Heritage, Sport, Tourism and Cultural Industries' booklet "Heritage - Resources in the Land Use Planning Process" from the *Ontario Heritage Toolkit*. A Cultural Heritage Impact Assessment is a study that:

- evaluates the significance of a cultural heritage resource;
- determines the impact that a proposed development or site alteration will have on a cultural heritage resource;
- recommends an overall approach to the conservation of the cultural heritage resource.

Several site inspections have occurred for the property in both 2022 and 2023 with the photographic documentation was undertaken by Robinson Heritage Consulting on Tuesday, November 8, 2022. The day of the inspection was cool and sunny.

3.0 Legislation and Policy Framework

3.1 Planning Act

Part 1, Section 2 of the Ontario Planning Act identifies matters of provincial interest, which include the conservation of significant features of architectural, cultural, historical, archaeological, or scientific interest. One of these provincial interests is directly concerned with:

2.(d) the conservation of features of significant architectural, cultural, historical, archaeological, or scientific interest.

Section 3 of the Planning Act allows the Province to issue policy statements on matters of provincial interest. In respect of the exercise of any authority that affects a planning matter, Section 3 of the Planning Act requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act.

3.2 Provincial Policy Statement 2020

The Provincial Policy Statement (issued under the authority of Section 3 of the Planning Act) was introduced in 2005 and updated in 2014 and 2020. PPS (2020), Section 2: Wise Use and Management of Resources, states that

Ontario's long-term prosperity, environmental health, and social well-being depend on conserving biodiversity, protecting the health of the Great Lakes, and protecting natural heritage, water, agricultural, mineral, and cultural heritage, and archaeological resources for their economic, environmental, and social benefits.

Policy 2.6.1, in Section 2.6: Cultural Heritage and Archaeology, states that “significant built heritage resources and significant cultural heritage landscapes shall be conserved”.

2.6.3 Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be

conserved. Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.¹

The 2020 Provincial Policy Statement provides definitions of key terms in the heritage planning process.²

Built heritage resource: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Conserved: means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or Cultural Heritage Impact Assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Heritage attributes: means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property). Heritage attributes

¹ <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>

² <https://www.ontario.ca/document/provincial-policy-statement-2014/60-definitions>

may also have what are defined in the federal Standards and Guidelines for the Conservation of Historic Properties in Canada as *character-defining elements* or the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained to preserve its heritage value.³

3.3 Ontario Heritage Act

Typically, the significance of a heritage conservation district is identified by evaluation criteria that define cultural heritage value or interest to local, provincial, or federal jurisdictions. Criteria to define local cultural heritage significance is prescribed in Ontario Regulation 569/22 made pursuant to section 41(1) (a) of the Ontario Heritage Act.

3.3.1 Ontario Regulation 569/22

Any defined area within a municipality may be designated as a heritage conservation district under subsection 41 (1) of the Ontario Heritage Act if at least 25 per cent of the properties within the defined area satisfy two or more of the following criteria:

1. The properties have design value or physical value because they are rare, unique, representative or early examples of a style, type, expression, material or construction method.
2. The properties have design value or physical value because they display a high degree of craftsmanship or artistic merit.
3. The properties have design value or physical value because they demonstrate a high degree of technical or scientific achievement.
4. The properties have historical value or associative value because they have a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community.

³ <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

5. The properties have historical value or associative value because they yield, or have the potential to yield, information that contributes to an understanding of a community or culture.
6. The properties have historical value or associative value because they demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The properties have contextual value because they define, maintain or support the character of the district.
8. The properties have contextual value because they are physically, functionally, visually or historically linked to each other.
9. The properties have contextual value because they are defined by, planned around or are themselves a landmark.

The assessment of potential impact by development on cultural heritage resources is guided by the Ministry of Heritage, Sport, Tourism and Cultural Industries (MHSTCI) InfoSheet #5 – *Cultural Heritage Impact Assessments and Conservation Plans* contained within *Ontario Heritage Tool Kit* booklet *Cultural Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*.⁴

Robinson Heritage Consulting recognizes the Ministry of Heritage, Sport, Tourism and Cultural Industries (MHSTCI) InfoSheet #5 which describes “Principles in the Conservation of Historic Properties” as:

Respect for Documentary Evidence

Do not base restoration on conjecture.

Respect for Original Location

⁴ http://www.mtc.gov.on.ca/en/publications/Heritage_Tool_Kit_Heritage_PPS_infoSheet.pdf. As indicated above, the Provincial Policy Statement was updated in 2020.

Do not move buildings unless there is no other means to save them.

Respect for Historic Material

Repair/conservate rather than replace building materials and finishes, except where necessary.

Respect for Original Fabric

Repair with like materials.

Respect for the Building's History

Do not restore to one period at the expense of another period.

Reversibility

Alterations should allow a resource to return to its original conditions.

Legibility

New work to be distinguishable from old.

Maintenance

With continuous care, future restoration will not be necessary.

Negative impacts on a cultural heritage resource identified in Ministry of Heritage, Sport, Tourism and Cultural Industries (MHSTCI)

InfoSheet #5 include, but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;

- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

Ministry of Heritage, Sport, Tourism and Cultural Industries (MHSTCI) InfoSheet #5 recommends methods of minimizing or avoiding a negative impact on a cultural heritage resource. These include, but are not limited to:

- Alternative development approaches
- Isolating development and site alteration from significant built and natural features and vistas
- Design guidelines that harmonize mass, setback, setting, and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations
- Buffer zones, site plan control, and other planning mechanism

3.4 City of Brampton Official Plan (Consolidation September 2020)

Following its description of how Cultural Heritage Impact Assessments are required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource, the City of Brampton's Official Plan Policy 4.10.1.11 states that:

A Cultural Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.⁵

⁵ [City of Brampton Official Plan \(Consolidation September 2020\)](#), page 4.10-4.

3.5 Churchville Heritage Conservation District

The Churchville Heritage Conservation District is protected by By-law 218 which was passed on October 10, 1990. The designation was approved by the Ontario Municipal Board under the 1980 Ontario Heritage Act on May 2, 1991 (M900143). This By-law was amended in 2002 (By-law 221-2002) to change the boundary of the district to “exclude lands that will accommodate the development adjacent to the Village proper”.

By-law 22090 was passed on October 10, 1990 established the Churchville Heritage Conservation District Advisory Committee. The Heritage Conservation District Plan contains sections on: the objectives of the district; conservation guidelines; guidelines for alterations, additions and new construction; landscape conservation and enhancement; and a description of landscape units.

The Churchville Heritage Conservation District is bounded by Steeles Avenue in the north, Highway 407 to the south and the Canadian Pacific Railway tracks to the east, in the west the district extends one lot past Creditview Road. The district consists of 84 properties and a large area belonging to the Credit Valley Conservation Area. These properties are primarily residential buildings. Also included in the district are a cemetery, a public building and a bridge.

From Section 2.1 of the Heritage Conservation District Plan: District Character: A Summary

The Village of Churchville is located in a particularly scenic portion of the Credit River Valley. Dominated by its rural setting and modest vernacular buildings this settlement area has undergone significant changes since it was first inhabited by settlers almost 160 years ago. The copious supply of water accounted for a thriving milling centre initially focused on the lumber industry and later wheat. A variety of typical uses and associated buildings accompanied the growth of Churchville, but several economic downturns and a disastrous fire accounted for the demise of this once prosperous centre. A number of buildings, however, did survive to the present day. Built predominately of timber frame, they represent a local tradition of vernacular rural structures. Some have been altered over the years with the addition of a variety of new synthetic claddings. Despite these changes these types of buildings are now becoming scarce within Brampton as urban development rapidly encroaches upon adjacent rural areas. The rural character of

Churchville provides a distinctive context for these buildings. Narrow tree-lined roads, scenic views over the surrounding landscape, and the ever present influence of the Credit River and its steep valley sides provides a great diversity in a relatively small area⁶

⁶ Churchville Heritage Conservation District Plan, David Cuming and Associates, Unterman McPhail Heritage Resource Consultants and Wendy Shearer Landscape Architect Limited (1990)

4.0 Historical Summary

The following historical summary is not exhaustive and provides context and is based on the information available at the time of this report and does not reflect the history or peoples in detail or entirety.

4.1 Indigenous Peoples

With the receding of the continental glacier, the Laurentide Ice Sheet, that had covered most of North America approximately 12,500 years ago small groups of nomadic indigenous people made their way into the area following the animals they hunted. It was around 5,000 years ago that they formed settlements that were often seasonal to forage, fish and trade with the population of predominately Algonquin speaking people reaching approximately 10,000 by 500 CE.

Agricultural practices in southern Ontario began with the planting of maize by Iroquoian speaking people approximately 1,400 years ago that had moved north into the area from New York state. This resulted in the formation of permanent settlements typically consisting of longhouses surrounded by wooden stockades adjacent to the planted fields.

Figure 1 - Detail Plan of the Indian Reserve, River Credit 1849 (Peel Archives at PAMA).



The Iroquois continued moving northward joining the Huron-Wendat and forming a Confederacy in Huronia that would eventually dissolve due to warfare and disease brought by European settlers. The Haudenosaunee followed this migration moving north into southern Ontario from New York State establishing villages the area of present-day Toronto.

This migration to and from areas continued with the Algonquian speaking Anishinaabe people moving south into southern Ontario establishing settlements and developing an alliance with the Haudenosaunee who returned to the New York state area.

RHC recognizes and acknowledges that the subject property is within Treaty 19 (dated 1818) land and is Treaty Territory of the Mississauga's of the Credit First Nation, and before them, the traditional territory of the Haudenosaunee, Huron and Wendat.

4.2 European Settlement

In 1793, an Inn known as the “Government House” was established at the mouth of the credit by the British as a waystation for couriers travelling between Niagara and York. In 1805, the British formed a treaty with the Mississauga peoples known as the southern portion of the “Mississauga Tract”. These lands ran from Lake Ontario in the south, Etobicoke Creek in the east and Burlington Bay on the west and all the way north to what

Figure 2 - Government House, mouth of the Credit River. A History of Peel County to Mark its Centenary as a Separate County, 1867-1967, Peel Archive at PAMA.

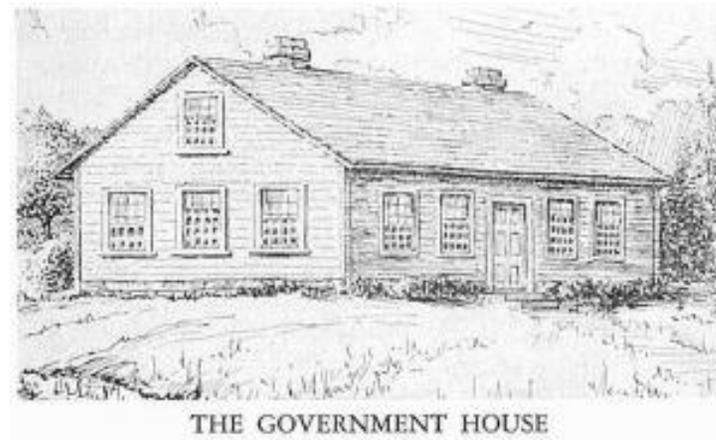


Figure 3 - 1818 Second Purchase (Peel Archives at PAMA).



would be the Second Concession north of Dundas Street. It took only a year to divide the lands into townships and have it surveyed for settlement. The township closest to modern Peel Region was known as Toronto Township.

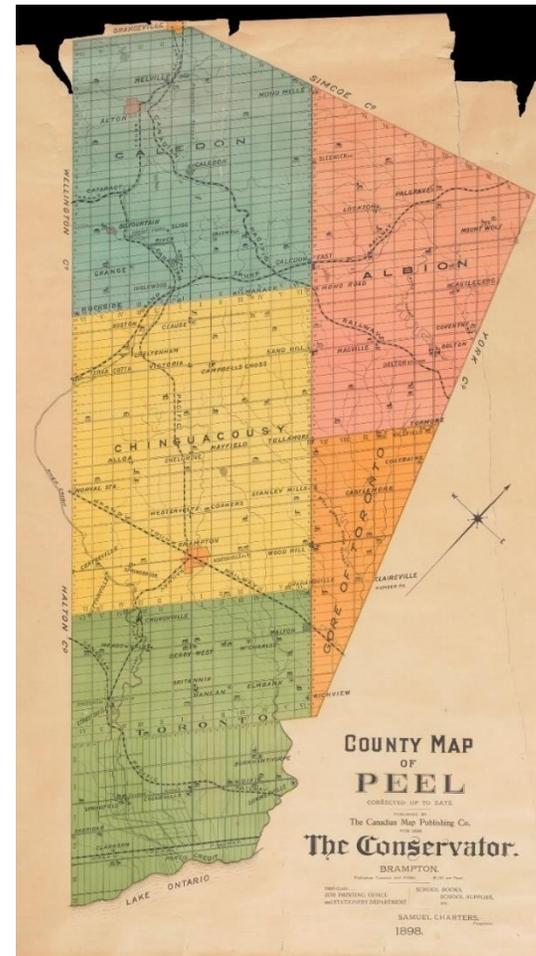
4.3 Peel County

Named for the British politician Sir Robert Peel (1788-1850) who held both the roles of Home Secretary and Prime Minister of Great Britain, this county was created in 1852 as part of the United Counties of York, Peel and Ontario.

The County of Peel comprised of the townships of Chinguacousy, Toronto Gore, Caledon, Toronto and Albion until 1854 when Ontario County separated followed by York and Peel separating in 1867. From 1850, each township was able to manage their own local affairs through the election of a council. Originally settled in the rural fabric of farmers and small crossroad communities with grist and/or woolen mills often at their centre. Peel County eventually saw some of these communities grow in prominence due to the establishment of railway.

Growth and urbanization continued though the next century and in 1974 the old County was dissolved, and a new regional government established. This upper tier had increased responsibilities over the former county including those for paramedic, policing, public health, long term care and waste

Figure 4 -County Map of Peel, 1898.. (PAMA)



management. At this time the five former townships were amalgamated into the cities of Mississauga, Brampton and the Town of Caledon and as lower tier governments were responsible for firefighting, parks and recreation, tax collection, libraries and public transit.

The region has grown significantly over the years into large diverse urban centres.

4.4 Land Registry and Census Information and Historical Maps

A study of the land title abstracts and historical maps from 1859 and 1877 produced the following background history relating to lands that include what is now the subject property of this assessment.

The patent from the Crown for Lot 14 in Concession 3 west of Hurontario Street (100 acres) in the Township of Toronto was received by Robert Moore on October 19, 1821. After the property changed hands several times Alexander Burns purchased 75 acres within Lot 14 for £325 in 1837. Alexander Burns' will dated 1864 transferred ownership of the 75 acres to William Burns. Tremaine's Map of the County of Peel (1859) and the Illustrated Atlas of Peel County (1877) show William Burns as owner of the west half of Lot 14 in Concession 3 WHS (Figure 5).

In January 1870 a plan for the Village of Churchville was registered as TOR-11 and included parts of the west half of Lot 14 in Concession 3 WHS. The subject property is the north part of Lot 5 within Plan TOR-11 (Figure 6).

Figure 5 – (Left) Detail from Tremaine's Map of the County of Peel, 1859; (Right) Detail from map of Toronto Township (from Illustrated Historical Atlas of the County of Peel, 1877

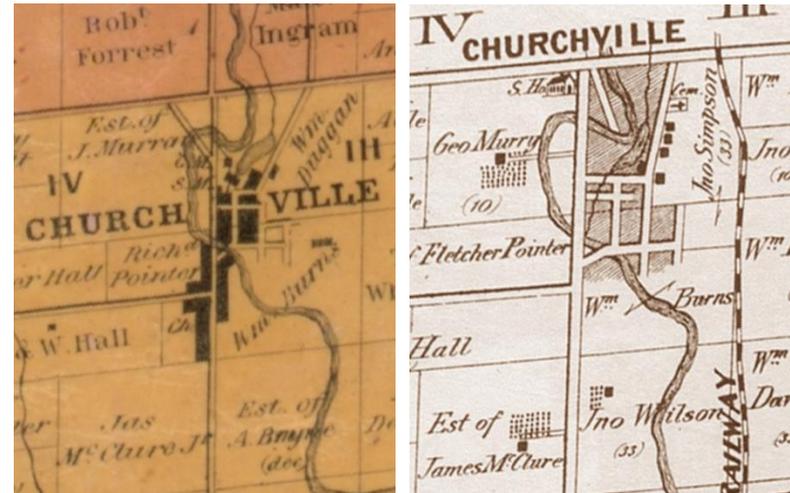
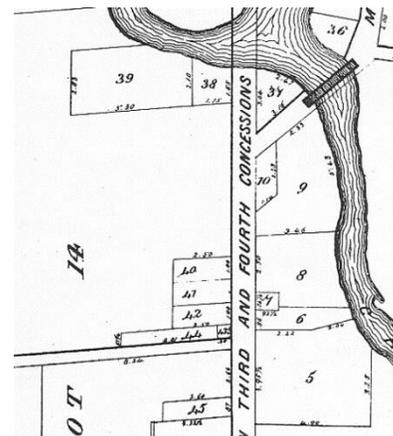
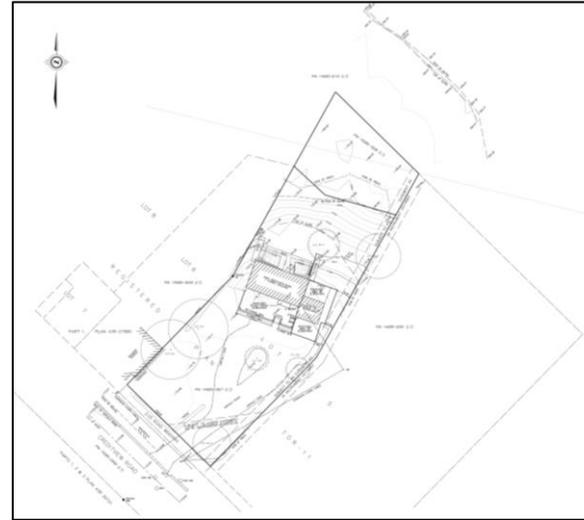


Figure 6 – Location of Lot 5 on Plan TOR-11 (from Illustrated Historical Atlas of the County of Peel, 1877)



The land title abstracts indicate that the subject property (7699 Creditview Road) as shown in a recent topographical survey drawing (Figure 7) is the smaller of two properties created from Lot 5 about 1969, the larger being 7695 Creditview Road.

Figure 7 - Topographical Survey of Part of Lot 5, Registered Plan TOR-11. (J. D. Barnes Limited, dated August 5, 2021)



5.0 Subject Property

5.1 Property Description

7699 Creditview Road is a large, irregular village lot on the north side of Creditview Road that gently slopes down to the Credit River. The lots on this part of Creditview road are predominately large village lots with residential use.

The wide Creditview Road and long asphalt driveway comes in on an angle before dividing and becoming double wide around a single spruce tree. A cedar hedge is located on the west side of the driveway closest to the road and a line of mature trees flank the east side of the driveway where it divides.

Figure 8 - Location of 7699 Creditview Road (indicated by dashed line). Image: City of Brampton Mapping.)



Figure 9 - 7699 Creditview Road as seen from the bottom of the driveway looking into the property. (RHC 2022)



Figure 10 - View of the red brick 1970's bungalow and garage just before the driveway divides to go around the spruce tree. (RHC 2022)



The 1856 Wesleyan Methodist Chapel is situated on the adjacent lot close to Creditview Road. There is significant distance between the historic chapel and the red brick bungalow on the subject property. With an expanse of lawn, driveway and trees buffering the two buildings from one another.

Figure 11 - Looking northeast at the rear of the subject property to the Credit River over a lawn to the mature trees and river beyond. (RHC 2022)



Figure 12 - The Wesleyan Methodist Chapel building is adjacent on the north side of the property, (Photo: RHC 2022)



5.2 Architectural Description

The dwelling on the property is a side gable red calico rough brick bungalow with raised basement and forward presenting offset two-door garage. The interior has not been documented as part of this assessment as it is not an identified contributing architectural style and the proposed addition with only be removing the two-door garage.

The east elevation of the garage shows the siding that fills the entire gable. The siding is 4-5" laid in a horizontal pattern with modern aluminum soffits eave and downspouts and covered boxed eave return. The exposed part the same elevation of the dwelling of of the same design and materials.

The same horizontally oriented aluminum siding fills the gable with matching ridge vent with aluminum soffits and downspouts

over the lower brick wall in the west wall similar to that of the east elevations.

Figure 13 shows the of the relationship of east and north elevations which is the location of the offset garage and end wall of the dwelling. The smaller section is the two-door garage that is proposed for removal and is the location of the proposed two storey addition.

From the rear of the dwelling the land slopes down toward the river. The dwelling has the appearance of a two strey dwelling on this elevation with a full walk out with large windows, sliding patio doors and deck with glass guards and covered concrete pad below. A second concrete pad continues behind the two-door garage and connect both a door from the back of the garage and a door into the side of the dwelling.

Figure 13 - This view shows the of the relationship of east and north elevations of the end wall of the main dwelling to the offset garage wall. (RHC 2022)



Figure 14 - East elevation showing the brick wall with siding filled gable a ridge vent of the end wall of the garage. (RHC 2022)



Figure 15 - The façade of the raised bungalow. (RHC 2022)



6.0 Determination of Cultural Heritage Value and Interest

6.1 Evaluation Table

The following criteria (in the left column of the table below) are prescribed for determining cultural heritage value or interest in Ontario Regulation 9/06 and by its recent successor O. Reg. 569/22 under the Ontario Heritage Act⁷. Essentially both regulations use the same criteria. O. Reg. 9/06 presented the criteria in three groups with three criteria within in each group. O. Reg. 569/22 presents the same content in nine criteria. Based on the current regulation, RHC recommends the following determination of cultural heritage value or interest for the property known as 7780 Creditview Road in the Churchville Heritage Conservation District within the City of Brampton.

<p>The property has design value or physical value because it...</p> <ol style="list-style-type: none"> 1. ...is a rare, unique, representative, or early example of a style, type, expression, material, or construction method, 2. ...displays a high degree of craftsmanship or artistic merit, or 3. ...demonstrates a high degree of technical or scientific achievement. 	<p>7699 Creditview Road has no design value or physical value because it does not meet criteria 1, 2 or 3 of O. Reg. 569/22.</p>
<p>The property has historical value or associative value because it...</p> <ol style="list-style-type: none"> 4. ...has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community, 5. ...yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or 	<p>7699 Creditview Road has no historical value or associative value because it does not meet criteria 4, 5 or 6 of O. Reg. 569/22.</p>

⁷ As of January 7, 2023 Sections 1 and 2 of Ontario Regulation 9/06 were revoked and amended by Ontario Regulation 569/22.

<p>6. ...demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.</p>	
<p>The property has contextual value because it,</p> <p>7. ...is important in defining, maintaining, or supporting the character of an area,</p> <p>8. ...is physically, functionally, visually, or historically linked to its surroundings, or</p> <p>9. ... is defined by, planned around or is itself a landmark.</p>	<p>The property known as 7699 Creditview Road has contextual value as a typical large rural village lot. the and meets Criteria 7 of O. Reg. 569/22</p>

7.0 Proposed Addition

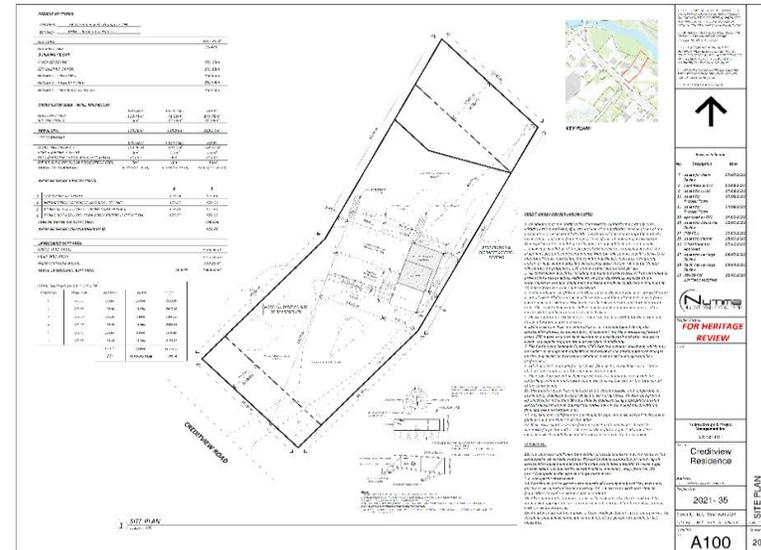
The owner is proposing to remove the existing offset garage and add a two storey addition in its place with two car garage in front. The front of the garage would come out to just past the front edge of the existing terrace in front of the house as a single storey garage with a two storey portion inbehind that runs level with the rear elevation of the existing dwelling.

The proposed addition would add 69.01 m² to the existing building area of 159.96 m² for a total of 228.97m². The gross floor area would increase by 143.94 m² and increase the dwelling from a single story to a two storey form in the section of the addition for a total hieght of 9.75m.

The proposed addition would take the place of the original offset two door garage and increase the footprint so that it fills the space from the rear of the garage to the back wall of the dwelling and also forward to just beyond the garden wall at the front of the terrace.

From the front the addition appears to match the side gable pitch of the existing dwelling but then lowers to nearly flat for the balance of the garage roof. The roof line for the upper floor is drawn back and kept low in keeping with the horizontally oriented design of the original dwelling.

Figure 16 - Site plan of the subject property showing the proposed addition. (Nutima 2023)



In general, the windows selected for the addition resemble those of the original dwelling as tall vertically oriented units often in multiples to form larger glazed areas similar to those of the original dwelling.

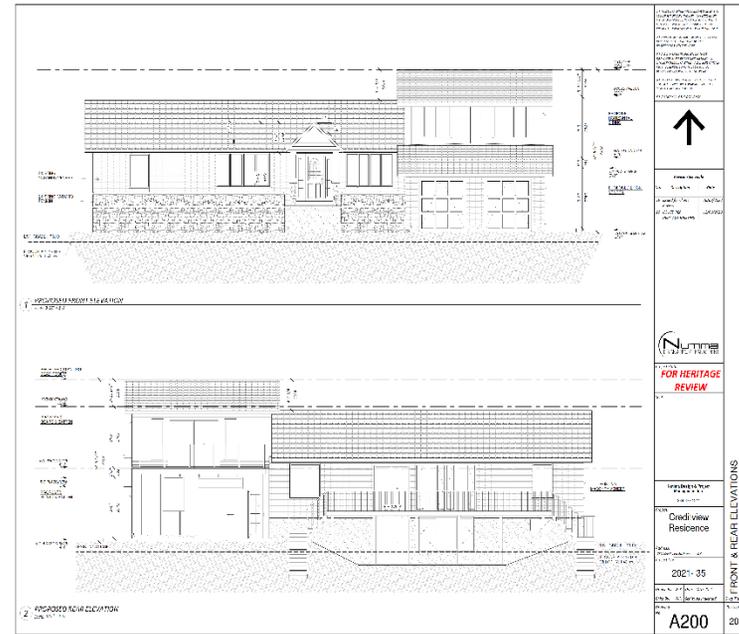
The front and sides of the garage portion of the addition are proposed to be clad in brick to match the original dwelling while the balance is proposed as horizontal siding to match the existing house with the exception of the lower level of the rear where the siding switches to a board and batten style.

The front elevation shows the addition to the right (east) side of the dwelling in the location of the original offset garage. The garage while further forward than the existing garage the proposed gives a sense of being forward as the offset garage did.

The upper floor of the addition is set back in line with the main body of the original dwelling with a low ridge and eaves in keeping with the low pitch side gable dwelling further emphasizing the horizontal aspects of the original dwelling design.

A projecting front gable is being introduced on the original dwelling to mitigate the more forward projecting garage by drawing attention to the front door which is recessed.

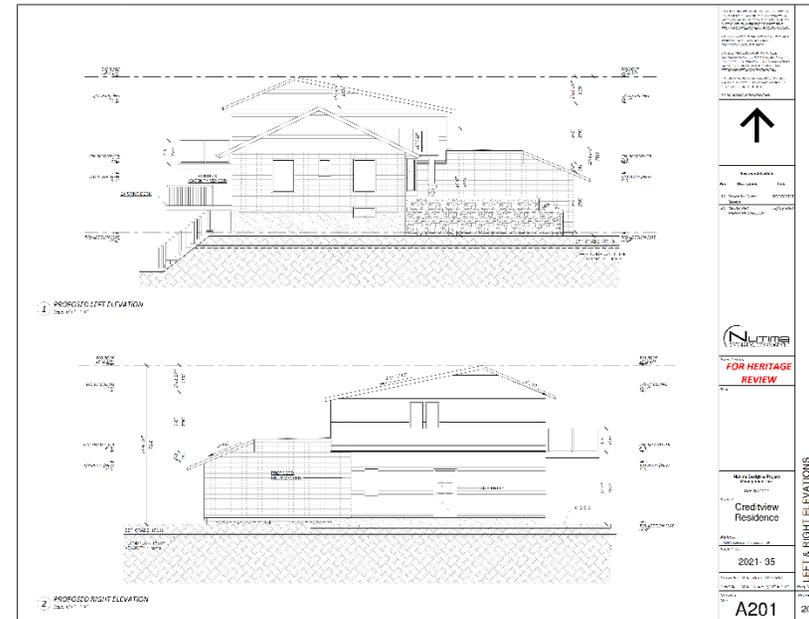
Figure 17 - Front and rear elevations of the proposed addition to the original dwelling.(Nutima 2023)



The rear elevation includes a deck off the upper floor and concrete pad below both with patio style sliding glass doors similar to those on the original dwelling. The siding below the deck changes to more of a vertical board and batten style. Overall the visible roof is reduced and the glazing increased.

The west elevation is unchanged although the addition can be seen beyond it.

Figure 18 - East and West elevations showing the proposed addition. (Nutima 2023)



7.2 Assessment and Recommendations

The proposed addition has been assessed using the updated CHCD Plan and Guidelines and the Parks Canada Standards and Guidelines.

The majority of the properties in the CHCD fall into three categories: rural; large village lot with dwellings set close to the road providing a sense of rhythm along the road; and large village lot with deep front setback with the dwelling set close to or beyond the midpoint of the lot. Most of the properties include mature trees and many are adjacent to the Credit River. The subject property is an example of the latter. The adjacent property to the north includes and the historic Methodist Chapel which was moved to the property and is sited close to the road. This siting allows it to be distinctive as the significant historic resource in this section of Creditview Road. The proposed addition would not negatively impact the chapel.

The existing dwelling is not an architectural style that is recognized by the HCD nor is it contributing in an of itself. Although the proposed addition to the dwelling is two storey and deviates from the low horizontal nature of the existing dwelling attempts have been made to mitigate these effects including low eaves on a side gable roof, vertically oriented windows and matching cladding materials as well as retention of the mature trees on the lot.

It is noted that there appears to be errors on the elevations (A200) as there is an unexplained double line lacking cladding and another line vertically between the upper windows that do not appear to be shown or explained in the balance of the drawing set and should be corrected.

It is recommended that the proposed roofline be altered to reflect the same 6"/12" roofline of the existing dwelling rather than the proposed 5"/12" and 2 ½"/12" rooflines. The hood above the front door would benefit from a lower pitch as well to further reflect the low horizontal lines of the existing dwelling.

As the second floor of the proposed addition is over symmetrically placed garage doors it is recommended that the windows above be centred above each door with windows similar to one another to provide some balance. The windows on the upper left are separated rather than coupled like the other windows on the façade of the existing dwelling and are recommended to be coupled.

It is recommended that the cladding for the addition be a close match and oriented on the addition in the same horizontal pattern as the existing dwelling.

8.0 Conclusion

This Cultural Heritage Impact Assessment (CHIA) has been prepared for the property owner of 7699 Creditview Road at the request of the City of Brampton to determine if the proposed addition poses negative impact to the subject property, the designated heritage properties around it and within the Churchville Heritage Conservation District (CHCD).

RHC has confirmed that while the property contains landscape elements that contribute to the heritage character of the Churchville HCD and that there is no cultural heritage value in the existing dwelling on the property at 7699 Creditview Road using criteria to determine cultural heritage value in Ontario Regulation 569/22 and the City of Brampton Official Plan.

The proposed development has been objectively assessed as it is currently proposed. RHC has recommended some alterations to the design of the proposed additions but otherwise anticipates no negative impacts to the cultural heritage value of the subject property and the Churchville HCD from the proposed addition.

RHC denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of RHC.

Respectfully submitted,



Tracie Seedhouse

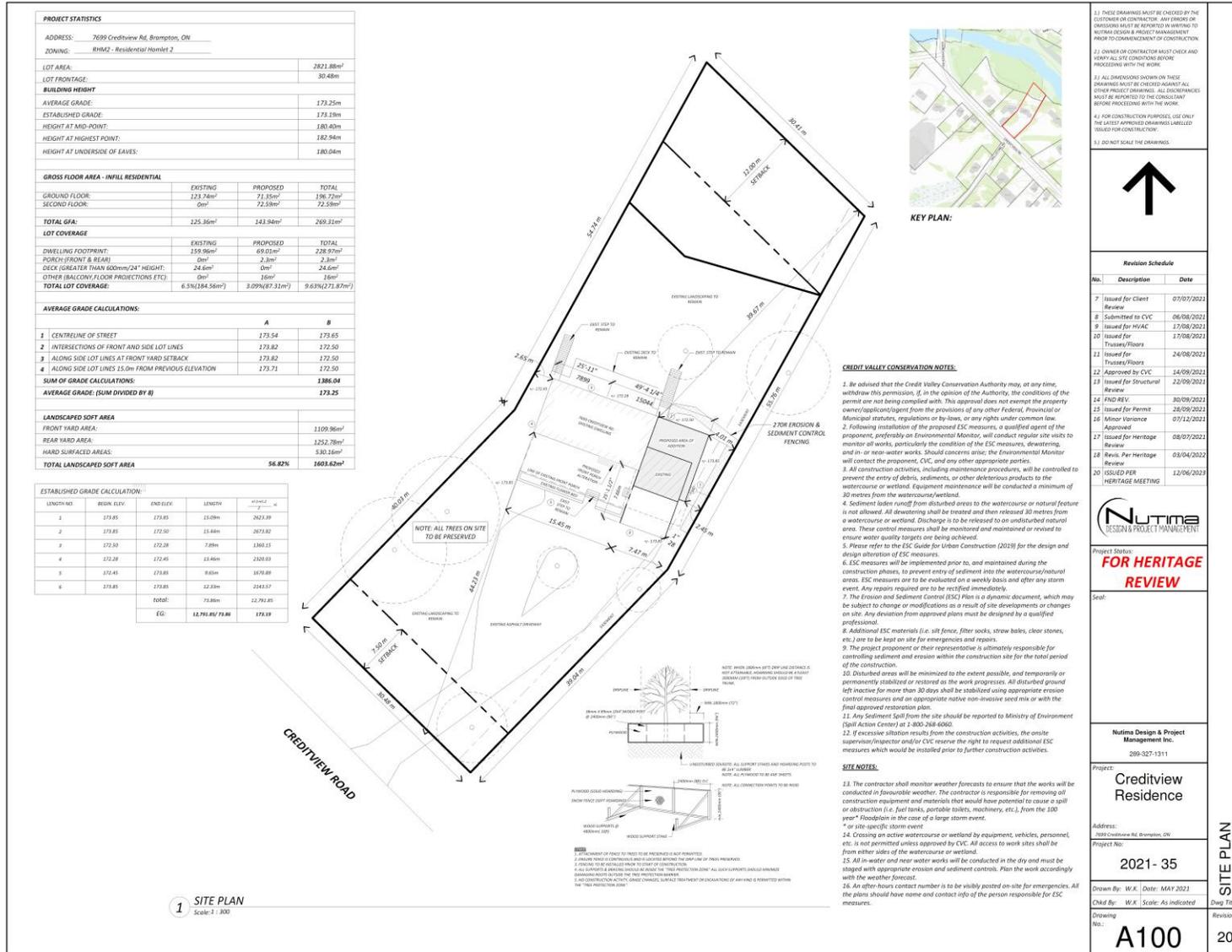
Principal, Robinson Heritage Consulting



Stephen Robinson MA CAHP

Principal, Robinson Heritage Consulting

Figure 20 - Site Plan A100 (Nutima Design 2023)



1.1 THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2.1 OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

3.1 ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

4.1 FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.

5.1 DO NOT SCALE THE DRAWINGS.

Revision Schedule

No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	08/08/2021
9	Issued for HVAC	17/08/2021
10	Issued for Trusses/Floors	17/08/2021
11	Issued for	24/08/2021
12	Approved by CVC	14/09/2021
13	Issued for Structural Review	22/09/2021
14	PHD REV.	30/09/2021
15	Issued for Permit Review	23/10/2021
16	Minor Variance Approved	07/12/2021
17	Issued for Heritage Review	08/07/2022
18	Revis. Per Heritage Review	03/04/2022
20	ISSUED PER HERITAGE MEETING	12/06/2023

Nutima DESIGN & PROJECT MANAGEMENT

Project Status: **FOR HERITAGE REVIEW**

Project: **Creditview Residence**
289-327-1311

Address: 7699 Creditview Rd, Brampton, ON
 Project No.: 2021-35

Drawn By: W.A. | Date: MAY 2022
 Chief By: W.A. | Date: As indicated

Drawing No.: **A100**
 Revision: 20

SITE PLAN

Figure 21 - 3D Design A001 (Nutima Design 2023)

2.1 THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2.2 OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

2.3 ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.

2.4 FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED ISSUED FOR CONSTRUCTION.

2.5 DO NOT SCALE THE DRAWINGS.

↑

Revision Schedule		
No.	Description	Date
19	Issued for Client Review	26/08/2022
20	ISSUED FOR HERITAGE MEETINGS	12/06/2023

FOR HERITAGE REVIEW

Nutima Design & Project Management Inc.
289-327-1211

Project:
Creditview Residence

Address:
3699 Creditview Rd, Inverness, BC

Project No.:
2021-35

Drawn By: W.K. **Date:** MAY 2021
Chkd By: W.K. **Scale:**

Drawing No.: A001

3D VIEWS

20

Figure 22 – Ground Floor Plan A102 (Nutima Design 2023)

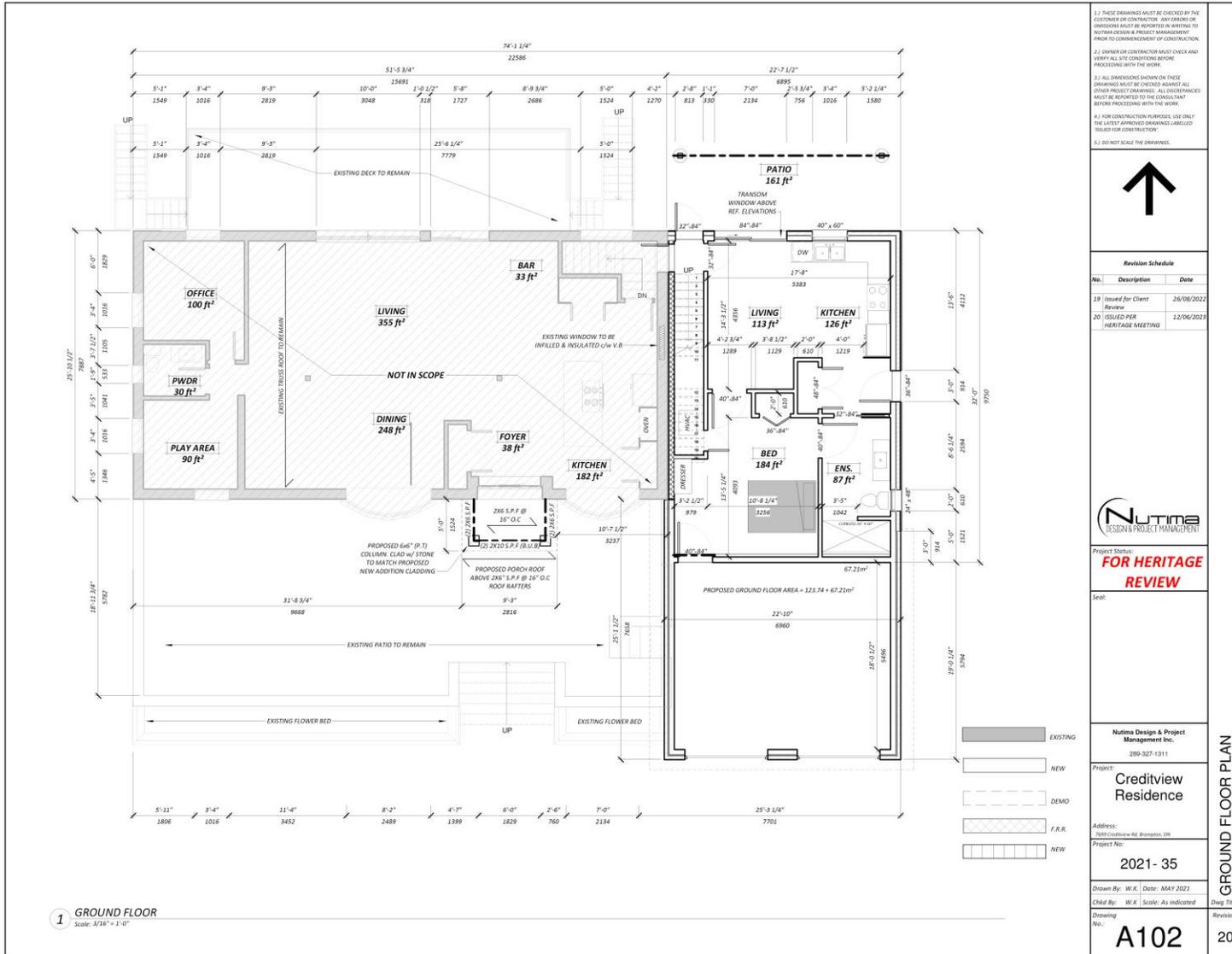


Figure 23 - Second Floor Plan A103 (Nutima Design 2023)

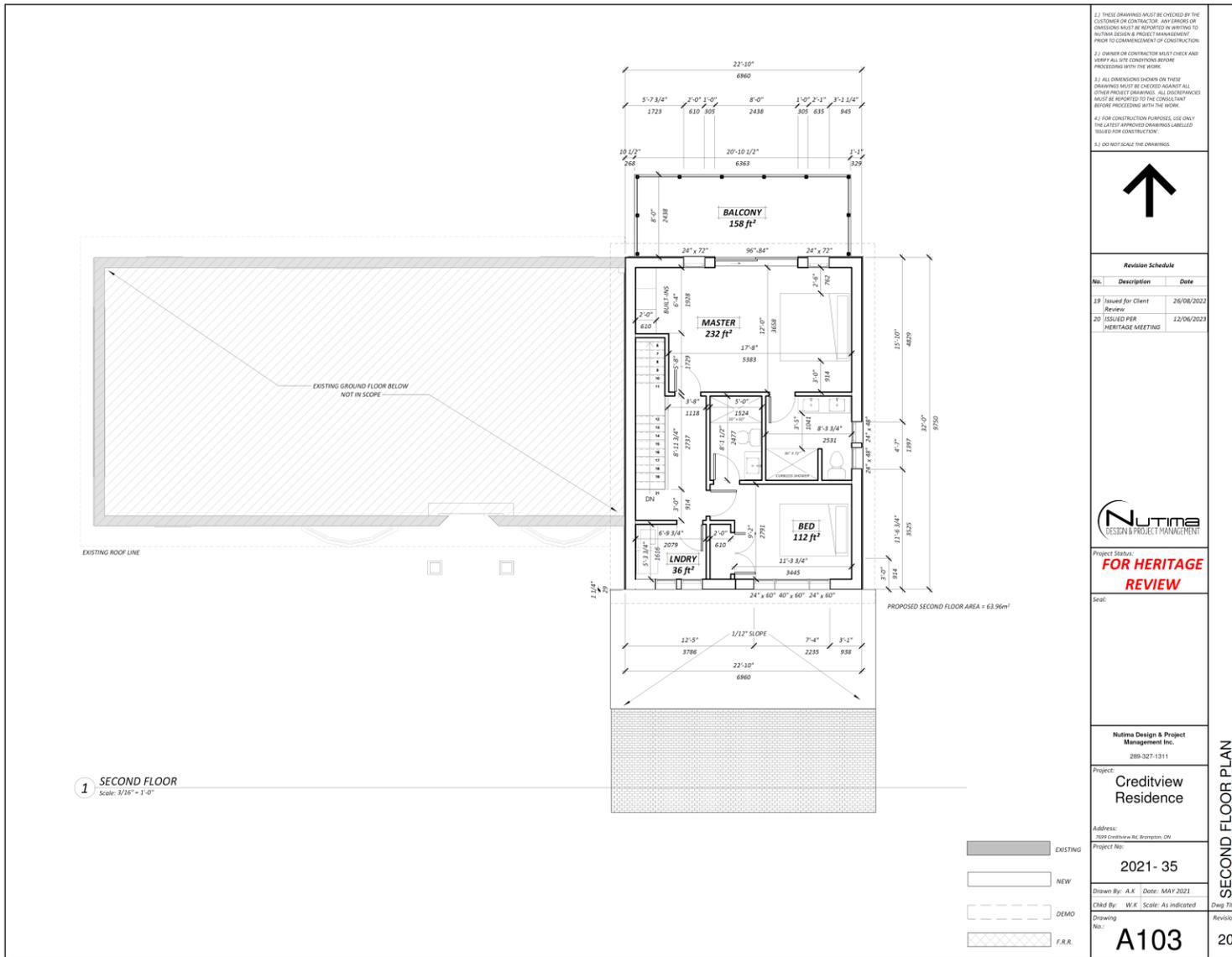
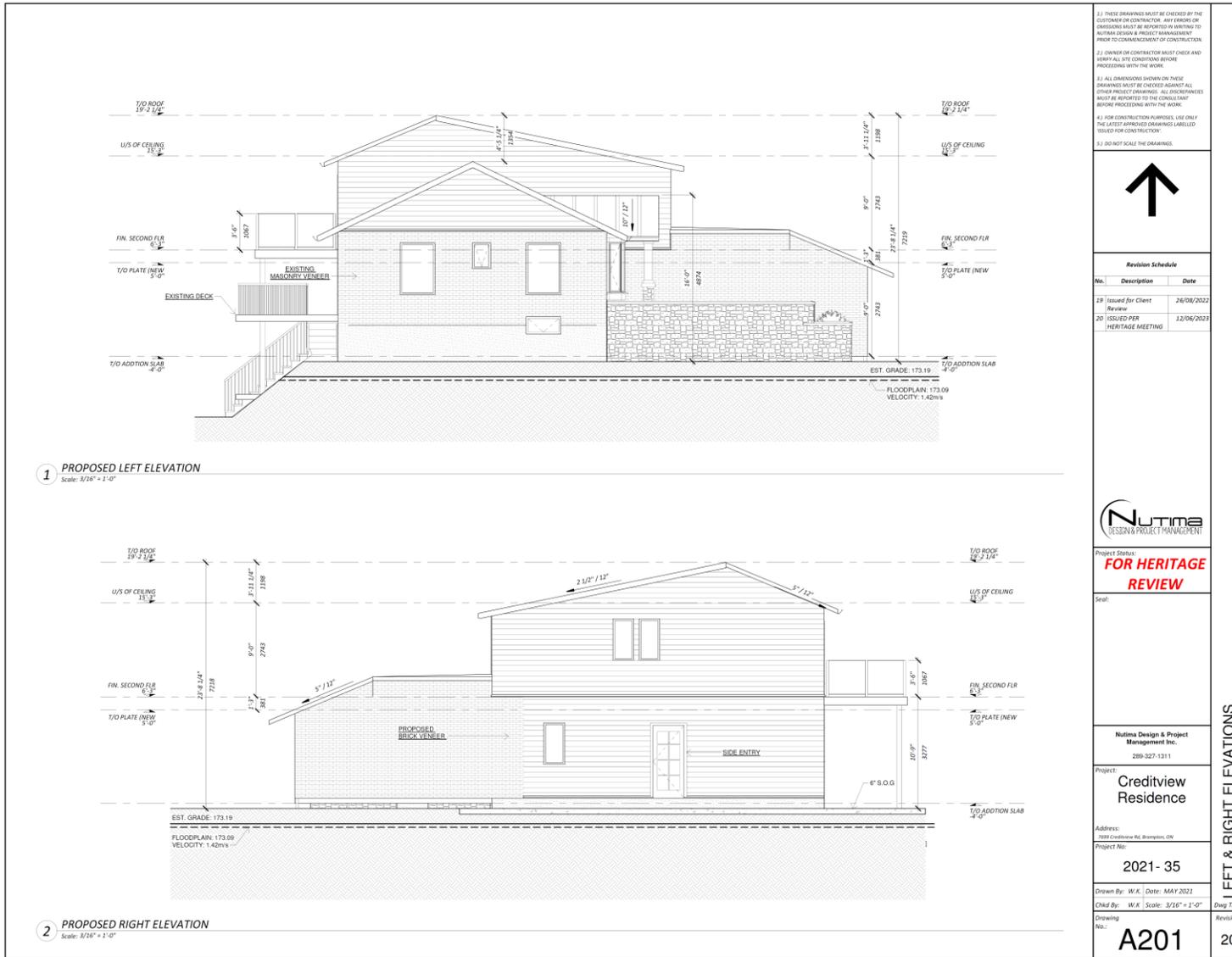


Figure 24 – Front and Rear Elevations A200 (Nutima Design 2023)



Figure 25 - Left and Right Elevations A201 (Nutima Design 2023)



3.1 THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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5.1 DO NOT SCALE THE DRAWINGS.



Revision Schedule		
No.	Description	Date
19	Issued for Client Review	26/08/2022
20	ISSUED FOR HERITAGE MEETING	12/06/2023



Project Status:
FOR HERITAGE REVIEW

Nutima Design & Project Management Inc.
289-327-1311

Project:
Creditview Residence

Address:
1881 Creditview Rd. Wrentham, ON

Project No:
2021-35

Drawn By: W.K. Date: MAY 2021

Check By: W.K. Scale: 3/16" = 1'-0"
Drawing No.: **A201**

LEFT & RIGHT ELEVATIONS

Revision:
20

Information Sources

Archival

Land Registry <https://www.onland.ca/ui/43>

PAMA Property Research <https://pama.peelregion.ca/en/pamacollection/heritageproperties.asp>

Illustrated Historical Atlas of the County of Peel 1887

Census for Canada West

Google Maps, Street View and Google Earth

Policy and Legislation

Ontario Heritage Act, R.S.O. 1990, c. 0.18

Ontario Regulation 569/22 (under the *Ontario Heritage Act*)

Planning Act, R.S.O. 1990, c. P.13

Provincial Policy Statement (2020), Policy 2.6.3.

“Heritage Resources in the Land Use Planning Process” from the *Ontario Heritage Toolkit*. Ministry of Heritage, Sport, Tourism and Cultural Industries (Toronto: Queen’s Printer for Ontario, 2000)

[City of Brampton Official Plan – Office Consolidation September 2020](#)

[City of Brampton Cultural Heritage Impact Assessment Terms of Reference](#)

Robinson Heritage Consulting – Curriculum Vitae and Project List

Established in 1999, Robinson Heritage Consulting (RHC) has provided clients with solid heritage advice through specialized knowledge and commitment to conserving our collective cultural heritage resources. Working independently or within a team, RHC has the experience and skill to undertake studies and prepare reports including Cultural Heritage Evaluation Reports, Heritage Impacts Assessments, Conservation Plans and Cultural Heritage Landscape studies to assist with restoration, rehabilitation, adaptive reuse and commemoration of cultural heritage resources. RHC applies sound heritage planning principles and a thorough understanding of associated legislation, guidelines and current practice to provide the client or design team with advice to help realize goals and aspirations of projects involving cultural heritage resources.

Tracie Seedhouse



Certificate in Heritage Planning, University of Waterloo (1999)

Diploma, Construction Engineering Technology Program, Conestoga College (1993)

Member, Heritage Kitchener, Municipal Heritage Committee (1996-1999)

President of Architectural Conservancy of Ontario, Cambridge and North Dumfries (2006)

Stephen Robinson



Professional Member, Canadian Association of Heritage Professionals (CAHP)

Certificate in Heritage Planning, University of Waterloo (1999)

M. A., Canadian Art & Architectural History, Concordia University Montreal (1992)

B. A., University of Toronto and Sheridan College, Oakville (1986)

Senior Heritage Planner, Planning Services, City of Guelph (July 2009 to present)

Cultural Heritage Co-ordinator, Cultural Services, City of Vaughan (March 2005 to June 2009)

Heritage Inventory Researcher, Planning Department, City of Brantford (June 2001 to Feb 2005)

24 Carlton Place

Centre Wellington (Elora), Ontario

24 Carlton Place, Elora, Ontario was built by Joseph Walser to expand the Elora Furniture Company's factory in 1911. Referred to as Building No. 2, it was a functional space that housed finishing, shipping and administration for the company. More recently it is remembered as the Little Folks children's furniture factory administration building before being left vacant. 24 Carlton Place now enjoys its role in the Elora Mill revitalization project which has been a masterful reinvigoration of the picturesque Elora Mill on the north bank and surrounding buildings into gracious wedding facilities and hotel accommodations. 24 Carlton Place was the first building on the south bank to be brought back from its vacant state of disrepair and reimagined as a chapel and offices in concert with the mill facilities on the north bank. RHC prepared the Cultural Heritage Impact Assessment and Conservation Plan that identified the property's heritage attributes and guided their conservation as well as advising on the new elements to be incorporated in the building envelope. With RHC's guidance the design team has reimagined the building keeping the simplicity of its industrial heritage intact while adding details that mark the building in Pearle Hospitality's signature style. RHC is continuing work on the balance of the development on the south bank of the Grand River in Elora.



Fergus High School
Centre Wellington (Fergus), Ontario

Built in 1929 this cut limestone school building was the Fergus High School for many Centre Wellington teens before the doors closed when a modern high school was built to accommodate a growing population. First imagined as apartments or office suites, the building was eventually purchased by the Emmanuel Christian School to be reopened as their high school. This landmark building marks an architectural period when form and function were embraced even within the constraints of limited budgets. When heritage buildings can continue in the service for which they were built it is always an exciting project. RHC prepared a Cultural Heritage Impact Assessment and Conservation Plan that resulted in the restoration of the old GIRLS entrance leaving the stone exterior exposed inside the new addition and restoration of stonework on the remaining facades. The Conservation Plan remains a relevant guiding document for future such changes as window replacement and repointing.



Dickson Public School

Cambridge, Ontario

Dickson Public School, located at 65 St. Andrews Street in the old Galt area of Cambridge, was originally built in 1876 with two expansions for the growing town made by 1894. Closed by the school board as being inadequate for the community's needs it was sold and plans are underway to convert the space into high end commercial office space. RHC prepared a Cultural Heritage Impact Assessment that uncovered the history of the additions and original layout of the building that kept the style and proportion of the original design. Rehabilitation is underway that would retain and highlight the wonderful heritage attributes in these new sophisticated offices.



Robert Orr Farmhouse
Huron Road, Kitchener, Ontario

Rural cultural heritage landscapes may be protected by retaining views of original farms with treed laneways that dot the countryside as landmarks of craftsmanship and prosperity. This Huron Road property is one of the few remaining farmhouses along a portion of the Huron Road within the City of Kitchener. RHC worked with Mattamy Homes and the City of Kitchener to integrate the historic home within a residential subdivision that established an appropriate lot and dedicated lands in front of the home protecting the views of the house and treed laneway to and from the Huron Road. RHC prepared the Cultural Heritage Impact Assessment and the Conservation Plan which guided the removal of the rear outbuilding and recommended protective measures until restoration began. The new owners of the property have restored the windows and front door, had new storm windows created and are restoring interior features using the Conservation Plan which also guides recreating the front porch and addresses landscaping and potential additions.



RHC PROJECT HISTORY

2019

11 Irwin Avenue, Town of Aurora – Cultural Heritage Impact Assessment

Client: Hemraj Sarwor, May 2019

2018

Potter Foundry and the Elora South Condominiums, Elora, Township of Centre Wellington – Cultural Heritage Impact Assessment (Scoped)

Client: Elora South Inc., December 2018

3650 Eglinton Avenue West, Mississauga – Cultural Heritage Impact Assessment

Client: Minuk Contracting Company Ltd., November 2018

Robert Orr Farmhouse, Huron Road, Kitchener – Interpretive Panel

Client: City of Kitchener, November 2018

1040 Garner Road West (Ancaster), Hamilton – Cultural Heritage Impact Assessment

Client: Garner Investments Inc., October 2018

St. Mary's Parish Rectory Building, Owen Sound – Cultural Heritage Impact Assessment

Client: St. Mary's and the Missions, September 2018

45 James Street, Cambridge – Cultural Heritage Impact Assessment (Scoped)

Client: Ed Gazendam, August 2018

Ross Street Properties, Elora, Township of Centre Wellington – Cultural Heritage Impact Assessment

Client: Elora South Inc., April 2018

2017

7177 Lancaster Avenue, Mississauga – Cultural Heritage Impact Assessment

Client: Balkar Singh Garcha, November 2017

Little Folks Building, 24 Carlton Place, Elora, Township of Centre Wellington – Cultural Heritage Impact Assessment/Conservation Plan

Client: Elora South Inc., September 2017

“The Gore”, 266 and 280 Northumberland Street, Ayr, Township of North Dumfries – Heritage Impact Statement

Client: Engel Developments, April 2017

6830 Main Street West, Town of Milton – Cultural Heritage Impact Assessment

Client: Paul De Battista, March 2017

2016

22 Shade Street, Cambridge – Cultural Heritage Impact Assessment

Client: Salvation Army, August 2016

Reid Farmhouse, 20 Stokes Trail (Campbellville), Milton - Cultural Heritage Impact Assessment

Client: Carson Reid Homes, August 2016

Dickson Public School, 65 St. Andrews Street, Cambridge – Cultural Heritage Impact Assessment

Client: Summerco Properties, May 2016

St. Agnes Anglican Church, 69 Long Branch Boulevard and 24 Marina Avenue, Toronto - Heritage Impact Statement

Client: Gil Shcolyar, March 2016

4908 Highway 7 (Woodbridge), Vaughan - Cultural Heritage Impact Assessment

Client: Camelot on 7 Inc., January 2016

2015

Hurononia Regional Centre, 700 Memorial Avenue, Orillia - Cultural Heritage Impact Assessment

Client: Infrastructure Ontario (represented by MHPM Development Solutions Inc. and DST Consulting Engineers Inc.) December 2015

Chatham Provincial Courthouse and Walkway, 21 Seventh Street, Chatham - Cultural Heritage Impact Assessment

Client: Infrastructure Ontario (represented by MHPM Development Solutions Inc. and DST Consulting Engineers Inc.) December 2015

Cassidy Farmhouse at St. Thomas Psychiatric Hospital, 467 Sunset Drive - Cultural Heritage Impact Assessment

Client: Infrastructure Ontario; (represented by MHPM Development Solutions Inc. and DST Consulting Engineers Inc.) December 2015

York Detention Centre, 354 George Street, Toronto - Cultural Heritage Impact Assessment

Client: Infrastructure Ontario; represented by MHPM Development Solutions Inc. and DST Consulting Engineers Inc., December 2015

Brooklyn and College Hill Heritage Conservation District - Expert Witness at Ontario Municipal Board Hearing (MM140079)

Employer: City of Guelph, October 2015

7575 Kennedy Road, Brampton - Cultural Heritage Impact Assessment

Client: City of Brampton, June 2015

Lot 22 Concession 9 Bridge, Township of Windham (Norfolk County) – Cultural Heritage Evaluation Report

Client: County of Norfolk, and G. Douglas Valee Limited, March 2015

Fergus High School, 680 Tower Street, (Fergus) Township of Centre Wellington - Scoped Cultural Heritage Impact Assessment/Conservation Plan

Client: Emmanuel Christian High School, February 2015

2 William Street, Elmira - Cultural Heritage Impact Assessment

Client: Scott and Libby Playford, January 2015

2014

Herb & Elsie Crawford Farm, Brampton – Cultural Heritage Impact Assessment

Client: City of Brampton, August 2014

Silvercreek Farm, Caledon – Review of Reasons for Designation

Client: Town of Caledon, August 2014

111 Mary Street, Milton - Cultural Heritage Impact Assessment

Client: Andrew and Caroline Kocher, May 2014

New Toronto Hydro Substation, 124 Birmingham Street, Toronto - Heritage Impact Statement

Client: 5th Essential Inc., April 2014

2013

150 King Street South, Waterloo – Cultural Heritage Impact Assessment

Client: ABA Architects Inc., December 2013

58 Richmond Street, Richmond Hill - Cultural Heritage Impact Statement

Client: Alex Boros Planning + Design Associates, December 2013

Bob Devereaux Bridge, County of Brant – Cultural Heritage Evaluation Report

Client: County of Brant, and G. Douglas Valee Limited, August 2013

Concession A Bridge, Township of South Walsingham – Cultural Heritage Evaluation Report

Client: County of Norfolk, and G. Douglas Valee Limited, July 2013

“Heritage Square” Condominium, Fergus – Cultural Heritage Impact Assessment

Client: Jennark Homes Ltd., May 2013

1683 Huron Road, Kitchener – Conservation Plan

Client: Mattamy Homes Ltd., May 2013

2012

9307 Union Drive, Strathroy-Caradoc – Cultural Heritage Impact Assessment

Client: Canadian Solar Developers and Exp Inc., Renewal Energy Approval, September 2012

8338 Scotchmere Drive, Strathroy-Caradoc – Cultural Heritage Impact Assessment

Client: Canadian Solar Developers and Exp Inc., Renewal Energy Approval, September 2012

1216 Penetanguishene Road, Township of Springwater – Cultural Heritage Impact Assessment

Client: Canadian Solar Developers and Exp Inc., Renewal Energy Approval, September 2012

Dolby House, 6003 Regional Road 25, Milton – Cultural Heritage Impact Assessment

Client: Regional Municipality of Halton, October 2012

7030 Walker’s Line, Milton - Cultural Heritage Impact Assessment

Client: Jay Robinson Custom Homes, Inc., June 2012

Wilson Farmhouse, 80 Simmonds Drive, Guelph – Expert Witness at Conservation Review Board Hearing (CRB1103)

Employer: City of Guelph, June 2012

John Love House, 630 King Road, Richmond Hill – Cultural Heritage Impact Assessment

Client: Evans Planning, February 2012

2011

“Rural Church Architecture: Ellis Church, Puslinch Township”

Public presentation given at Ellis Church, 150th Anniversary, July 2011

Dolby Garage, 6009 Regional Road 25, Milton – Cultural Heritage Impact Assessment

Client: Regional Municipality of Halton, April 2011

2485 Conservation Road, Milton - Cultural Heritage Impact Assessment

Client: K. Strobele, February 2011

2010

5761 First Line, Milton - Cultural Heritage Impact Assessment

Client: Scrap Metal Depot Inc., November 2010

61 Usher Street, Brantford - Cultural Heritage Impact Assessment

Client: First Home Construction Inc., July 2010

Alexandra School, 1525-7th Ave. E., Owen Sound – Cultural Heritage Property Evaluation

Client: Bluewater District School Board, May 2010

124 Birmingham Street, Toronto – Cultural Heritage Impact Assessment

Client: City of Toronto Economic Development Corporation, March 2010

2009

8656 Creditview Road, Brampton - Heritage Research Report

Client: Phillip H. Carter Architect, December 2009

13941 Airport Road, Town of Caledon - Cultural Heritage Impact Assessment

Client: Glen Schnarr & Associates, November 2009

9381 Guelph Line, Milton - Cultural Heritage Impact Assessment

Client: Loedige (Canada) Limited, October 2009

8763 Bayview Avenue, Richmond Hill - Cultural Heritage Impact Assessment

Client: Signature Developments Inc., July 2009

1524 Countryside Drive, Brampton - Cultural Heritage Impact Assessment

Client: City of Brampton, July 2009

418 Glasgow Street, Kitchener - Cultural Heritage Impact Assessment

Client: Doug Cornwell, June 2009

7435 Ninth Line, Mississauga - Heritage Impact Statement

Client: ProLogis Canada and Erin Mills Development, April 2009

340 Oak Street, Milton - Cultural Heritage Impact Assessment

Client: 52457 Ontario Limited, April 2009

501 and 511 John Street, Burlington – Cultural Heritage Impact Assessment

Client: Carriage Gate Group Inc., and Millington & Associates, February 2009

11859 Hurontario Street, Brampton – Cultural Heritage Impact Assessment

Client: Dinesh Patel, January 2009

2008

47-49 Alice Street, Guelph – Expert Witness at Conservation Review Board Hearing (CRB0816)

Client: City of Guelph, December 2008

1571 Fisher Hallman Road, Kitchener – Salvage Documentation Report

Client: Mattamy Homes Ltd., November 2008

Branningham Grove, 2010 16th Street East – Cultural Heritage Property Evaluation

Client: City of Owen Sound, October 2008

12 Henderson Avenue, Brampton – Cultural Heritage Impact Assessment

Client: 1753849 Ontario Inc., October 2008

318 Guelph Avenue, Cambridge – Heritage Assessment

Client: Doug Craig, Mayor of Cambridge, June 2008

48 George Street North, Cambridge – Cultural Heritage Impact Assessment

Client: Maison Canada Holdings Ltd., May 2008

27-31 Cambridge Street, Cambridge – Cultural Heritage Impact Assessment

Client: Techno Steel Canada, April 2008

1120 Bovaird Drive West, Brampton – Cultural Heritage Impact Assessment

Client: Weston Consulting Group Inc., March 2008

St. Mary's High School – Heritage Documentation Report

Client: Bruce Grey Catholic District School Board and SRM Architects Inc., December 2007

Fergus High School – Cultural Heritage Impact Assessment

Client: Reid's Heritage Homes, December 2007

“An Uncertain Future – The Royal Hotel, Cambridge”

in *ACORN, The Journal of the Architectural Conservancy of Ontario*, Fall 2007, p.19

33 Southwood Drive, Cambridge – Cultural Heritage Impact Assessment

Client: Geoffrey Reid, September 2007

Carnegie Public Library, Owen Sound – Reasons for Designation

Client: City of Owen Sound, September 2007

Harrison Park, Owen Sound – Reasons for Designation

Client: City of Owen Sound, September 2007

1683 Huron Road, Kitchener – Cultural Heritage Impact Assessment

Client: Mattamy Homes Ltd., June 2007

1571 Fisher Hallman Road, Kitchener – Cultural Heritage Impact Assessment

Client: Mattamy Homes Ltd., June 2007

Preston Meadows, 633 Margaret Street, Cambridge – Cultural Heritage Impact Assessment

Client: Reid's Heritage Homes, in collaboration with Stantec Consulting, April 2007

443 Dover Street North, Cambridge – Cultural Heritage Impact Assessment

Client: Carl Csanits, January 2007

2006

Barber Paper Mill, Town of Halton Hills – Cultural Heritage Impact Assessment

Produced in collaboration with The Ventin Group Architects

Client: Everlast Restoration, December 2006

806 Gordon Street, Guelph – Heritage Documentation Report

Client: Mar-Cot Homes Ltd., November 2006

Revue Theatre, Roncesvalles Avenue, Toronto – Heritage Documentation Report

Client: Chris McQuillan, September 2006

Interpretive Plaque Project on Queen Street, Cambridge (Hespeler)

Client: Heritage Cambridge, July 2006

John Abell Factory, Toronto - Preliminary Heritage Assessment

Client: Verdiroc Development Corporation, and AREA Architects, May 2006

Peer Review of Heritage Assessment of Proposed Duntroon Quarry Expansion

Clearview Township, County of Simcoe, Ontario

Client: R. J. Burnside & Associates Ltd., June 2006

Queen's Hotel, Owen Sound – Reasons for Designation

Client: City of Owen Sound, April 2006

299 & 313 Plains Road W., Burlington – Cultural Heritage Impact Assessment

Client: Recchia Developments Inc., and Greg Poole & Associates, February 2006

246 Crawley Road, Guelph – Cultural Heritage Impact Assessment

Client: Industrial Equity Guelph Corp., LM Real Estate Consulting and Astrid J. Clos Planning Consultants, January 2006

Industry & Perseverance: A History of the City of Brantford

(Compact disc) in collaboration with Dr. Peter Farrugia

Client: Wilfrid Laurier University and Brant Historical Society, 2006

2005

148 Crawley Road, Guelph – Cultural Heritage Impact Assessment

Client: Royal-LePage Commercial, June 2005

Brantford Heritage Inventory

Built heritage assessments/ research for over 5,000 properties in the City of Brantford

Employer: Brantford Planning Department, June 2001 to February 2005

2004

63-67 Woolwich Street, Guelph – Heritage Documentation Report
Client: Wellington Catholic District School Board, February 2004

Grand Old Bridges: The Grand River Watershed Bridge Inventory
Assessment of heritage bridges within the Grand River watershed
Client: Grand River Conservation Authority, 2004

John McCrae in Flanders Fields – web tour
produced with Tracie Seedhouse for the *Keys to History* series
Client: Guelph Civic Museum / McCord Museum, Montreal, April 2004

2003

Brant Arts, Culture & Heritage Centre (BACH Project)
Heritage assessments for Roger Jones & Associates and The Ventin Group Architects
Client: BACH Steering Committee, September 2003

340 Clair Road, Guelph – Heritage Documentation Report
Produced in association with The Ventin Group Architects
Client: Reid's Heritage Homes, July 2003

1471 Gordon Street, Guelph – Heritage Documentation Report
Produced in association with The Ventin Group Architects
Client: Reid's Heritage Homes, July 2003

341 Forestell Road, Guelph – Heritage Documentation Report

Produced in association with TSH Engineers Architects and Planners

Client: City of Guelph, September 2002

Heritage Sampler and An Interactive Guide to Tremaine's Map of County of Waterloo, 1861

Client: Waterloo Regional Heritage Foundation, 2002 (compact disc)