



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0106

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gurpreet Kaur **KAHLON**
Address 51 Drury Crescent, Brampton ON L6T 1L1

Phone # 416-471-3600 **Fax #** _____
Email raminder@teghproperties.com

2. **Name of Agent** weDesignBuild Inc. c/o Haroon Malik
Address 14 Torrance Woods, Brampton ON L6Y 2N3

Phone # 647-770 - 3230 **Fax #** _____
Email haroon@wedesignbuild.ca

3. **Nature and extent of relief applied for (variances requested):**

The following reliefs are requested in this application;

1. To permit a proposed rear yard depth of 7.5M whereas a rear yard depth of 9.78M appx. (25% of total lot depth) is required. As per (Section 10.27)
2. To permit a proposed interior side yard setback to a second story is 1.2 M whereas a minimum of interior side yard setback to a second story is 1.8 M. As per (Section 10.27)
3. To permit a proposed lot coverage of 43.5% whereas maximum allowed lot coverage is 30%.As per (Section 10.27)
4. To permit a proposed height of 8.08M whereas maximum permitted height is 7.6M As per (Section 12.6)

4. **Why is it not possible to comply with the provisions of the by-law?**

The home owner intends to create a new three unit dwelling in his property in line with the Province's "More homes, More choice Act, 2019" acting towards accommodating more people in the neighborhood. Each unit offers an ample living space for a modern quality housing.

5. **Legal Description of the subject land:**

Lot Number 38
Plan Number/Concession Number RP - 809
Municipal Address 51 Drury Crescent, Brampton ON L6T 1L1

6. **Dimension of subject land (in metric units)**

Frontage 14.86 M
Depth 39.04 M
Area 619.01 M

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Not Applicable (Existing single story dwelling to be demolished completely)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area: 264.40 sq.m
 Gross Floor Area (Total): 790.04 sq.m
 Width: 12.93m Length: 21.16m Height: 8.08m

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback N/A
 Rear yard setback N/A
 Side yard setback N/A
 Side yard setback N/A

PROPOSED

Front yard setback 10.31 M
 Rear yard setback 7.54 M
 Side yard setback 1.23 M
 Side yard setback 1.22 M

- 10. Date of Acquisition of subject land: 1968
- 11. Existing uses of subject property: Single Unit dwelling
- 12. Proposed uses of subject property: Three Unit dwelling
- 13. Existing uses of abutting properties: Residential Detached
- 14. Date of construction of all buildings & structures on subject land: 1968
- 15. Length of time the existing uses of the subject property have been continued: 55 Years

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 27th 4th DAY OF March April, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Haroon Malik, OF THE City _____ OF Brampton _____

IN THE Province Region OF Ontario Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE ~~Province~~ Region OF

~~Ontario~~ Peel THIS 4th DAY OF

April, 2024

A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED April 4, 2024

Date Application Deemed Complete by the Municipality ✓

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 51 Drury Crescent, Brampton ON L6T 1L1

I/We, Gurpreet Kaur

please print/type the full name of the owner(s)

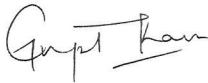
the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Haroon Malik

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 25th day of March, **20**24.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

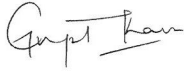
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 51 Drury Crescent, Brampton ON L6T 1L1

I/We, Gurpreet Kaur
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 25th day of March, 2024.

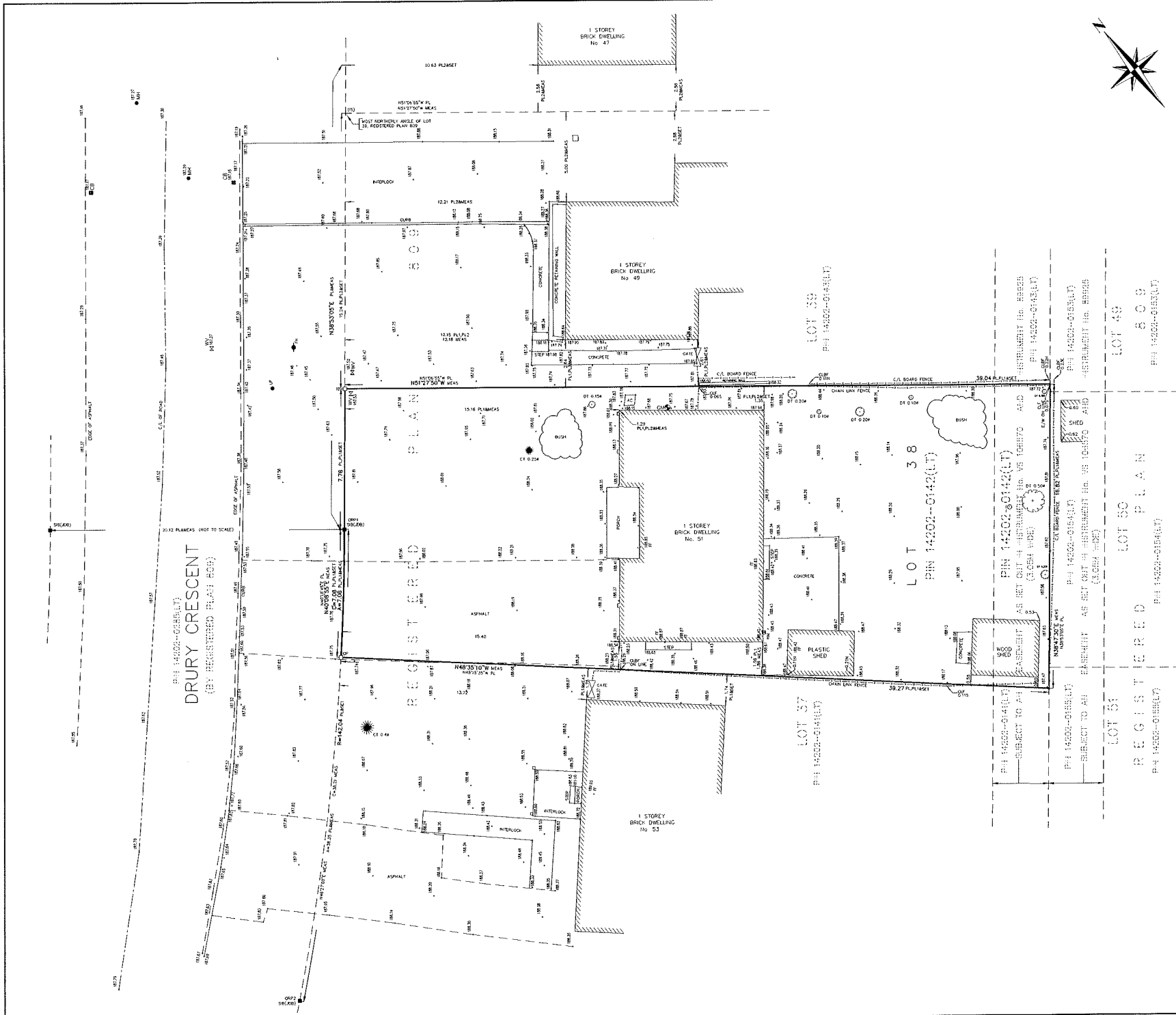


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



**SURVEYOR'S REAL PROPERTY REPORT
PART 1 – PLAN OF SURVEY OF
LOT 38, REGISTERED PLAN 809
CITY OF BRAMPTON**

SCALE 1:100
KAD LANKA SURVEYING INC. O.L.S. ©

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

MUNICIPAL NO. 51, DRURY CRESCENT, BRAMPTON

PART 2 (SURVEY REPORT)

- REGISTERED EASEMENTS AND/OR RIGHT OF WAYS, LOT 38, REGISTERED PLAN 809, SUBJECT TO AN EASEMENT AS SET OUT IN INSTRUMENT NO.'S V400570 AND V68725
- ADDITIONAL COMMENTS: NOTE THE LOCATION OF FENCES ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY LIMITS OF THE SUBJECT PROPERTY.
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS REPORT WAS PREPARED FOR KAMILON, GURPREET KAUR AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

- LEGEND**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - ▨ DENOTES STANDARD IRON BAR
 - ▧ DENOTES IRON BAR
 - ▩ DENOTES CONCRETE PIN
 - ◆ DENOTES PROPERTY IDENTIFIER NUMBER
 - PL DENOTES REGISTERED PLAN 809
 - PL1 DENOTES PLAN OF SURVEY BY C. REUBEN O.L.S. DATED JULY 25, 1968 (LOT 38)
 - PL2 DENOTES PLAN OF SURVEY BY C. REUBEN O.L.S. DATED JULY 25, 1968 (LOT 39)
 - (EB) DENOTES J. D. BARNES LTD. O.L.S.
 - (IS) DENOTES POINT CALCULATED BY INTERSECTION METHOD
 - (ORP) DENOTES OBSERVED REFERENCE POINT
 - NAD DENOTES NORTH AMERICAN DATUM
 - UTM DENOTES UNIVERSAL TRANSVERSE MERCATOR
 - FF DENOTES FINISHED SILL ELEVATION AT ENTRY
 - CL DENOTES CHAIN LINK FENCE
 - CLBF DENOTES CENTRELINE OF BOARD FENCE
 - RW DENOTES RETAINING WALL
 - M/VV DENOTES WATER VALVE
 - ◆-FH DENOTES FIRE HYDRANT
 - CB DENOTES CATCH BASIN
 - M DENOTES MANNING
 - LP DENOTES LIGHT POLE
 - HM DENOTES HYDRO METER
 - GM DENOTES GAS METER
 - CT DENOTES CONIFEROUS TREE
 - DT DENOTES DECIDUOUS TREE
 - DENOTES FENCE
- THIS PLAN WAS SIGNED WITH A SCANNED SIGNATURE AS A RESULT OF THE EMERGENCY ORDER RELATED TO THE COVID-19 PANDEMIC.

BENCHMARK NOTE
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF BRAMPTON BENCHMARK No. 042920166 HAVING AN ELEVATION OF 194.789 METRES.
LOCATION: BRASS CAP SET IN CONCRETE, FLUSH TO THE GRADE (HAD B3, UTM E 605377.112, N 4841952.588)

BEARING NOTE
BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS (ORP'S) 1 AND 2 BY RM OBSERVATIONS UTM ZONE 17 NORTH, NAD83 (CSRS)
FOR BEARING COMPARISONS, A ROTATION BEARING OF 00°40'30" COUNTER-CLOCKWISE APPLIED FOR BEARINGS ON PL TO CONVERT TO UTM GRID BEARINGS.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 10th DAY OF DECEMBER, 2024.

14 JANUARY 2024
DATE

WALTER PASADUNO
SARTER CLUB 217-NORTH

THIS PLAN OF SURVEY RELATES TO A015 PLAN SUBMISSION NUMBER: 10418 V. 15524

KAD LANKA SURVEYING INC.
34, EZRA CRESCENT
BRAMPTON, ON, L7A 5A6
PHONE: 905-493-4523
EMAIL: KLSURV@KLSURVING.CO

DRAWN BY: V.R. CHECKED BY: V.R. CAD NUMBER: 2023-085-SMFR JOB NUMBER: 2023-085



SCOPE OF WORK

PROPOSED VIEW

NEW CUSTOM HOME INFILL RESIDENTIAL PROJECT

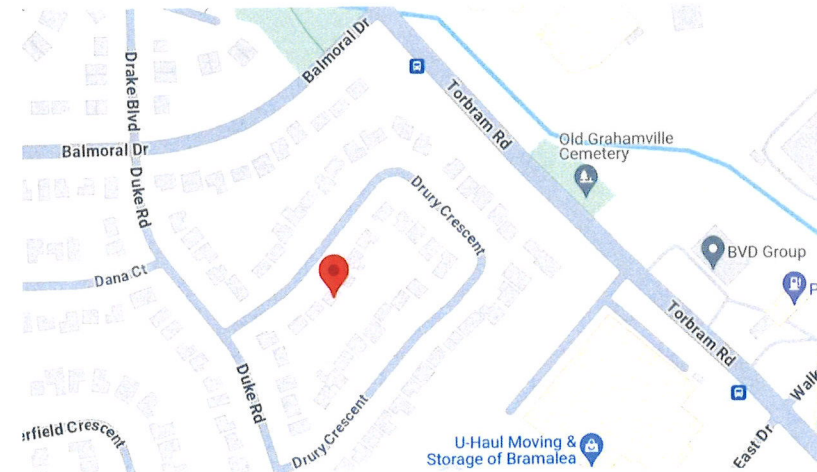


EXISTING VIEW

LIST OF DRAWINGS

Sr.No.	DESCRIPTION	DWG#
1	SITE LAYOUT PLAN	A101
2	BASEMENT FLOOR PLAN	A102
3	GROUND FLOOR PLAN	A103
4	SECOND FLOOR PLAN	A104
5	ROOF PLAN	A105
6	FRONT ELEVATION	A106
7	RIGHT SIDE ELEVATION	A107
8	LEFT SIDE ELEVATION	A108
9	REAR ELEVATION	A109
10	SECTION XX	A110
11	SECTION YY	A111
12	LOT GRADING PLAN	LG-01

LOCATION MAP



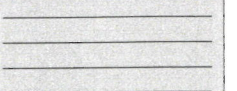
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THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREBY SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

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REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION

REGISTERED ARCHITECT DESIGNER IN ONTARIO UNDER REG. NO. C-3363 OF THE BUILDING CODE
 Name: M. N. 192723
 Firm Name: weDesignBuild Inc. 113001

REGISTRATION INFORMATION

REGISTERED ARCHITECT DESIGNER IN ONTARIO UNDER REG. NO. C-3363 OF THE BUILDING CODE
 Name: M. N. 192723
 Firm Name: weDesignBuild Inc. 113001



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW THREE
 UNIT DWELLING

PROJECT ADDRESS
 51 DRURY CRESCENT
 BRAMPTON

DRAWING TITLE
 COVER SHEET/
 LIST OF DRAWINGS

PROJECT NO.
 20230724 - G.S

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A000

DATE MODIFIED
 JAN 30, 2024

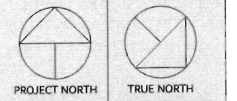
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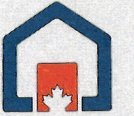
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QUALIFICATION INFORMATION

Registered Under Design in Ontario License No. C-13554 OF THE BUILDING CODE
 Name: **30724**
 Firm: **131001**

REGISTRATION INFORMATION

Registered Under Design in Ontario License No. C-13554 OF THE BUILDING CODE
 Firm Name: **131001**



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW THREE
 UNIT DWELLING

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 BRAMPTON

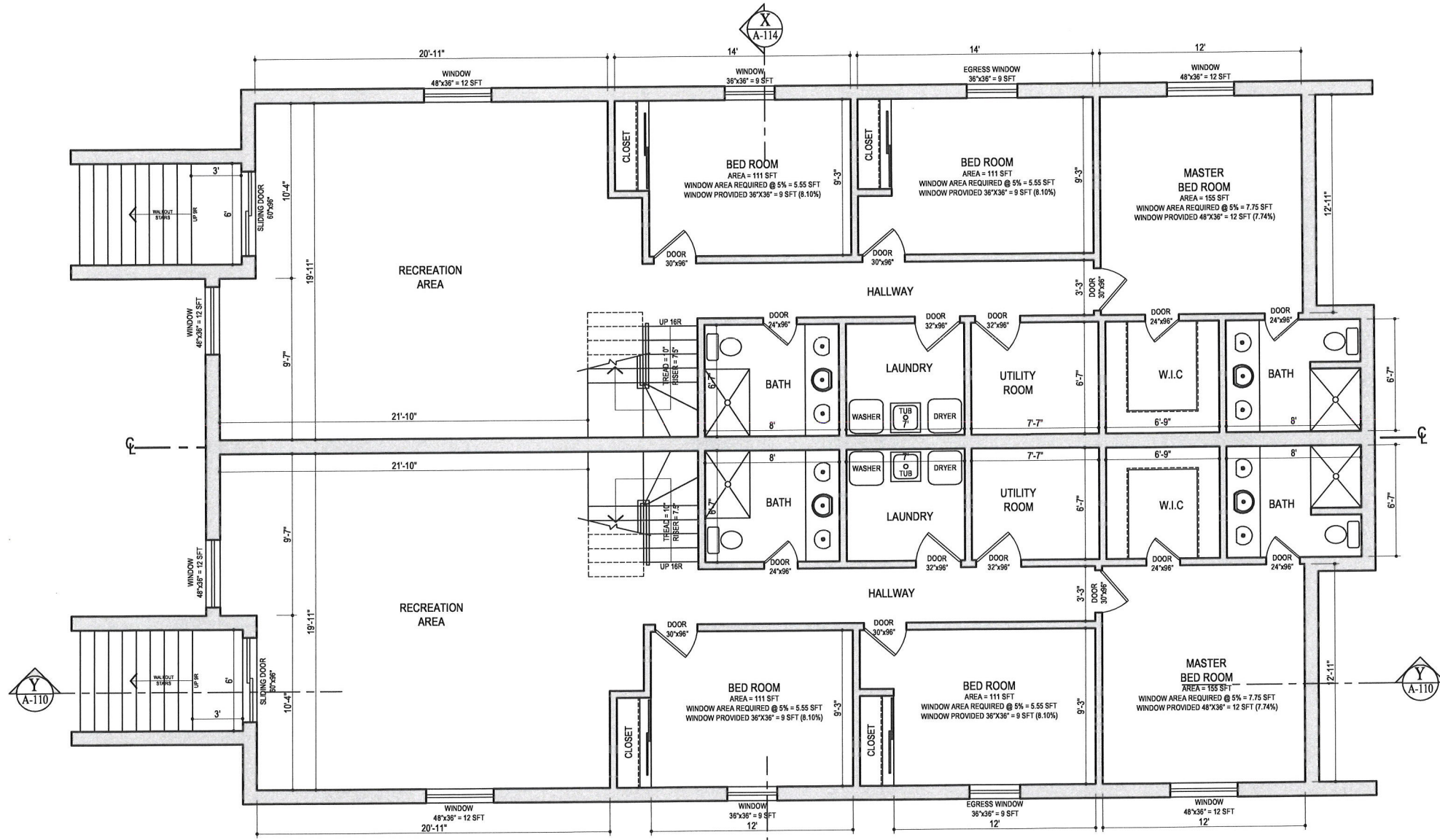
DRAWING TITLE
 NEW BASEMENT
 FLOOR PLAN

PROJECT NO.
 20230724 - G.S

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A102

DATE MODIFIED
 JAN 30, 2024



NEW BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BASEMENT DWELLING UNIT # 1
 AREA (INCLUDING WALLS): 1404 SFT. / 130.43 M²
 BASEMENT DWELLING UNIT # 2
 AREA (INCLUDING WALLS): 1404 SFT. / 130.43 M²
BASEMENT TOTAL AREA: 2808 SFT. / 260.86 M²
 CEILING HEIGHT = 9'-0"

GENERAL NOTES:

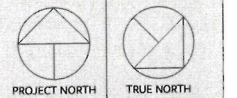
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REV DATE DESCRIPTION

REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION
 REGISTERED UNDER DESIGN PROFESSIONAL ACT, C-33.1 OF THE BUILDING CODE
 Registered Member: 102742
 Name: 13100

REGISTRATION INFORMATION
 REGISTERED UNDER DESIGN PROFESSIONAL ACT, C-33.1 OF THE BUILDING CODE
 weDesignBuild Inc. 13100
 102742



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW THREE
 UNIT DWELLING

PROJECT ADDRESS
 51 DRURY CRESCENT
 BRAMPTON

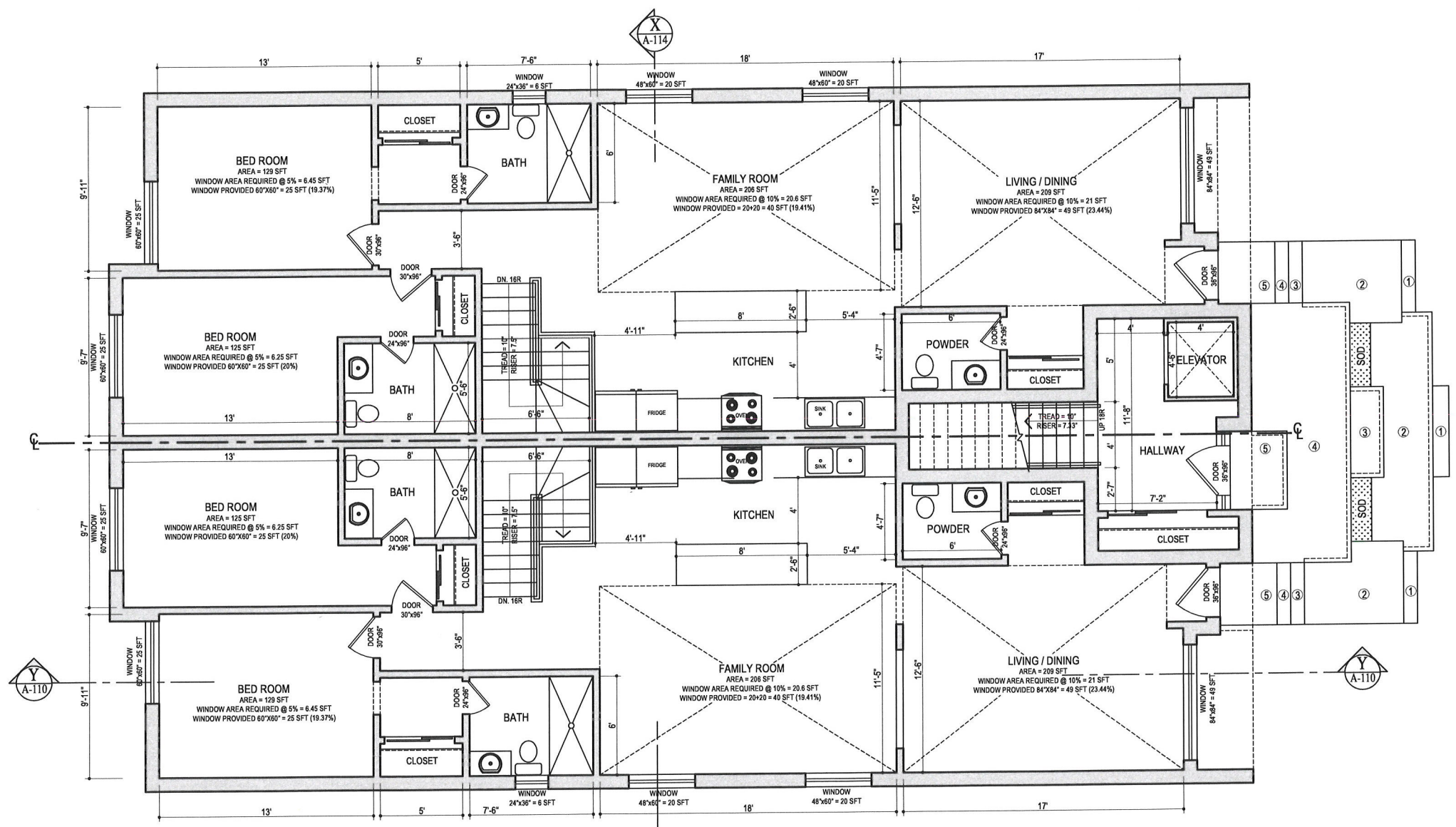
DRAWING TITLE
 NEW GROUND
 FLOOR PLAN

PROJECT NO.
 20230724 - G.S

DRAWN M.N. **CHECKED** H.M.

DRAWING NO.
A103

DATE MODIFIED
 JAN 30, 2024



NEW GROUND FLOOR PLAN
 SCALE : 3/8" = 1'-0"
 GROUND FLOOR DWELLING UNIT # 1 AREA : 1423 SFT. / 132.20 M²
 GROUND FLOOR DWELLING UNIT # 2 AREA : 1423 SFT. / 132.20 M²
GROUND FLOOR TOTAL AREA : 2846 SFT. / 264.40 M²
 CEILING HEIGHT = 10'-0"

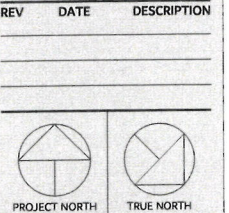
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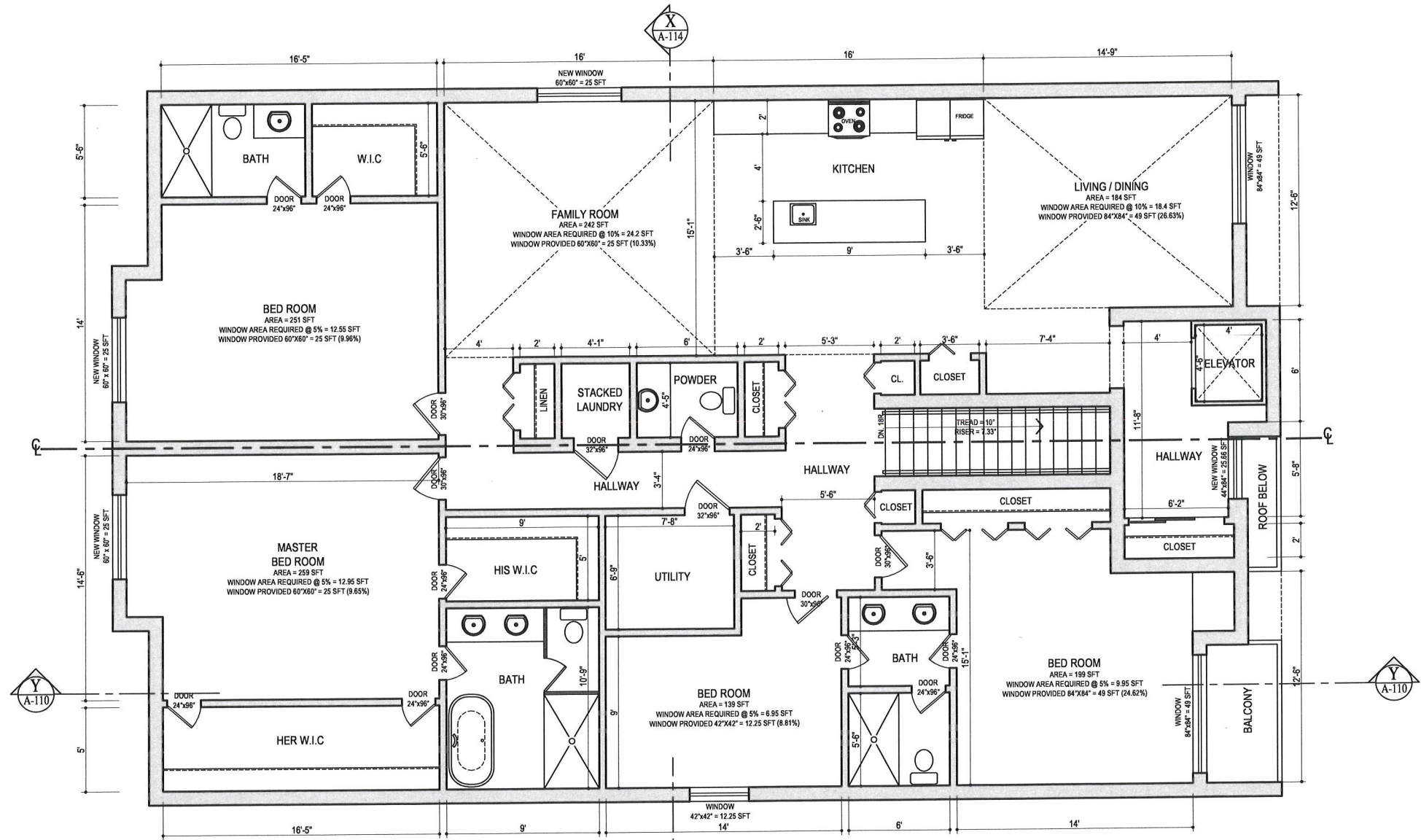
REV DATE DESCRIPTION



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REQUIRED UNDER DESIGN IN DEPT. ORDER NO. C-1313 OF THE BUILDING CODE
 DESIGNER: H.M. 13772
 REG. NO.

REGISTRATION INFORMATION
 REQUIRED UNDER DESIGN IN DEPT. ORDER NO. C-1313 OF THE BUILDING CODE
 WEDESIGNBUILD INC. 131005
 REG. NO.



NEW SECOND FLOOR PLAN
 SCALE : 1/8" = 1'-0"
 SECOND FLOOR DWELLING UNIT # 3 AREA : 2850 SFT. / 264.77M²
SECOND FLOOR TOTAL AREA : 2850 SFT. / 264.77 M²
 CEILING HEIGHT = 10'-0"

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
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 (547) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW THREE
 UNIT DWELLING

PROJECT ADDRESS
 51 DRURY CRESCENT
 BRAMPTON

DRAWING TITLE
 NEW SECOND
 FLOOR PLAN

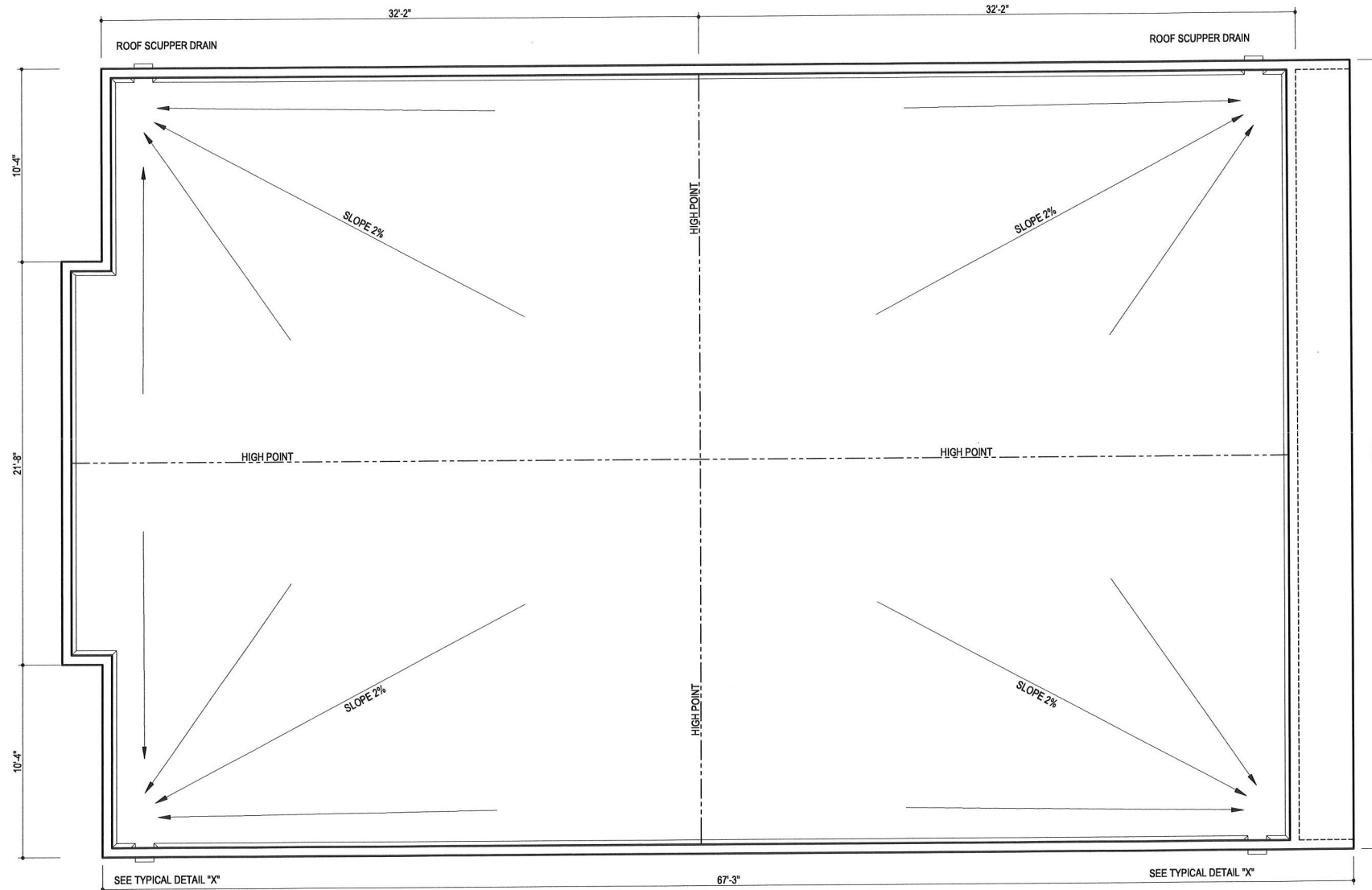
PROJECT NO.
 20230724 - G.S

DRAWN
 M.N.

CHECKED
 H.M.

DRAWING NO.
A104

DATE MODIFIED
 JAN 30, 2024



NEW ROOF PLAN
 SCALE : $\frac{3}{8}'' = 1'-0''$

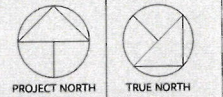
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REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REGISTERED ARCHITECT DESIGNER IN ONTARIO UNDER O.A.C. - 133.1 OF THE BUILDING CODE
 Member No: 302748
 ECRN
REGISTRATION INFORMATION
 REGISTERED ARCHITECT DESIGNER IN ONTARIO UNDER O.A.C. - 133.1 OF THE BUILDING CODE
 weDesignBuild Inc. 111001
 Firm Name ECRN



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 www.weDesignBuild.ca

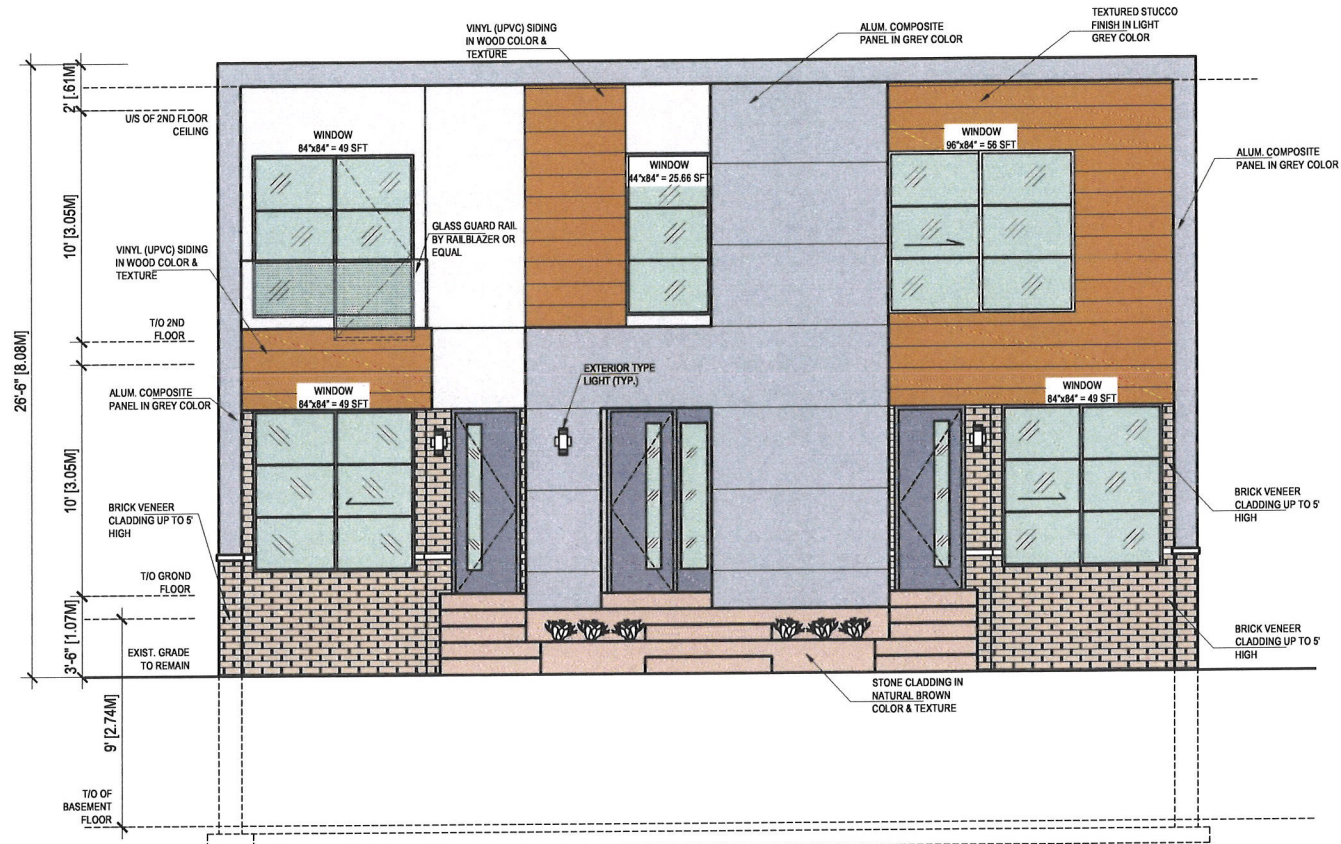
PROJECT TITLE
 NEW THREE
 UNIT DWELLING
PROJECT ADDRESS
 51 DRURY CRESCENT
 BRAMPTON
DRAWING TITLE
 ROOF PLAN

PROJECT NO.
 20230724 - G.S

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A105

DATE MODIFIED
 JAN 30, 2024



FRONT ELEVATION

SCALE : $\frac{1}{8}'' = 1'-0''$

GLAZED OPENINGS:
 WALL AREA: 1030 SFT / 95.69 M²
 LIMITING DISTANCE = 11.34 M
 WINDOW AREA PROVIDED: 49+25.66+49
 49+49 = 221.66 SFT / 20.59 M² (21.51%)
 WINDOW AREA ALLOWED: 100%

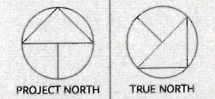
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REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

REGULATED PROFESSIONAL DESIGNER INFORMATION
 Name: Haroon Malik
 Registration No: 102742
 REGISTRATION INFORMATION
 Name: weDesignBuild Inc.
 Registration No: 131001



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
**NEW THREE
 UNIT DWELLING**

PROJECT ADDRESS
**51 DRURY CRESCENT
 BRAMPTON**

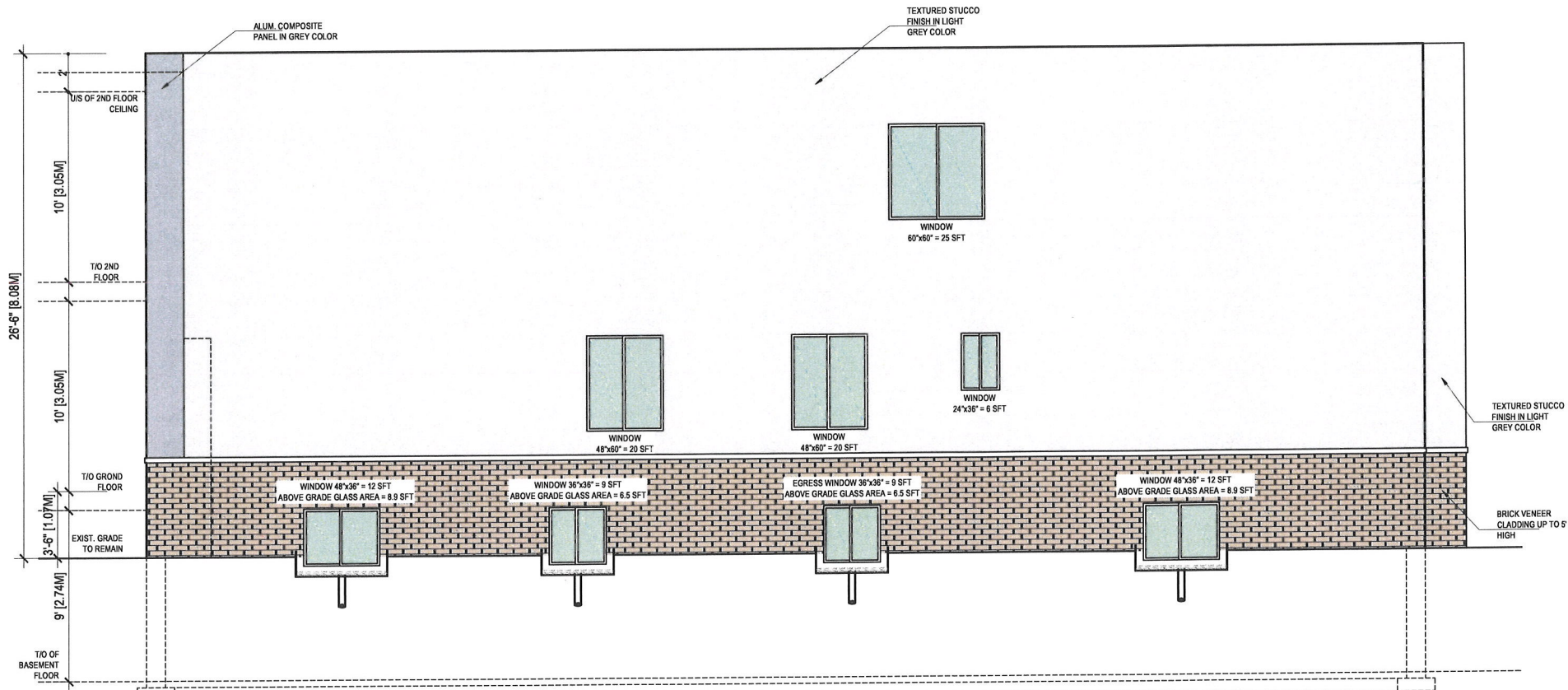
DRAWING TITLE
ELEVATION

PROJECT NO.
20230724 - G.S

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A106

DATE MODIFIED
 JAN 30, 2024



RIGHT SIDE ELEVATION

SCALE : $\frac{1}{8}'' = 1'-0''$

GLAZED OPENINGS:
 WALL AREA: 1782 SFT / 165.55 M²
 LIMITING DISTANCE = 1.23 M
 WINDOW AREA PROVIDED: 25+20+20+6
 +8.9+6.5+6.5+8.9 = 101.8 SFT / 9.45 M² (5.70%)
 WINDOW AREA ALLOWED: 07%

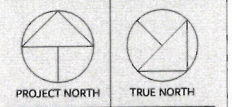
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REV	DATE	DESCRIPTION



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REGISTRATION INFORMATION
 DESIGNER: Hanson Hobbie, 202724
 REGISTRATION NO.: 331001



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 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW THREE UNIT DWELLING

PROJECT ADDRESS
51 DRURY CRESCENT BRAMPTON

DRAWING TITLE
ELEVATION

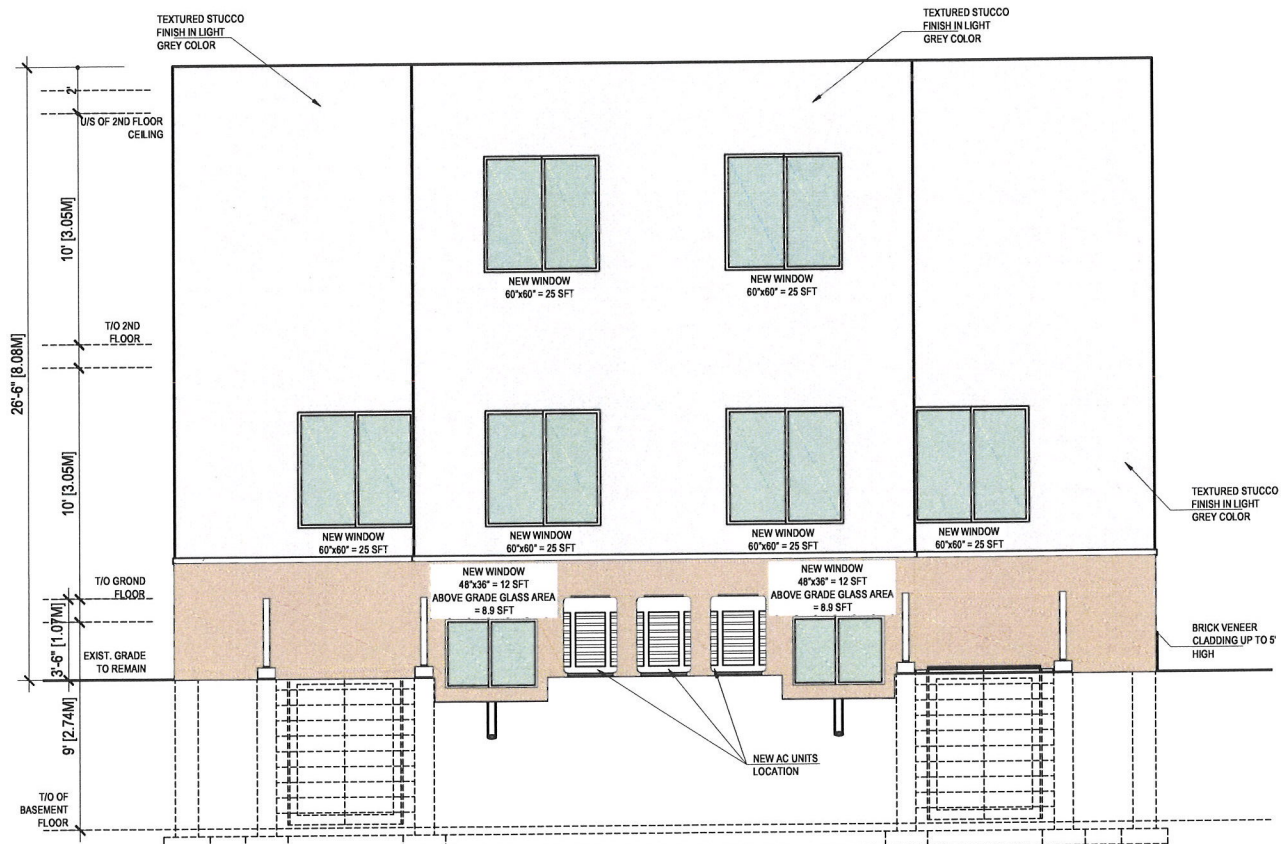
PROJECT NO.
20230724 - G.S

DRAWN
M.N.

CHECKED
H.M.

DRAWING NO.
A107

DATE MODIFIED
JAN 30, 2024



REAR ELEVATION

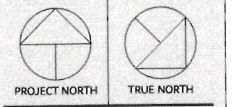
SCALE : $\frac{3}{16}'' = 1'-0''$
 GLAZED OPENINGS:
 WALL AREA: 1124 SFT / 104.42 M²
 LIMITING DISTANCE = 7.54 M
 WINDOW AREA PROVIDED: 25+25+25
 25+25+25+8.9+8.9 = 167.8 SFT / 15.58 M² (14.92%)
 WINDOW AREA ALLOWED: 100%

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QUALIFICATION INFORMATION
 Registered Professional Designer in Ontario License No. C-13341 OF THE REGULATING CODE
 Name: **weDesignBuild Inc.** 302742 BCN
 Registration Information
 Registered License Design in Ontario License No. C-13341 OF THE REGULATING CODE
 Firm Name: **weDesignBuild Inc.** 111001 BCN



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 www.weDesignBuild.ca

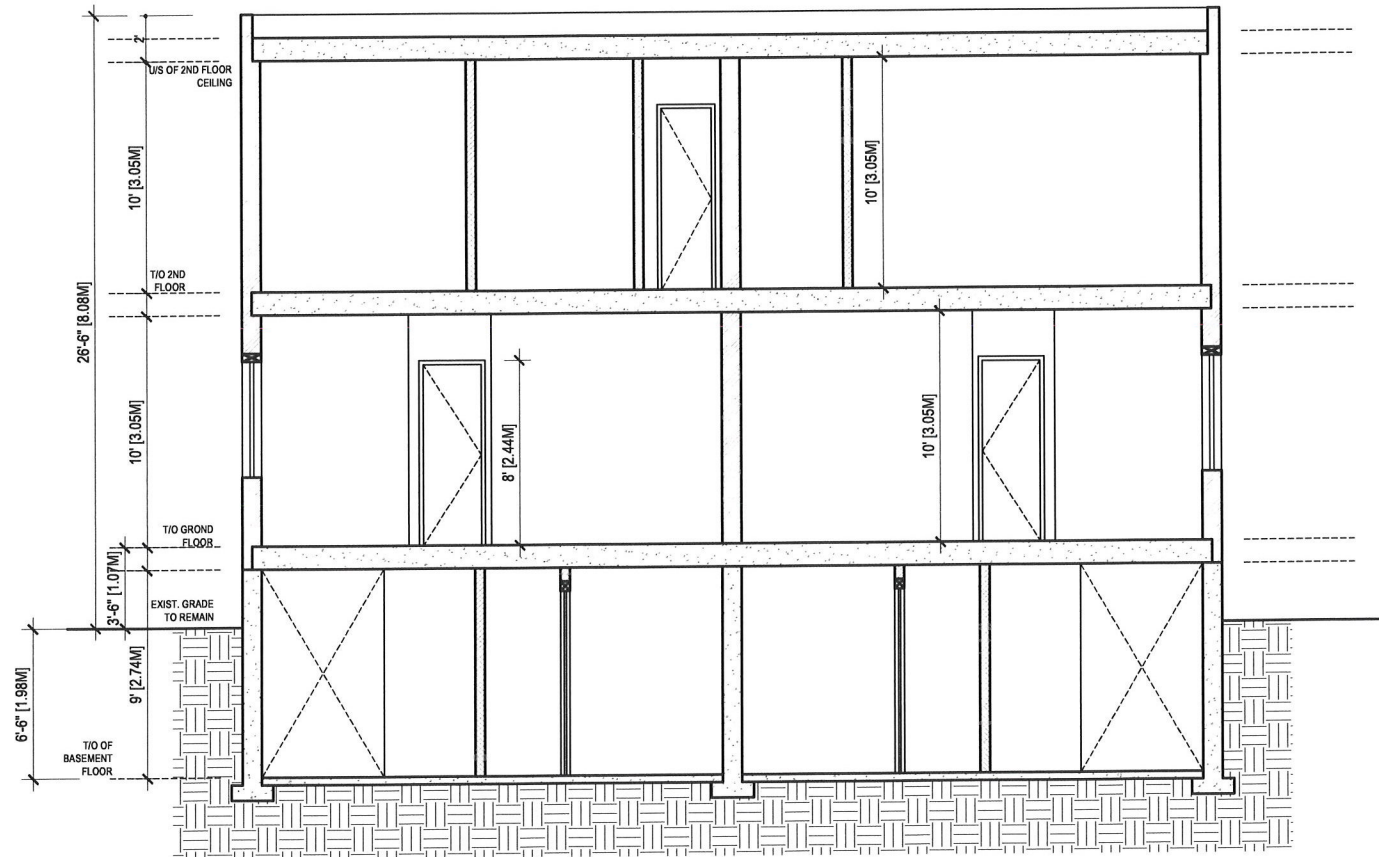
PROJECT TITLE
NEW THREE UNIT DWELLING
 PROJECT ADDRESS
51 DRURY CRESCENT BRAMPTON
 DRAWING TITLE
ELEVATION

PROJECT NO.
20230724 - G.S

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A109

DATE MODIFIED
JAN 30, 2024



NEW SECTION - XX
SCALE : $\frac{1}{8}" = 1'-0"$

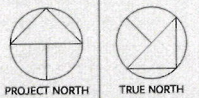
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QUALIFICATION INFORMATION
 REGISTERED UNDER DESIGN BY LEGISLATION (OBC - 3.3.1.1 OF THE BUILDING CODE)
 Name: M. N. M. 332724
 REGISTRATION INFORMATION
 REGISTERED UNDER DESIGN BY LEGISLATION (OBC - 3.3.1.1 OF THE BUILDING CODE)
 weDesignBuild Inc. 113001
 Date: 2024



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 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
**NEW THREE
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 PROJECT ADDRESS
**51 DRURY CRESCENT
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SECTION

PROJECT NO.
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DRAWING NO.
A110

DATE MODIFIED
 JAN 30, 2024

Zoning Non-compliance Checklist

File No.
A-2024-0106

Applicant: Gurpreet Kaur

Address: 51 Drury

Zoning: R1B(1) and Mature Neighbourhood

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 7.5m	Whereas the By-law requires a minimum rear yard setback of 9.765m	10.27
	To permit an interior side yard setback of 1.2m to a second storey	Whereas the By-law requires a minimum interior side yard setback of 1.8m to a second storey	10.27
BUILDING SIZE			
BUILDING HEIGHT	To permit a building height of 8.08m	Whereas the By-law permits a maximum building height of 7.6m	12.6.2 h)
COVERAGE	To permit a lot coverage of 43.5%	Whereas the By-law permits a maximum lot coverage of 30%	10.27
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

____AMANDA DICKIE____
Reviewed by Zoning

____April 2, 2024____
Date