

Flower City



brampton.ca

FILE NUMBER: A-2024-0118

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) SATPAL KAHLON NARINDER KAHLON
Address 21 GLENORA CRES
BRAMPTON, ON L6S 1E1
Phone # 647-409-9092 Fax # _____
Email avijp22@gmail.com

2. Name of Agent MALAV SHAH
Address 688 HESPELER RD UNIT 2B
CAMBRIDGE, ON, N1R 8N7
Phone # 647-770-2966 Fax # _____
Email info@blueprintspermit.com

3. Nature and extent of relief applied for (variances requested):
- PROPOSING VARIANCE IN SETBACKS, LOT COVERAGE,
& BUILDING HT.

4. Why is it not possible to comply with the provisions of the by-law?
- OWNER WANTS TO BUILD CUSTOM HOME WITH MEETING
HIS REQUIREMENTS FOR CEILING HT & OTHER FULFILLMENTS

5. Legal Description of the subject land:
Lot Number LOT 12
Plan Number/Concession Number PL 866 LOT 12
Municipal Address 21 GLENORA CRES, BRAMPTON, L6S 1E1

6. Dimension of subject land (in metric units)
Frontage 15.0 m
Depth 36.6 m
Area 531.2 SQ.M

7. Access to the subject land is by:
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

~~EXISTING BUILDINGS/STRUCTURES~~ - PROPERTY SURVEY ATTACHED.
GFA : 1169.47 SQ.M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BUILDING HT :- 3.6M. - LENGTH OF STRUCTURE :- 22.02M
DECK HT :- 3.2M. - SITE PLAN ATTACHED.
NO. OF STOREY :- 2.
WIDTH OF STRUCTURE :- 11.98M.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.70 m.
Rear yard setback 9.8 m.
Side yard setback 1.28 m.
Side yard setback 1.22 m.

PROPOSED

Front yard setback 9.2 m.
Rear yard setback 7.5 m.
Side yard setback 1.3 m.
Side yard setback 1.3 m.

10. Date of Acquisition of subject land: 2013 (BY OWNER.)
11. Existing uses of subject property: RESIDENTIAL SINGLE FAMILY DWELLING UNIT.
12. Proposed uses of subject property: RESIDENTIAL SINGLE FAMILY DWELLING UNIT.
13. Existing uses of abutting properties: RESIDENTIAL.
14. Date of construction of all buildings & structures on subject land: 1969
15. Length of time the existing uses of the subject property have been continued: 730 YRS.

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No N/A

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF CAMBRIDGE
THIS 3rd DAY OF APRIL, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MAHAV SHAH, OF THE CITY OF CAMBRIDGE

IN THE REGION OF WATERLOO. SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
 IN THE Region OF
Peel THIS 17th DAY OF
April, 2024.

A Commissioner, etc.

Gagandeep Jaswal
 a Commissioner, etc.,
 Province of Ontario,
 for the Corporation of the
 City of Brampton
 Expires September 20, 2026

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

 Zoning Officer

 Date

DATE RECEIVED _____
 Date Application Deemed Complete by the Municipality April 17/2024

V/L

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 21 GLENORA CRES.

I/We, SATPAL KAHLON / NARINDER KAHLON
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

MALAV SHAH.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 3 day of APRIL, 2024

Satpal Kahlon Narinder Kahlon

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: ~~XXXXXXXXXXXXXXXXXXXX~~ 21 GLENORA CRES

I/We, ~~XXXXXXXX~~ SATPAL KAHLON / NARINDER KAHLON
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 3 day of APRIL, 2024.

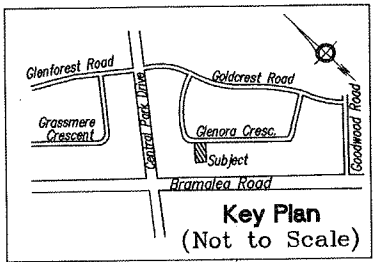
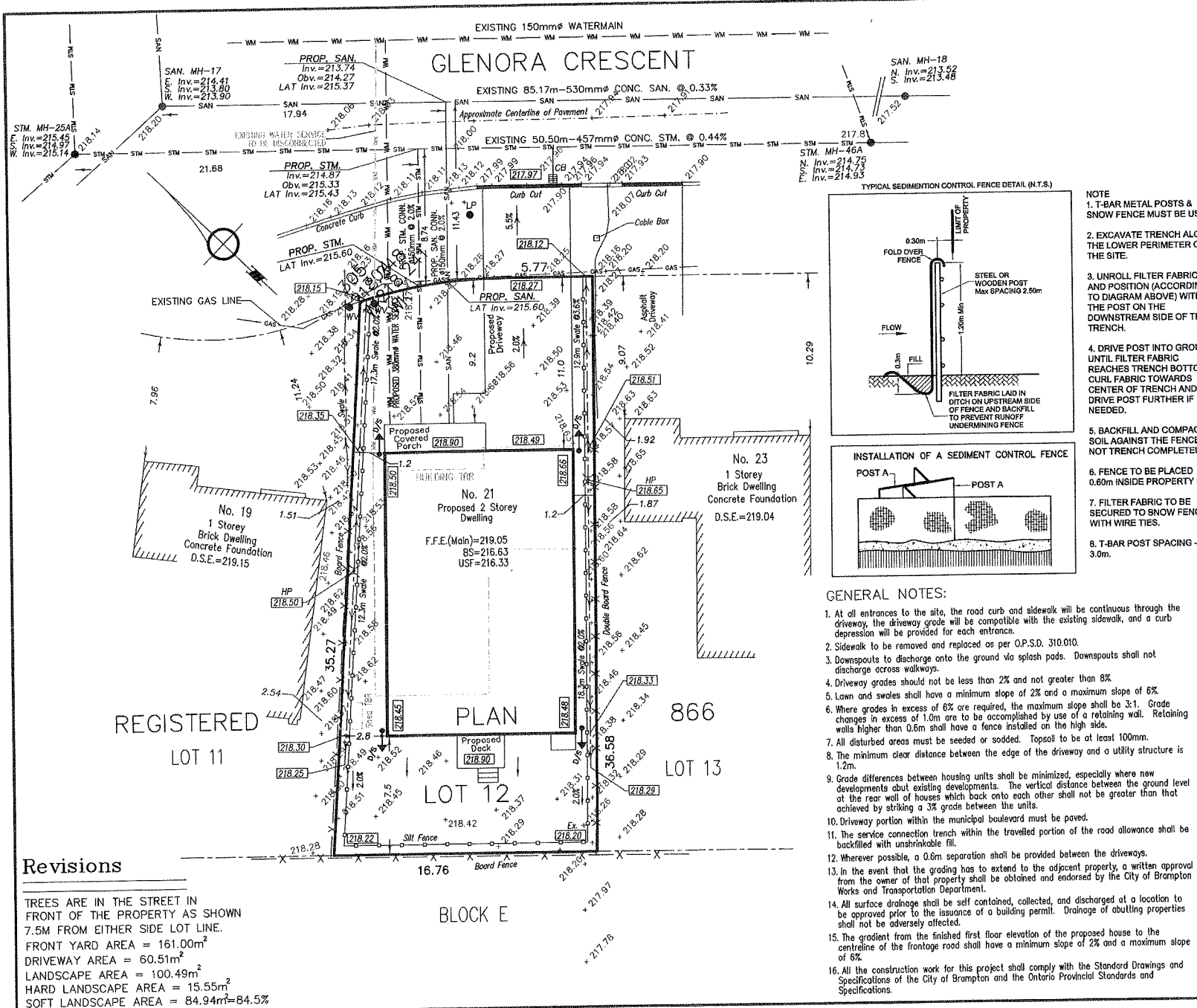
Satpal Kahlon Narinder Kahlon

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



SITE GRADING PLAN OF LOT 12, REGISTERED PLAN 866 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

SCALE 1:250

0 1 2 3 4 5 10 20 metres

© COPYRIGHT APY SURVEYING INC. 2022

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- Notes**
- EX. DENOTES EXISTING
 - 100.39 " PROPOSED ELEVATION
 - 180.07 " EXISTING ELEVATION
 - BS " BASEMENT SLAB ELEVATION
 - CB " CATCHBASIN
 - DS " DOWNSPOUT
 - FD " FLOOR DRAIN ELEVATION
 - F.F.E. " FINISHED FLOOR ELEVATION
 - HP " HIGH POINT
 - SAN. MH. " SANITARY MANHOLE
 - SCF " SEDIMENTATION CONTROL FENCE
 - STM. MH. " STORM MANHOLE
 - " SURFACE FLOW
 - INV " SWALE INVERT
 - UP " UTILITY POLE
 - USF " UNDERSIDE OF FOOTING ELEVATION
 - WV " WATER VALVE

Benchmark
Benchmark No. 151 Elevation = 211.109m

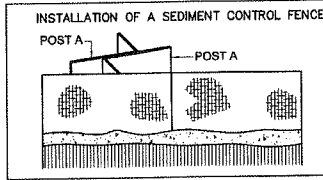
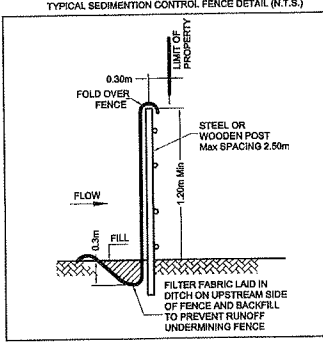
IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN PRODUCE ADEQUATE SURFACE DRAINAGE WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

DATE: APRIL 6th, 2023 *S.M. Yadollahi*
S.M. YADOLLAHI, O.L.S.

APY SURVEYING INC.
Ontario Land Surveyors

8220 Bayview Avenue, UNIT 202, MARKHAM, ON L3T 2S2
TELEPHONE (416) 567-2986 EMAIL: piroz.yadollahi@gmail.com
DRAWING: 22-126-GRADING.DWG PROJECT: 22-126
DRAWN BY: A.D. CHECKED BY: P.Y. FIELD WORK BY: E.M.

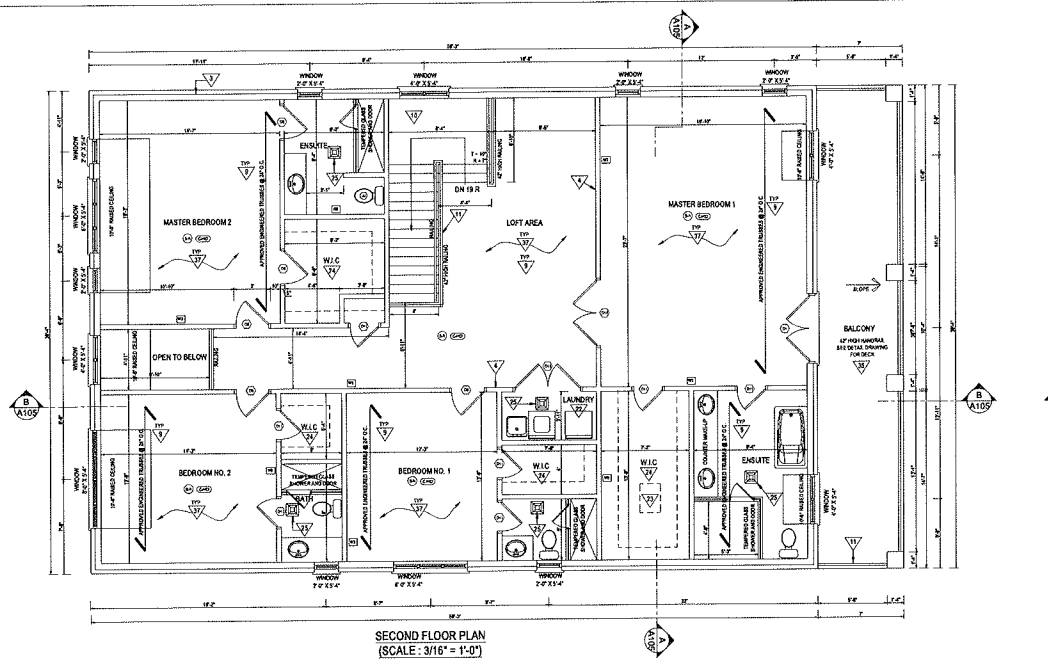
- NOTE**
1. T-BAR METAL POSTS & SNOW FENCE MUST BE USED.
 2. EXCAVATE TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 3. UNROLL FILTER FABRIC AND POSITION (ACCORDING TO DIAGRAM ABOVE) WITH THE POST ON THE DOWNSTREAM SIDE OF THE TRENCH.
 4. DRIVE POST INTO GROUND UNTIL FILTER FABRIC REACHES TRENCH BOTTOM. CURL FABRIC TOWARDS CENTER OF TRENCH AND DRIVE POST FURTHER IF NEEDED.
 5. BACKFILL AND COMPACT SOIL AGAINST THE FENCE, DO NOT TRENCH COMPLETELY.
 6. FENCE TO BE PLACED 0.60m INSIDE PROPERTY LINE.
 7. FILTER FABRIC TO BE SECURED TO SNOW FENCE WITH WIRE TIES.
 8. T-BAR POST SPACING - 3.0m.



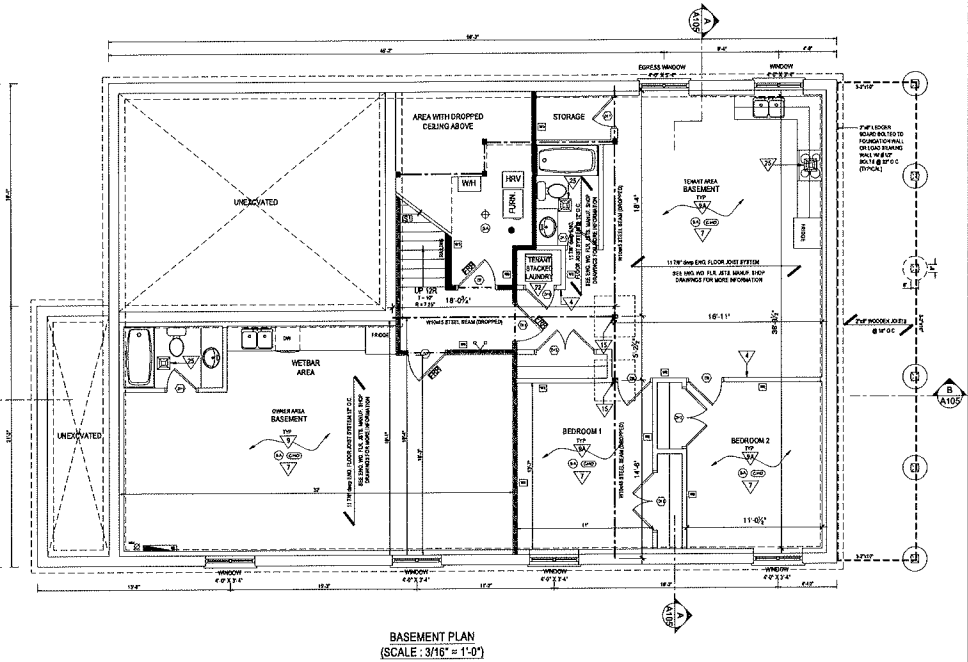
- GENERAL NOTES:**
1. At all entrances to the site, the road curb and sidewalk will be continuous through the driveway, the driveway grade will be compatible with the existing sidewalk, and a curb depression will be provided for each entrance.
 2. Sidewalk to be removed and replaced as per O.P.S.D. 310.010.
 3. Downspouts to discharge onto the ground via splash pads. Downspouts shall not discharge across walkways.
 4. Driveway grades should not be less than 2% and not greater than 8%.
 5. Lawns and swales shall have a minimum slope of 2% and a maximum slope of 6%.
 6. Where grades in excess of 6% are required, the maximum slope shall be 3:1. Grade changes in excess of 1.0m are to be accomplished by use of a retaining wall. Retaining walls higher than 0.6m shall have a fence installed on the high side.
 7. All disturbed areas must be seeded or sodded. Topsoil to be at least 100mm.
 8. The minimum clear distance between the edge of the driveway and a utility structure is 1.2m.
 9. Grade differences between housing units shall be minimized, especially where new developments abut existing developments. The vertical distance between the ground level at the rear wall of houses which back onto each other shall not be greater than that achieved by striking a 3% grade between the units.
 10. Driveway portion within the municipal boulevard must be paved.
 11. The service connection trench within the travelled portion of the road allowance shall be backfilled with unshrinkable fill.
 12. Wherever possible, a 0.6m separation shall be provided between the driveways.
 13. In the event that the grading has to extend to the adjacent property, a written approval from the owner of that property shall be obtained and endorsed by the City of Brampton Works and Transportation Department.
 14. All surface drainage shall be self contained, collected, and discharged at a location to be approved prior to the issuance of a building permit. Drainage of abutting properties shall not be adversely affected.
 15. The gradient from the finished first floor elevation of the proposed house to the centreline of the frontage road shall have a minimum slope of 2% and a maximum slope of 6%.
 16. All the construction work for this project shall comply with the Standard Drawings and Specifications of the City of Brampton and the Ontario Provincial Standards and Specifications.

Revisions

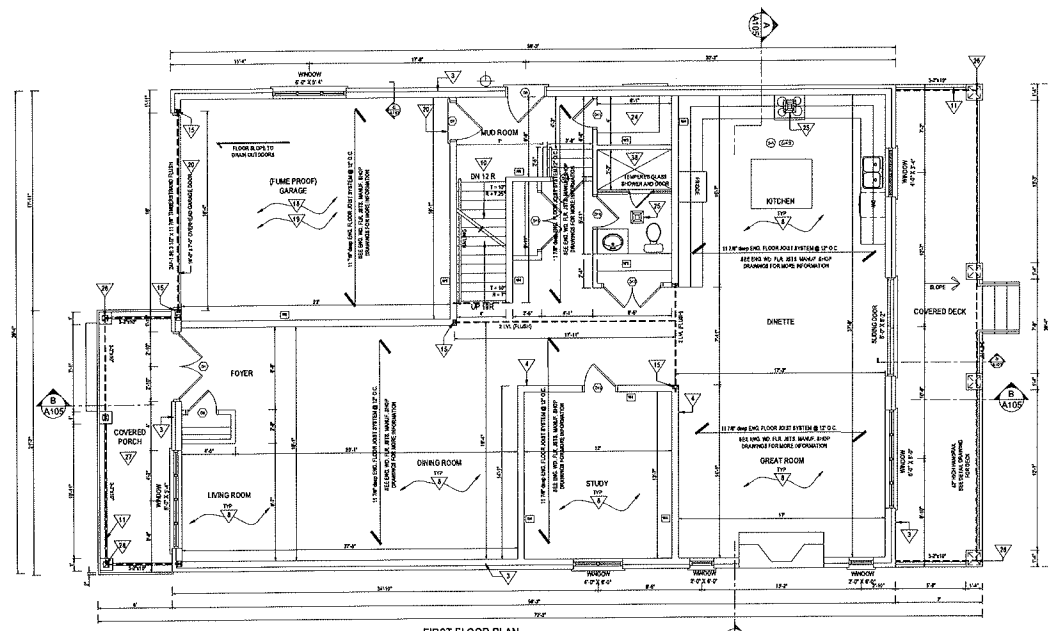
TREES ARE IN THE STREET IN FRONT OF THE PROPERTY AS SHOWN 7.5M FROM EITHER SIDE LOT LINE.
FRONT YARD AREA = 161.00m²
DRIVEWAY AREA = 60.51m²
LANDSCAPE AREA = 100.49m²
HARD LANDSCAPE AREA = 15.55m²
SOFT LANDSCAPE AREA = 84.94m²=84.5%



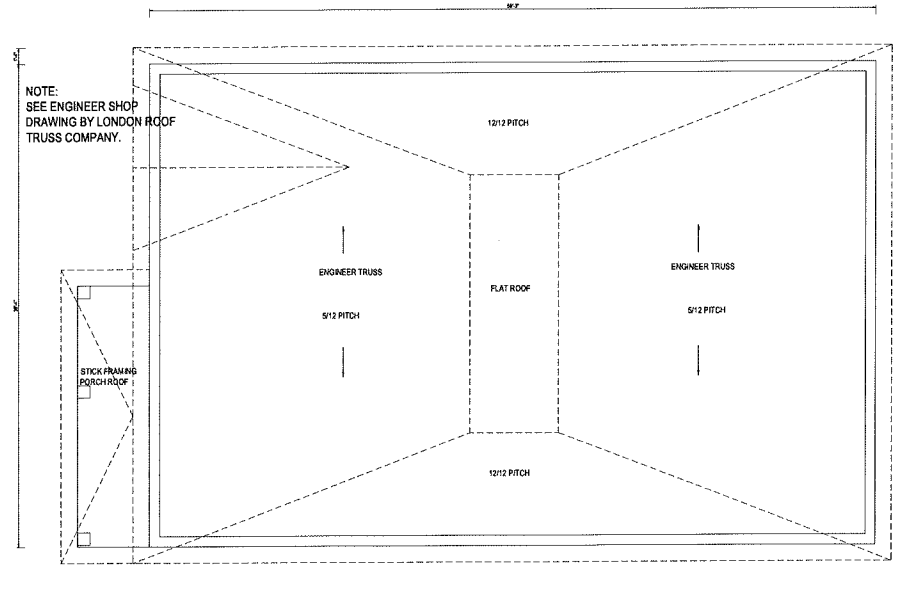
SECOND FLOOR PLAN
(SCALE: 3/16" = 1'-0")



BASEMENT PLAN
(SCALE: 3/16" = 1'-0")



FIRST FLOOR PLAN
(SCALE: 3/16" = 1'-0")



ROOF PLAN
(SCALE: 3/16" = 1'-0")

NOTE:
SEE ENGINEER SHOP
DRAWING BY LONDON ROOF
TRUSS COMPANY.

DOOR SCHEDULE

- (D1) 3'-4" X 8'-0" SOLID WOOD CUSTOM FRONT DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY (GLAZING AS SHOWN ON ELEVATION)
- (D2) 2'-10" X 8'-0" SOLID WOOD CUSTOM FRONT DOOR OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY (GLAZING AS SHOWN ON ELEVATION)
- (D3) 3'-4" X 8'-0" X 1'-3/4" METAL INSULATED EXT. TYPE DOOR (GLAZING AS SHOWN ON ELEVATION)
- (D4) 2'-10" X 8'-0" X 1'-3/4" METAL INSULATED EXT. TYPE DOOR (GLAZING AS SHOWN ON ELEVATION)
- (D5) 2'-8" X 8'-0" X 1'-3/4" METAL INSULATED EXT. TYPE DOOR (GLAZING AS SHOWN ON ELEVATION)
- (D6) 2'-8" X 8'-0" X 1'-3/4" METAL INSULATED EXT. TYPE DOOR (GLAZING AS SHOWN ON ELEVATION)
- (D7) 2'-0" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D8) 2'-10" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D9) 2'-8" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D10) 2'-0" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D11) 2'-4" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D12) 2'-0" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D13) 1'-8" X 8'-0" X 1'-3/8" SOLID CORE DOOR
- (D14) 8'-4" X 8'-0" X 1'-3/8" SOLID CORE DOUBLE DOOR
- (D15) 4'-8" X 8'-0" X 1'-3/8" SOLID CORE DOUBLE DOOR
- (D16) 3'-0" X 7'-0" X 1'-3/8" SOLID CORE DOOR
- (D17) 2'-4" X 7'-0" X 1'-3/8" SOLID CORE DOOR

RESISTANCE TO FORCED ENTRY ALL EXTERIOR DOORS, WINDOWS, AND SKYLIGHTS TO CONFORM WITH I.B.C. REQUIREMENTS SUBSECTION 804.8 AND 804.7

WOOD LINTEL SCHEDULE	STEEL LINTEL SCHEDULE
(2-PLY WOOD MEMBERS)	L1 = 1-3/4" X 12" X 10' LVL
W1 = 2-2" X 8" SPRUCE No.1	L2 = 1-1/2" X 12" X 10' LVL
W2 = 2-2" X 10" SPRUCE No.1	L3 = 1-1/2" X 12" X 10' LVL
W3 = 2-2" X 12" SPRUCE No.1	L4 = 1-1/2" X 12" X 10' LVL
	L5 = 1-1/2" X 12" X 10' LVL
(3-PLY WOOD MEMBERS)	L6 = 1-3/4" X 12" X 10' LVL
W4 = 3-2" X 8" SPRUCE No.1	
W5 = 3-2" X 10" SPRUCE No.1	
W6 = 3-2" X 12" SPRUCE No.1	

WOOD LINTEL SCHEDULE	STEEL LINTEL SCHEDULE
W7 = 1-3/4" X 8' 102' LVL	
W8 = 1-3/4" X 11' 708' LVL	
W9 = 1-3/4" X 14' LVL	
W10 = 1-3/4" X 18' LVL	

TITLE
21 GLENORA CRESCENT,
BRAMPTON, ON
FLOOR PLANS

PROJECT INFORMATION
NO. 23-301

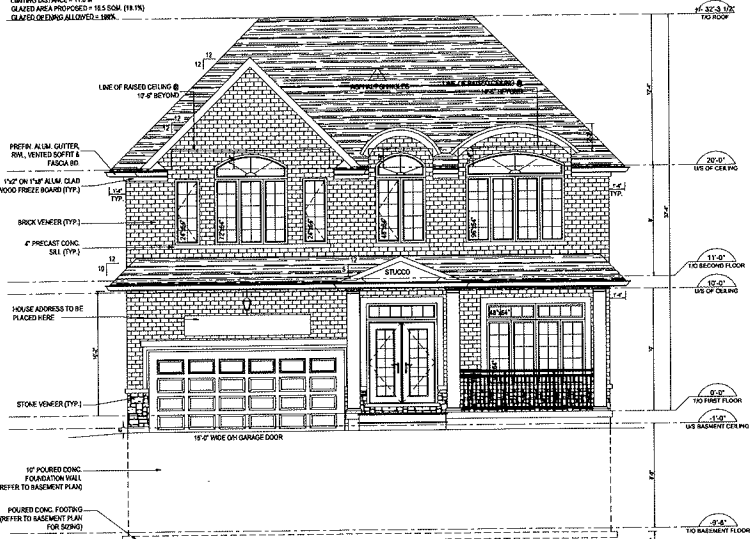
DESIGNER INFORMATION
21 GLENORA CRESCENT



ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS INC. AND THEY ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BLUE PRINTS INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES AND FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

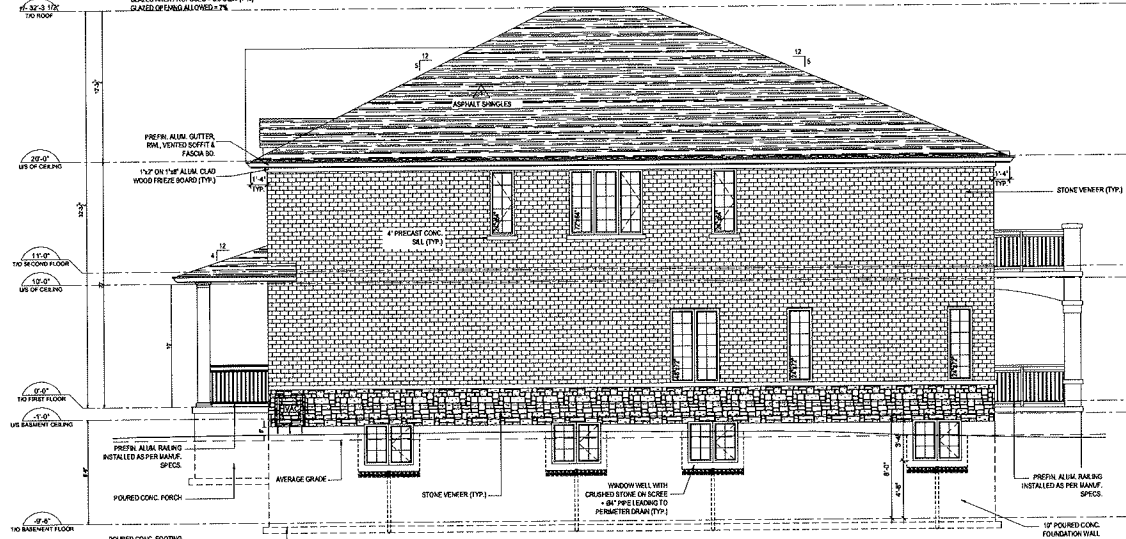
SHEET
A103
REV
01
BY: [Name]
DATE: [Date]
PROJECT: [Project Name]
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: [Scale]
DATE: [Date]

GLAZED OPENING (FRONT ELEVATION)
 WALL AREA = 86.5 SQM
 LIMITING DISTANCE = 11.0 M
 GLAZED AREA PROPOSED = 83.5 SQM (19.7%)
 GLAZED OPENING ALLOWED = 188%



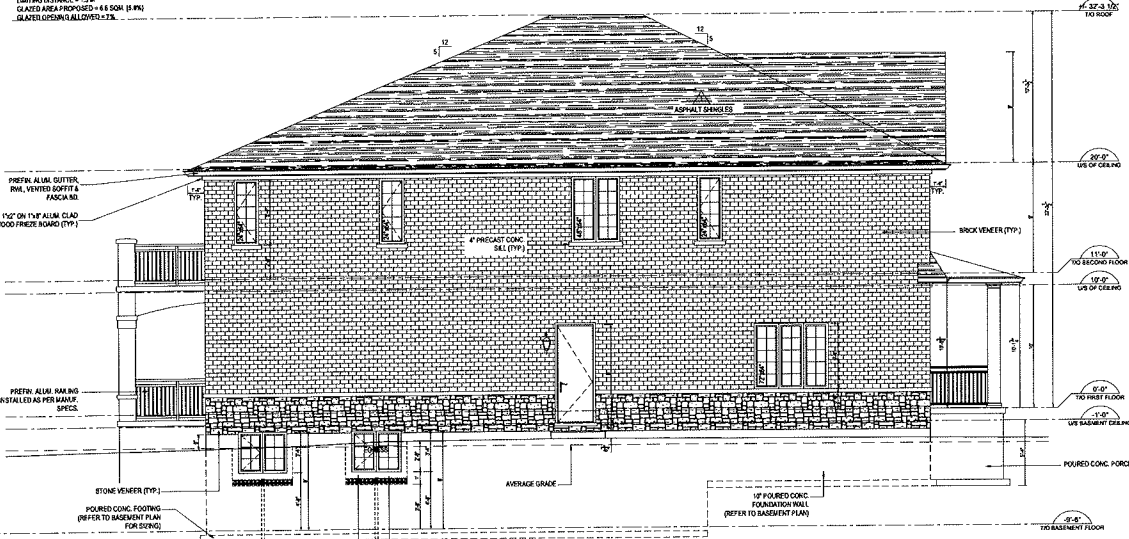
FRONT ELEVATION
 (SCALE: 3/16" = 1'-0")

GLAZED OPENING (LEFT SIDE ELEVATION)
 WALL AREA = 117.8 SQM
 LIMITING DISTANCE = 13.8 M
 GLAZED AREA PROPOSED = 83.5 SQM (7.1%)
 GLAZED OPENING ALLOWED = 7%



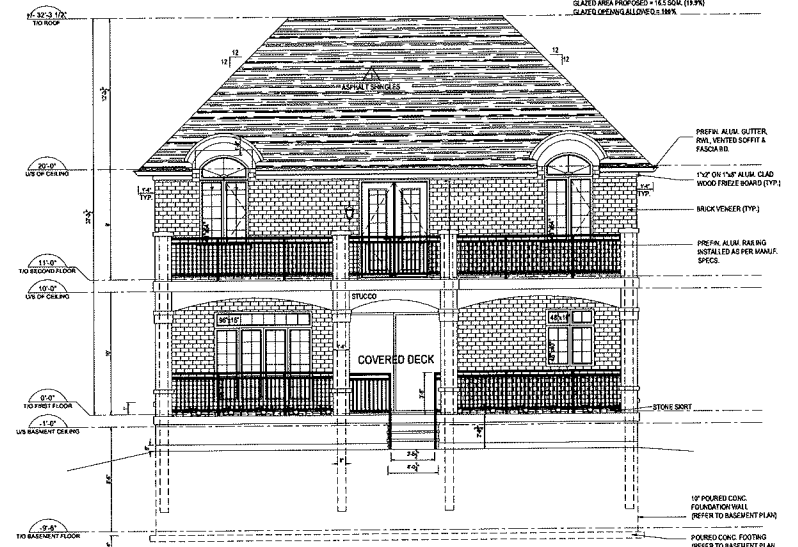
LEFT SIDE ELEVATION
 (SCALE: 3/16" = 1'-0")

GLAZED OPENING (RIGHT SIDE ELEVATION)
 WALL AREA = 117.8 SQM
 LIMITING DISTANCE = 13.8 M
 GLAZED AREA PROPOSED = 6.6 SQM (5.6%)
 GLAZED OPENING ALLOWED = 2%



RIGHT SIDE ELEVATION
 (SCALE: 3/16" = 1'-0")

GLAZED OPENING (REAR ELEVATION)
 WALL AREA = 83.1 SQM
 LIMITING DISTANCE = 7.2 M
 GLAZED AREA PROPOSED = 14.5 SQM (17.3%)
 GLAZED OPENING ALLOWED = 188%



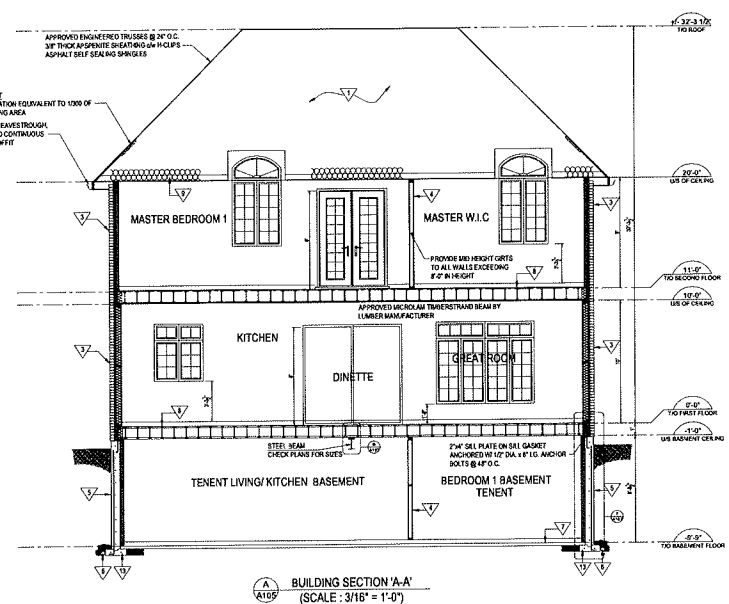
REAR ELEVATION
 (SCALE: 3/16" = 1'-0")

21 GLENORA CRESCENT,
 BRAMPTON, ON
 ELEVATIONS

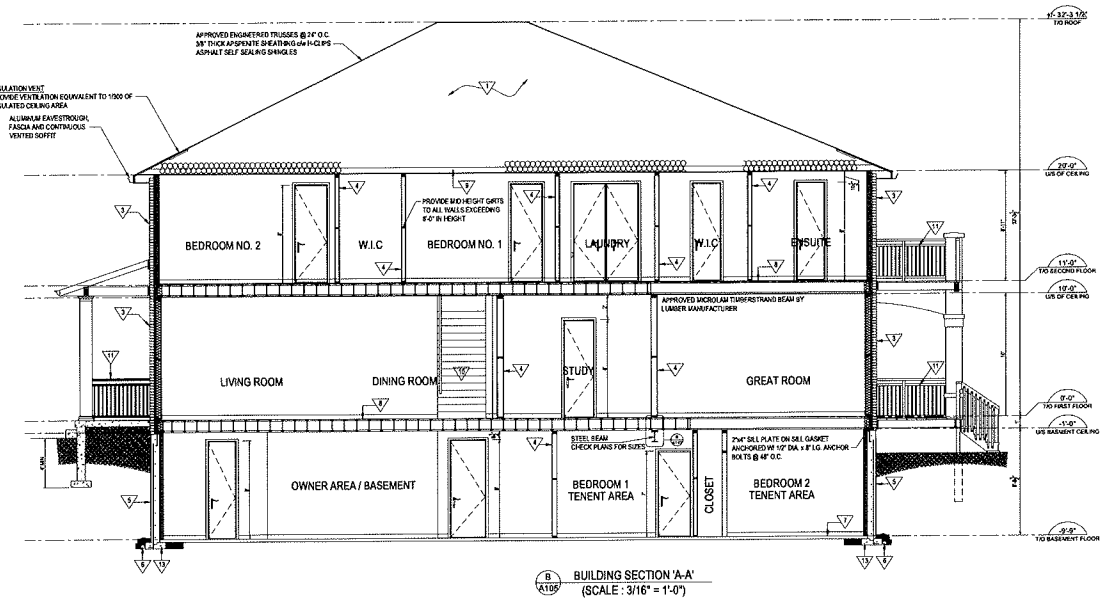
PROJECT REFERENCE: 23-301
 DATE: 03/15/2024
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: 21 GLENORA CRESCENT
 SHEET: ELEVATIONS
 1/8" = 1'-0"

ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS AND THE USER IS TO BE RESPONSIBLE FOR PROTECTING THEM FROM UNAUTHORIZED REPRODUCTION.
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
 LATEST REVISIONS FOR THE DRAWING. ALL OTHER SECTIONS TO BE ACCORDING TO THE COMMON HEALTHY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

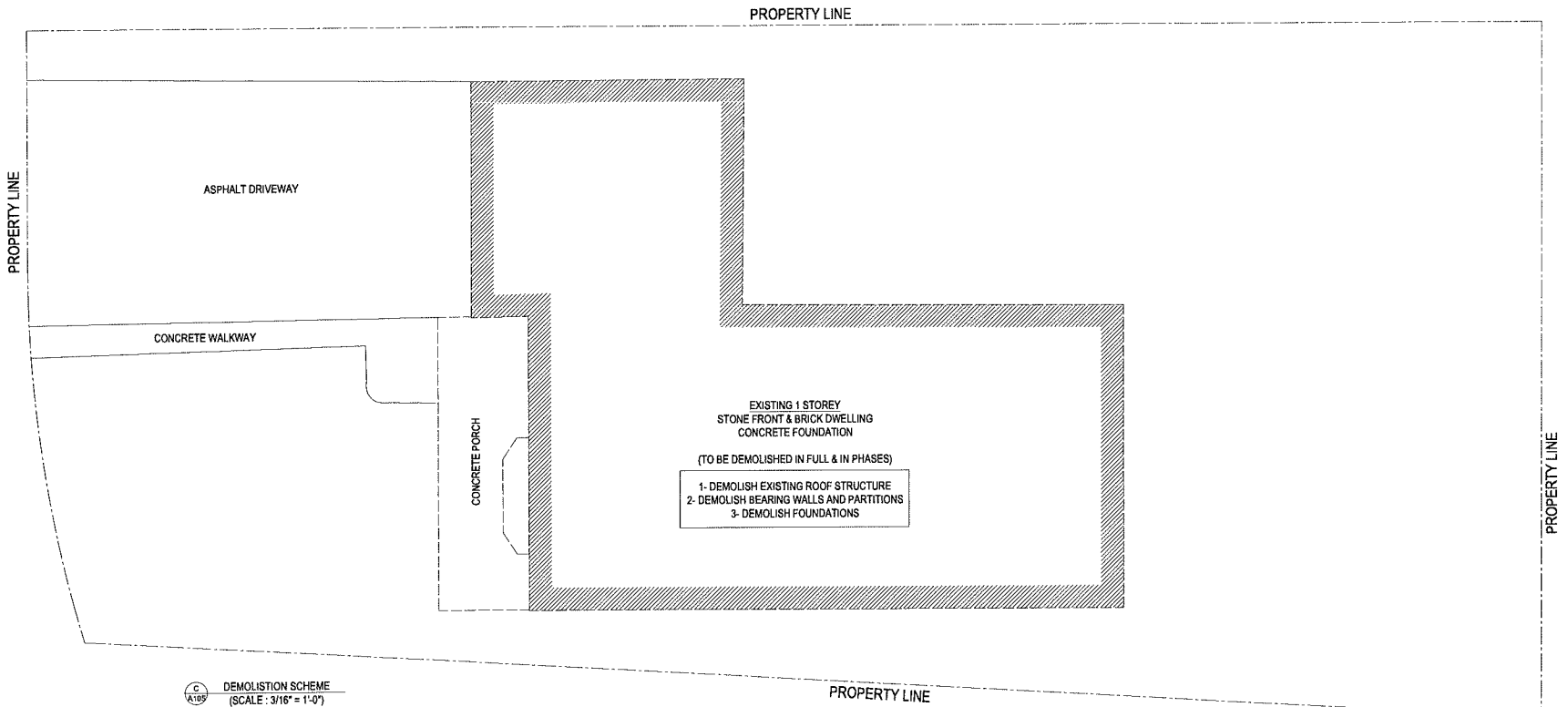
AREA: A104
 REV: 01
 83 GARDEN DRIVE, GAINSBORO, ONTARIO, M7G 2C7
 TEL: 905.709.7866 OR 905.646.9960
 EMAIL: info@blueprints.com
 WEBSITE: www.blueprints.com



A A105 BUILDING SECTION 'A-A'
(SCALE : 3/16" = 1'-0")



B A105 BUILDING SECTION 'A-A'
(SCALE : 3/16" = 1'-0")



C A105 DEMOLITION SCHEME
(SCALE : 3/16" = 1'-0")

EXISTING 1 STOREY
STONE FRONT & BRICK DWELLING
CONCRETE FOUNDATION
(TO BE DEMOLISHED IN FULL & IN PHASES)

- 1- DEMOLISH EXISTING ROOF STRUCTURE
- 2- DEMOLISH BEARING WALLS AND PARTITIONS
- 3- DEMOLISH FOUNDATIONS

21 GLENORA CRESCENT,
BRAMPTON, ON

SECTIONS & DEMOLITION

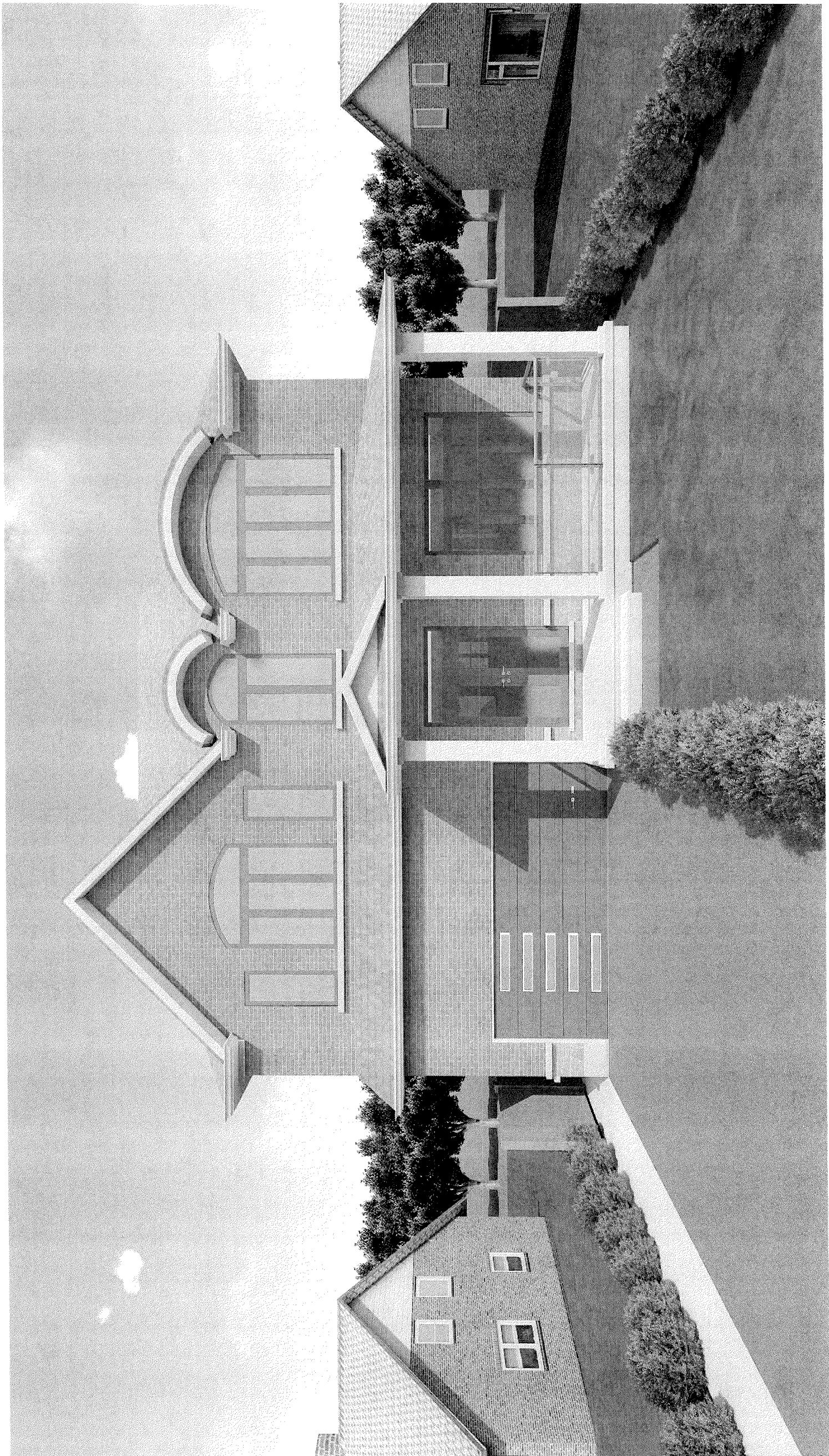
PROJECT INFORMATION
23-301

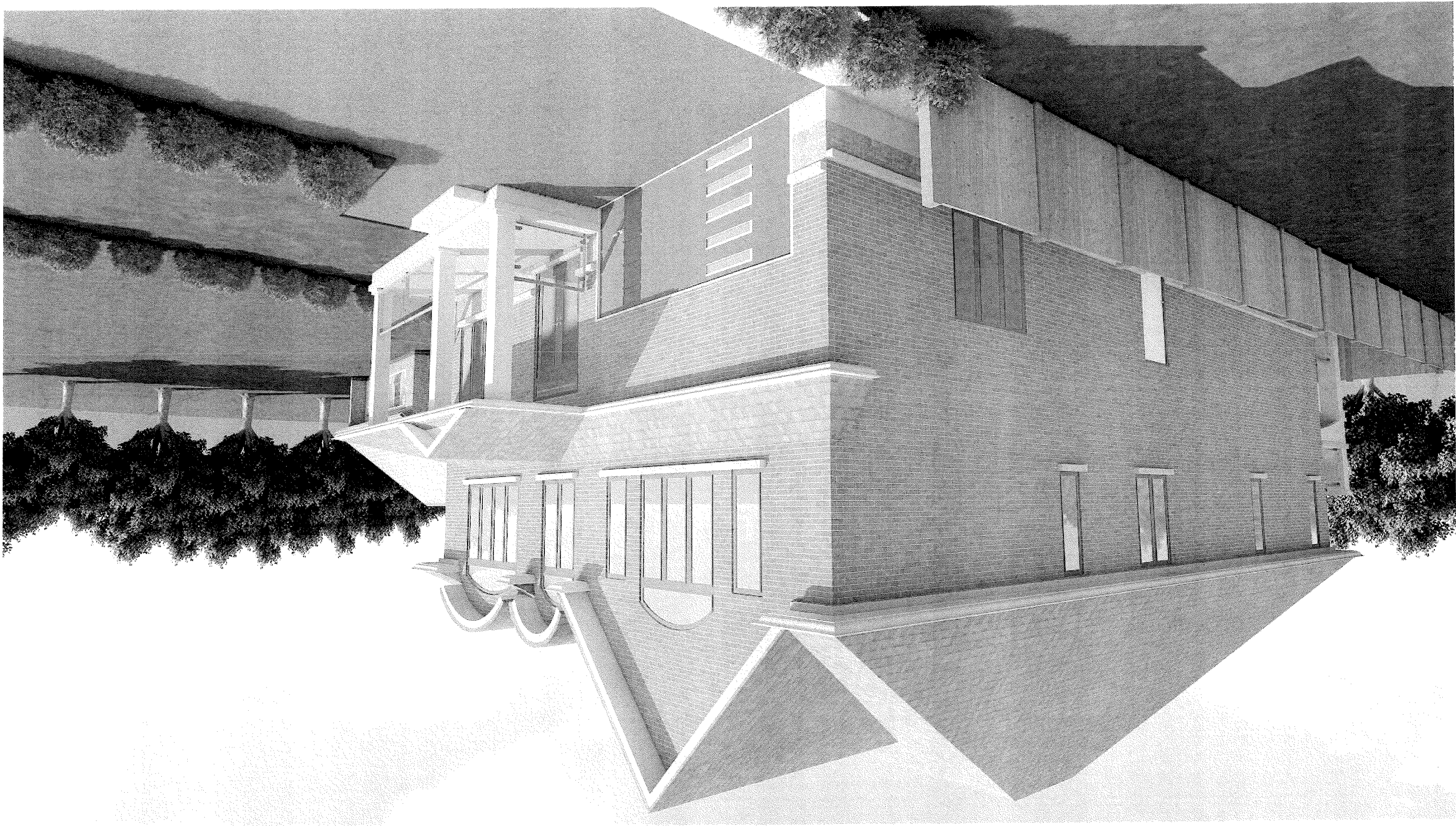
21 GLENORA CRESCENT

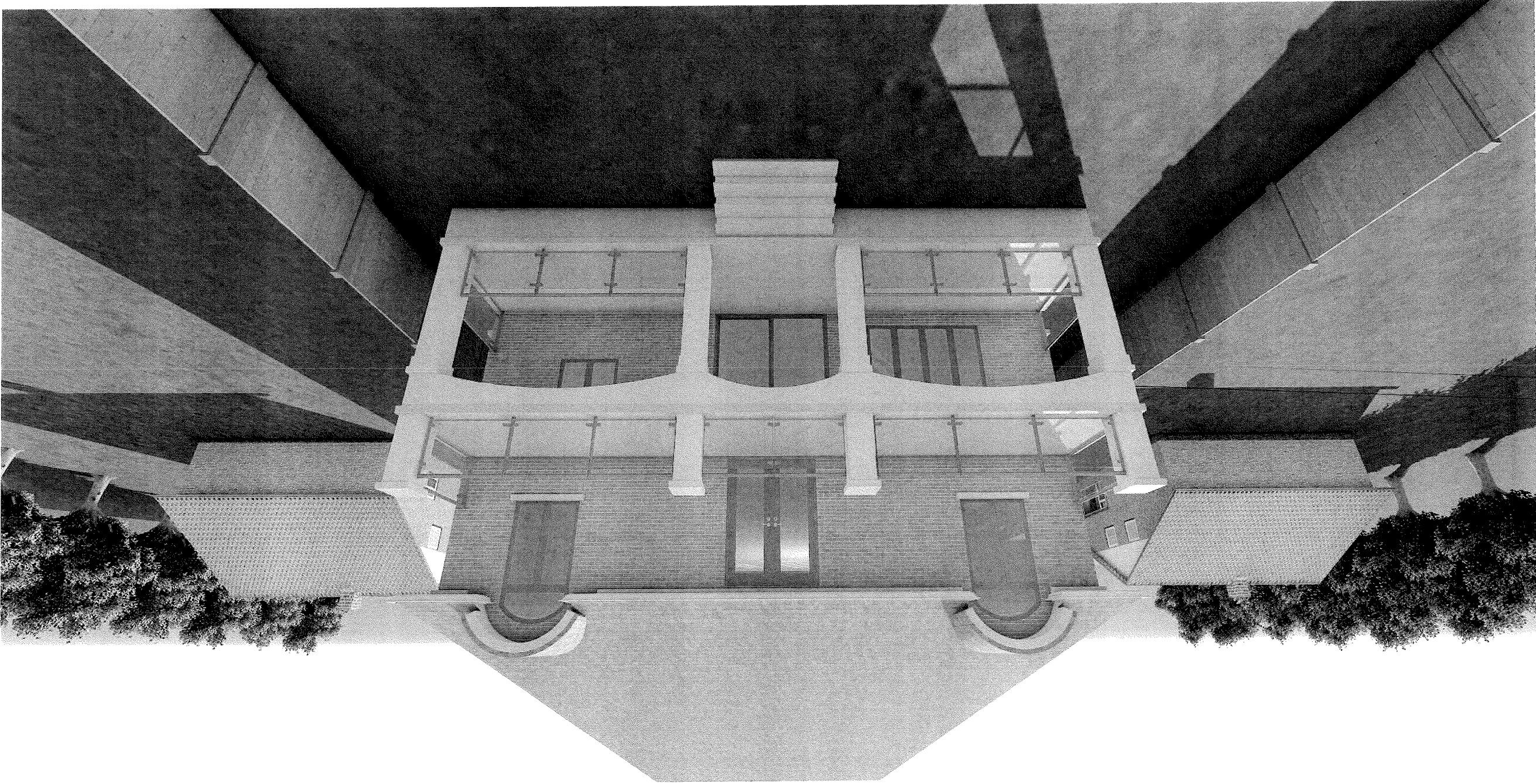
PROFESSIONAL SEAL
07/15/2024
PROFESSIONAL SEAL

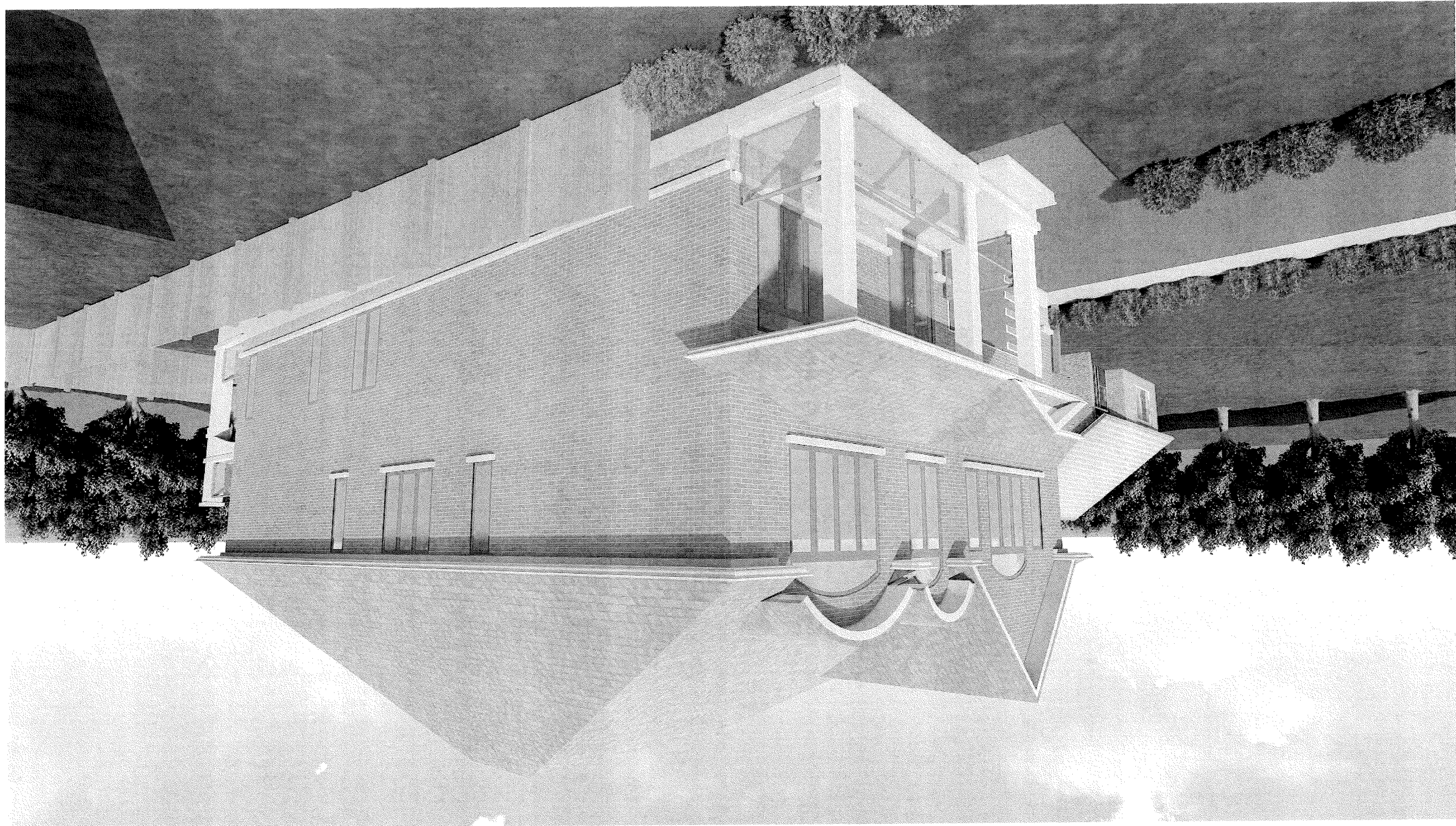
ALL DRAWINGS ARE THE PROPERTY OF JJR DESIGN GROUP AND ARE NOT TO BE REPRODUCED, COPIED OR REUSED WITHOUT WRITTEN CONSENT FROM JJR DESIGN GROUP.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
NEW & EXISTING CONDITIONS OF THE DRAWING AND CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE CANADIAN BUILDING CODE.

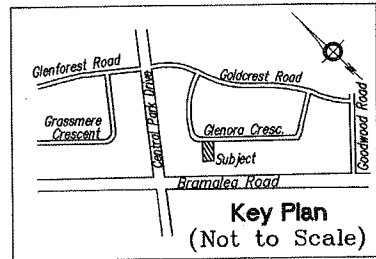
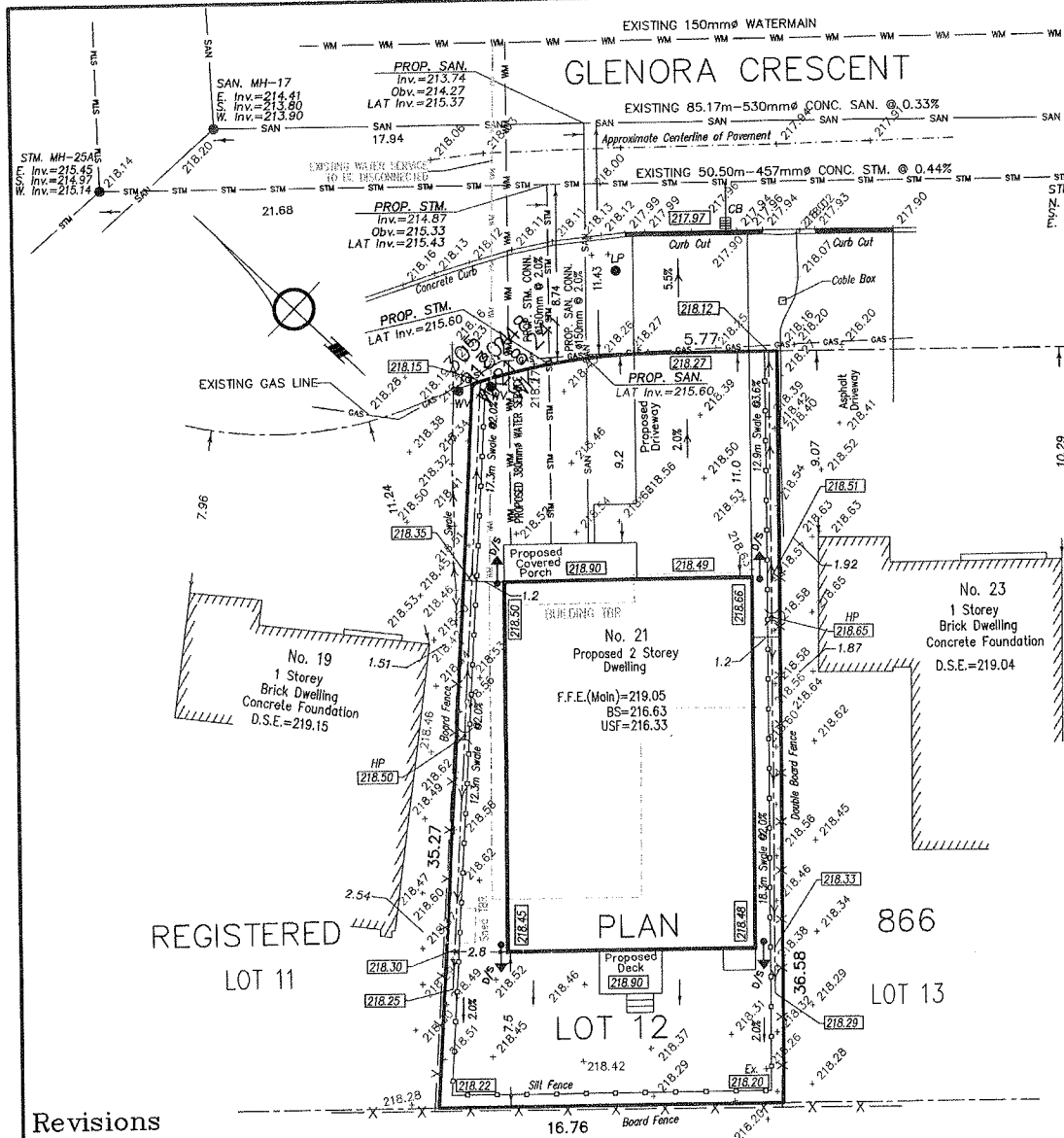
SHEET	A105
REV	01
DESIGNED BY	Dina, Danyla
CHKD BY	M1711
PLT BY	M1711
DATE	07/15/2024
PROJECT	21 Glenora Crescent, Brampton, ON
CLIENT	21 Glenora Crescent
SCALE	1/8" = 1'-0"











SITE GRADING PLAN OF
LOT 12,
REGISTERED PLAN 866
CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1: 250
 0 1 2 3 4 5 10 20 metres
 © COPYRIGHT APY SURVEYING INC. 2022

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Notes

- | | | |
|----------|---------|--------------------------------|
| EX. | DENOTES | EXISTING |
| 100.39 | " | PROPOSED ELEVATION |
| 180.07 | " | EXISTING ELEVATION |
| BS | " | BASEMENT SLAB ELEVATION |
| CB | " | CATCHBASIN |
| 9/S | " | DOWNSPOUT |
| FD | " | FLOOR DRAIN ELEVATION |
| F.F.E. | " | FINISHED FLOOR ELEVATION |
| X | " | HIGH POINT |
| SAN. MH. | " | SANITARY MANHOLE |
| — — | " | SEDIMENTATION CONTROL FENCE |
| STM. MH. | " | STORM MANHOLE |
| — — — | " | SURFACE FLOW |
| INV | " | SWALE INVERT |
| UP | " | UTILITY POLE |
| USF | " | UNDERSIDE OF FOOTING ELEVATION |
| WV | " | WATER VALVE |

Benchmark

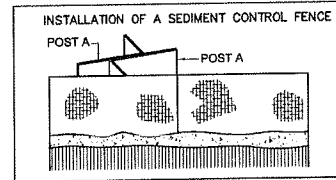
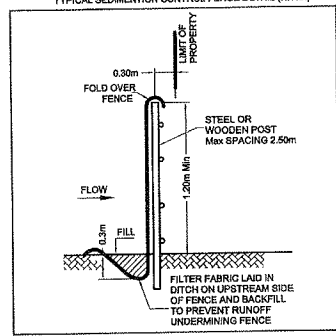
Benchmark No. 151 Elevation = 211.109m

IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN PRODUCE ADEQUATE SURFACE DRAINAGE WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

DATE: APRIL 6th, 2023
 S. M. YADOLLAHI, O.L.S.

APY SURVEYING INC.
 Ontario Land Surveyors

8220 Bayview Avenue, UNIT 202, MARKHAM, ON L3T 2S2
 TELEPHONE (416) 567-2986 EMAIL: pkozyadollahi@gmail.com
 DRAWING : 22-126-GRADING.DWG PROJECT : 22-126
 DRAWN BY: A.D. CHECKED BY: P.Y. FIELD WORK BY: E.M.



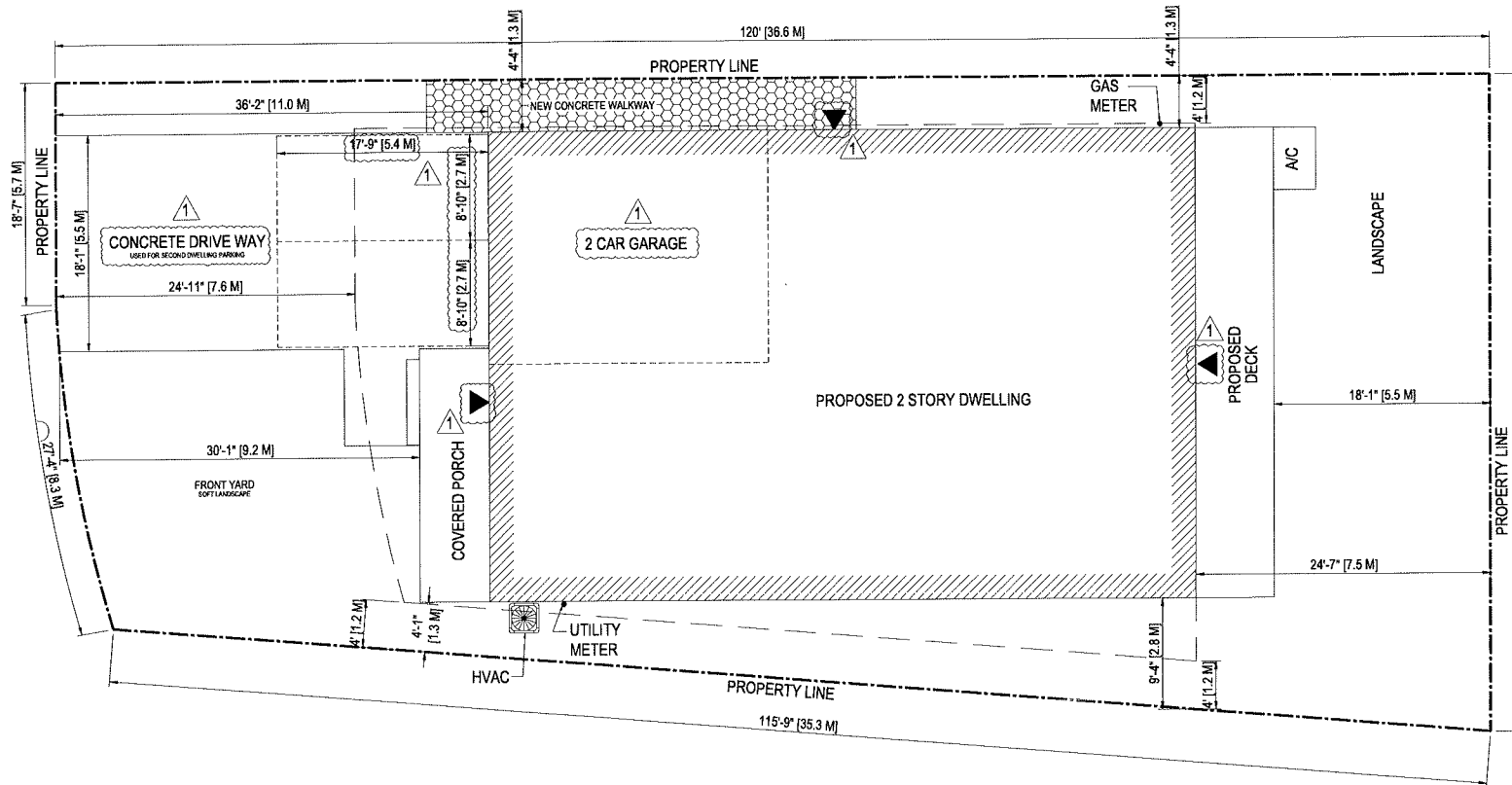
- NOTE**
1. T-BAR METAL POSTS & SNOW FENCE MUST BE USED.
 2. EXCAVATE TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 3. UNROLL FILTER FABRIC AND POSITION (ACCORDING TO DIAGRAM ABOVE) WITH THE POST ON THE DOWNSTREAM SIDE OF THE TRENCH.
 4. DRIVE POST INTO GROUND UNTIL FILTER FABRIC REACHES TRENCH BOTTOM. CURL FABRIC TOWARDS CENTER OF TRENCH AND DRIVE POST FURTHER IF NEEDED.
 5. BACKFILL AND COMPACT SOIL AGAINST THE FENCE. DO NOT TRENCH COMPLETELY.
 6. FENCE TO BE PLACED 0.60m INSIDE PROPERTY LINE.
 7. FILTER FABRIC TO BE SECURED TO SNOW FENCE WITH WIRE TIES.
 8. T-BAR POST SPACING - 3.0m.

GENERAL NOTES:

1. At all entrances to the site, the road curb and sidewalk will be continuous through the driveway, the driveway grade will be compatible with the existing sidewalk, and a curb depression will be provided for each entrance.
2. Sidewalk to be removed and replaced as per O.P.S.D. 310.010.
3. Downspouts to discharge onto the ground via splash pads. Downspouts shall not discharge across walkways.
4. Driveway grades should not be less than 2% and not greater than 8%.
5. Lawn and swales shall have a minimum slope of 2% and a maximum slope of 6%.
6. Where grades in excess of 6% are required, the maximum slope shall be 3:1. Grade changes in excess of 1.0m are to be accomplished by use of a retaining wall. Retaining walls higher than 0.6m shall have a fence installed on the high side.
7. All disturbed areas must be seeded or sodded. Topsoil to be at least 100mm.
8. The minimum clear distance between the edge of the driveway and a utility structure is 1.2m.
9. Grade differences between housing units shall be minimized, especially where new developments abut existing developments. The vertical distance between the ground level at the rear wall of houses which back onto each other shall not be greater than that achieved by striking a 3% grade between the units.
10. Driveway portion within the municipal boulevard must be paved.
11. The service connection trench within the travelled portion of the road allowance shall be backfilled with unshrinking fill.
12. Wherever possible, a 0.6m separation shall be provided between the driveways.
13. In the event that the grading has to extend to the adjacent property, a written approval from the owner of that property shall be obtained and endorsed by the City of Brampton Works and Transportation Department.
14. All surface drainage shall be self contained, collected, and discharged at a location to be approved prior to the issuance of a building permit. Drainage of abutting properties shall not be adversely affected.
15. The gradient from the finished first floor elevation of the proposed house to the centreline of the frontage road shall have a minimum slope of 2% and a maximum slope of 6%.
16. All the construction work for this project shall comply with the Standard Drawings and Specifications of the City of Brampton and the Ontario Provincial Standards and Specifications.

Revisions

TREES ARE IN THE STREET IN FRONT OF THE PROPERTY AS SHOWN 7.5M FROM EITHER SIDE LOT LINE.
 FRONT YARD AREA = 161.00m²
 DRIVEWAY AREA = 60.51m²
 LANDSCAPE AREA = 100.49m²
 HARD LANDSCAPE AREA = 15.55m²
 SOFT LANDSCAPE AREA = 84.94m² = 84.5%

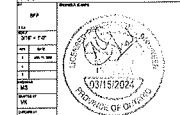


ZONING BY-LAW	ALLOWED	PROPOSED	LOT AREA	571.3 SQM	LOT FRONTAGE	15.0 M	LOT DEPTH	36.6 M
FRONT YARD SETBACK	7.5 M	9.2 M	DESCRIPTION	EXISTING (TO BE DEMOLISHED)	ADDITION	TOTAL	%	
REAR YARD SETBACK	7.5 M	7.5 M	LOT COVERAGE	180.1 SQM	253.5 SQM	253.5 SQM	44.37%	
RIGHT SIDE YARD SETBACK	1.8 M	1.3 M	GROUND FLOOR AREA	180.1 SQM	253.5 SQM	253.5 SQM		
LEFT SIDE YARD SETBACK	1.8 M	1.3 M	SECOND FLOOR AREA	N/A	216.4 SQM	216.4 SQM		
BUILDING HEIGHT	7.6 M	8.6 M	GFA TOTAL	180.1 SQM	469.9 SQM	469.9 (82%)		

21 GLENORA CRESCENT,
BRAMPTON, ON
SITE PLAN

PROJECT INFORMATION
NO. 23-301

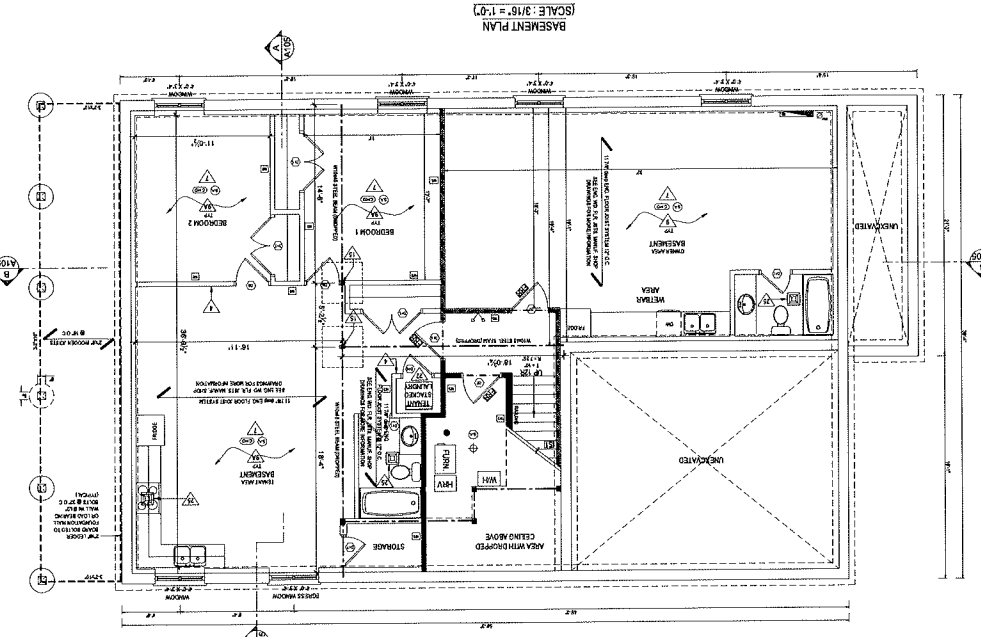
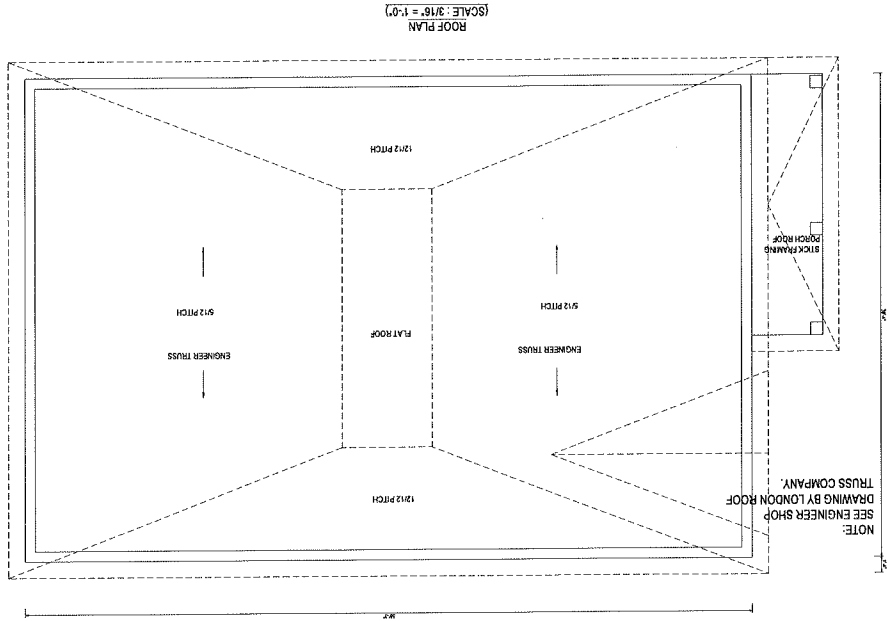
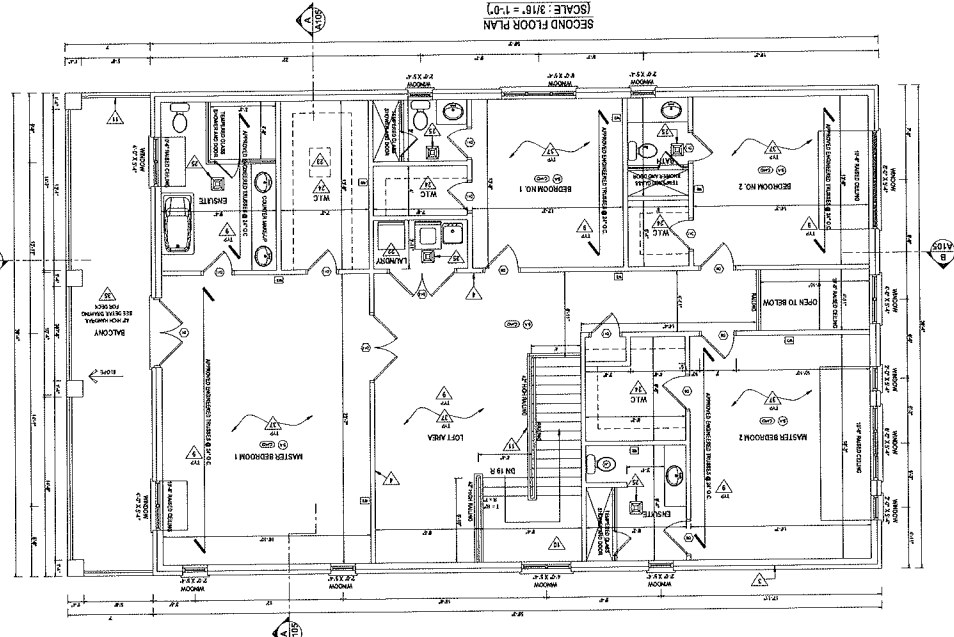
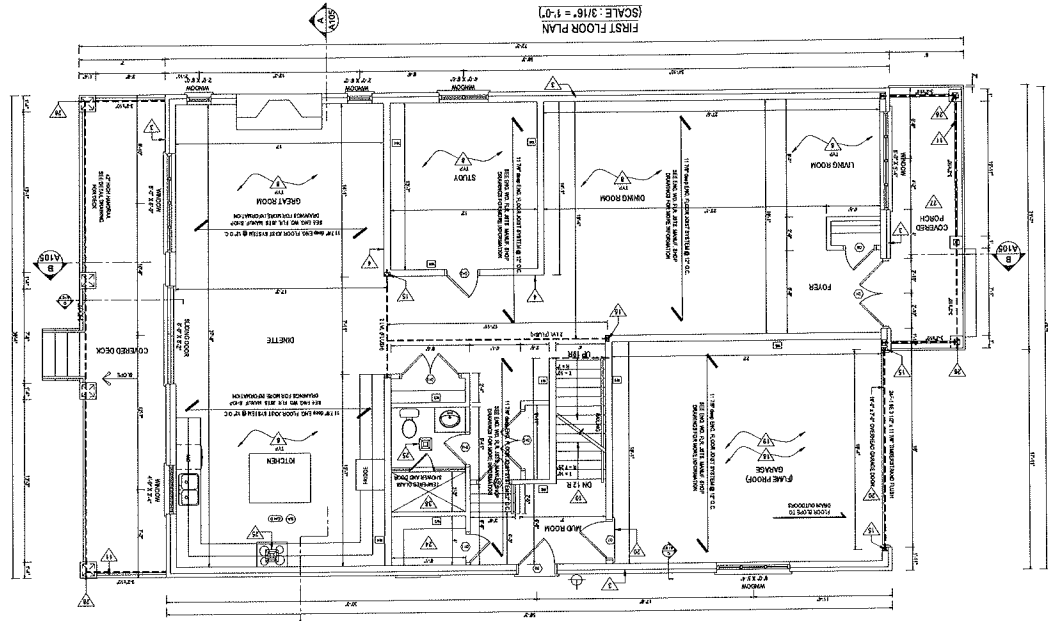
CLIENT INFORMATION
21 GLENORA CRESCENT



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DATE: 01/02/24
REV: 01
23 Glenora Crescent, Brampton, ON
ON (Canada) N7T 1Z3
Tel: 416-770-2662 or 800-566-9889
Email: info@blueprints.ca
Website: www.blueprints.ca





21 GLENORA CRESCENT
BLAYTON, ON

PROJECT INFORMATION
33 301

FLOOR PLANS

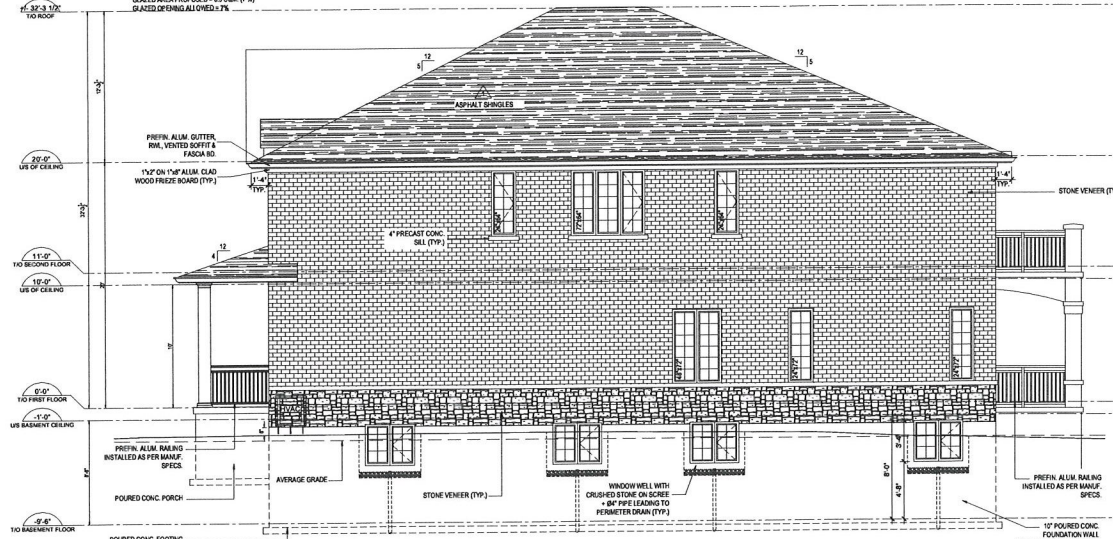
WOOD LUNTEL SCHEDULE
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GLAZED OPENING (FRONT ELEVATION)
 WALL AREA = 83.9 SQM
 LIMITING DISTANCE = 11.0 M
 GLAZED AREA PROPOSED = 13.5 SQM (19.1%)
 GLAZED OPENING ALLOWED = 18.8%



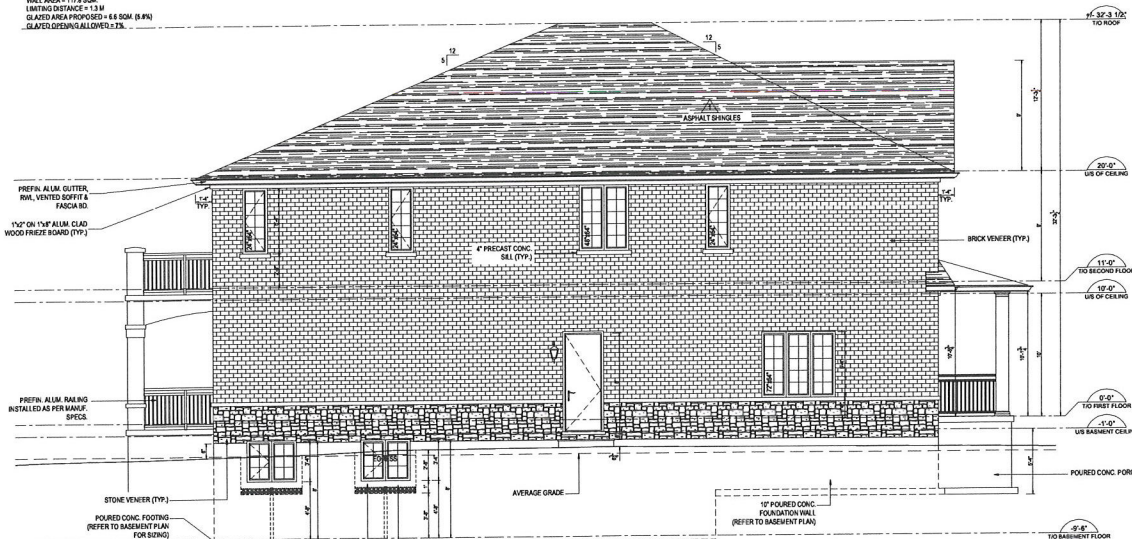
FRONT ELEVATION
 (SCALE : 3/16" = 1'-0")

GLAZED OPENING (LEFT SIDE ELEVATION)
 WALL AREA = 117.8 SQM
 LIMITING DISTANCE = 1.3 M
 GLAZED AREA PROPOSED = 8.3 SQM (7%)
 GLAZED OPENING ALLOWED = 7%



LEFT SIDE ELEVATION
 (SCALE : 3/16" = 1'-0")

GLAZED OPENING (RIGHT SIDE ELEVATION)
 WALL AREA = 117.8 SQM
 LIMITING DISTANCE = 1.3 M
 GLAZED AREA PROPOSED = 6.8 SQM (6.8%)
 GLAZED OPENING ALLOWED = 7%



RIGHT SIDE ELEVATION
 (SCALE : 3/16" = 1'-0")

GLAZED OPENING (REAR ELEVATION)
 WALL AREA = 83.1 SQM
 LIMITING DISTANCE = 7.5 M
 GLAZED AREA PROPOSED = 14.5 SQM (18.9%)
 GLAZED OPENING ALLOWED = 18.8%



REAR ELEVATION
 (SCALE : 3/16" = 1'-0")

21 GLENORA CRESCENT,
 BRAMPTON, ON
 ELEVATIONS

PROJECT INFORMATION
 23-301

21 GLENORA CRESCENT

DESIGNER INFORMATION

DATE

BY

DATE

BY

DATE

BY

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BY

DATE

BY

DATE

BY

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BY

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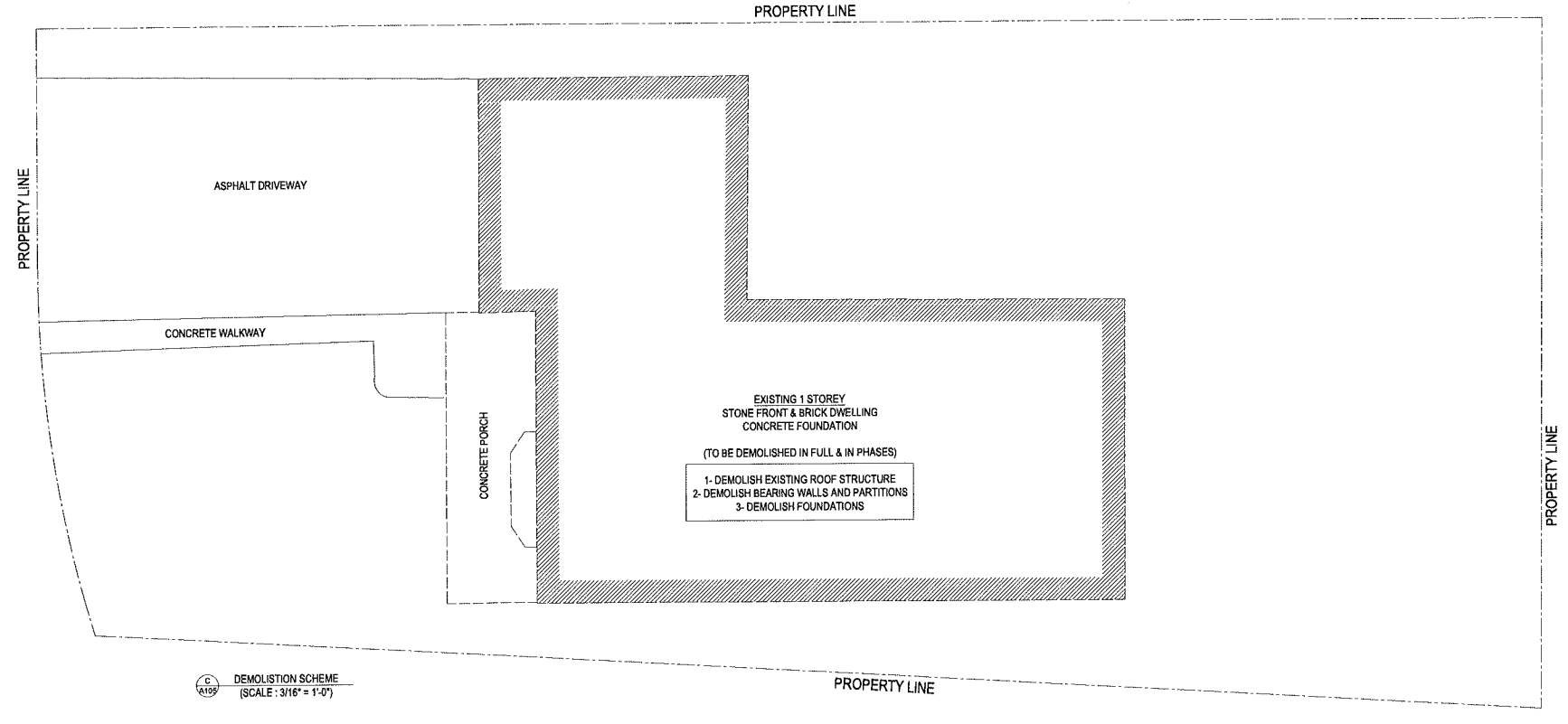
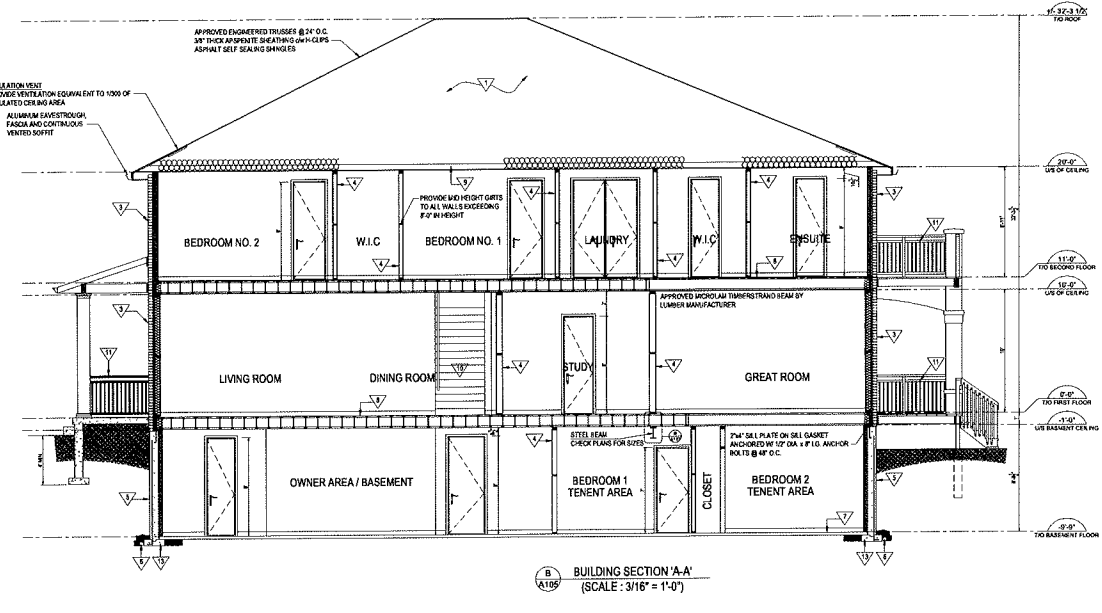
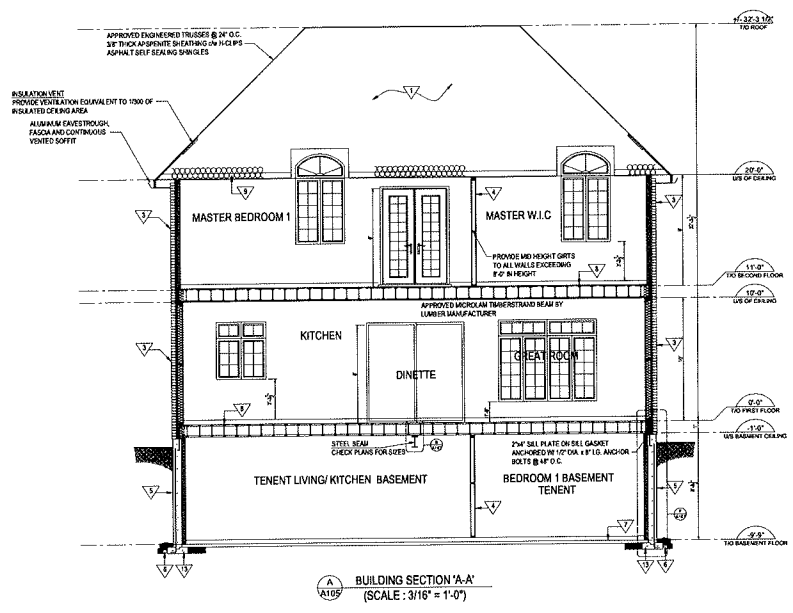
BY

DATE



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FILE # A104
 01
 83 Glenora Crescent, Cambridge, ON Canada, N1T 2D3
 TEL: 519-739-2862 FAX: 519-739-9999
 Email: info@blueprintsinc.com Website: www.blueprintsinc.com



PROJECT INFORMATION	21 GLENORA CRESCENT, BRAMPTON, ON
DATE	23-2011
DESIGNER INFORMATION	21 GLENORA CRESCENT
DATE	
BY	
CHECKED BY	
DATE	
SCALE	
PROJECT NO.	
DATE	
SCALE	
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21 GLENORA CRESCENT, BRAMPTON, ON

SECTIONS & DEMOLITION

PROJECT INFORMATION

DATE: 23-2011

DESIGNER INFORMATION

21 GLENORA CRESCENT

DATE: _____

BY: _____

CHECKED BY: _____

DATE: _____

SCALE: _____

PROJECT NO.: _____

DATE: _____

SCALE: _____

BY: _____

CHECKED BY: _____

DATE: _____

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Zoning Non-compliance Checklist

File No.

Applicant:

Address: 21 Glenora Cres

Zoning: R1B(1) - Mature

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
BUILDING SETBACKS - SIDE	To permit an interior side yard setback of 1.3m to a proposed second storey of a single detached dwelling	whereas the by-law requires a minimum interior side yard setback of 1.2m to the first storey, or part thereof, plus 0.6m for each additional storey, or part thereof, where the lot width is less than or equal to 16 metres.	10.27(a)(i) 12.6.2(e)
BUILDING SETBACKS - REAR	To permit a rear yard setback of 7.5m to a proposed single detached dwelling	whereas the by-law requires a minimum rear yard setback of 9.125m (25% of the lot depth).	10.27(a)
BUILDING SIZE			
BUILDING HEIGHT	To permit a single detached dwelling having a building height of 8.4m	whereas the by-law permits a maximum building height of 7.6m.	12.6.2(h)
COVERAGE	To permit a lot coverage of 44.37%,	whereas the by-law permits a maximum lot coverage of 30%.	10.27(c)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Connor Cowan

Reviewed by Zoning

2024-04-30

Date