



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0178

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manorbay Estates Inc  
**Address** 8600 Duffering Street, Vaughan, ON L4K 5P5

**Phone #** 416-798-2420 **Fax #** 905-653-4074  
**Email** \_\_\_\_\_

2. **Name of Agent** The Brampton Public Library Board  
**Address** 65 Queen Street East

**Phone #** 905-793-4636 **Fax #** \_\_\_\_\_  
**Email** jsimone@bramlib.on.ca

3. **Nature and extent of relief applied for (variances requested):**  
To permit the use of a Public Library on the lands within OC - Section 1530 zoning designation, Building A.

4. **Why is it not possible to comply with the provisions of the by-law?**  
A Public Library is currently not permitted unse in OC - Section 1530 zoning

5. **Legal Description of the subject land:**  
**Lot Number** Part of East halves of lot 4 & 5  
**Plan Number/Concession Number** Concession 9, N.D.  
**Municipal Address** 8750 The Gore Road (Building A)

6. **Dimension of subject land (in metric units)**  
**Frontage** 321.44  
**Depth** 340.78  
**Area** 61,089.64 square metres

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

(All on The Gore Road) 8720 (Bldg D) - GFA 519.31 sq metres-one storey, 8730 (Bldg C) - GFA 501.06 sq. metres-one storey, 8740 (Bldg B) - GFA 522 sq metres-one storey, 8750 (Bldg A) GFA 5,227.63 sq metres-five storey, 8770 (Bldg F) - GFA 1200.10 sq metres-one storey, 8800 (Bldg E) GFA 6979.32 sq metres-one storey pluz small mezzanine, 8814 (Bldg G) GFA 1200.10 sq metres-one storey

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 9.0m (Building B, C & D) 15.0m (Building A from Queen St)  
Rear yard setback 12.0m (Bulding E)  
Side yard setback 10.54m (Building F) 9.0m (Building A from The Gore Rd)  
Side yard setback 25.0m (Building G)

**PROPOSED**

Front yard setback N/A  
Rear yard setback N/A  
Side yard setback N/A  
Side yard setback N/A

10. Date of Acquisition of subject land: August 1995

11. Existing uses of subject property: Commercial/Retail & Office

12. Proposed uses of subject property: N/A

13. Existing uses of abutting properties: Institutional & Commercial

14. Date of construction of all buildings & structures on subject land: 2008

15. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?

Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?

Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?

Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # <u>A031/07</u>	Decision <u>Approved</u>	Relief <u>Minimum front yard setback &amp; the development of Building B</u>
File # <u>A214/07</u>	Decision <u>Approved</u>	Relief <u>Minimum lot area &amp; to permit a hotel use</u>
File # <u>A19-210</u>	Decision <u>Approved</u>	Relief <u>To permit use of Commercial School</u>

Signature of Applicant(s) or Authorized Agent

DATED AT THE City \_\_\_\_\_ OF Brampton \_\_\_\_\_

THIS 9th DAY OF May, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

~~I, Todd Kyle~~ John Sumano, OF THE Town \_\_\_\_\_ OF Brampton \_\_\_\_\_

IN THE Region \_\_\_\_\_ OF Peel \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF \_\_\_\_\_

Peel THIS 17 DAY OF

May, 2024

Signature of Applicant or Authorized Agent

Clara Vani  
A Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton

Expires September 29, 2025  
FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_ OC-1530

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar 2024/05/17

Zoning Officer Date

DATE RECEIVED May 17, 2024

Date Application Deemed Complete by the Municipality Clara

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 8750 The Gore Road (Building A)

I/We, Manorbay Estates Inc.  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

\_\_\_\_\_  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 9th day of May, 2024.

*M. Baldassarra, A.S.O.*

\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Mike Baldassarra, A.S.O.

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 8750 The Gore Road (Building A)

I/We, Manorbay Estates Inc.  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 9th day of May, 2024.

*M. Baldassarra, A.S.O.*

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

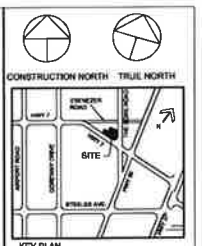
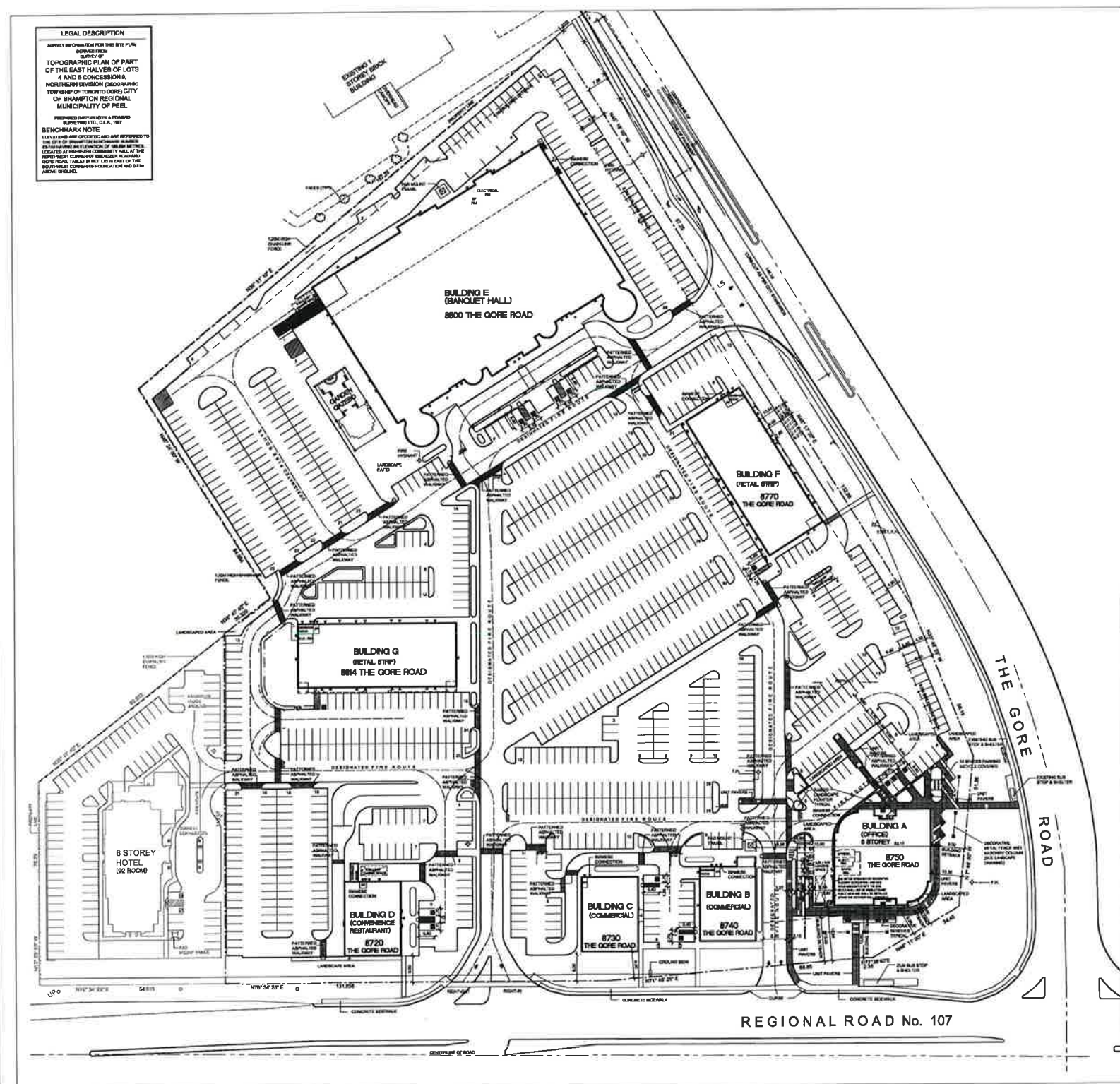
Mike Baldassarra, A.S.O.

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

**LEGAL DESCRIPTION**  
 SURVEY INFORMATION FOR THIS SITE PLAN  
 DERIVED FROM  
 PART OF  
 TOPOGRAPHIC PLAN OF PART  
 OF THE EAST HALF OF LOTS  
 4 AND 5 CONCESSION 6,  
 NORTHERN DIVISION (GEOGRAPHIC  
 TOWNSHIP OF TORONTO) IN THE CITY  
 OF BRAMPTON REGIONAL  
 MUNICIPALITY OF PEELE  
 PREPARED BY PEARCE & COMPANY  
 SURVEYORS LTD. CALL: 905  
**BENCHMARK NOTE**  
 ALL ELEVATIONS ARE QUOTE AS SHOWN REFERRED TO  
 THE CITY OF BRAMPTON BENCHMARK SYSTEM  
 USING THE 2011 EDITION OF THE BENCHMARKS  
 LISTED AT BRAMPTON COMMUNITY HALL AT THE  
 NORTHERN CORNER OF BIRCHDALE AVENUE  
 (BENCH MARK TABLE IN BCT 101 IN PART OF THE  
 SOUTHWEST CORNER OF LOT 48 AND 50 IN  
 AECM 58-26-01)



- KEY PLAN**
- LEGEND**
- PROPOSED FPL GRADE
  - EXISTING FPL GRADE
  - TOP OF CURB
  - TOP OF CATCH BASIN
  - MAN DOOR LOCATION
  - DRIVE IN DOOR LOCATION
  - LOADING DOCK IN LOCATION
  - CATCH BASIN
  - C.E.M. CATCH BASIN MANHOLE
  - M.H. SANITARY MANHOLE
  - M.H. STORM SEWER MANHOLE
  - FIRE HYDRANT
  - GAS
  - R.D. ROOF DRAIN
- PLAN SYMBOLS ARE NOTED ON THIS SHEET UNDER THE 'PLAN SYMBOLS' SECTION.
- PATTERNED Hatched/SHHALL PATTERNS BY THIN/DOT PATTERN OR APPROVED EQUAL.
- DENOTES FINISHED FLOOR
- DENOTES MANHOLE
- DENOTES CATCH BASIN
- DENOTES WATER VALVE
- DENOTES EXISTING GRUND FURNITURE
- DENOTES LIGHT STANDARDS
- DENOTES SIGNAGE
- DENOTES SIGNAGE
- POLES ARE TO BE LOCATED WITH CONCRETE IN SET DETAIL SHEET.

**OVERALL SITE DATA**

PARAMETER	UNITS	VALUE
<b>ZONING</b>	By-Law 120-2020	CC-Section 1532 (OFFICE BUILDING)
		CC-Section 1531 (COMMERCIAL AREA)
<b>LOT AREA</b>		8,577.00 SQM 96,016.00 SF 2,025 AC
<b>TOTAL OVERALL LOT AREA</b>		61,308.84 SQM 667,963.39 SF 18,086 AC
<b>BUILDING AREAS</b>		
<b>S.O. SECTION 1532</b>	SQUARE METERS	SQUARE FOOT
GROUNDFLOOR AREA	1,028.48	10,823.00
2ND FLOOR AREA	1,098.48	11,679.88
3RD FLOOR AREA	1,098.48	11,679.88
4TH FLOOR AREA	1,081.88	11,524.45
5TH FLOOR AREA	1,037.29	11,189.29
<b>TOTAL GROUND FLOOR AREA (S.O. SECTION 1532)</b>	<b>6,274.63</b>	<b>66,296.73</b>
<b>S.O. SECTION 1531</b>		
BLDG A	825.00	8,918.76
BLDG B	801.00	8,566.28
BLDG C	818.31	8,768.85
BLDG D		
BLDG E	80.70	863.37
BLDG F	1,129.07	12,128.61
BLDG G	6,482.20	69,862.15
BLDG H	313.00	3,368.34
BLDG I	2,005.10	21,513.27
BLDG J	2,005.10	21,513.27
<b>TOTAL GROUND FLOOR AREA (S.O. SECTION 1531)</b>	<b>15,811.86</b>	<b>171,882.23</b>
<b>TOTAL OVERALL GROUND FLOOR AREA (S.O. SECTION 1532 AND 1531)</b>	<b>18,148.82</b>	<b>193,881.86</b>
<b>TOTAL OVERALL BUILDING AREA (S.O. SECTION 1532 AND 1531) (FOOTPRINT)</b>	<b>16,426.81</b>	<b>175,226.81</b>
<b>COVERAGE (S.O. SECTION 1532 AND 1531)</b>		
<b>TOTAL GROUND FLOOR COVERAGE</b>	<b>26.44%</b>	
<b>TOTAL BUILDING COVERAGE</b>	<b>17.07%</b>	
<b>PARKING</b>		
<b>PARKING REQUIRED (S.O. SECTION 1532 AND 1531)</b>	<b>460 SPACES</b>	
<b>PARKING PROVIDED</b>	<b>460 SPACES</b>	
<b>LOADING SPACES</b>	<b>1 FOR BLDG A OFFICE BUILDING 3 FOR ALL OTHER BUILDINGS (TOTAL 4)</b>	<b>PROVIDED = 1 PROVIDED = 3</b>
<b>LANDSCAPED AREA PERCENTAGE</b>	<b>22.34%</b>	<b>146,816 SF</b>
<b>PAVED AREA PERCENTAGE</b>	<b>37.21% (64,523 SQM)</b>	<b>700,402 SQ FT</b>
<b>SNOW STORAGE</b>	<b>1,381.00</b>	<b>13,466.00</b>

**OVERALL SITE PLAN**  
 Scale: 1:500

MANORBAY ESTATES INC.

**TRINISTAR**  
 CORPORATION

GORE BUSINESS CENTRE  
 THE GORE RD & HWY No. 7  
 BRAMPTON, ONTARIO

**OVERALL SITE PLAN**  
 SP03-017.003

AS SHOWN  
 1/10/23  
 SEPTEMBER 2022

A101

# Zoning Non-compliance Checklist

File No.

A-2024-0178

Applicant: The Brampton Public Library Board

Address: 8750 The Gore Rd

Zoning: OC-1530

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE	To permit a public library,	whereas the by-law does not permit the use.	1530.1
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/05/17

Date