



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0145

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** SANDEEP MAKKAR & NAMITA MAKKAR
Address 26 MANSWOOD CRESCENT, BRAMPTON

Phone # 416-902-6207 **Fax #** _____
Email smakkar03@gmail.com

2. **Name of Agent** PAMIR RAFIQ
Address 1435 CORNWALL ROAD, UNIT D2, OAKVILLE, ONTARIO L6J 7T5

Phone # 416-566-6588 **Fax #** _____
Email info@lucidhomes.ca

3. **Nature and extent of relief applied for (variances requested):**

1. TO PERMIT A SINGLE DETACHED DWELLING HAVING A BUILDING HEIGHT OF 15.85M, WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 10.60M

2. TO PERMIT A GARAGE DOOR HEIGHT OF 3.05M WHEREAS THE BY-LAW PERMITS A MAXIMUM GARAGE DOOR HEIGHT OF 2.40M

4. **Why is it not possible to comply with the provisions of the by-law?**

BUILDING LIMITS DEFINED BY EXISTING GRADING CONDITIONS AND ZONING-BY-LAW REGULATIONS DO NOT ACCOMMODATE FOR THE PROPOSED DESIGN

5. **Legal Description of the subject land:**
Lot Number LOT 12
Plan Number/Concession Number PLAN M-345
Municipal Address 26 MANSWOOD CRESCENT, BRAMPTON

6. **Dimension of subject land (in metric units)**
Frontage 94.26M
Depth 165.03M
Area 12,152.28 SQM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING TWO STOREY DWELLING: 386.50 SQM (26.98M X 16.80M)
EXISTING SHED: 17.50 SQM (3.04M X 5.74M)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED TWO STOREY DWELLING:
BUILDING AREA=1016.29 SQM (51.70M X 26.06M)
GROUND FLOOR AREA= 850.06 SQM
SECOND FLOOR AREA= 682.19 SQM
GROSS FLOOR AREA= 1532.25

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 31.75M
Rear yard setback 82.05M
Side yard setback 44.59M
Side yard setback 19.94M

PROPOSED

Front yard setback 33.49M
Rear yard setback 67.28M
Side yard setback 16.21M
Side yard setback 20.74

10. Date of Acquisition of subject land: DECEMBER 2021

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: N/A

15. Length of time the existing uses of the subject property have been continued: N/A

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE TOWN city of OF OAKVILLE Brampton
THIS 14th DAY OF MARCH May, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SANDEEP MAKKAR, OF THE city OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 6th DAY OF
May 2024
A Commissioner etc.

Sandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant or Authorized Agent

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Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED May 6, 2024

Date Application Deemed Complete by the Municipality VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 26 MANSWOOD CRESCENT, BRAMPTON

I/We, SANDEEP MAKKAR & NAMITA MAKKAR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

PAMIR RAFIQ
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 5th day of April, 2024.

Sandeep Makkar Namita Makkar

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 26 MANSWOOD CRESCENT, BRAMPTON

I/We, SANDEEP MAKKAR & NAMITA MAKKAR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

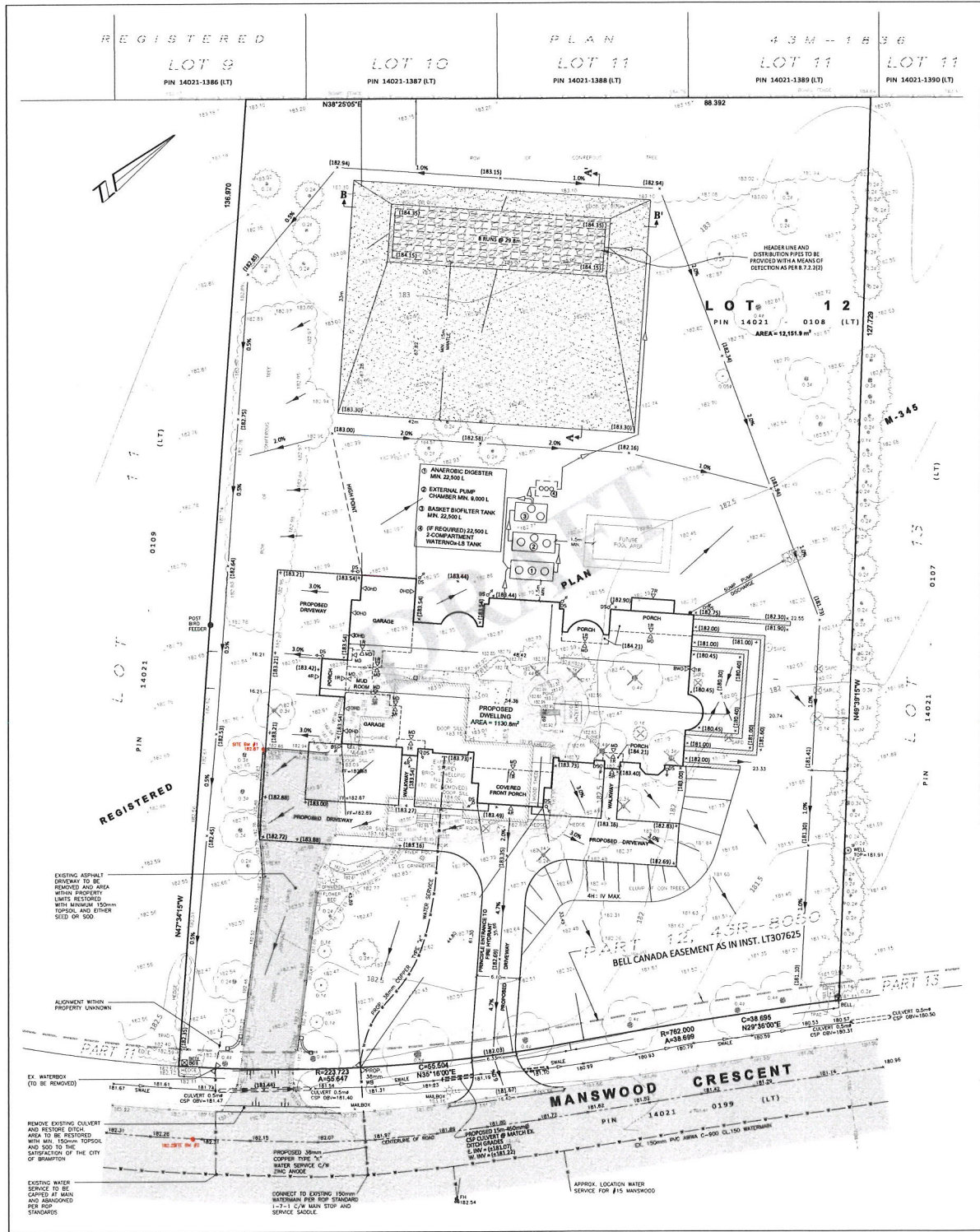
Dated this 5th day of April, 2024.

Sandeep Makkar Namita Makkar
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



REGION OF PEEL NOTES:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATION.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100 (4") AND LARGER MUST BE DRIB PIPE MANUFACTURED TO AWWA SPEC. C900-16 SPEC. COMPLETE WITH TRACER WIRE SIZE 50mm (2") AND SMALLER MUST BE TYPE 'K' SOFT COPPER PIPE PER ASTM B88-09 SPECIFICATION.
3. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5'7") WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4') FROM THEMSELVES AND ALL OTHER UTILITIES.
4. PROVISION FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm (2") OUTLET ON 300mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END. THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100mm (4") DIAMETER MINIMUM ON A HORIZONTAL.
5. ALL CURB STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE.
7. WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON THE APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3m (12") OVER / 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEM.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVE SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING, AND PROTECTING ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSES OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 AND 1-7-8.

GENERAL NOTES:

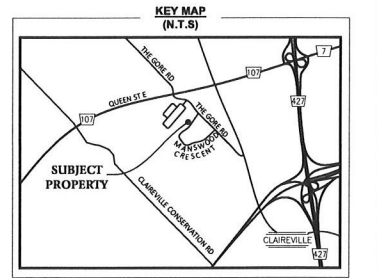
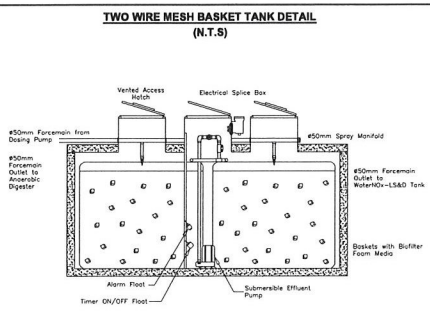
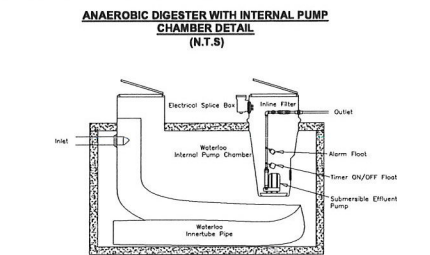
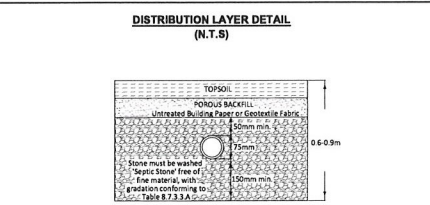
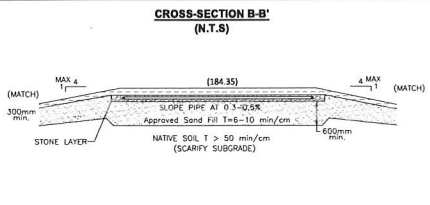
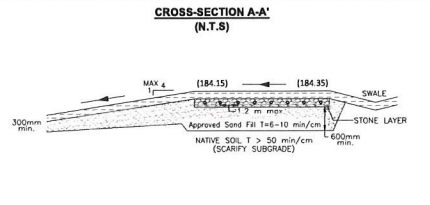
1. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS AND DRAWINGS (OPS/D).
2. ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
3. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED. ALL SURFACE DRAINAGE SHALL BE SELF-CONTAINED, COLLECTED AND DISCHARGED TO AN APPROVED LOCATION.
4. SEDIMENT CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. A SILT FENCE PER CITY OF BRAMPTON STANDARD #406 MUST BE PLACED AROUND THE PERIMETER OF THE SITE.
5. THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED WITH 40mm HLB AND 50mm HLB. SUBBASE TO BE 150mm GRANULAR 'A' (OR 130mm OF 20mm CRUSHER RUN LIMESTONE) AND 300mm GRANULAR 'B' (OR 250mm OF 50mm CRUSHER RUN LIMESTONE) COMPACTED TO MINIMUM 100% STANDARD PROCTOR DENSITY.
6. A UTILITY CLEARANCE RADIUS OF 1.2m BETWEEN THE PROPOSED DRIVEWAY EDGE OF DRIVEWAY AND ALL ABOVE GROUND UTILITIES MUST BE MAINTAINED.
7. ROAD OCCUPANCY/ACCESS PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.
8. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROAD OCCUPANCY / ACCESS PERMIT APPLICATION.
9. DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
10. DRIVEWAY GRADES SHALL NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
11. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6% UNLESS OTHERWISE NOTED.
12. WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3H:1V. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
13. ALL DISTURBED AREAS MUST BE SEEDED OR SODDED. TOPSOIL TO BE AT LEAST 150mm.

LIST OF VARIANCES

1. TO PERMIT A SINGLE DETACHED DWELLING HAVING A BUILDING HEIGHT OF 15.85M, WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 10.60M
2. TO PERMIT A GARAGE DOOR HEIGHT OF 2.40M WHEREAS THE BY-LAW PERMITS A MAXIMUM GARAGE DOOR HEIGHT OF 2.40M

CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.



- LEGEND:**
- (184.15) - PROPOSED ELEVATION
 - (182.45) - EXISTING ELEVATION
 - SLOPE
 - DIRECTION OF FLOW
 - PERFORATED PIPE
 - TPH [X] - TEST PIT
 - - WELL
 - EXPANDED CONTACT AREA
 - FILTER BED AREA
 - RETAINING WALLS (DESIGN BY OTHERS)
 - TREE
 - TREELINE

ZONING: RESIDENTIAL RURAL ESTATE ONE (RE1)

MINIMUM FRONT YARD = 23 m
 MINIMUM REAR YARD = 23 m
 MINIMUM INTERIOR SIDE YARD = 7.5 m
 MINIMUM EXTERIOR SIDE YARD = 7.5 m
 MAXIMUM LOT COVERAGE = N/A

PROPOSED DWELLING:

TOP OF FOUNDATION = (183.93)
 UNDERSIDE OF FOOTING = (180.30)
 BASEMENT FLOOR = (180.60)
 FINISHED FLOOR = (184.36)
 GARAGE SLAB = (183.54)
 GARAGE CUT = (0.16)

NOTES:

1. ELEVATIONS BASED ON AN 1'11" = 3.0' FOUNDATION WALL, 4" SLAB AND 8" FOOTINGS.
2. FINAL BUILDING PLANS UNAVAILABLE.
3. FROST FOOTINGS REQUIRED TO ELEVATION (179.23)

SEWAGE SYSTEM DESIGN NOTES:

(Refer to Van Harten Surveying Inc. design report for material, construction, inspection and other details)

Q = 10,800 L/Day
 T > 50 min/cm
 Waterloo BioFilter Model AD BA150
 Anaerobic Digester Size = 22,500 L min.
 External Pump Chamber = 9,000 L min.
 Foam Volume = 17.4 m³ min.
 Stone Area = (8.2 m by 31 m) 254.2 m²
 Sand Area = (33.0 m by 42.0 m) = 1,386 m²
 Distribution Pipe Length = (8 runs of 29.8 m) = 238.4 m

LOT DEVELOPMENT PLAN AND SEWAGE SYSTEM DESIGN FOR:

**26 MANSWOOD CRESCENT
 ALL OF LOT 12, PLAN M-345
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL**

NO.	REVISION	BY	DATE

DRAWING REVISION SCHEDULE
 PREPARED FOR: SANDEEP MAKKAR
 PROJECT No. 31179-22
 DRAWING SCALE 1 : 300

CAUTION:
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
 THE SURVEYOR'S RESPONSIBILITY TO HOURS THE PROPOSED FOOTING ELEVATION AND PUMPING ALLOWS GRAVITY CONNECTION TO THE SEWAGE SYSTEM.
 SO, BREAKING CAPACITY SHOULD BE DERIVED AT THE TIME OF CONSTRUCTION.
 THE BUILDER MUST ENSURE A MINIMUM OF 12cm OF EARTH COVER OVER THE FOOTINGS FOR FROST PROTECTION.
 THIS SKETCH IS PROTECTED BY COPYRIGHT.

Van Harten
 LAND SURVEYORS - ENGINEERS

Kitchener/Waterloo: Ph: 519-742-8371
 Guelph: Ph: 519-821-2763
 Orangeville: Ph: 519-940-4110

www.vanharten.com info@vanharten.com

DRAWN BY: C.E. DESIGNED BY: K.C. CHECKED BY: J.M.O.
 JAN 25, 2016 3:06:42 PM
 C:\BRAMPTON\M-345\CAD\DP & SSD LOT 12 (31179-22 SANDEEP MAKKAR) UTM 2010.dwg

Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference							
	Project Description	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 1.2 (A)	<input checked="" type="checkbox"/> Part 3 1.2 (A)	<input type="checkbox"/> Part 9 1.2 (A)							
2	Major Occupancy	<input type="checkbox"/> Group C Residential Occupancy				3.1.2 (1)						
3	Building Area (m ²)	Existing 0.00 New 1,039.34 Total 1,039.34				1.4.1.2 (A)						
4	Gross Area	Existing 0.00 New 1,523.37 Total 1,523.37				1.4.1.2 (A)						
5	Number of Storeys	Above grade 2 Below grade 0				3.2.1.1.8, 1.4.1.2 (A)						
6	Height of Building (m)	15.5m				9.10.4						
7	Number of Storeys/Above Grade Rooms	1				3.2.1.10.8, 3.2.5.5						
8	Building Classification	1.2.2.46 Group C up to 3 Storeys, Smokeless				3.10.2						
9	Smoke System Proposed	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required				3.2.20-83 3.2.1.6 3.2.2.17						
10	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.9						
11	Fire Alarm required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				1.2.4						
12	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				3.2.8						
13	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.8						
14	Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible				3.2.20-83						
15	Actual Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible				3.2.1.13(3)(b)						
16	Occupant load based on	<input type="checkbox"/> person <input checked="" type="checkbox"/> design of building				3.1.17						
	Basement	Occupancy _____ Load _____ persons				3.0.1.3						
	1 st Floor	Occupancy _____ Load _____ persons										
	2 nd Floor	Occupancy _____ Load _____ persons										
	3 rd Floor	Occupancy _____ Load _____ persons										
17	Smoke-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Exempt)				3.8						
18	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.1.2 (1) & 3.1.1 (1)(1)						
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) _____ Roof _____ Hours Fire _____ Hours FRR of Supporting Members _____ Hours FRR of Supporting Members _____ Hours	Listed Design No. or Description (SG-2)			3.2.1.4 3.10.8 3.10.9						
20	Spacial Separation - Construction of Exterior Walls	Wall Area of EBF (m ²)	L, D or HL (m)	UH or HL	Permitted Max % of Opening	Proposed % of Opening	FRR (Hours)	Listed Design or Description	Comb. Stone	Comb. Stone Cladding	Non Comb. Cladding	3.10.14
	North											
	South											
	East											
	West											
21	Other - Describe											

OBC MATRIX

THIS MATRIX IS A SUMMARY OF THE REQUIREMENTS OF THE OBC. IT DOES NOT REPLACE THE OBC. THE OBC IS THE AUTHORITY. THE MATRIX IS PROVIDED FOR YOUR INFORMATION ONLY. IT IS YOUR RESPONSIBILITY TO ENSURE THAT YOUR PROJECT COMPLIES WITH THE OBC. THE MATRIX IS SUBJECT TO CHANGE WITHOUT NOTICE.

1. GENERAL	2. OCCUPANCY	3. FLOOR AREA	4. HEIGHT	5. DISTANCE TO ADJACENT BUILDINGS	6. SETBACKS	7. SIDEWALKS	8. STAIRS	9. ELEVATORS	10. ESCAPE ROUTES	11. SMOKE-RESISTANT PENETRATIONS	12. EXTERIOR WALLS	13. EXTERIOR WINDOWS	14. EXTERIOR DOORS	15. EXTERIOR FINISHES	16. EXTERIOR LIGHTING	17. EXTERIOR SIGNAGE	18. EXTERIOR VENTILATION	19. EXTERIOR CLADDING	20. EXTERIOR PAINTS	21. EXTERIOR GLASS	22. EXTERIOR MIRRORS	23. EXTERIOR DECORATION	24. EXTERIOR ACCESSORIES	25. EXTERIOR UTILITIES	26. EXTERIOR SECURITY	27. EXTERIOR MAINTENANCE	28. EXTERIOR CLEANLINESS	29. EXTERIOR SAFETY	30. EXTERIOR COMPLIANCE
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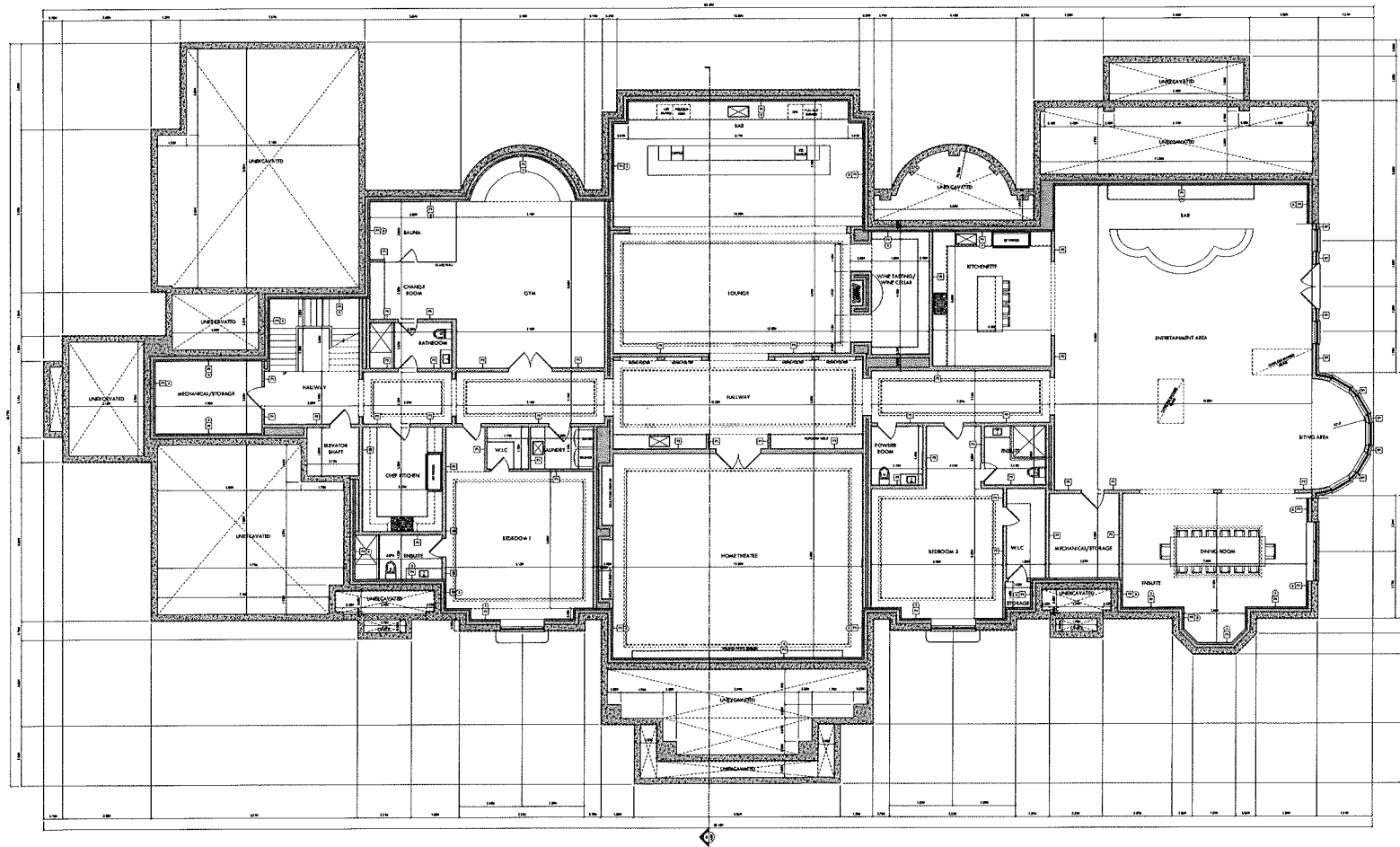
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SEE THE ARCHITECTURAL RECORDS FOR ALL DETAILS AND SPECIFICATIONS. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.



BASEMENT FLOOR PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMIT
2	02/10/20	REVISED TO REFLECT PERMIT COMMENTS
3	03/05/20	REVISED TO REFLECT PERMIT COMMENTS
4	04/01/20	REVISED TO REFLECT PERMIT COMMENTS
5	05/01/20	REVISED TO REFLECT PERMIT COMMENTS

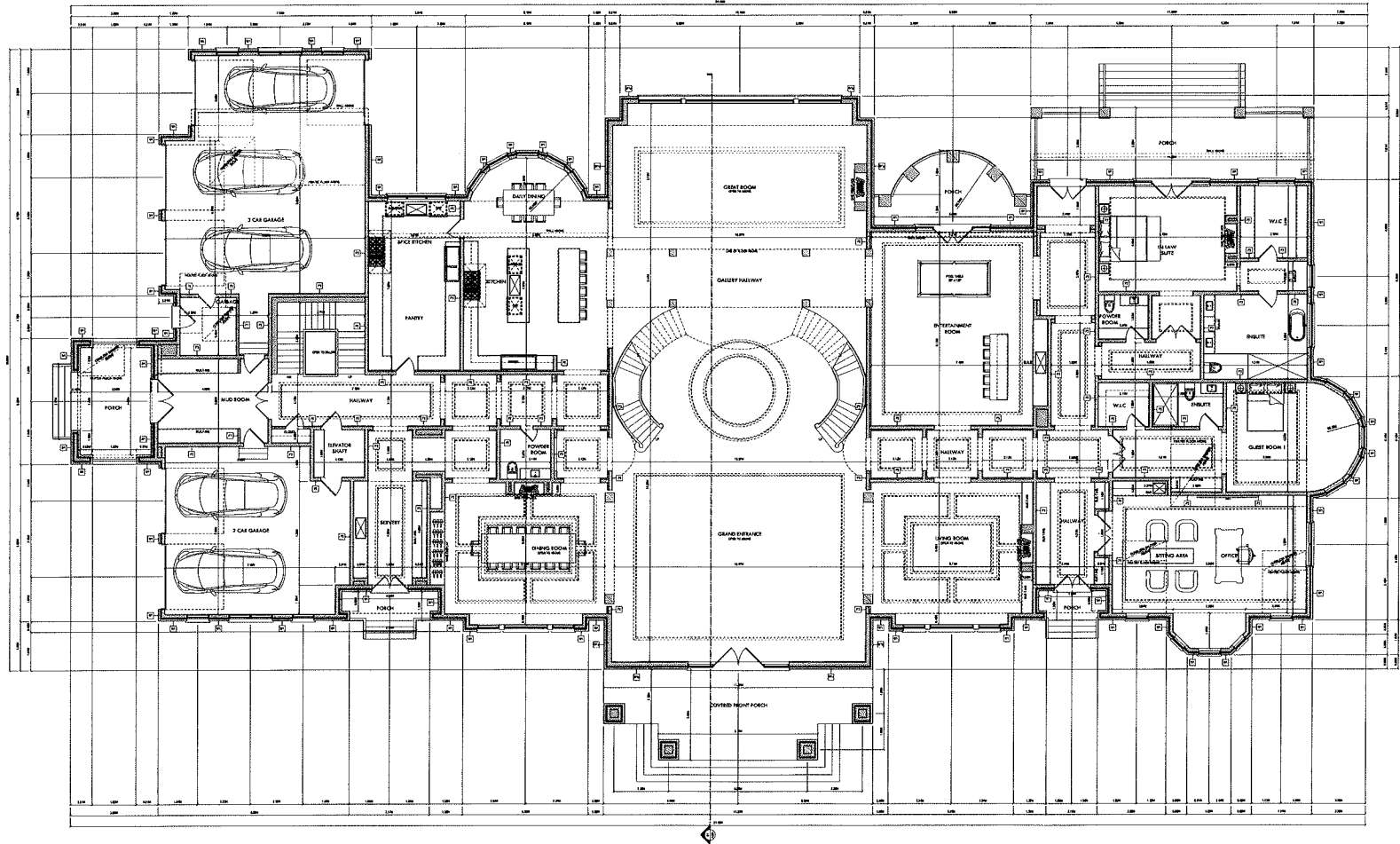
NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
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<p>ARCHITECT</p>	<p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p>	<p>REGISTERED ARCHITECT</p> <p>NO. 12345</p> <p>STATE OF CALIFORNIA</p>

AT00

NOT FOR CONSTRUCTION PURPOSES
 THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON.
 NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

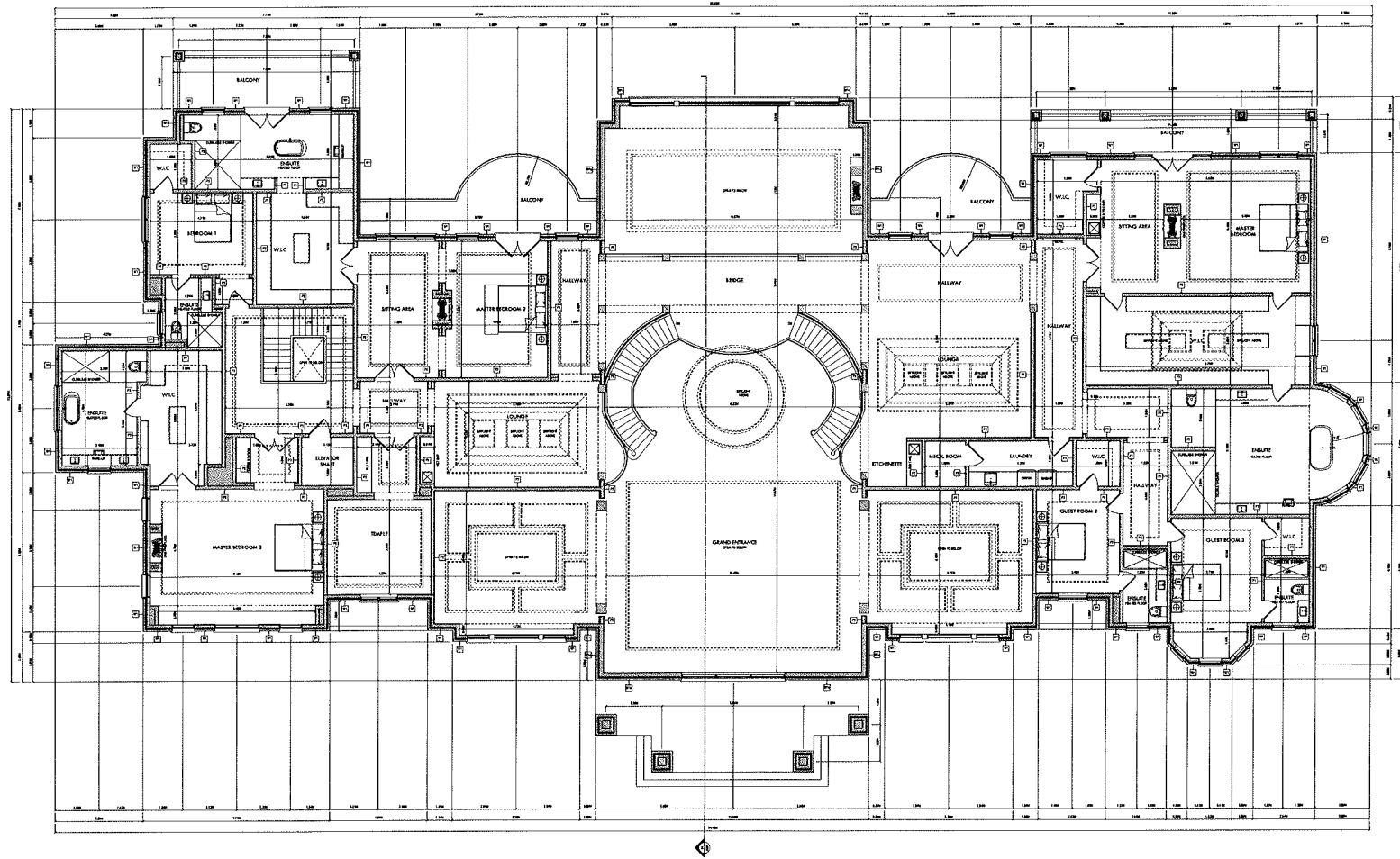


GROUND FLOOR PLAN (9,150 SQFT)

NOTES:
 1. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND DIMENSIONS.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
 4. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 5. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

	PROJECT: [Project Name] [Address] [City, State, Zip]	DATE: [Date]	
DESIGNER: [Name]	ARCHITECT: [Name]	DATE: [Date]	PROJECT: [Project Name]

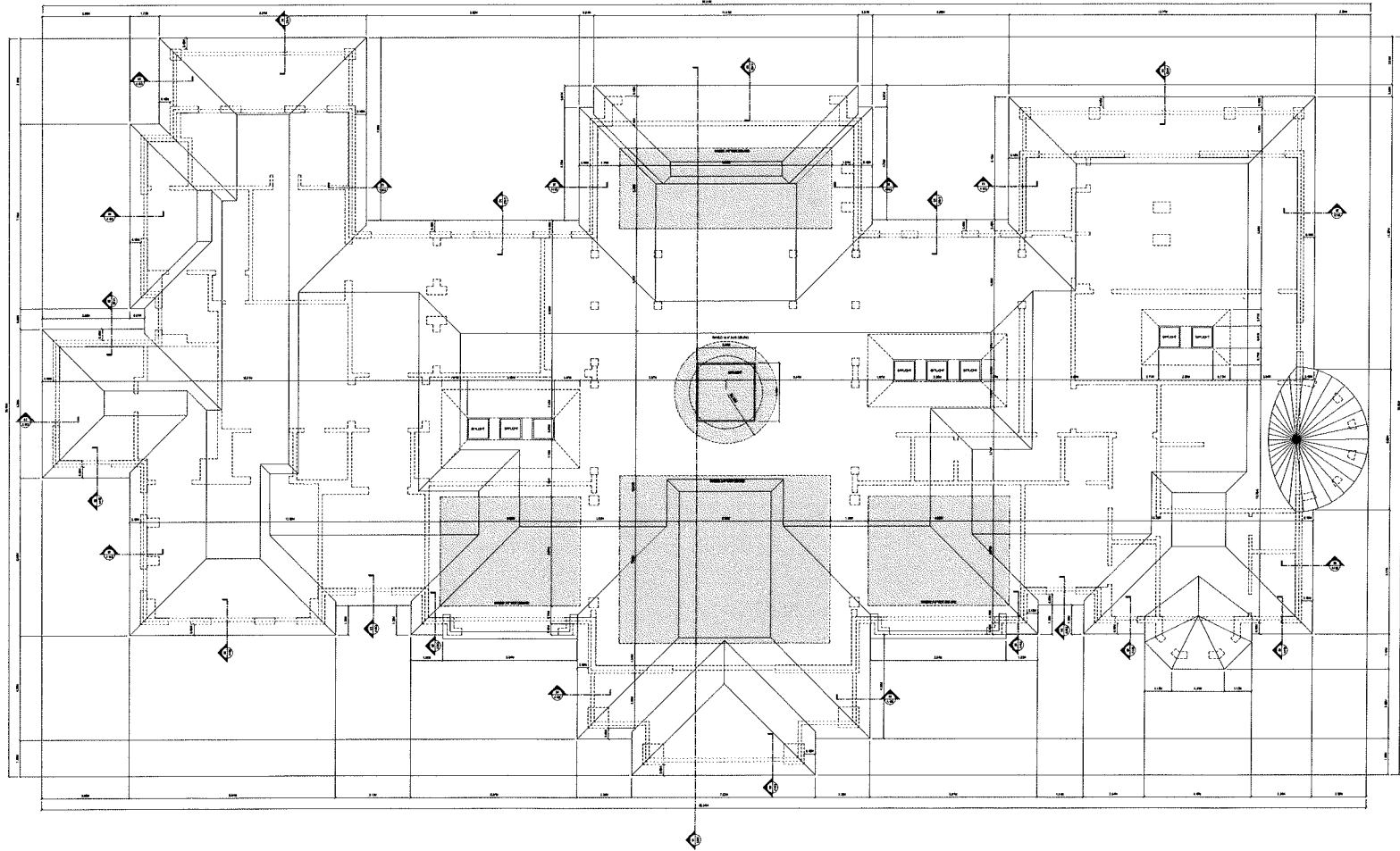
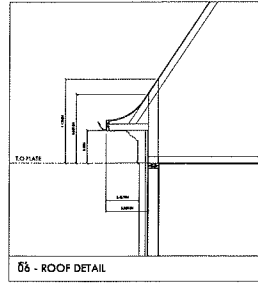
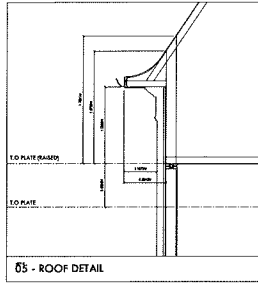
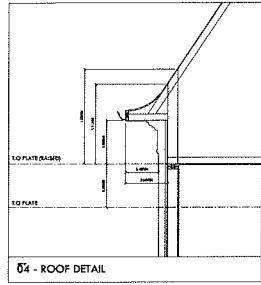
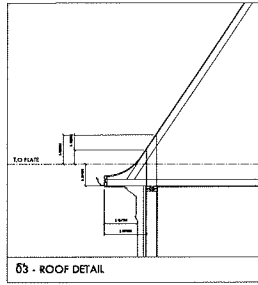
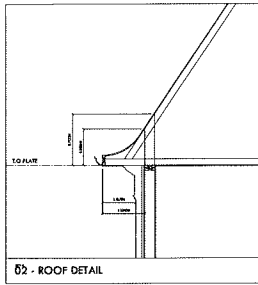
NOTE: SEE ARCHITECTURAL DRAWINGS FOR ALL DETAILS AND FINISHES. THIS PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.



SECOND FLOOR PLAN (7,343 SQFT)

REVISIONS:
 1. REVISED PER ARCHITECTURAL DRAWINGS FOR ALL DETAILS AND FINISHES.
 2. REVISED PER ARCHITECTURAL DRAWINGS FOR ALL DETAILS AND FINISHES.
 3. REVISED PER ARCHITECTURAL DRAWINGS FOR ALL DETAILS AND FINISHES.
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	PROJECT: [Project Name] [Address] [City, State, Zip]	DATE: [Date]	
	ARCHITECT: [Firm Name] [Address] [City, State, Zip]	SCALE: [Scale]	



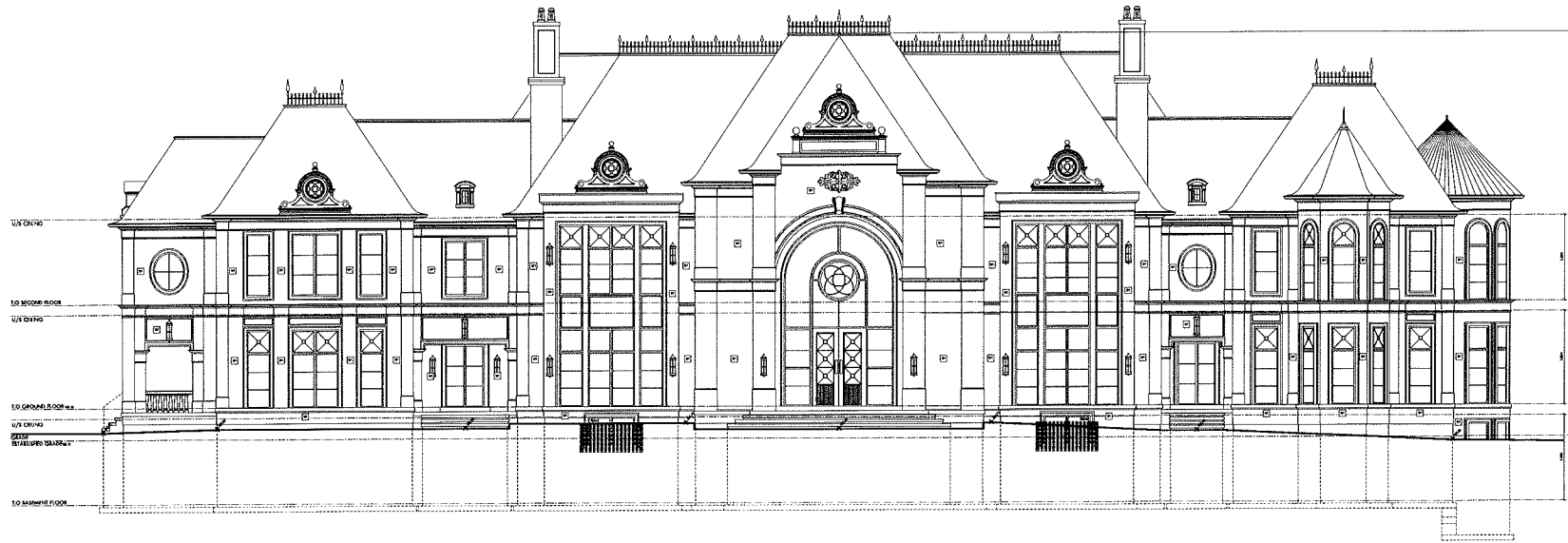
ROOF PLAN

REVISIONS

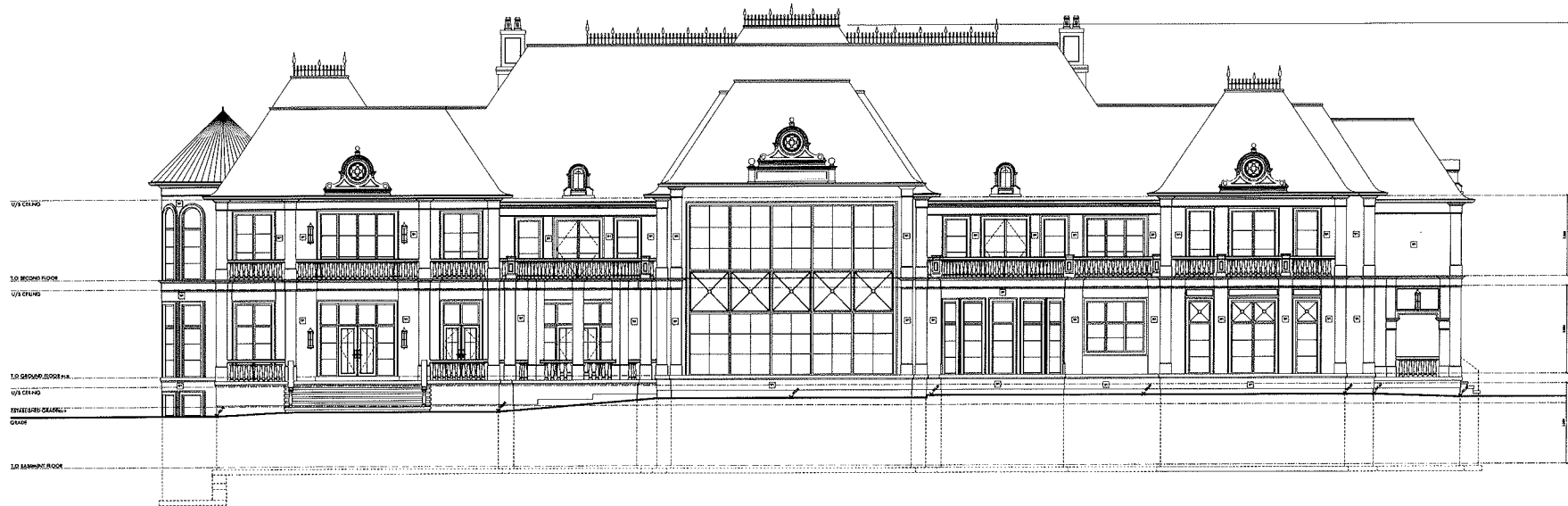
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2	ISSUED FOR PERMIT	02/15/11
3	ISSUED FOR PERMIT	03/15/11
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5	ISSUED FOR PERMIT	05/15/11
6	ISSUED FOR PERMIT	06/15/11
7	ISSUED FOR PERMIT	07/15/11
8	ISSUED FOR PERMIT	08/15/11
9	ISSUED FOR PERMIT	09/15/11
10	ISSUED FOR PERMIT	10/15/11
11	ISSUED FOR PERMIT	11/15/11
12	ISSUED FOR PERMIT	12/15/11

	REVISIONS	NO.	DESCRIPTION	DATE
		1	ISSUED FOR PERMIT	01/15/11
	REVISIONS	NO.	DESCRIPTION	DATE
		1	ISSUED FOR PERMIT	01/15/11

11/15/11



1'-FRONT ELEVATION



2'-REAR ELEVATION

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

	PROJECT: [Project Name] [Address] [City, State, Zip]	DATE: [Date]	
	ARCHITECT: [Firm Name] [Address] [City, State, Zip]	SCALE: [Scale]	



1-LEFT ELEVATION



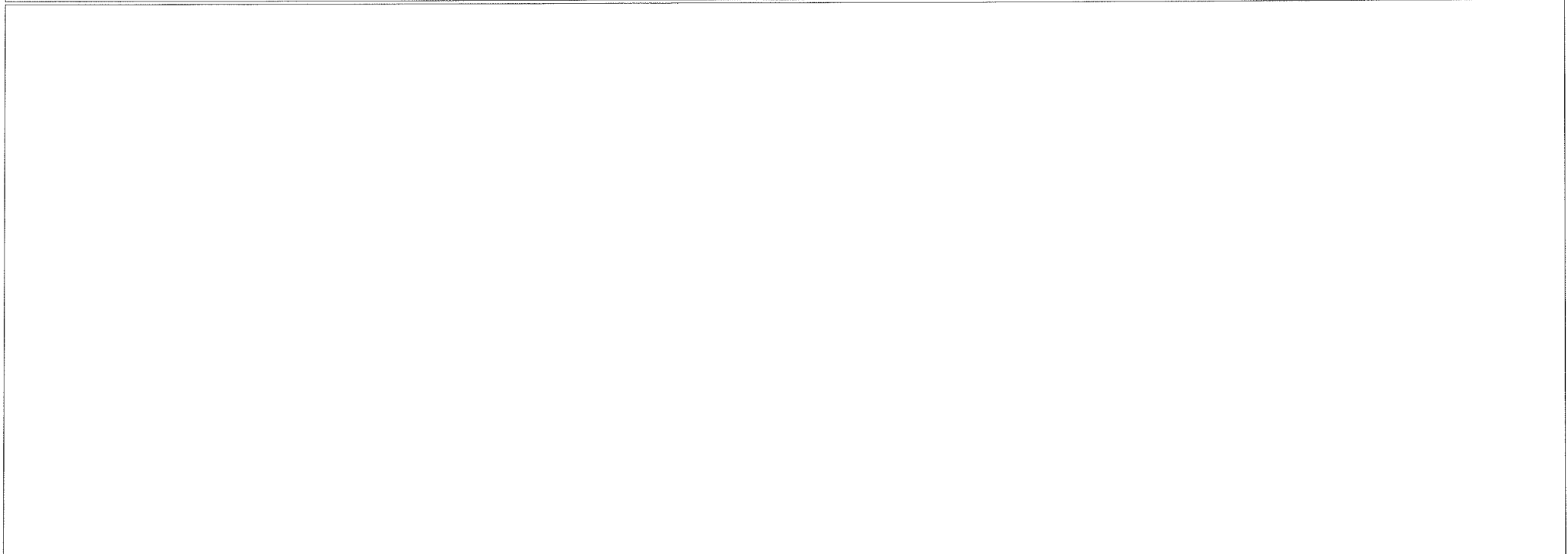
2-RIGHT ELEVATION

NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA SAFETY CODE (CSC), CALIFORNIA SOILS AND FOUNDATIONS CODE (CSF), CALIFORNIA WATER CODE (CWC), CALIFORNIA WINDBORNE HAZARD CODE (CWH), CALIFORNIA ACOUSTIC CODE (CAC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA SMOKE ALARM CODE (CSA), CALIFORNIA SEISMIC CODE (CSC), CALIFORNIA HISTORIC PRESERVATION CODE (CHPC), CALIFORNIA HISTORIC MONUMENT CODE (CHMC), CALIFORNIA HISTORIC PRESERVATION AND MONUMENT CODE (CHPM), CALIFORNIA HISTORIC PRESERVATION AND MONUMENT CODE (CHPM), CALIFORNIA HISTORIC PRESERVATION AND MONUMENT CODE (CHPM).
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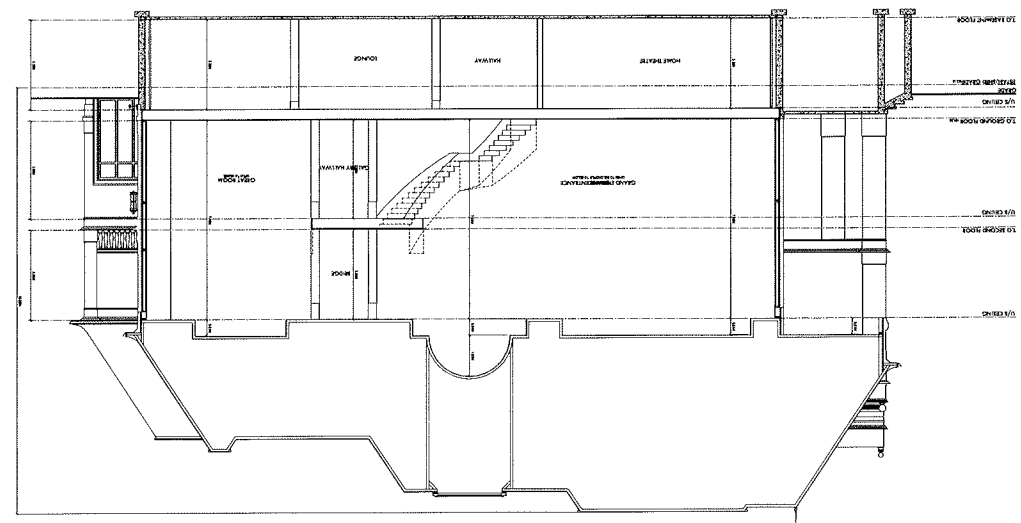
 <small>STATE OF CALIFORNIA</small> <small>REGISTERED PROFESSIONAL ENGINEER</small> <small>EXPIRES 12/31/2025</small>	PROJECT <small>1000 S. G ST. LOS ANGELES, CA 90015</small> <small>RENOVATION OF HISTORIC BUILDING</small> <small>NO. 24-00000000-0000-0000</small>	<small>DATE: 10/15/2024</small> <small>SCALE: AS SHOWN</small> <small>BY: J. SMITH</small> <small>CHK: J. SMITH</small> <small>APP: J. SMITH</small>	 <small>STATE OF CALIFORNIA</small> <small>REGISTERED PROFESSIONAL ARCHITECT</small> <small>EXPIRES 12/31/2025</small>	
				<small>NO. 24-00000000-0000-0000</small>
				<small>NO. 24-00000000-0000-0000</small>
				<small>NO. 24-00000000-0000-0000</small>

JOEY ARCHITECTS 1000 15th St NW Suite 1000 Washington, DC 20004 Tel: 202-462-1000 Fax: 202-462-1001 www.joeyarchitects.com	PROJECT NO. 1000000000 SHEET NO. 1000000000 DATE 01/10/00	ARCHITECT PROJECT MANAGER DESIGNER CHECKER DATE
	PROJECT NAME PROJECT ADDRESS PROJECT CITY PROJECT STATE PROJECT ZIP	CONTRACT NO. CONTRACT DATE CONTRACT VALUE
	CLIENT NAME CLIENT ADDRESS CLIENT CITY CLIENT STATE CLIENT ZIP	CONTRACTOR NAME CONTRACTOR ADDRESS CONTRACTOR CITY CONTRACTOR STATE CONTRACTOR ZIP
	DESIGNER'S SIGNATURE PROJECT MANAGER'S SIGNATURE CHECKER'S SIGNATURE	CONTRACTOR'S SIGNATURE DATE

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1: SECTION VIEW



Zoning Non-compliance Checklist

File No.

A-2024-0145

Applicant: SANDEEP MAKKAR & NAMITA MAKKAR

Address: 26 Manswood Crescent, Brampton, ON L6T 0A4

Zoning: RE1

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
SETBACKS			
BUILDING HEIGHT	To permit a proposed single detached dwelling having a maximum building height of 15.85m.	Whereas the by-law permits a maximum building height of 10.6m.	11.1.2(h)
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
GARAGE DOOR HEIGHT	To permit a garage door height of 3.05m.	Whereas the by-law permits a maximum garage door height of 2.4m.	10.5(a)

John C. Cabral

Reviewed by Zoning

2024-05-03

Date