

Flower City



brampton.ca

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(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0154

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Asveethan paramanathan and siyalini thavarajah
Address 17 strathdale rd
Brampton, ontario
L6P 2X5
Phone # 6472075262 **Fax #** _____
Email Veethan@hotmail.com

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
A minimum 1.2 m path of travel to the aru primary entrance is not provided due to the chimney bump out.

4. **Why is it not possible to comply with the provisions of the by-law?**
It will be too costly to reconstruct.

5. **Legal Description of the subject land:**
Lot Number Lot 260 ele A
Plan Number/Concession Number 17 strathdale Road Plan M1737
Municipal Address 17 strathdale Road brampton ontario L6P2X5

6. **Dimension of subject land (in metric units)**
Frontage 12.07 m
Depth 31.32m
Area 540 m

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Basement GFA:1082.6 sft/100.52 ms.	Owner area: 2583.8 sft/240 ms
Main floor GFA:1170.8 sft/108.77 ms.	Secondary area: 1082.8 sft/100.52 ms (29.5%)
Second floor GFA: 1413.8 sft/131.34 ms.	Total area: 5812.5 sft/540 ms
Total GFA : 3667.2 SFT/340.69 ms.	Gross building area = 1934.42 sft/179.71 ms
	Landscaped area: 3878.08 sft/360.28ms

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Basement GFA:1082.6 sft/100.52 ms.	Owner area: 2583.8 sft/240 ms
Main floor GFA:1170.8 sft/108.77 ms.	Secondary area: 1082.8 sft/100.52 ms (29.5%)
Second floor GFA: 1413.8 sft/131.34 ms.	Total area: 5812.5 sft/540 ms
Total GFA : 3667.2 SFT/340.69 ms.	Gross building area = 1934.42 sft/179.71 ms
	Landscaped area: 3878.08 sft/360.28ms

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.08 m
Rear yard setback	7.3 m
Side yard setback	0.65 m (right)
Side yard setback	3.72 m. (Left)

PROPOSED

Front yard setback	6.08 m
Rear yard setback	7.3 m
Side yard setback	0.65 m (right)
Side yard setback	3.72 m. (Left)

10. Date of Acquisition of subject land: January 2009

11. Existing uses of subject property: Personal

12. Proposed uses of subject property: Two unit dwelling

13. Existing uses of abutting properties: N/A

14. Date of construction of all buildings & structures on subject land: 2008

15. Length of time the existing uses of the subject property have been continued: From 2009

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

P. Veethan J. S. S. S.
Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF brampton
THIS 22nd DAY OF April May, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Asveethan Paramanathan OF THE city OF brampton
IN THE region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 10th DAY OF
May, 2024
[Signature]
A Commissioner etc.

P. Veethan
Signature of Applicant or Authorized Agent
Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

FOR OFFICE USE ONLY
Present Official Plan Designation: _____
Present Zoning By-law Classification: R1C-1903
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.
Shiza Athar 2024/04/30
Zoning Officer Date

DATE RECEIVED May 10, 2024
Date Application Deemed Complete by the Municipality VL

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 17 strathdale Road brampton ontario l6p2x5

I/We, Asveethan Paramanathan and Siyalini Thavarejah
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 22 day of April, 2024.

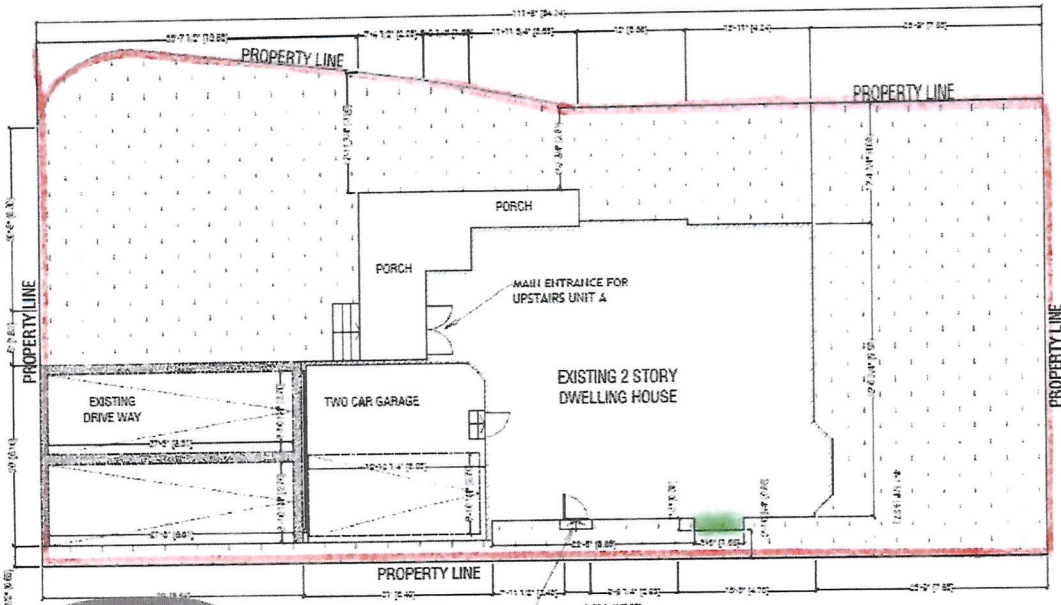
P. Veethan T. Siyalini
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

N



EXISTING GFA: 1082 SQ FT / 100 SQ M
 MAIN FLOOR GFA: 1170 SQ FT / 108 SQ M
 SECOND FLOOR GFA: 7410 SQ FT / 687 SQ M
 TOTAL GFA: 8582 SQ FT / 793 SQ M
 DINING AREA: 228 SQ FT / 21 SQ M
 SECONDARY AREA: 1082 SQ FT / 100 SQ M (28.2%)
 TOTAL LOT AREA: 28120 SQ FT / 2600 SQ M
 GROSS BUILDING AREA: 1024 SQ FT / 945 SQ M
 LANDSCAPED AREA: 2678 SQ FT / 247 SQ M

EXISTING 32'x78' SIDE DOOR ENTRANCE & EXIT FOR THE UNIT B

SITE PLAN
 FOR PROPOSED UNIT B UNITS OF PHASE B DEVELOPMENT
 FOR 17 STRATHDALE RD BRAMPTON, ONT.

A-1

GENERAL NOTES:
 1. ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS SHALL BE CHECKED BEFORE BY THE CONTRACTOR. ANY VARIATIONS OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCING THE WORK.
 2. ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF APPLICABLE BUILDING CODE AND REGULATIONS, APPROVED PLANNING JURISDICTIONS.
 3. ALL THE SAFETY PRECAUTIONS TO BE TAKEN DURING AND AFTER CONSTRUCTION.
 4. IF EXISTING CONDITIONS CHANGE DURING THE WORK, CONTRACTOR TO MAKE GOOD TO HIS SATISFACTION.
 5. THE DESIGN AND CONTRACT DOCUMENTS ARE COPYRIGHT OF THE DESIGNER AND SHALL NOT BE REPRODUCED, COPIED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

D1	INCLUDED FOR PERMIT	DE
NO	RECORD COPY	
PROJECT		

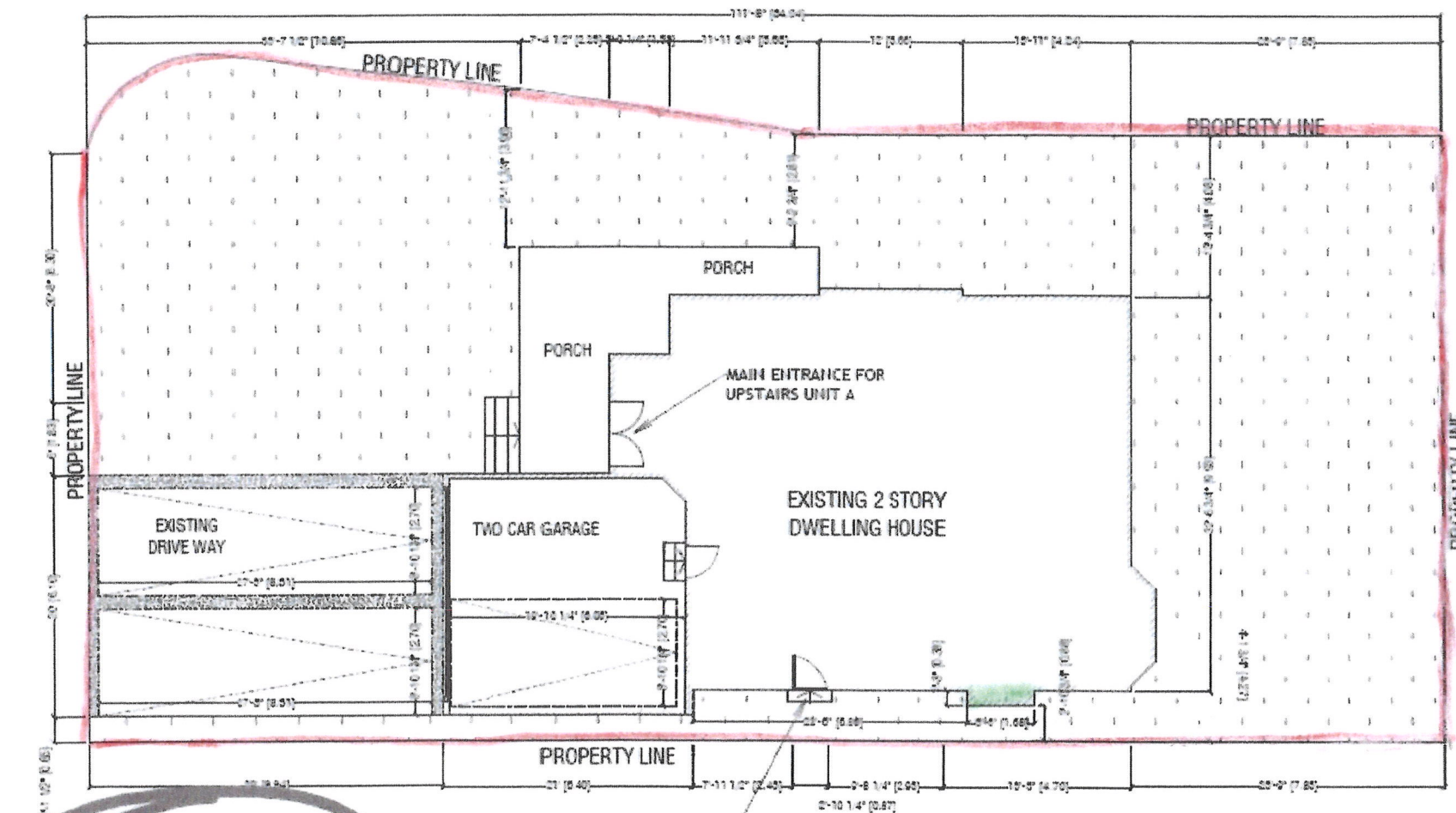
17 STRATHDALE RD BRAMPTON

SITE PLAN

CONSULTANT:
EL MONDE ENGINEERING
 416 609 8854
 p.m.p.m@gmail.com

DESIGNED BY	AR	CHECKED BY	PP
DATE	FEB 2024	DRAWING NO.	
SCALE	3/32"=1'-0"		A-

N



BASEMENT GFA: 1082.8 SFT / 100.82 MG
 MAIN FLOOR GFA: 1170.8 SFT / 108.77 MG
 SECOND FLOOR GFA: 1415.8 SFT / 131.54 MG
 TOTAL GFA: 3669.4 SFT / 341.13 MG
 OWNER AREA: 2560.8 SFT / 240 MG
 SECONDARY AREA: 1088.6 SFT / 100.82 MG (29.5%)

 TOTAL LOT AREA: 2912.8 SFT / 270 MG
 GROSS BUILDING AREA: 1654.42 SFT / 170.71 MG
 LANDSCAPED AREA: 5878.08 SFT / 545.28 MG

EXISTING 32"x78" SIDE
 DOOR ENTRANCE & EXIT
 FOR THE UNIT B

A-1

SITE PLAN
 NOTE:
 ALL WORKING EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE SHEET S-1

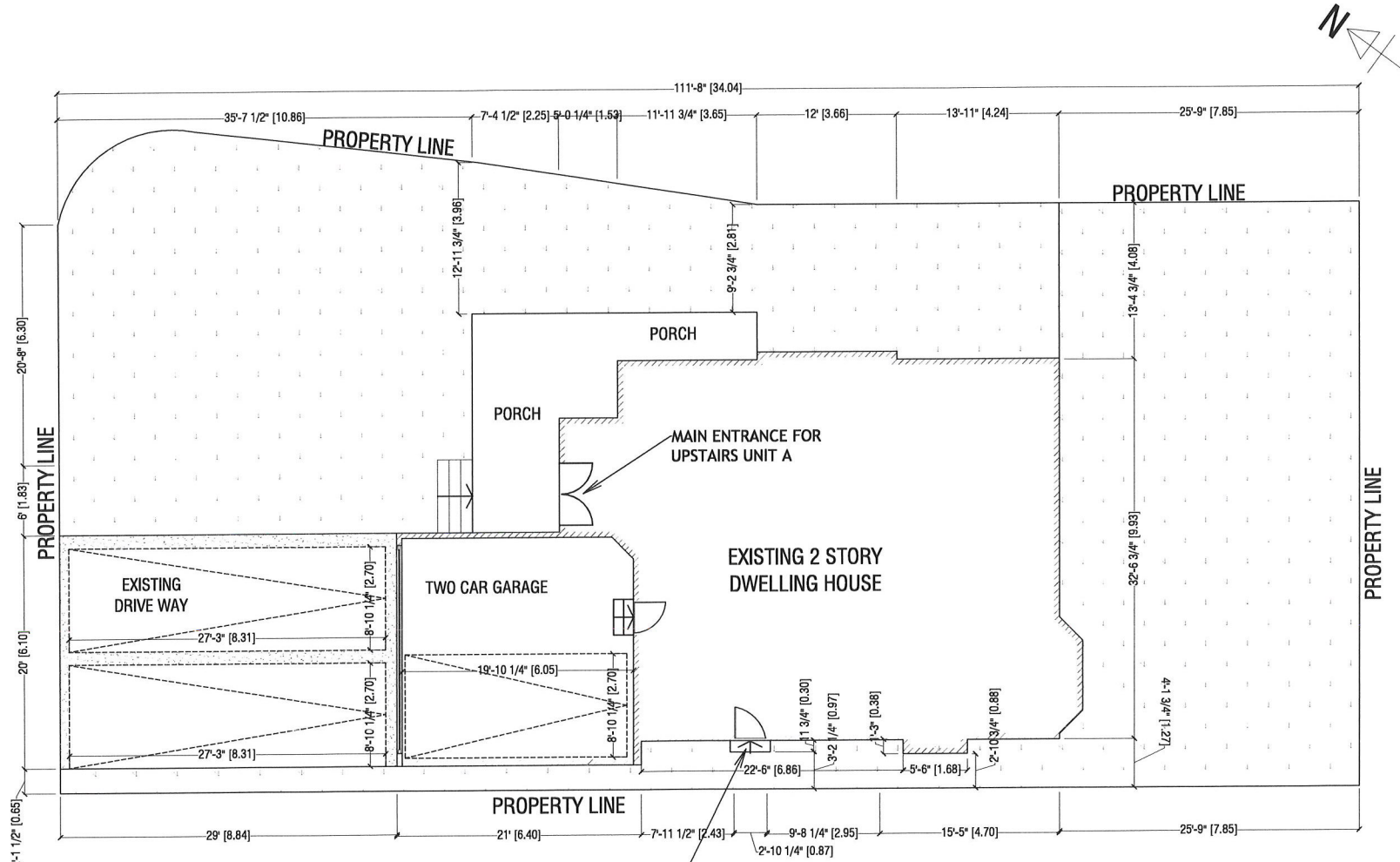
GENERAL NOTES
 - ALL WORK TO BE DONE BY LICENSED CONTRACTOR OR DESIGNER AS PERMITTED BY THE CITY OF CHICAGO
 - ALL THE WORK SHALL BE ACCORDING TO THE CITY OF CHICAGO ORDINANCES AND ANY ORDINANCES ADOPTED BY THE CITY OF CHICAGO
 - ALL WORK SHALL BE ACCORDING TO THE CITY OF CHICAGO ORDINANCES AND ANY ORDINANCES ADOPTED BY THE CITY OF CHICAGO
 - THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE WORK OF OTHER CONTRACTORS OR DESIGNERS

01 ISSUE
 No. 0001
 PROJECT

TITLE

CONSULTANT

DRAWN BY: A
 DATE: 1
 SCALE: 3/8



BASEMENT GFA: 1082.6 SFT / 100.52 MS
 MAIN FLOOR GFA: 1170.8 SFT / 108.77 MS
 SECOND FLOOR GFA: 1413.8 SFT / 131.34 MS
 TOTAL GFA: 3667.2 SFT / 340.69 MS
 OWNER AREA: 2583.8 SFT / 240 MS
 SECONDARY AREA: 1082.6 SFT / 100.52 MS (29.5%)

 TOTAL LOT AREA: 5812.5 SFT / 540 MS
 GROSS BUILDING AREA: 1934.42 SFT / 179.71 MS
 LANDSCAPED AREA: 3878.08 SFT / 360.28 MS

EXISTING 32'x78" SIDE
 DOOR ENTRANCE & EXIT
 FOR THE UNIT B

SITE PLAN
 NOTES:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1



GENERAL NOTES:
 - ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
 - DO NOT SCALE THE DRAWING.
 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.

No.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT.	SEP 2023

PROJECT:
**17 STRATHDALE
 RD., BRAMPTON**

TITLE:
SITE PLAN

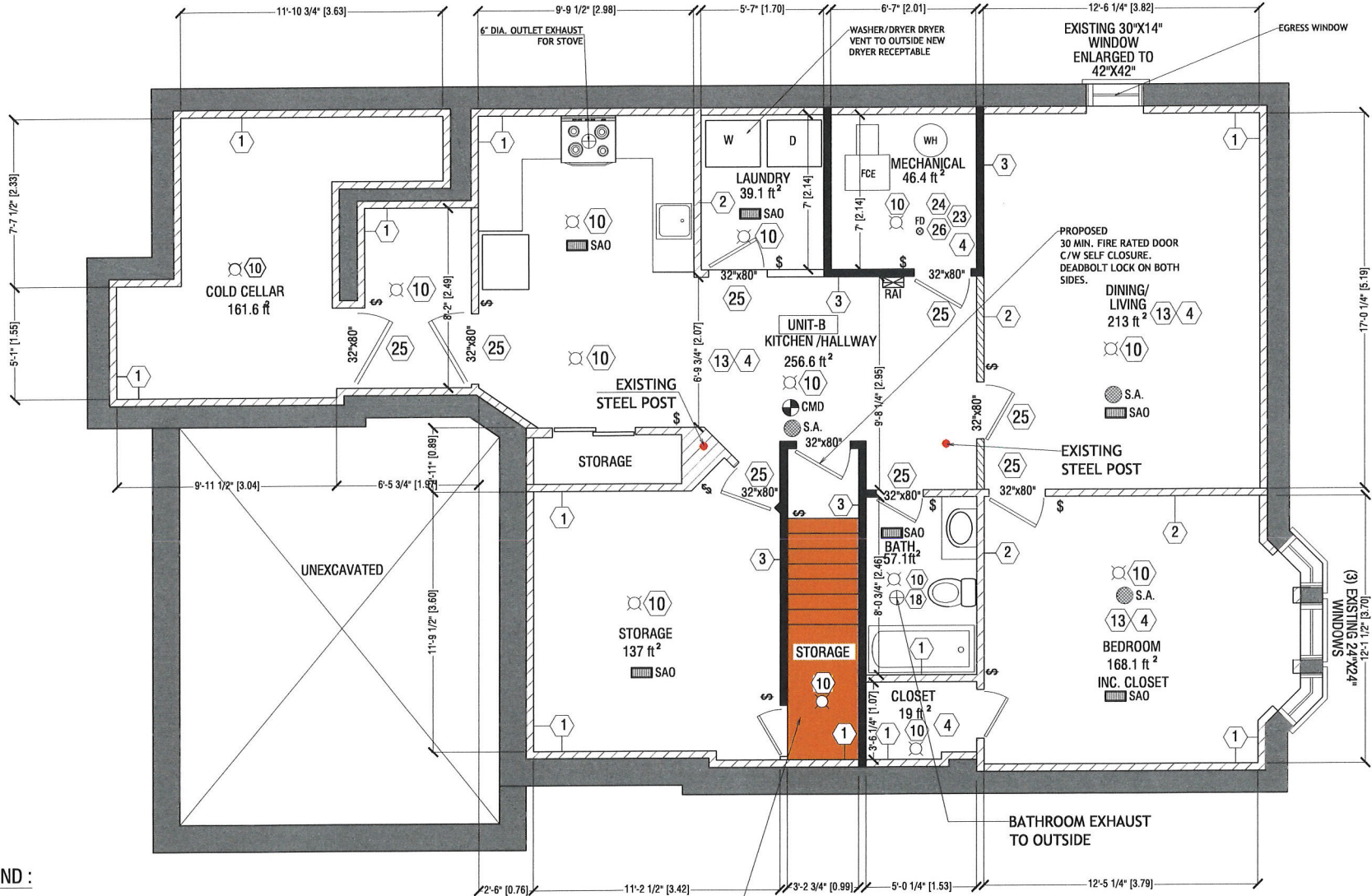
CONSULTANT:
**EL MONDE
 ENGINEERING**
 (416) 528 3834
 palagut@gmail.com

DRAWN BY: AR	CHECKED BY: PP
DATE: FEB 2024	DRAWING NO: A-1
SCALE: 3/32" = 1'-0"	

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012			
ROOM TYPE	ROOM AREA	GLASS AREA REQUIRED (FS)	EXISTING/PROPOSED GLASS AREA (FS)
BEDROOM	168.1 SF	2.5% OF 168.1 SF=4.20 SF	12 SF /12 SF
LIVING	213 SF	5% OF 213= 10.65 SF	7.5 SF / 12.25 SF

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"



- LEGEND :**
- EXISTING WALL TO BE DEMOLISHED
 - EXISTING EXTERIOR WALLS
 - PROPOSED INTERIOR WALLS
 - FIRE RATED WALLS REFER TO N-01 FOR DETAILS
 - EXISTING INTERIOR WALLS

PROVIDE 5/8" TYPE 'X' GYPSUM BOARD UNDERSIDE STAIRS GOING TO MAIN FLOOR

BASEMENT FLOOR GFA AREA: 1082.6 SFT

NOTES:
-FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

GENERAL NOTES:

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01	ISSUED FOR PERMIT.	SEP 2023
No.	DESCRIPTION	DATE

PROJECT:
17 STRATHDALE RD. BRAMPTON

TITLE:
PROPOSED BASEMENT LAYOUT

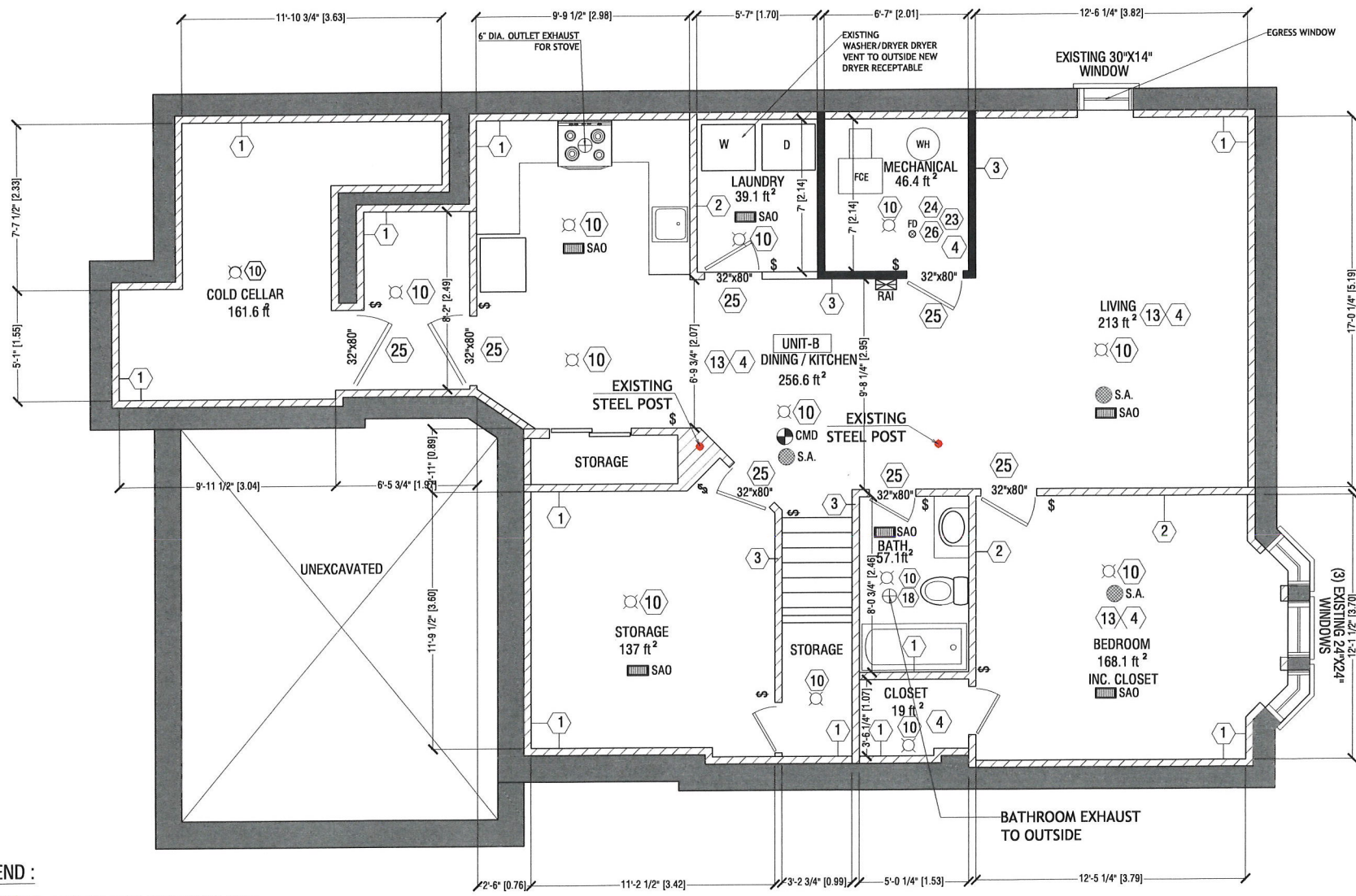
CONSULTANT:
EL MONDE ENGINEERING
(416 528 3834)
palagut@gmail.com

DRAWN BY:	AR	CHECKED BY:	PP
DATE:	FEB 2024	DRAWING NO.:	A-2
SCALE:	3/16" = 1'-0"		

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012			
ROOM TYPE	ROOM AREA	GLASS AREA REQUIRED (FS)	EXISTING GLASS AREA (FS)
BEDROOM	168.1 SF	2.5% OF 168.1 SF=4.20 SF	12 SF
LIVING/DINING	213 SF	5% OF 213= 10.65 SF	7.5 SF

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"



- LEGEND :**
- EXISTING WALL TO BE DEMOLISHED
 - EXISTING EXTERIOR WALLS
 - EXISTING INTERIOR WALLS
 - FIRE RATED WALLS REFER TO N-01 FOR DETAILS

BASEMENT FLOOR GFA AREA: 1082.6 SFT

NOTES:
-FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

GENERAL NOTES:

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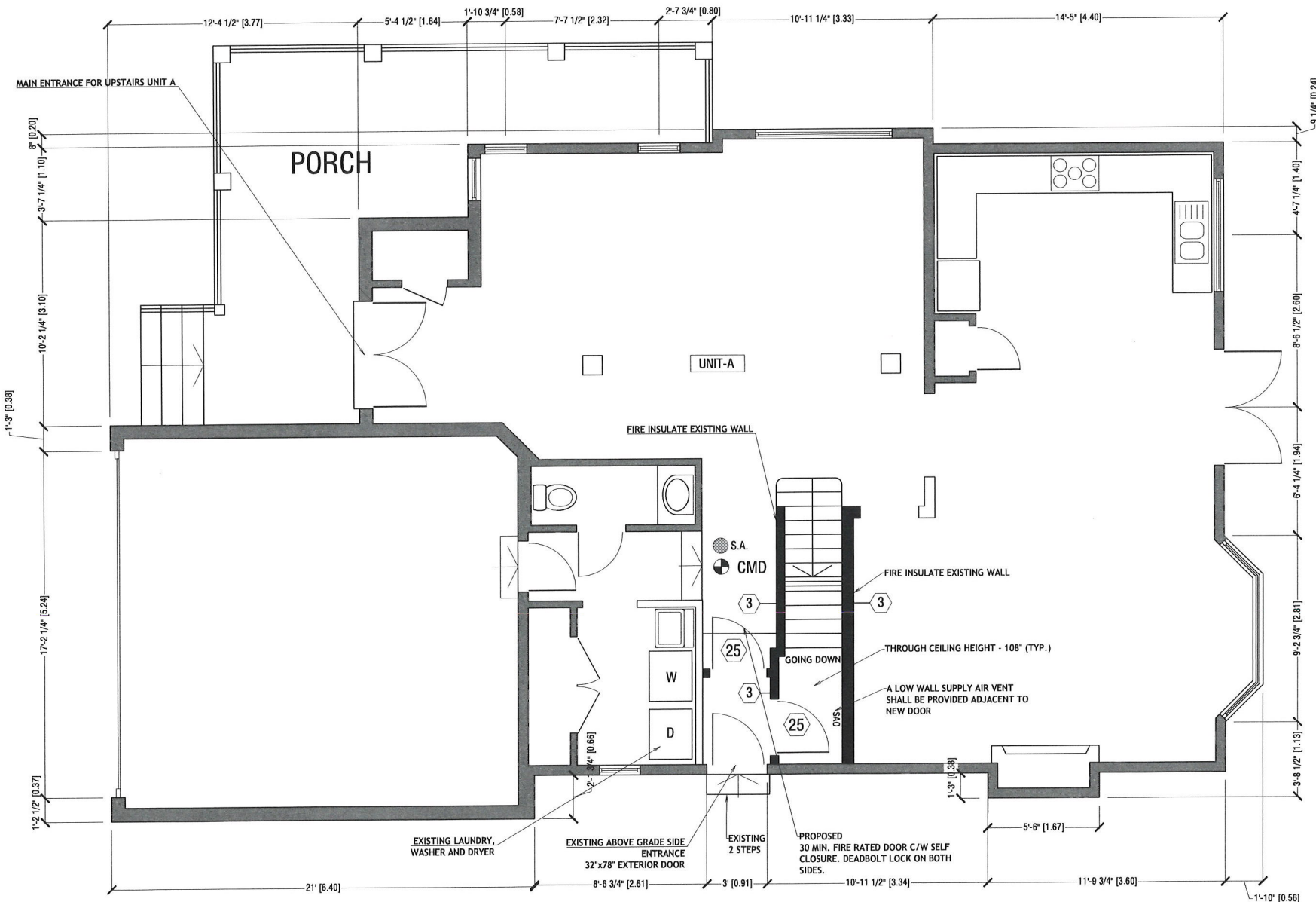
01	ISSUED FOR PERMIT.	SEP 2023
No.	DESCRIPTION	DATE

PROJECT:
17 STRATHDALE RD., BRAMPTON

TITLE:
EXISTING BASEMENT LAYOUT

CONSULTANT:
EL MONDE ENGINEERING
(416 528 3834)
palagut@gmail.com

DRAWN BY:	AR	CHECKED BY:	PP
DATE:	FEB 2024	DRAWING NO.:	A-3
SCALE:	3/16" = 1'-0"		



GENERAL NOTES:
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01	ISSUED FOR PERMIT.	SEP 2023
No.	DESCRIPTION	DATE

PROJECT:
17 STRATHDALE RD. BRAMPTON

TITLE:
MAIN FLOOR LAYOUT

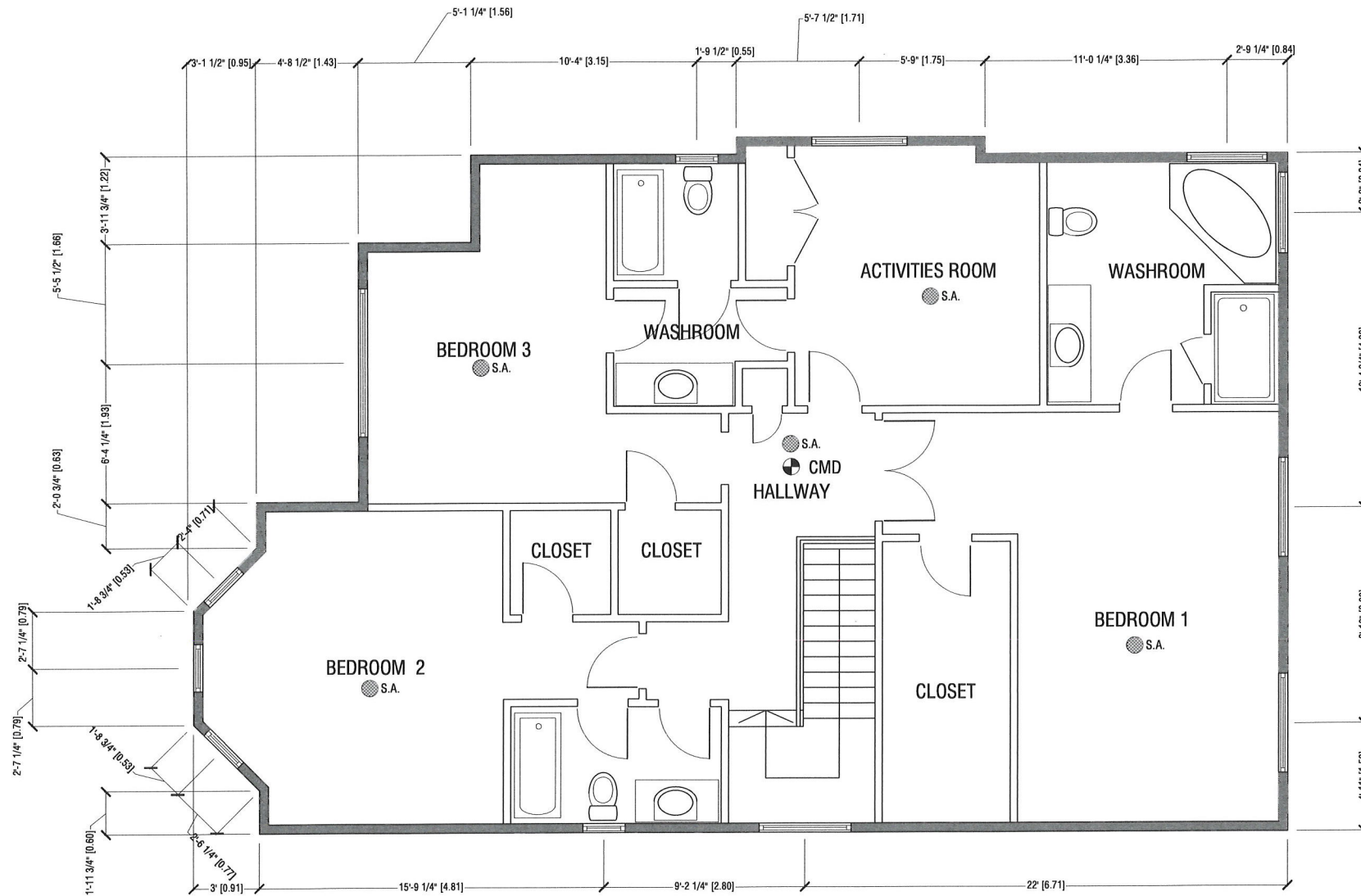
CONSULTANT:
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 (416 528 3834)
 palagut@gmail.com

DRAWN BY: AR	CHECKED BY: PP
DATE: FEB 2024	DRAWING NO: A-4
SCALE: 3/16" = 1'-0"	

PROPOSED MAINFLOOR LAYOUT
MAIN FLOOR GFA AREA: 1170.8 ft²

NOTES:
 -FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

- EXISTING WALL TO BE DEMOLISHED
- EXISTING EXTERIOR WALLS
- PROPOSED INTERIOR WALLS
- FIRE RATED WALLS REFER TO N-01 FOR DETAILS



- EXISTING WALL TO BE DEMOLISHED
- EXISTING EXTERIOR WALLS
- PROPOSED INTERIOR WALLS
- FIRE RATED WALLS REFER TO N-01 FOR DETAILS

EXISTING SECOND FLOOR

SECOND FLOOR GFA AREA: 1413.8 ft²

NOTES:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

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01	ISSUED FOR PERMIT.	SEP 2023
No.	DESCRIPTION	DATE

PROJECT:
17 STRATHDALE RD., BRAMPTON

TITLE:
SECOND FLOOR PLAN

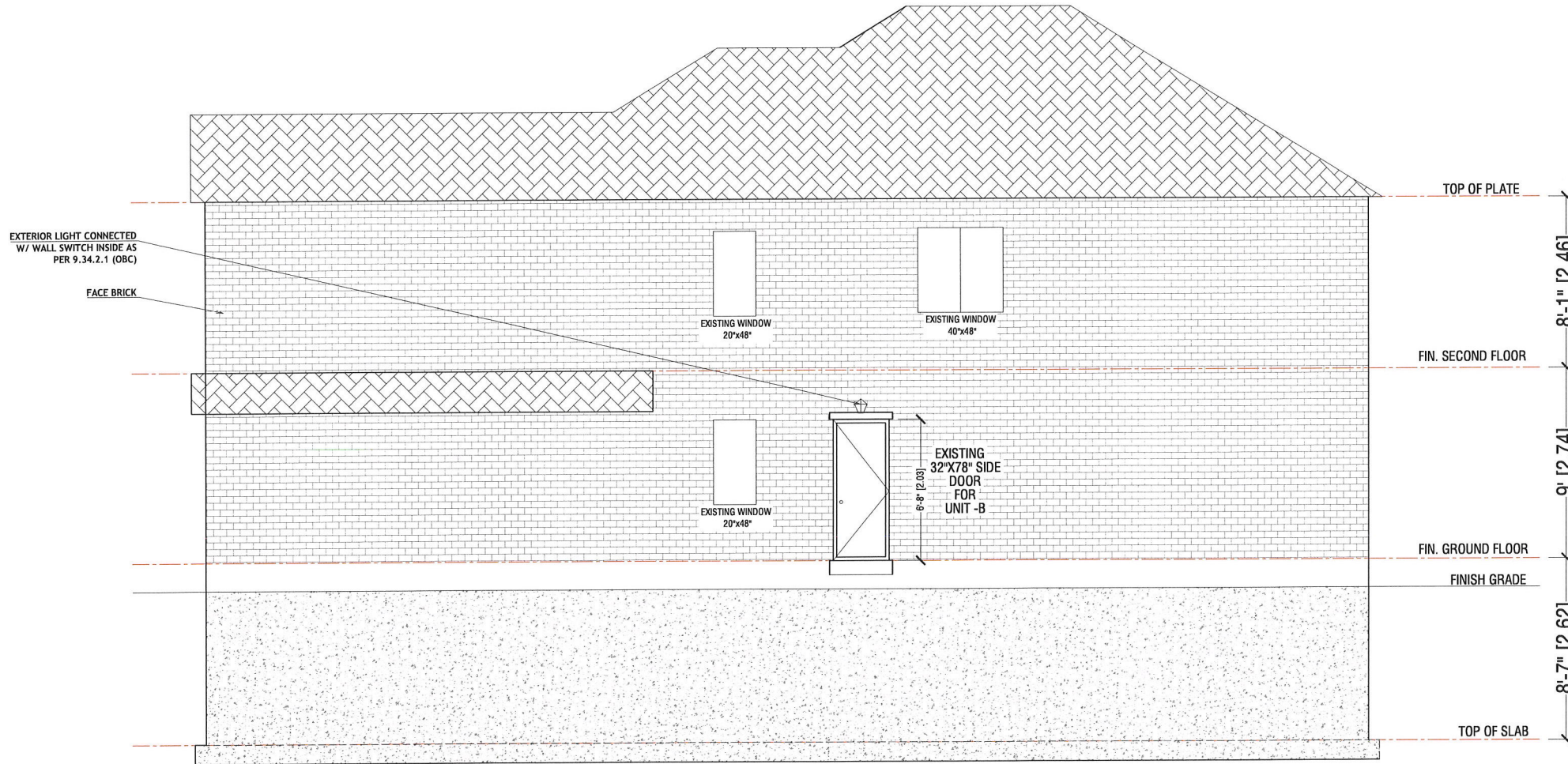
CONSULTANT:
EL MONDE ENGINEERING
 (416 528 3834)
 palagut@gmail.com

DRAWN BY: AR	CHECKED BY: PP
DATE: FEB 2024	DRAWING NO: A-5
SCALE: 3/16"=1'-0"	

WALL AREA: 1375 SQFT
LIMITING DISTANCE: 1.23m (7%)
OPENINGS ALLOWED: 96.25 SQFT
OPENINGS PROVIDED: 41.33 SQFT (EXISTING)

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"



RIGHT SIDE ELEVATION

EXISTING RIGHT SIDE ELEVATION

NOTES:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

GENERAL NOTES:
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 - ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
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01	ISSUED FOR PERMIT.	SEP 2023
No.	DESCRIPTION	DATE

PROJECT:
17 STRATHDALE RD., BRAMPTON

TITLE:
RIGHT SIDE ELEVATION

CONSULTANT:
EL MONDE ENGINEERING
 (416 528 3834)
 palagut@gmail.com

DRAWN BY:	AR	CHECKED BY:	PP
DATE:	FEB 2024	DRAWING NO.:	A-6
SCALE:	3/16"=1'-0"		

WALL AREA: 1375 SQFT
 LIMITING DISTANCE: 1.5m (8%)
 OPENINGS ALLOWED: 110.0 SQFT
 OPENINGS PROVIDED: 95.33 SQFT (EXISTING)
 OPENINGS PROVIDED: 107.6 SQFT (PROPOSED)

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"



LEFT SIDE ELEVATION

EXISTING LEFT SIDE ELEVATION

NOTES:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

GENERAL NOTES:
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 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
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 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
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 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.

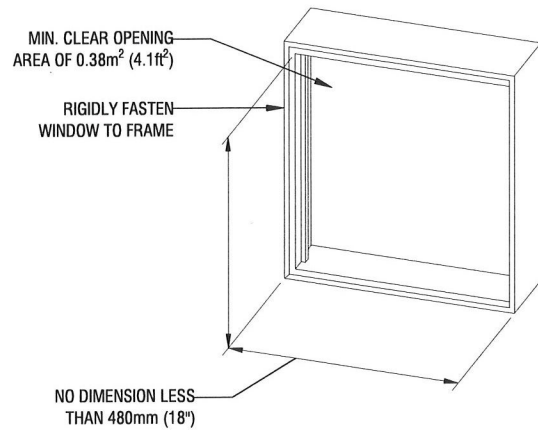
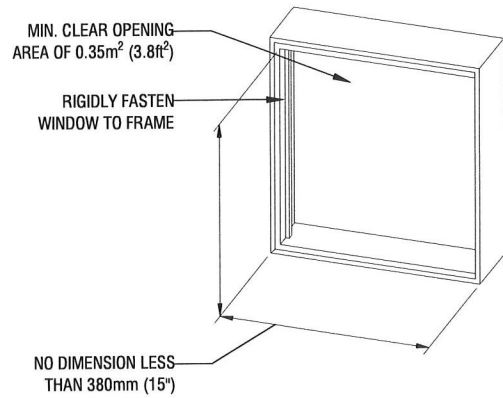
No.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT.	SEP 2023

PROJECT:
 17 STRATHDALE
 RD. BRAMPTON

TITLE:
 LEFT SIDE ELEVATION

CONSULTANT:
**EL MONDE
 ENGINEERING**
 (416 528 3834)
 palagut@gmail.com

DRAWN BY:	AR	CHECKED BY:	PP
DATE:	FEB 2024	DRAWING NO.:	A-7
SCALE:	3/16" = 1'-0"		



GENERAL NOTES:
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01 ISSUED FOR PERMIT. SEP 2023

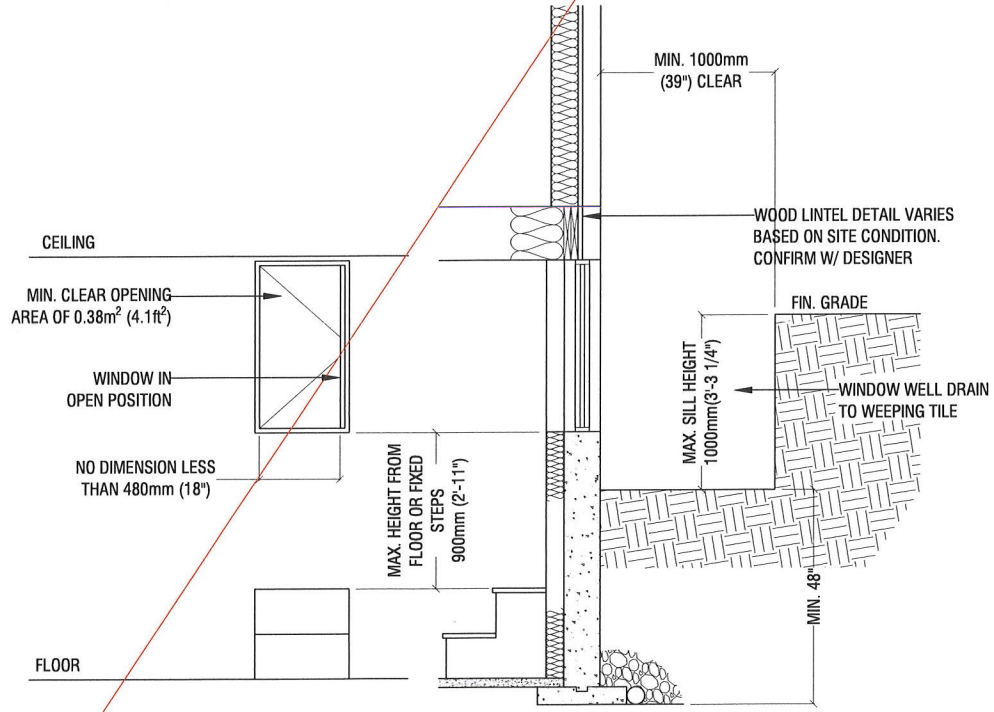
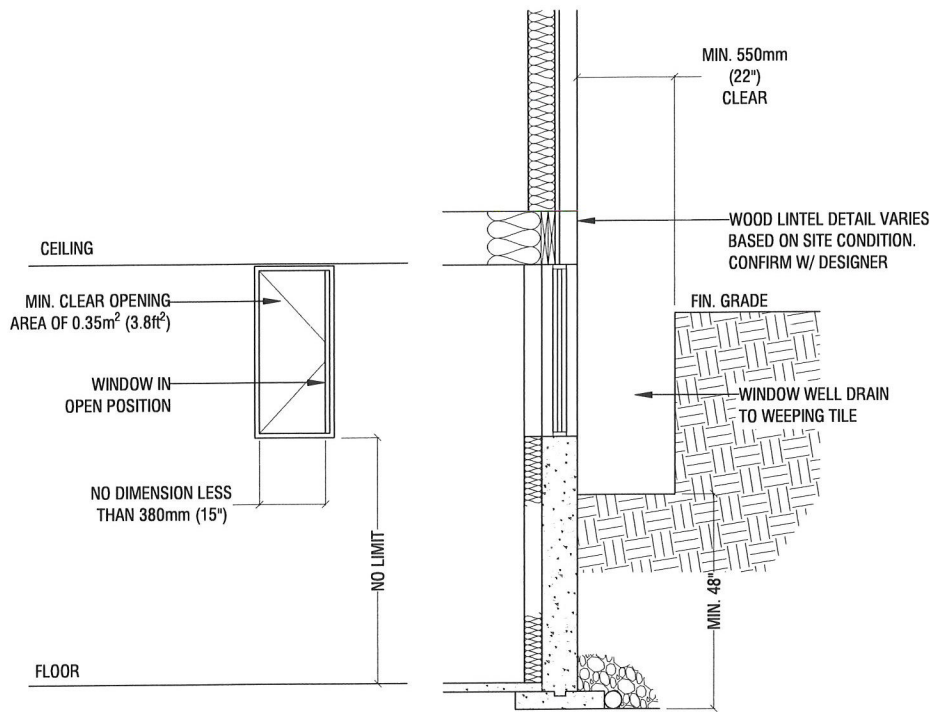
No. DESCRIPTION DATE

PROJECT:
 17 STRATHDALE RD., BRAMPTON

TITLE:
 EGRESS WINDOW DETAIL

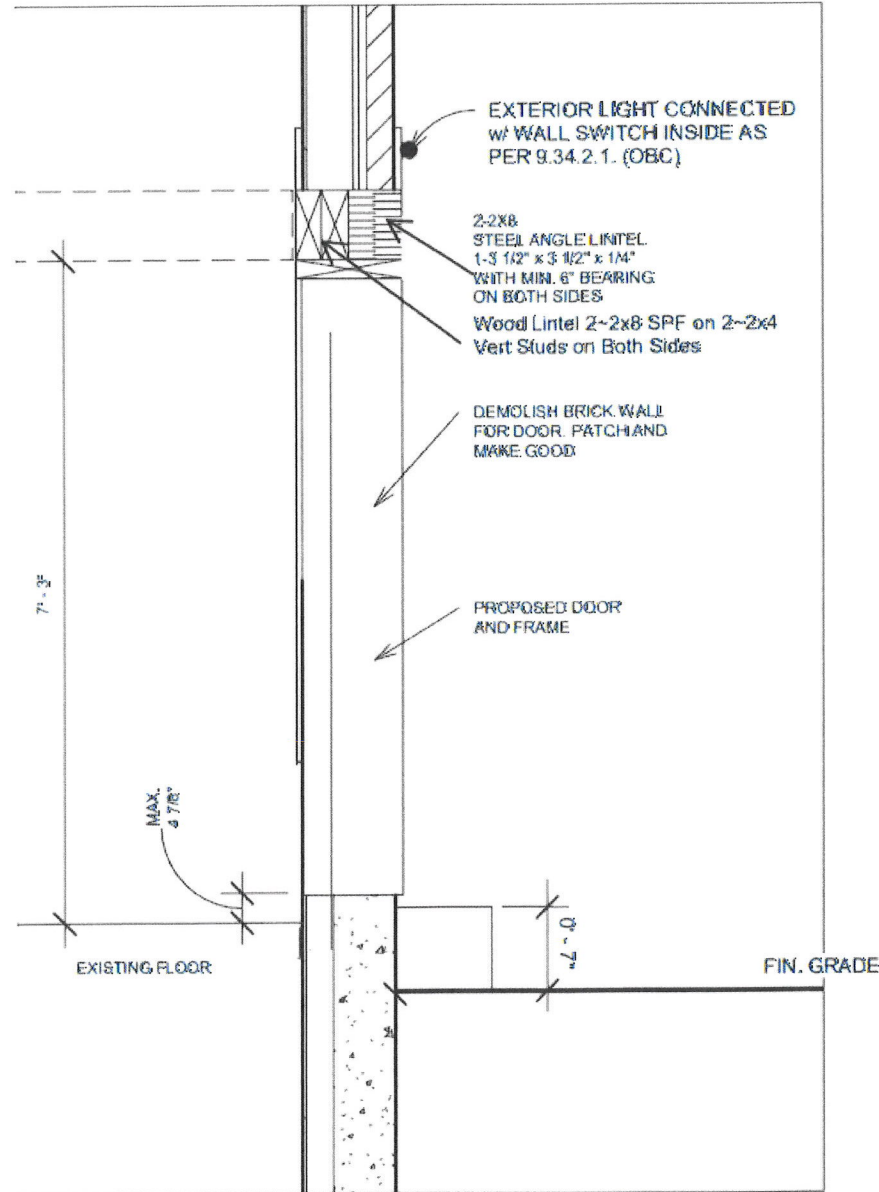
CONSULTANT:
EL MONDE ENGINEERING
 (416 528 3834)
 palagut@gmail.com

DRAWN BY: PP	CHECKED BY: PP
DATE: FEB 2024	DRAWING NO: A-8
SCALE: 3/8" = 1'-0"	



1 A-9 EGRESS WINDOW - OPTION 'A' OR 'B'

2 A-9 ESCAPE WINDOW - OPTION 'C'



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01	ISSUED FOR PERMIT.	SEP 2023
No.	DESCRIPTION	DATE

PROJECT:
 17 STRATHDALE
 RD. BRAMPTON

TITLE:
 PROPOSED ABOVE
 GRADE SIDE
 ENTRANCE DETAIL

CONSULTANT:
**EL MONDE
 ENGINEERING**
 (416 528 3834)
 palagut@gmail.com

DRAWN BY: PP	CHECKED BY: PP
DATE: FEB 2024	DRAWING NO: A-9
SCALE: 3/4" = 1'-0"	

CONSTRUCTION NOTES:

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.

- 1 EXTERIOR WALL CONSTRUCTION
1/2" DRYWALL FINISH
2"x4" WOOD STUD @ 16" O.C.
1" AIR SPACE
EXISTING ROLLED R20 BATT INSULATION
EXISTING VAPOUR BARRIER
EXISTING 8" CONCRETE WALL
EXISTING DAMP PROOFING PAPER
- 2 INTERIOR WALL CONSTRUCTION
1/2" DRYWALL
2"x4" WOOD STUD @ 16" O.C.
1/2" DRYWALL FINISH
- 3 INTERIOR WALL CONSTRUCTION 30 MIN FRR
1/2" DRYWALL FINISH
2"x4" WOOD STUD @ 16" O.C.
3 1/2" ROXULL SAFE 'N' SOUND INSULATION
1/2" DRYWALL FINISH
- 4 CEILING: 1/2" GYPSUM BOARD
PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.14.(1) and (3);)
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,
(i)smoke alarm are installed in every dwelling unit, sleeping rooms and in common areas in conformance with Subsection 9.10.19., and
(ii)smoke alarms are interconnected.
- 5 PART 11 COMPLIANCE ALTERNATIVE C95 (6.2.4.7.10);
In a building containing not more than four dwelling units or residential suits, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite and provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.
- 6 PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.15(1));
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fireresistance rating of the fire separation is waived where the building is sprinklered.
- 7 As per the requirements of OBC 9.10.19. Smoke alarms. All smoke alarms shall be interconnected with Audio and Visual Signal.
- 8 As per the requirements of OBC 9.33.4
A Carbon Monoxide Alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances.
- 9 EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF-CLOSING DEVICE.
20 MIN FIRE PROTECTION RATING OF CLOSURE IS REQUIRED FOR 30 OR 45 MIN FRR OF FIRE SEPARATION.

- 10 A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- 11 PART 11 COMPLIANCE ALTERNATIVE C136 (9.9.9)
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists:

(a.) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,

(b.) an exit that is accessible to more than one dwelling unit, and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19 and are interconnected,
- 12 ALL FRAMING LUMBER WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING.
- 13 PART 11 COMPLIANCE ALTERNATIVE C102 (9.5.3.1)
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units,
(a.) minimum room height shall not be less than 1950mm over the required floor area and in any location that would normally be used as a means of egress, or
(b.) minimum room height shall not be less than 2030mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1400mm shall no be considered in computing the required floor area.
- 14 AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.
- 15 THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER AND SHALL HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.
- 16 AIR SUPPLY REGISTERS AT CEILING.
- 17 AIR RETURN REGISTERS AT FLOOR LEVEL.
- 18 EXHAUST FAN TO DIRECTLY DISCHARGE OUTSIDE.
- 19 UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILL.
- 20 BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO. 141 "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN ANY COMMON MEANS OF EGRESS

- 21 2"x6" STUD 16" O.C.(2"x6") SIL PLATE ON DAMP PROOFING MATERIAL (1/2") DIA. ANCHOR BOLTS 8" LONG EMBEDDED MIN. (4") INTO CONCRETE 7"-10" O.C. (4") HIGH CONCRETE CURB ON (14"x6") CONCRETE FOOTING ADD HORIZONTAL BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED
- 22 INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"
1/2" DRYWALL FINISH
2"x6" WOOD STUD @ 16" O.C.
5 1/2" ROXULL SAFE 'N' SOUND INSULATION
1/2" DRYWALL FINISH
- 23 PROVIDE SMOKE DETECTOR IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SMOKE DETECTOR. SEE NOTE 5.
- 24 PROVIDE SPRINKLERS IN AREAS WITH UNFINISHED CEILING. NEW SPRINKLER SYSTEM TO BE PROVIDED. SEE NOTE 15
GAS PROOF ALL CEILING VOIDS.
- 25 20 MIN RATED DOOR AND FRAME WITH SELF CLOSING DEVICE.
- 26 Shut-off valves shall be installed in every suite in a building of residential occupancy as may be necessary to ensure that when the supply to one suite is shut off the supply to the remainder of the building is not interrupted.

LEGEND

	CMD	CARBON MONOXIDE DETECTOR
	S.A.	SMOKE ALARM INTERCONNECTED
	SAO	WARM AIR REGISTER
	RAI	RETURN AIR REGISTER
		EXHAUST FAN
	CL	CLOSET
	EP	ELECTRICAL PANEL
	FD	
		LIGHT FIXTURE
	\$	SWITCH
	\$3	THREE WAY SWITCH
		SPRINKLERS

GENERAL SPECIFICATIONS:

ALL DRAWING TO BE USED FOR CONSTRUCTION ONLY WHEN APPROVED BY MUNICIPALITY ACCOMPANIED WITH THE BUILDING PERMIT. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH WORK.
MANUFACTURED ITEMS MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA MORTGAGE AND HOUSING CORPORATIONS (C.M.H.C.) AND CANADIAN STANDARDS ASSOCIATION (C.S.A).
DESIGNER SHALL TAKE NO RESPONSIBILITY FOR THE CONSTRUCTION OF THE PROJECT.

THE DRAWINGS ARE NOT TO BE SCALED

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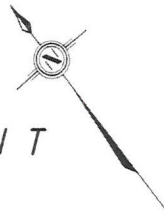
PROJECT:
17 STRATHDALE RD._BRAMPTON

TITLE:
CONSTRUCTION NOTES

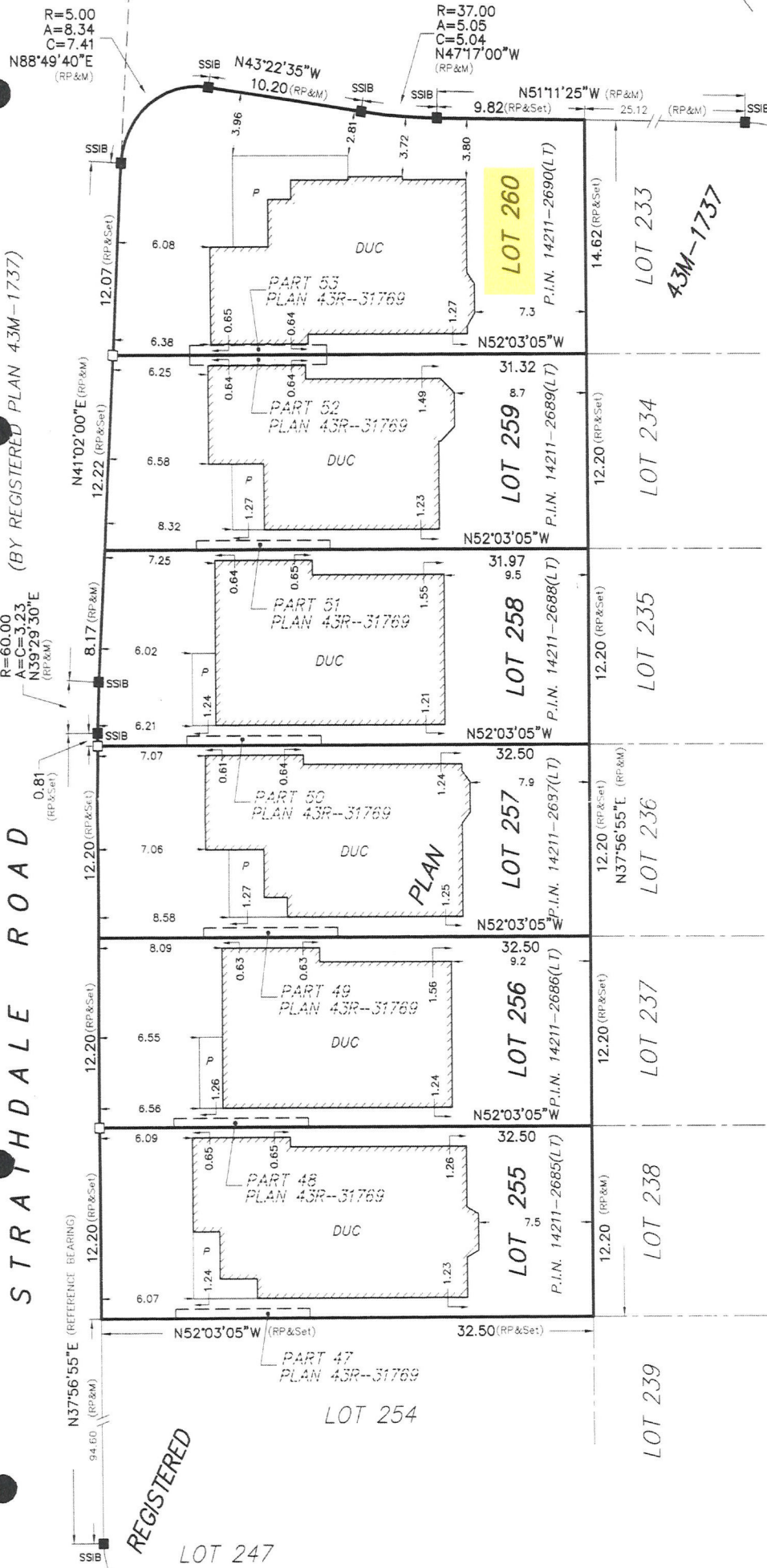
CONSULTANT:
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(416 528 3834)
palagut@gmail.com

DRAWN BY: PP	CHECKED BY: PP
DATE: FEB 2024	DRAWING NO: N-1
SCALE: 3/16" = 1'-0"	

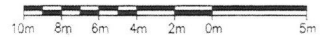
DOCUMENTS RELEASED PURSUANT TO A REQUEST
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 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS



COVEBANK CRESCENT
 (BY REGISTERED PLAN 43M-1737)



SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOTS 255 to 260 INCLUSIVE
REGISTERED PLAN 43M-1737
CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1 : 300



YOUNG & YOUNG SURVEYING
 (ETOBICOKE 2006) INC.
 © COPYRIGHT 2007

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE

BEARINGS ARE GRID AND ARE REFERRED TO THE
 SOUTH EAST LIMIT OF STRATHDALE ROAD, HAVING A BEARING
 OF N38°55'00"E ACCORDING TO REGISTERED PLAN 43M-1737.

LEGEND

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- RP REGISTERED PLAN 43M-1737
- N,S,E,W NORTH,SOUTH,EAST,WEST
- M MEASURED
- SSIB SHORT STANDARD IRON BAR
- P.I.N. PROPERTY IDENTIFIER NUMBER
- DUC DWELLING UNDER CONSTRUCTION
- P PORCH

NOTE:

ALL FOUND SURVEY MONUMENTS ARE BY
 RADY-PENTEK & EDWARD, O.L.S.
 ALL SET SURVEY MONUMENTS ARE IRON BARS.

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
1662639

THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 25th DAY OF JULY, 2007.

JULY 26, 2007.
 DATE

Naheed
 NAHEED SELEEM
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR FIELDGATE HOMES.

PART 2 - SURVEY REPORT

- 1) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY : NONE
- 2) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

Young & Young Surveying

(ETOBICOKE 2006) INC.

310 NORTH QUEEN STREET, UNIT 102
 TORONTO ONTARIO M9C-5K4
 PHONE (416) 621-2676 FAX (416) 621-3360
 email: yytoronto@bellnet.ca

DRAWN BY
 RJM

CHECKED BY
 N.S.

PROJECT 06-T6767

Zoning Non-compliance Checklist

File No.

A-2024-0154

Applicant: Asveethan Paramanathan and Siyalini Thavarajah

Address: 17 Strathdale Rd

Zoning: R1C-1903

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
ABOVE GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING	To permit a 0.88m wide pedestrian path of travel leading to the principal entrance of a additional residential unit,	whereas the by-law requires an unobstructed pedestrian path of travel having a minimum width of 1.2m leading to the principal entrance of an additional residential unit.	10.16.1
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/04/30

Date