

Flower City



brampton.ca

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(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0186

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** MaxxWorth Leasing Ltd. (Senjey Joshi)  
**Address** 6461 Mayfield Road, Unit 29, Building 'B', Brampton ON L6P 0H9  
  
**Phone #** 647 828 2002 **Fax #** \_\_\_\_\_  
**Email** senjey.joshi@gmail.com

2. **Name of Agent** AREA, Architects Rasch Eckler Associates Ltd. (David Eckler or other staff)  
**Address** 15 Lola Road, Toronto, ON, M5P 1E5  
  
**Phone #** 416-418-3828 **Fax #** 416-696-1966  
**Email** deckler@areaarchitects.ca

3. **Nature and extent of relief applied for (variances requested):**  

See Memo attached.

4. **Why is it not possible to comply with the provisions of the by-law?**  

See Memo attached.

5. **Legal Description of the subject land:**  
**Lot Number** LOT 17 RP 43R16625 PART 1  
**Plan Number/Concession Number** CON 7 ND LOT 17 RP 43R16625 PARTS 1,3 RP 43R1109 PART 1  
**Municipal Address** 6461 Mayfield Road

6. **Dimension of subject land (in metric units)**  
**Frontage** 139.5 M  
**Depth** 110 M  
**Area** 1.46 ha

7. **Access to the subject land is by:**  
Provincial Highway  Seasonal Road   
Municipal Road Maintained All Year  Other Public Road   
Private Right-of-Way  Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

See Memo attached.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

See Memo attached.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

Specific to Building 'B' Subject of Minor Variance

**EXISTING**

Front yard setback	68.797 M
Rear yard setback	4.348 M
Side yard setback	64.425 M (west)
Side yard setback	80.196 M (east)

**PROPOSED**

Front yard setback	68.797 M
Rear yard setback	4.348 M
Side yard setback	64.425 M (west)
Side yard setback	80.196 M (east)

10. Date of Acquisition of subject land: 2017 (2021 Block 'B' purchased as unit in condominium)
11. Existing uses of subject property: Building 'B': vacant (Commercial plaza contains retail, institutional, offices, open space)
12. Proposed uses of subject property: Building 'B': office (Commercial plaza contains retail, institutional, offices, open space)
13. Existing uses of abutting properties: Open Space, Residential
14. Date of construction of all buildings & structures on subject land: 2021 new structures; c.1870s heritage structure
15. Length of time the existing uses of the subject property have been continued: 2 years

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well
- (b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic
- (c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File #	A-2022-0239	Decision	approved	Relief	building setback of 1.3m to east property line
File #	_____	Decision	_____	Relief	_____
File #	_____	Decision	_____	Relief	_____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Toronto Brampton  
THIS 17th DAY OF May, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, David Eckler SANJAY JOSHI OF THE TOWN OF Toronto CALEDON

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE City OF Brampton  
IN THE Region OF Peel THIS 22 DAY OF May, 2024

Signature of Applicant or Authorized Agent

Clara Vani  
A Commissioner etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton

FOR OFFICE USE ONLY Expires <u>September 20, 2026</u>	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	_____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
_____	_____
Zoning Officer	Date

DATE RECEIVED May 22, 2024  
Date Application Deemed Complete by the Municipality Clara

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 6461 Mayfield Road, Unit 29, Building 'B', Brampton ON L6P 0H9

I/We, MaxxWorth Leasing Ltd. (Senjey Joshi)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

AREA, Architects Rasch Eckler Associates Ltd. (David Eckler or other staff)  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 17 day of May, 2024.

MaxxWorth Leasing Ltd.  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Senjey Joshi  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

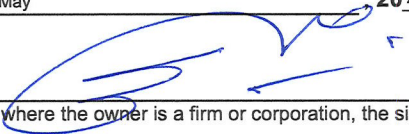
LOCATION OF THE SUBJECT LAND: 6461 Mayfield Road, Unit 29, Building 'B', Brampton ON L6P 0H9

I/We, MaxxWorth Leasing Ltd. (Senjey Joshi)

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 17 day of May, 20<sup>24</sup>.

  
\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

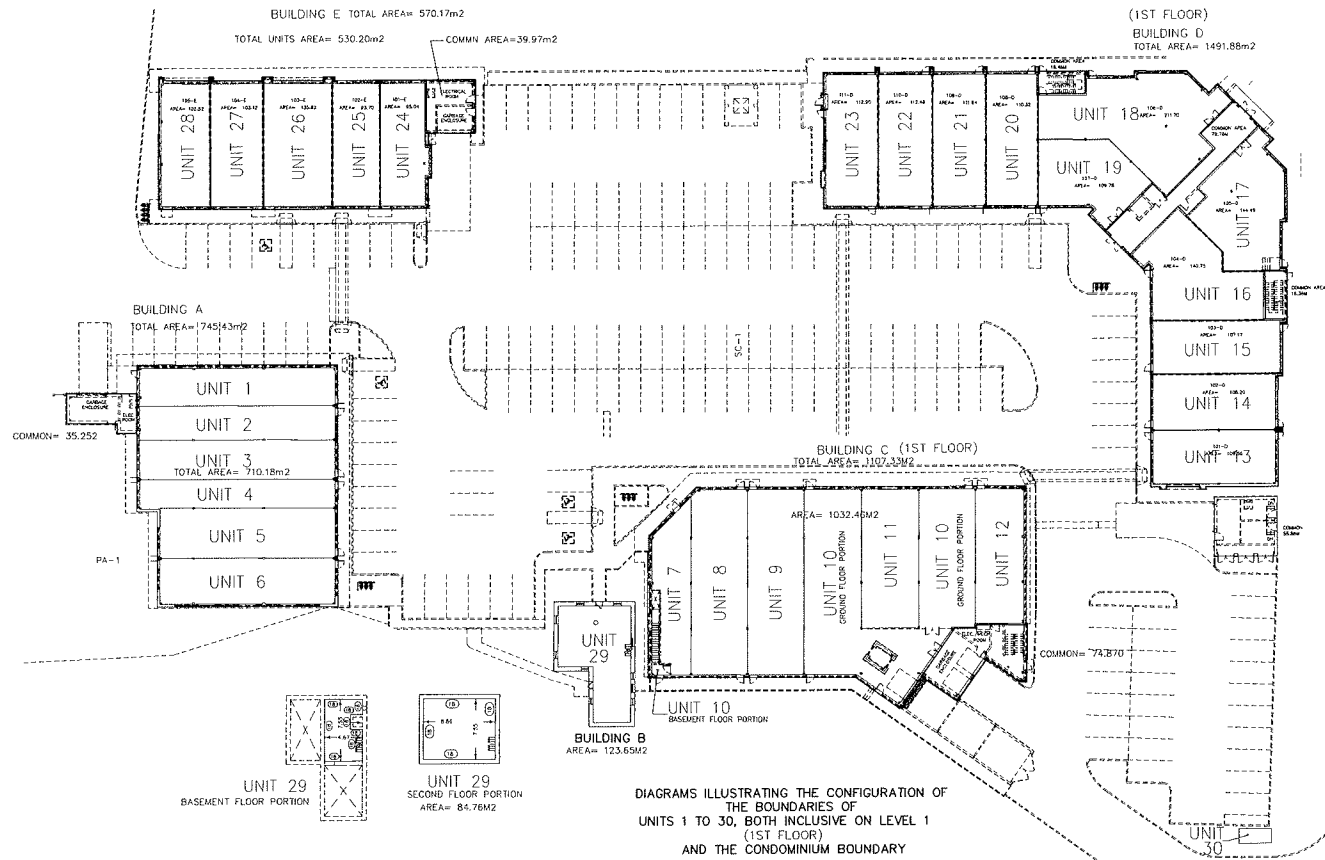
Senjey Joshi

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**





DIAGRAMS ILLUSTRATING THE CONFIGURATION OF THE BOUNDARIES OF UNITS 1 TO 30, BOTH INCLUSIVE ON LEVEL 1 (1ST FLOOR) AND THE CONDOMINIUM BOUNDARY

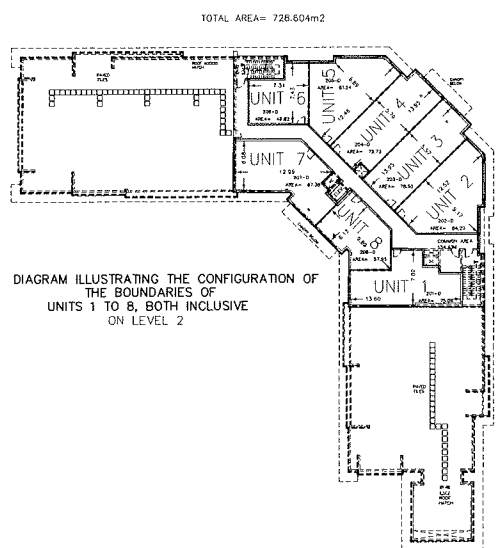


DIAGRAM ILLUSTRATING THE CONFIGURATION OF THE BOUNDARIES OF UNITS 1 TO 8, BOTH INCLUSIVE ON LEVEL 2

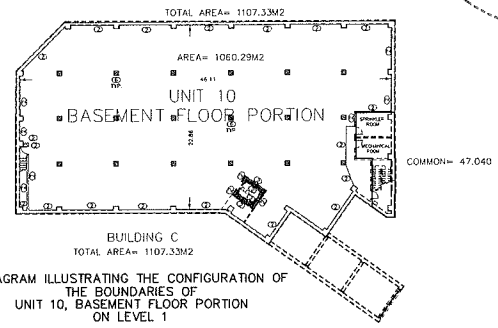
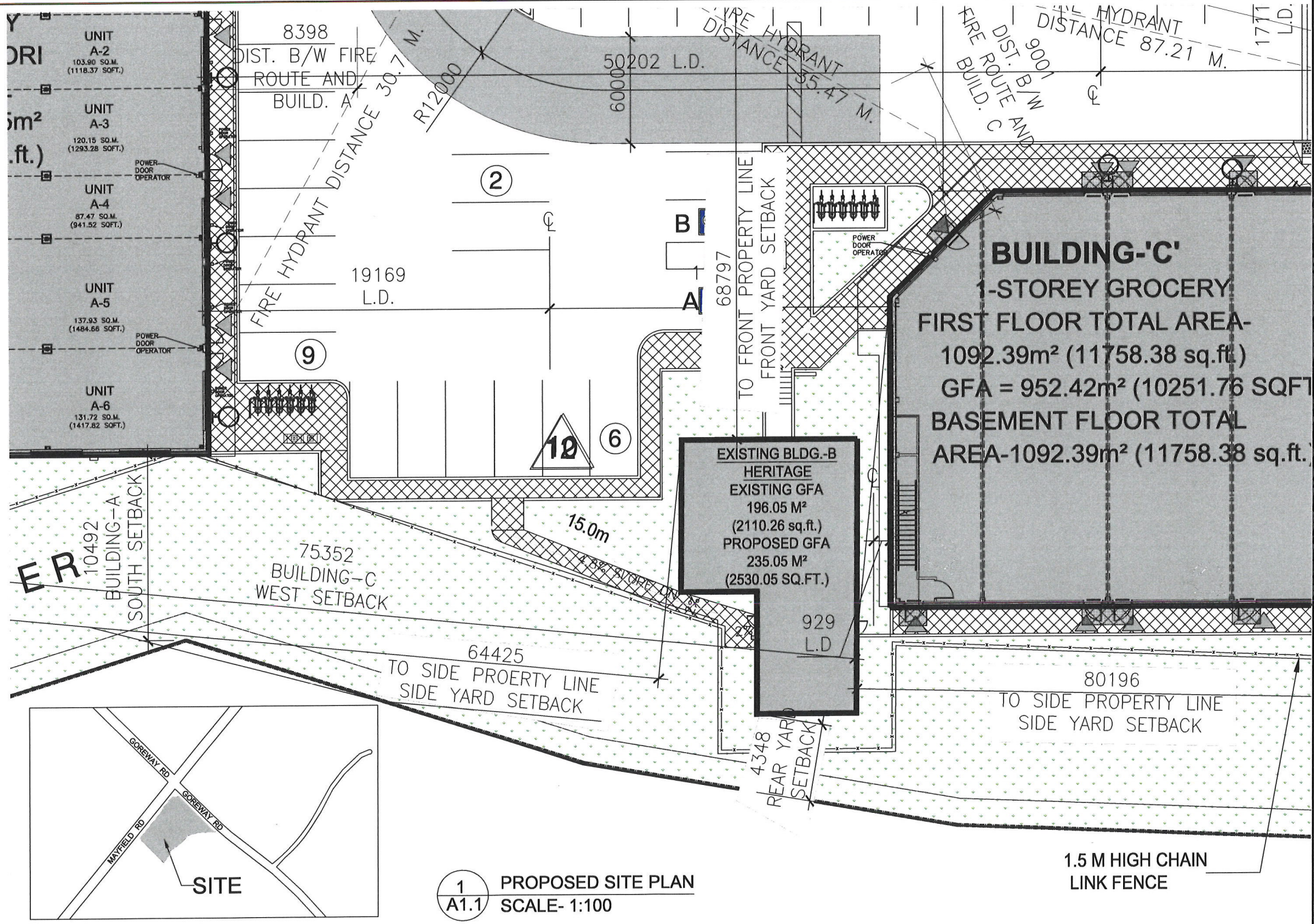


DIAGRAM ILLUSTRATING THE CONFIGURATION OF THE BOUNDARIES OF UNIT 10, BASEMENT FLOOR PORTION ON LEVEL 1



EXISTING PERMIT No.  
 2022 - 252762 - P01 - 00 CO.  
 DATED: 27 SEPT. 2022  
 ADDRESS: 6461 MAYFIELD DR.  
 BRAMPTON, ON.

Direction: Engineer's Seal & Stamp:



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NO.	DESCRIPTION	DATE	BY
3.			
2.	ISSUED SITE PLAN APPROVAL	21/12/2023	SH
1.	REVISED CLIENT COMMENTS	18/08/2023	SH

DESIGNER:  
**CE CANAM ENGINEERING INC.**  
 88 Corporate Drive, Suite 2717  
 Tel: (647) 961-1222 Fax: (416) 290-6620  
 Email: mbcanamengineering@gmail.com

PROJECT TITLE:  
**MAYFIELD ARCADIU  
 CENTER (BUILDING "B")  
 6461 MAYFIELD ROAD  
 BRAMPTON, ON.**

DRAWING TITLE:  
**PROPOSED SITE PLAN**

SCALE	PROJECT NO.	DRAWING NO.
AS SHOWN		
DRAWN SH.	DATE MB.	2023.07.01

**A1.1**



**PROJECT STATISTICS**  
ADDRESS- 6401 MAYFIELD ROAD, BRAMPTON

ZONING	REQUIRED	PROVIDED
LOT AREA (sq ft)	148,879 SQM (1,617,790 SQ. FT.)	148,879 SQM (1,617,790 SQ. FT.)
MONTESSORI SCHOOL BLDG.-A	738.78 SQM	738.78 SQM
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-A	34.30 SQM	34.30 SQM
GARAGE ENCL. BLDG.-A	23.00 SQM	23.00 SQM
HERITAGE BLDG.-B (EXIST.)	208.38 SQM	208.38 SQM
GROCERY STORE BLDG.-C	952.42 SQM	952.42 SQM
COMMON AREA & MECH. SHWRT BLDG.-C	113.89 SQM	113.89 SQM
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-C	28.28 SQM	28.28 SQM
GARAGE ENCL. BLDG.-C	28.28 SQM	28.28 SQM
EMERGENCY BLDG.-C	109.88 SQM	109.88 SQM
RETAIL BLDG.-D	1054.14 SQM	1054.14 SQM
FIRST FLOOR - COMMON AREA	121.5 SQM	121.5 SQM
SECOND FLOOR - COMMON AREA & MECH. SHWRT BLDG.-D	147.18 SQM	147.18 SQM
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-D	48.34 SQM	48.34 SQM
ONE METR BLDG.-D	12.3 SQM	12.3 SQM
RETAIL BLDG.-E	824.89 SQM	824.89 SQM
ONE METR BLDG.-E	6.77 SQM	6.77 SQM
ELEC. RM.+GARAGE ENCL. BLDG.-E	37.69 SQM	37.69 SQM
GARAGE ENCL. BLDG.-E	18.83 SQM	18.83 SQM
<b>TOTAL GFA (EXCLUDING BLDG B)</b>	<b>4158.84 SQM (44,738.83 SQ. FT.)</b>	<b>4158.84 SQM (44,738.83 SQ. FT.)</b>
<b>COVERED</b>	<b>3048.83 SQM (32,918.83 SQ. FT.)</b>	<b>3048.83 SQM (32,918.83 SQ. FT.)</b>
<b>LOT FRONTAGE</b>	<b>138.83 M.</b>	<b>138.83 M.</b>
<b>LOADING SPACE</b>	<b>4</b>	<b>4</b>
<b>PARKING</b>	<b>188</b>	<b>188</b>
<b>BUILDING-A HEIGHT</b>	<b>7.31 M.</b>	<b>7.31 M.</b>
<b>BUILDING-C HEIGHT</b>	<b>7.31 M.</b>	<b>7.31 M.</b>
<b>BUILDING-D HEIGHT</b>	<b>12.6 M.</b>	<b>12.6 M.</b>
<b>BUILDING-E HEIGHT</b>	<b>7.31 M.</b>	<b>7.31 M.</b>
<b>LANDSCAPE AREA</b>	<b>2078.78 SQM (22,477.78 SQ. FT.)</b>	<b>2078.78 SQM (22,477.78 SQ. FT.)</b>
<b>PAVED AREA</b>	<b>1188.87 SQM (12,810.87 SQ. FT.)</b>	<b>1188.87 SQM (12,810.87 SQ. FT.)</b>

**PARKING CALCULATION**

AREA (SQM)	REQUIRED	PROVIDED
<b>BUILDING-A*</b>		
1 PER EMPLOYEE = 28 EMPLOYEE		
1 PER 10 CHILDREN = 170 CHILDREN		
<b>BUILDING-B*</b>	208.38	208.38
<b>BUILDING-C*</b>	952.42	952.42
<b>BUILDING-D*</b>	1054.14	1054.14
<b>BUILDING-E*</b>	824.89	824.89
<b>TOTAL</b>	<b>188</b>	<b>181+182</b>

**BUILDING - A SETBACK**

REQUIRED	PROVIDED
FRONT SETBACK (DISTRICT)	30.83 M.
REAR SETBACK (DISTRICT)	10.48 M.
EXTERIOR SIDE SETBACK (DISTRICT)	117.13 M.
INTERIOR SIDE SETBACK (WEST)	3.02 M.

**BUILDING - C SETBACK**

REQUIRED	PROVIDED
FRONT SETBACK (DISTRICT)	54.82 M.
REAR SETBACK (DISTRICT)	11.47 M.
EXTERIOR SIDE SETBACK (DISTRICT)	31.87 M.
INTERIOR SIDE SETBACK (WEST)	78.38 M.

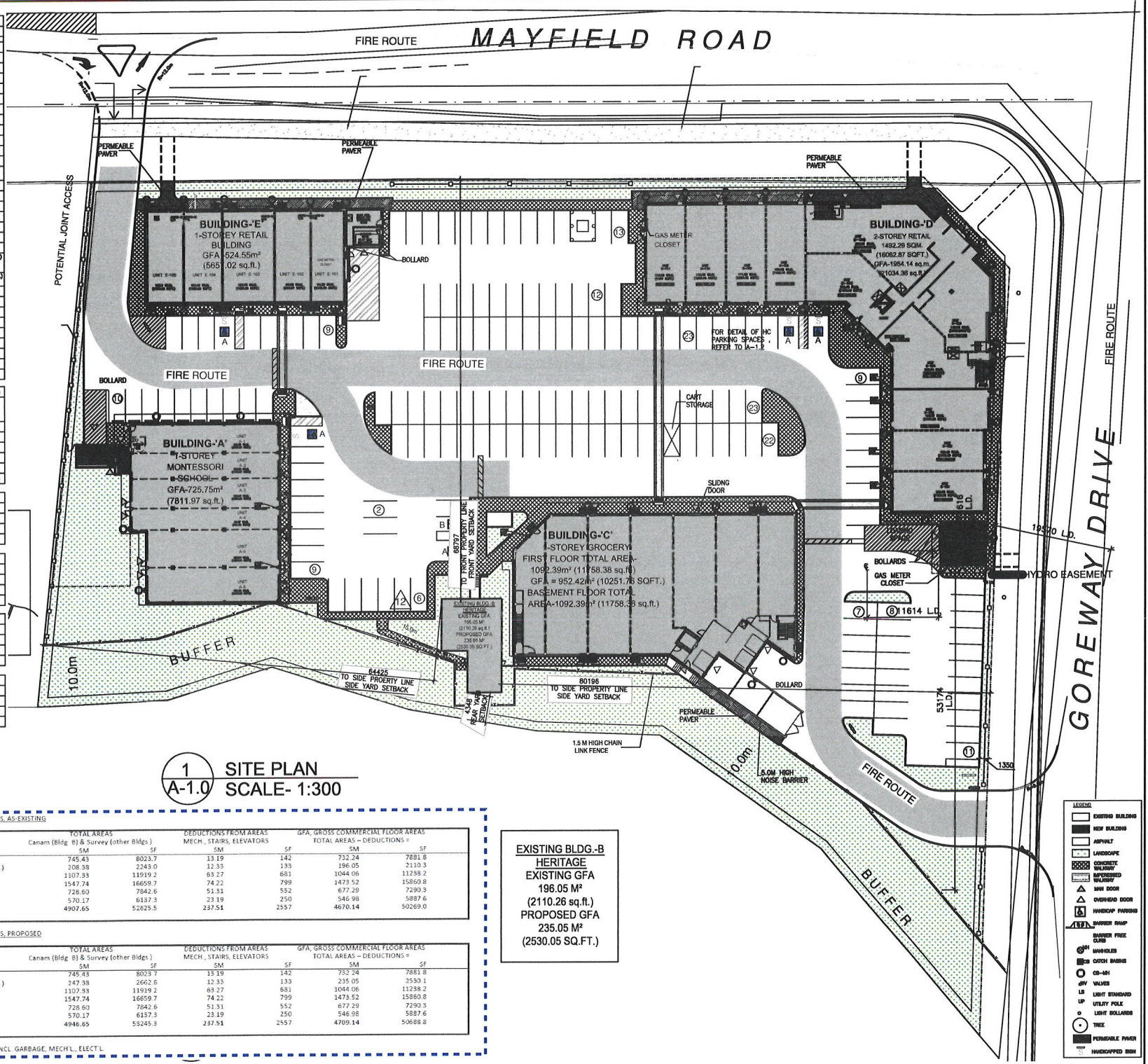
**BUILDING - D SETBACK**

REQUIRED	PROVIDED
FRONT SETBACK (DISTRICT)	3.31 M.
REAR SETBACK (DISTRICT)	48.88 M.
EXTERIOR SIDE SETBACK (DISTRICT)	1.3 M.
INTERIOR SIDE SETBACK (WEST)	81.87 M.

**BUILDING - E SETBACK**

REQUIRED	PROVIDED
FRONT SETBACK (DISTRICT)	4.11 M.
REAR SETBACK (DISTRICT)	20.87 M.
EXTERIOR SIDE SETBACK (DISTRICT)	105.88 M.
INTERIOR SIDE SETBACK (WEST)	8.88 M.



**1 SITE PLAN**  
**A-1.0 SCALE- 1:300**

**GFA CALCULATIONS, AS-EXISTING**

BUILDINGS	TOTAL AREAS		DEDUCTIONS FROM AREAS		GFA, GROSS COMMERCIAL FLOOR AREAS	
	SM	SF	SM	SF	SM	SF
Canam (Bldg. B) & Survey (other Bldgs.)						
A	745.43	8023.7	13.19	142	732.24	7881.8
B (HERITAGE BLDG.)	208.38	2243.0	12.33	133	196.05	2110.3
C	1107.33	11919.2	63.27	681	1044.06	11238.2
D (1ST FLOOR)	1547.74	16659.7	74.22	799	1473.52	15860.8
D (2ND FLOOR)	728.60	7842.6	51.31	552	677.29	7290.3
E	570.17	6137.3	23.19	250	546.98	5887.6
SUM	4907.65	52825.5	237.51	2557	4670.14	50269.0

**GFA CALCULATIONS, PROPOSED**

BUILDINGS	TOTAL AREAS		DEDUCTIONS FROM AREAS		GFA, GROSS COMMERCIAL FLOOR AREAS	
	SM	SF	SM	SF	SM	SF
Canam (Bldg. B) & Survey (other Bldgs.)						
A	745.43	8023.7	13.19	142	732.24	7881.8
B (HERITAGE BLDG.)	147.38	1562.5	12.33	133	235.05	2539.1
C	1107.33	11919.2	63.27	681	1044.06	11238.2
D (1ST FLOOR)	1547.74	16659.7	74.22	799	1473.52	15860.8
D (2ND FLOOR)	728.60	7842.6	51.31	552	677.29	7290.3
E	570.17	6137.3	23.19	250	546.98	5887.6
SUM	4946.65	52455.3	237.51	2557	4709.14	50688.8

**EXISTING BLDG.-B**  
**HERITAGE**  
**EXISTING GFA**  
**196.05 M<sup>2</sup>**  
**(2110.26 sq.ft.)**  
**PROPOSED GFA**  
**235.05 M<sup>2</sup>**  
**(2530.05 SQ.FT.)**

- LEGEND:**
- EXISTING BUILDING
  - NEW BUILDING
  - ASPHALT
  - LANDSCAPE
  - CONCRETE
  - GRAVEL
  - PERMEABLE PAVEMENT
  - MANHOLE
  - OVERHEAD DOOR
  - HANDICAP PARKING
  - BARRIER RAMP
  - SHOWER PREE CLUS
  - WALKER
  - CO-BI
  - CD-BI
  - CD-BI
  - WALKER
  - LIGHT BOLLARD
  - LIGHT BOLLARD
  - TREE
  - PERMEABLE PAVEMENT
  - HANDICAPPED SIGN

Direction: Engineer's Seal & Stamp:

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NO.	DESCRIPTION	DATE	BY
5.	REVISED SITE PLAN W/ CALCUL	05/14/2024	SH
4.	CITY COMMENTS REVISION	12/04/2024	SH
3.	CITY COMMENTS REVISION	12/03/2024	SH
2.	ISSUED SITE PLAN APPROVAL	21/12/2023	SH
1.	REVISED CLIENT COMMENTS	18/08/2023	SH

**DESIGNER:**

**CE CANAM ENGINEERING INC.**

86 Corporate Drive, Suite 2717  
Tel: (647) 961-1222 Fax: (416) 290-6620  
Email: mbcnamengineering@gmail.com

**PROJECT TITLE:**

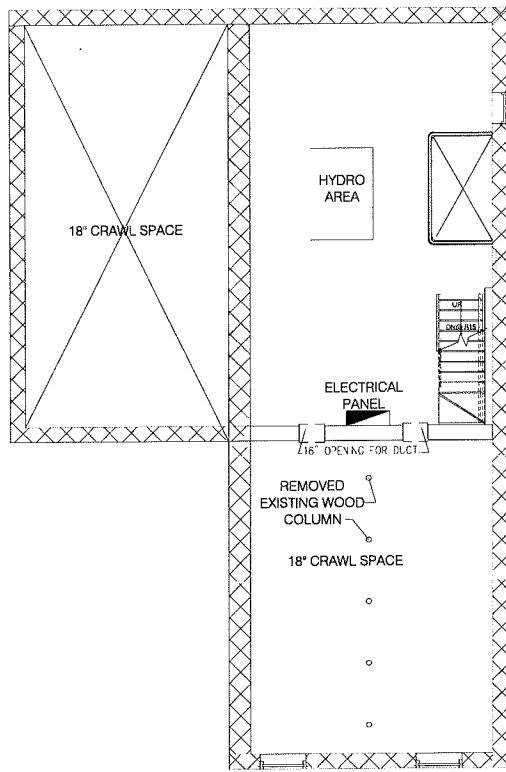
**MAYFIELD ARCADIA CENTER (BUILDING "B")**  
**6461 MAYFIELD ROAD**  
**BRAMPTON, ON.**

**DRAWING TITLE:**

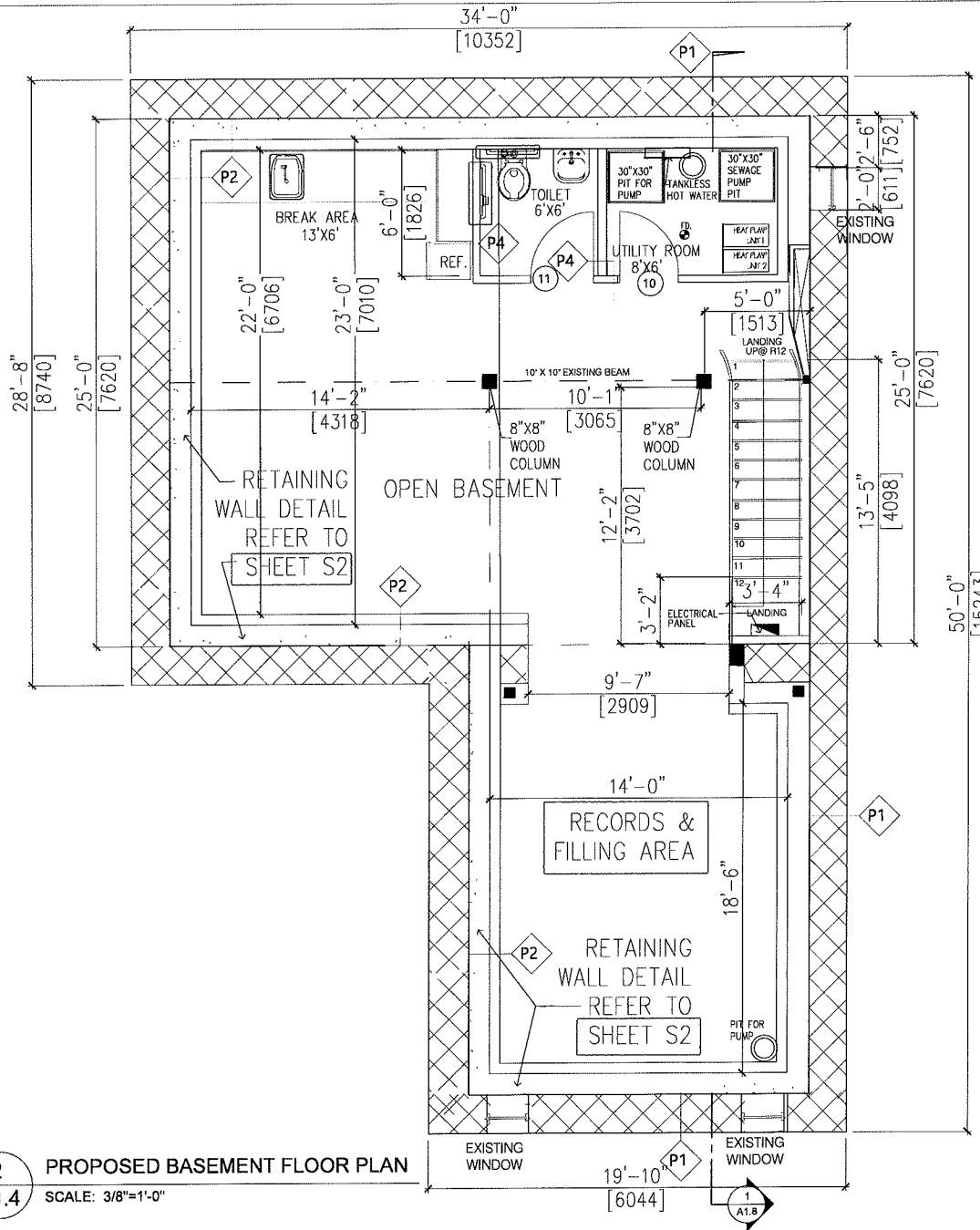
**SITE PLAN W/ STATISTICS**

SCALE: AS SHOWN PROJECT NO: DRAWING NO: DATE: 2023.07.01

DRW: SH. MB. 2023.07.01 **A1.0**



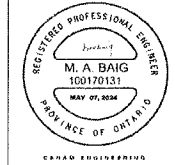
1 EXISTING BASEMENT FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 PROPOSED BASEMENT FLOOR PLAN  
SCALE: 3/8"=1'-0"

EXISTING PERMIT No.  
2022 - 252762 - P01 - 00 CO.  
DATED: 27 SEPT. 2022  
ADDRESS: 6461 MAYFIELD DR.  
BRAMPTON, ON.

Direction: Engineer's Seal & Stamp:



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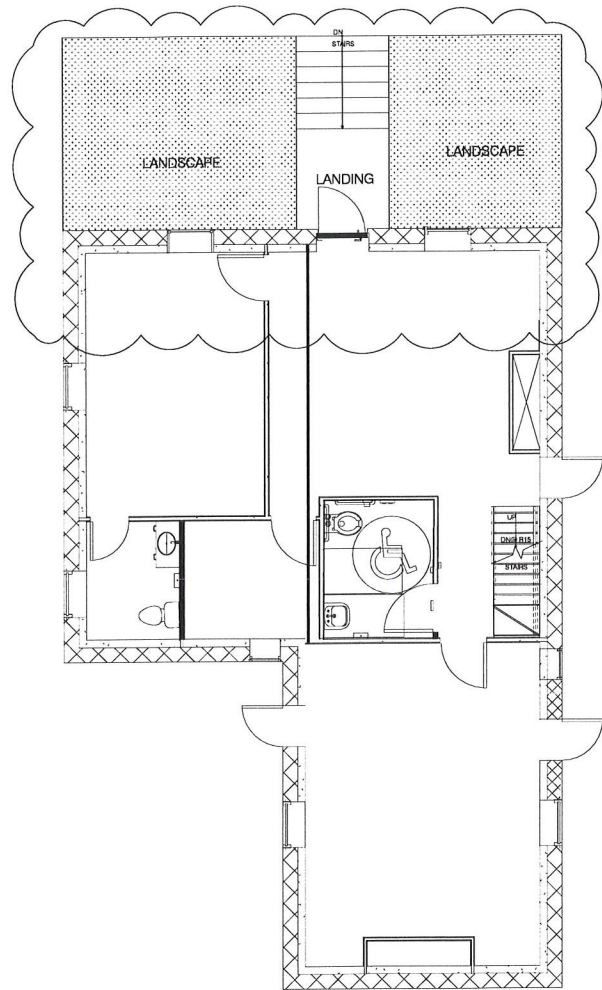
3.	CITY COMMENTS	03.22.24 SH.
1.	ISSUED FOR PERMIT	12.21.23 SH.
NO.	DESCRIPTION	DATE BY

DESIGNER:  
**CE** CANAM ENGINEERING INC.  
88 Corporate Drive, Suite 2717  
Tel: (416) 981-1222 Fax: (416) 290-8620  
Email: mbcanamengineering.com

PROJECT TITLE:  
**MAYFIELD ARCADIU  
CENTER (BUILDING "B")  
6461 MAYFIELD ROAD  
BRAMPTON, ON.**

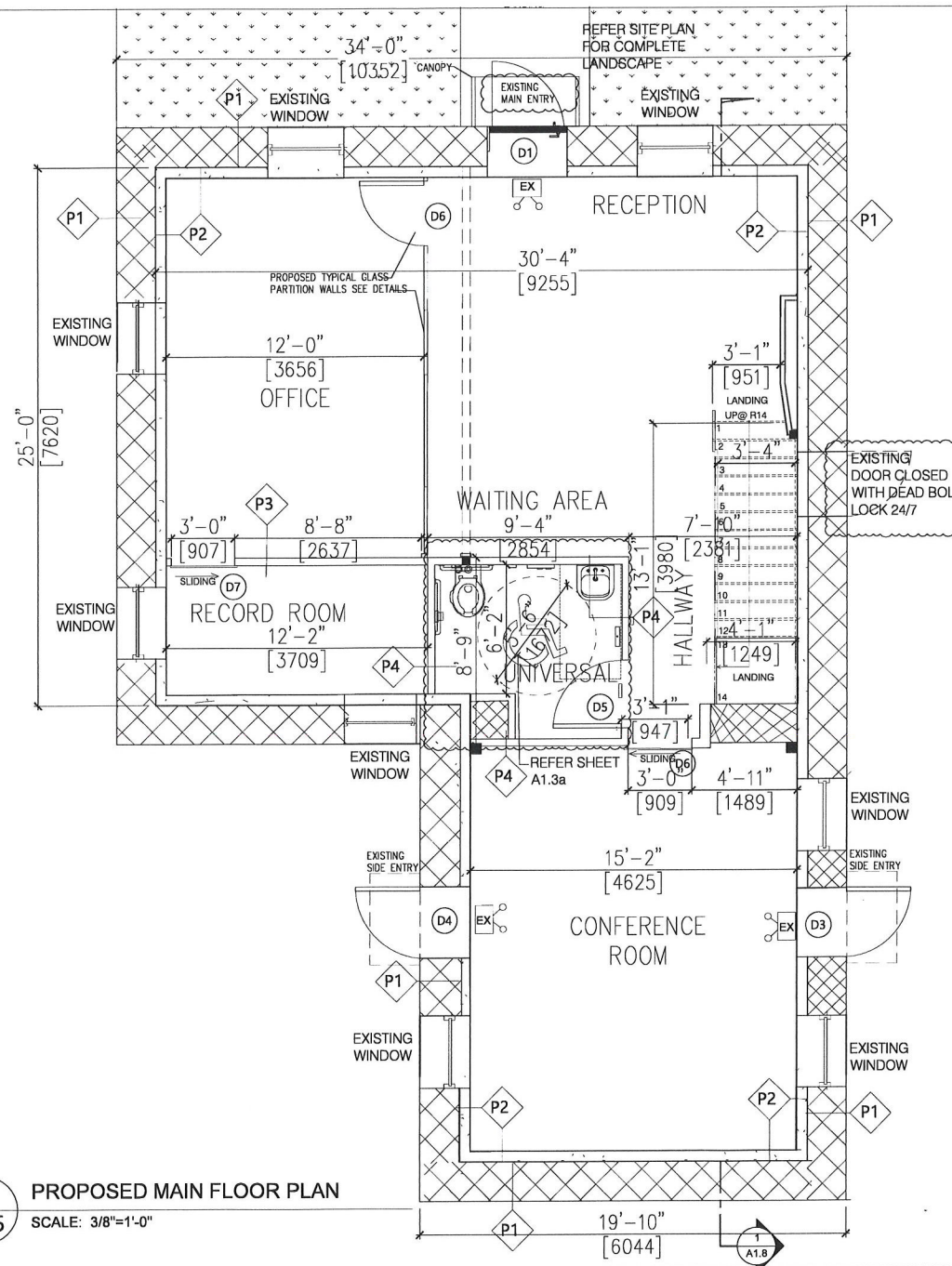
DRAWING TITLE:  
**EXISTING & PROPOSED  
BASEMENT FLOOR PLAN**

SCALE	PROJECT NO.	DRAWING NO.
AS SHOWN		
DATE	DATE	<b>A1.4</b>
SH.	MB. 2023.07.01	



1 EXISTING MAIN FLOOR PLAN  
A1.5 SCALE: 1/4"=1'-0"

2 PROPOSED MAIN FLOOR PLAN  
A1.5 SCALE: 3/8"=1'-0"



EXISTING PERMIT No.  
2022 - 252762 - P01 - 00 CO.  
DATED: 27 SEPT. 2022  
ADDRESS: 6461 MAYFIELD DR.  
BRAMPTON, ON.

Direction: Engineer's Seal & Stamp:



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DISCLAIMER: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE OFFICE BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWING. THIS DRAWING CONTAINS COPYRIGHT MATERIALS BELONGING TO CANAM ENGINEERING. THIS DRAWING HAS BEEN PREPARED FOR A SPECIFIC PROJECT. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED. THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE PROJECT.

NO.	DESCRIPTION	DATE	BY
3.	CITY COMMENTS	03.22.24	SH.
1.	ISSUED FOR PERMIT	12.21.23	SH.

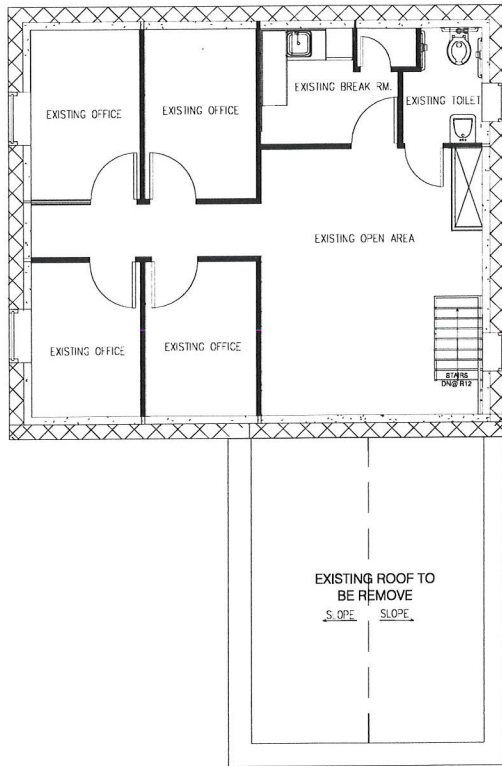
DESIGNER:  
**CE** CANAM ENGINEERING INC.  
88 Corporate Drive, Suite 2717  
Tel: (647) 981-1222 Fax: (416) 290-6820  
Email: mbcanamengineering@gmail.com

PROJECT TITLE:  
**MAYFIELD ARCADUM CENTER (BUILDING "B")**  
6461 MAYFIELD ROAD  
BRAMPTON, ON.

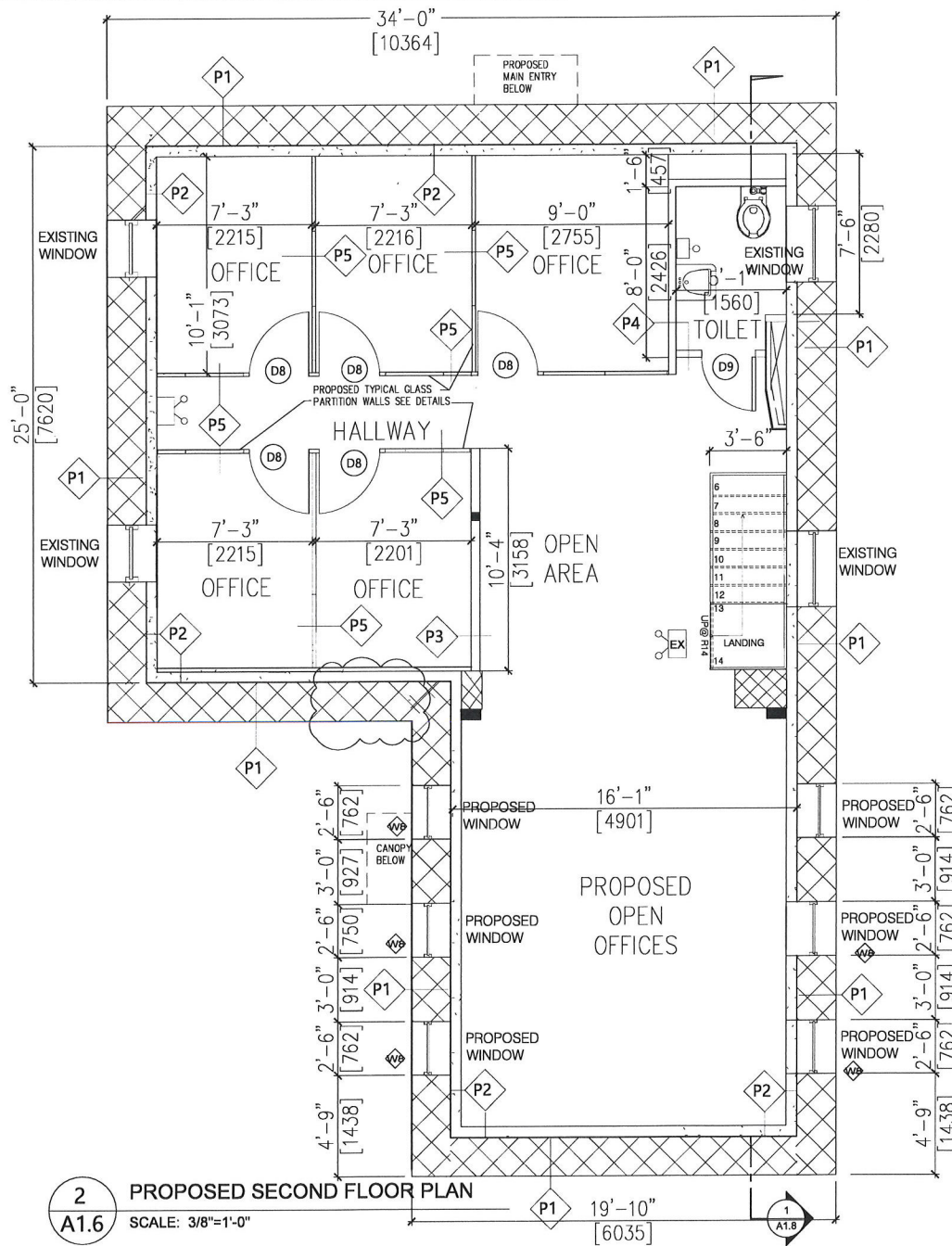
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**EXISTING & PROPOSED MAIN FLOOR PLAN**

SCALE	PROJECT NO.	DRAWING NO.
AS SHOWN	-	-
DATE	DATE	DATE
SH.	MB.	2023.07.01

**A1.5**



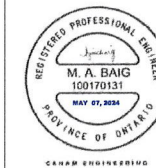
1 EXISTING SECOND FLOOR PLAN  
 A1.6 SCALE: 1/4"=1'-0"



2 PROPOSED SECOND FLOOR PLAN  
 A1.6 SCALE: 3/8"=1'-0"

EXISTING PERMIT No.  
 2022 - 252762 - P01 - 00 CO.  
 DATED: 27 SEPT. 2022  
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3.	CITY COMMENTS	03.22.24 SH.
1.	ISSUED FOR PERMIT	12.21.23 SH.

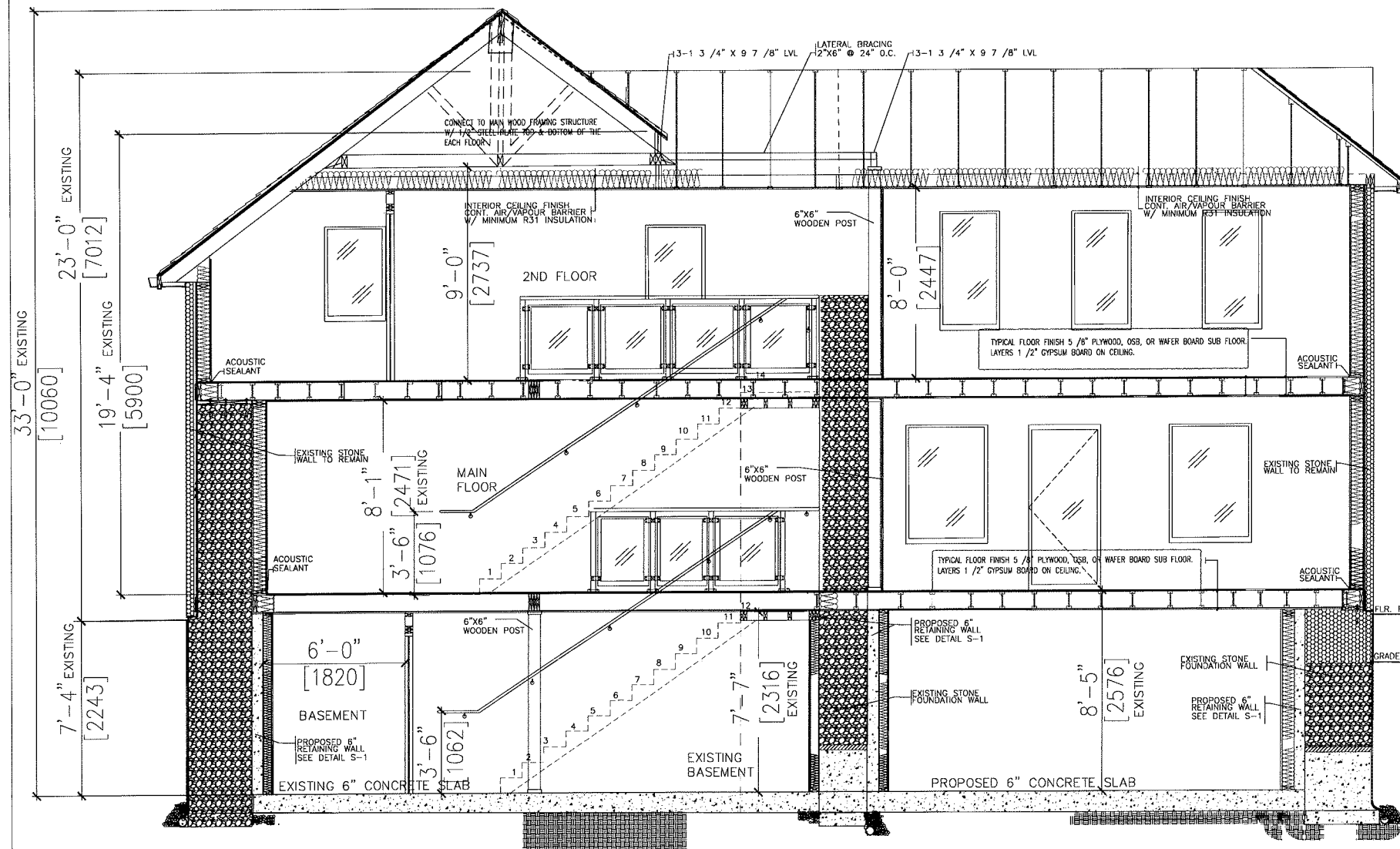
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PROJECT TITLE:  
**MAYFIELD ARCADIU  
 CENTER (BUILDING "B")  
 6461 MAYFIELD ROAD  
 BRAMPTON, ON.**

DRAWING TITLE:  
**EXISTING & PROPOSED  
 SECOND FLOOR PLAN**

SCALE	PROJECT NO.	DRAWING NO.
AS SHOWN	-	-
DRAWN	CHKD	DATE
SH.	MB.	2023.07.01

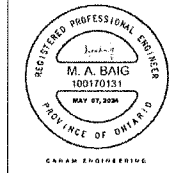
A1.6



PROPOSED BUILDING SECTION

EXISTING PERMIT No.  
2022 - 252762 - P01 - 00 CO.  
DATED: 27 SEPT. 2022  
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88 Corporate Drive, Suite 2717  
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PROJECT TITLE:  
**MAYFIELD ARCADUM CENTER (BUILDING "B")**  
6461 MAYFIELD ROAD  
BRAMPTON, ON.

DRAWING TITLE:  
**PROPOSED BUILDING SECTION**

SCALE	PROJECTING	DRAWING NO.
AS SHOWN	-	-
DRAWN BY: SH.	CHECKED BY: MB.	DATE: 2023.07.01

**A1.12**

**M. TO CLEAN ALL MASONRY WALLS & REPOINT WHERE REQUIRED**

ALL EXISTING MASONRY SURFACE IS TO BE CLEANED PRIOR TO OTHER MASONRY RESTORATION WORK IN ORDER TO LOOSEN CRACKED MORTAR JOINTS TO ELIMINATE EFFLORESCENCE & TO REMOVE GRIT & DEBRIS

- USE THE GENTLEST CLEANING METHOD USING A SOLUTION OF WATER AND SUITED DETERGENT APPLIED WITH LOW-PRESSURE WASH AND NATURAL BRISTLE BRUSHES. DO NOT USE WATER "SOAKING" AND MORTAR AND CAULKING JOINTS ARE SOUND. ALLOW MIN ONE WEEK OF DRY WEATHER BEFORE PROCEED. IF CHEMICAL SOLUTION IS NOT TO BE USED WHEN FREEZING IS POSSIBLE.
- CONTROL THRIVING PLANTS ON STONE MASONRY SURFACE BY CUTTING PLANTS AT THE ROOTS. ALLOW TO WITHER PRIOR TO GENTLE REMOVAL. APPLY AMMONIUM SULPHATE ON ROOTS, IF NECESSARY. AVOID FURTHER DAMAGE TO MORTAR.
- REMOVE PAINT, PARCHING & OTHER HEAVY STAINING TO NEXT SOUND LAYER USING THE GENTLEST METHOD POSSIBLE. USE FLAMING IRON IN OR-BASED OR WATER-BASED, AND SUBSEQUENTLY APPLY COMPATIBLE PAINT REMOVAL METHOD ON A TEST PATCH. LOCATED ON AN INCONSPICUOUS AREA. MINIMUM 14-DAY DETERMINE EFFECTIVENESS OF PAINT REMOVAL METHOD BY ASSESSING THE EXTENT OF DAMAGE POSSIBLY CAUSED BY CLEANING AND PAINT REMOVERS FOR STAINED SURFACES THAT CANNOT BE REMOVED BY CLEANING. MATCH ADAPTABLELY - COLOURED BRICK TO MATCH SURROUNDING ORIGINAL MASONRY. ALL SELECTED MASONRY TO BE CLEANED SHOULD THEN BE REPOINTED AS PER M3.

**REPORT OPEN & CRACKED CONCRETE, STONE AND JOINTS FOR TIES OF EACH OF THE WALL AREAS AS APPLICABLE. RE-POINT SPECIFIC AREAS, SHOWN LIGHT TONED, BUT OTHER AREAS WILL BE IDENTIFIED ON SITE TO MATCH UP THE JOINTS OF EACH OF THE WALL AREAS ALLOW FOR 50% DEEP VOID BACK-POINTING, CUT OUT & RE-POINT USING LIKE MORTAR MIX TO MATCH WITH PROFILE & COLOUR OF EXISTING JOINTS**

**WEAR TYPE AND MIX:**  
 USING LIKE MORTAR MIX TO MATCH WITH PROFILE & COLOUR OF EXISTING JOINTS

**GENERAL GUIDELINES FOR REPOINTING IN MASONRY UNITS:**  
 LIMIT REPOINTING TO AREAS OF DETEIORATION, ONLY REPOINT IN AREAS OF 10% LOSS OF MORTAR. IF CRUMBLING, IF THE BOND IS INTACT ON BOTH SIDES OF A JOINT AND THE MORTAR IS COMPACT AND FIRM DO NOT REPOINT. REPOINTING IS TO BE DONE IN THE FOLLOWING ORDER:

- CUT OUT DETEIORATED MORTAR BEING REPOINTED.
- USE A MORTAR MIX THAT IS EQUAL OR LOWER IN STRENGTH TO THE HISTORICAL MORTAR.
- POINT WITH A RIBBED MORTAR.
- BE AWARE OF THE MORTAR SPECIFICATION.
- THE MORTAR COLOUR MUST MATCH THE PERIOD MORTAR FOUND ON SITE. COLOUR SHOULD BE OBTAINED FROM THE INGREDIENTS.
- FOR REPOINTING, THE MORTAR MIX SHOULD BE VERY THICK AND SHOULD BE ABLE TO HOLD ITS SHAPE WHEN TAKEN A HAND.
- REPOINTING SHOULD BE DONE IN MODERATE WEATHER CONDITIONS.
- THE NEW POINTING PROFILE MUST MATCH THE ORIGINAL.

**REPOINTING:**

- MIX MORTAR IN PROPORTIONS SPECIFIED.
- DAMPEN JOINTS AND COMPLETELY FILL WITH MORTAR. EACH MORTAR SHOULD FILL Voids AND JOINTS.
- KEEP MASONRY DAMP WHILE POINTING IS BEING PERFORMED.
- DO NOT POINTING IN FREEZING WEATHER.
- FINISH MASONRY JOINTS TO MATCH EXISTING MORTAR JOINTS. LEAVE STAINWORK CLEAN AND FREE OF MORTAR OVERHANGS.
- REPOINTING IS TO BE DONE IN ONE LAYER OR TWO LAYERS, TO BE DETERMINED ON SITE DEPENDING ON DEPTH OF JOINT.

**REPOINTING REPAIRS:**  
 REPOINTED MORTAR JOINTS SHOULD BE REPOINTED TO LIMIT INWARD WATER MIGRATION AND AIR LEAKAGE THROUGH BRICK

- MAKE OUT JOINTS TO 1" DEEP POINTING WHERE NEARBY. ASSURE ON SITE JOINT PROFILE TO MATCH ORIGINAL MORTAR JOINTS IN COMPENSATION AND INSET REPOINT WITH NO OVERLAP OF BRICK EDGE AND CHISEL BRUSH AFTER INITIAL CURE.
- PROTECT JOINTS FROM SUN, WIND & QUICK DRYING WITH TAPERS OR OTHERWISE DURING CURING PERIOD OF 1 WEEK FOR WALLS AND 3 WEEKS FOR CHIMNEYS.

THE ADJACENT MATERIALS MUST BE PROTECTED WHILE REPOINTING WORK IS HAPPENING ON SITE. NO HARSH CHEMICALS SHOULD BE USED TO REMOVE MORTAR STAINS FROM THE SURFACE OF SURROUNDING MASONRY.

**M2. REPLACE MASONRY SURFACES (STONE) FOR 30% OF EACH OF THE WALL AREAS WHERE DAMAGE OR DETEIORATION IS WORSE (I.E. SLOTTING CRACKS, HOLES, ETC.) AND WHERE SIGNIFICANT MASONRY FEATURES (SEE C3E) ARE DAMAGED OR SEVERELY ALTERED. REPLACE SPECIFIC AREAS SHOWN DARK TONED, BUT OTHER AREAS WILL BE IDENTIFIED ON SITE TO MATCH UP THE JOINTS OF EACH OF THE WALL AREAS. USE SALVAGED STONE OBTAINED ON SITE OR NEW MATCHING STONE FROM SPECIFIED SUPPLIER. CAULKING WITH HISTORIC MASONRY REPLACEMENT PORTION TO BE NOTIFIED WITH CUSTOMER REPAIR TECHNIQUE USING IN-KIND MATERIAL (LIKE FOR LIKE).**

**CUSTOMER REPAIR:**  
 REPLACE THE WALL PORTION OF A CHIPPED OR BROKEN STONE UNIT WITH A NEWLY CARVED PIECE OF STONE. THE REPAIR PIECE SHOULD BE NATURAL STONE, FINISH TO MATCH THE HIL AND TANGERS OF THE EXISTING MASONRY, AND WEDGED IN PLACE, SECURED WITH ADHESIVE OR SET WITH PINS. LARGER PIECES MAY BE SET IN MORTAR. TO MAINTAIN THE APPEARANCE OF A CONTINUOUS STONE UNIT, THE JOINT BETWEEN THE REPAIR PIECE AND THE EXISTING STONE SHOULD BE AS NARROW AS POSSIBLE.

**M3. REPAIR AND RESTORE ALL STONE LINTELS ABOVE WINDOWS AND DOORS (SEE M4) OR REPLACE WITH IN-KIND MATERIAL (SEE M2) AND THE SAME PROFILE WHERE ELONGATED. PROVIDE VERTICAL REINFORCEMENT AT THE SOLES OF THE OPENINGS AS REQUIRE.**

**M4. CHIMNEY RESTORATION. REPORT OPEN & CRACKED EXISTING BRICKS AND JOINTS FOR TIES OF THE CHIMNEY AREAS AS APPLICABLE. CUT OUT ALL EXISTING TYPICAL LIKE MORTAR MIX TO MATCH WITH PROFILE & COLOUR OF EXISTING JOINT (SEE M1). WHERE NOT FEASIBLE, GRANULAR FILL SHALL BE DETEIORATED AREAS TO MAKE UP 10% OF EACH CHIMNEY AREA. PROVIDE CHIMNEY FLASHING AND RAIN CAP AT TOP.**

**M5. SOUTH WALL TO BE BACKPOLED AND GRADED UP TO GROUND LEVEL. PROVIDE FOR THE PORTION THAT IS BEING GRADED UP. CLOSE UP ANY WINDOWS AND FILL IN WITH STONE. STAMP, BRIDGE AND WATERPROOF THE PORTION OF THE FOUNDATION THAT ARE CURRENTLY EXPOSED. THIS WILL BE COVERED BY NEW LEVEL THE EXTERIOR SIDE. WHOLE DEPTH DOWN.**

**M6. REPLACE EXISTING ASPHALT SHINGLE ROOF. THE EXISTING ASPHALT SHINGLE ROOF HAS BEEN APPLIED OVER THE EXISTING CEAR SHINGLES. REMOVE BOTH LAYERS AND REPLACE THEM WITH STEEL STANDING SEAM ROOF TO EMULATE HISTORIC LEAD OR TINNE ROOFING.**

**M7. REPLACE EXISTING METAL ROOF. REMOVE METAL ROOFING FROM PATCHER AREAS AND REPLACE THEM WITH NEW STEEL STANDING SEAM ROOF (SEE NOTE R1).**

**M8. PROVIDE NEW METAL ROOF GRANULES ACCESSORIES. REPLACE ROOFING ACCESSORIES (GUTTERS, DOWNSPOUTS, FLASHING, EAVESSTRONGS, ETC.) WITH GALVANIZED STEEL MATERIALS. PROVIDE ORIGINAL SIZE, EXACT PROFILE TO GENERAL LANT APPROX.**

**M9. REFINISH EXISTING WOOD WORKS:**

- STRIP & CLEAN OFF FADED WORK, CHIPPING, PEELING, RESTORING OR FLAMING PAINT TO BARE WOOD. SAND AND LEVEL WOOD SURFACE WITH A FINE GRIET SANDPAPER.
- APPLY 2 COATS OF PRIMER & 2 COATS OF PAINT (WATER-BASED, LOW VOC, EXTERIOR PRIMER AND FINISH COLOUR MATCH TO EXISTING). APPLY NEW CAULKING AT ALL JOINTS & TRANSITIONS TO OTHER MATERIALS.

**M10. SPOT REPAIR (DOOR) OF EXTERIOR WOOD WORKS:**

- APPLY EPOXY WOOD CONSOLIDANT ON MINOR DAMAGES. FOLLOW MANUFACTURERS RECOMMENDATIONS. USE EPOXY IN SMALL QUANTITIES TO DETER HEAT BUILD-UP. USE FINE DRI SAND SANDPAPER TO SMOOTHEN SURFACE ONCE EPOXY HAS CURED.
- SPOT REPLACE UNSPARABLE WOOD MEMBERS. NEW REPLACEMENT WOOD MEMBERS TO MATCH SPECIES, PROFILE, AND DETAILS OF EXISTING ORIGINAL. INSTALL APPROPRIATE WOOD MEMBERS PLUMB, LEVEL, TRUE AND SQUARE. NO DISTORTIONS. ABOUT REPLACEMENT WOOD MEMBER WITH EXISTING GOOD WOOD MEMBER BY SPACING AND CUTTING FOR ACCURATE FIT. COPE AT THE CORNERS, MITER AT CORNERS, AND COMPLY WITH QUALITY STANDARDS FOR JOINERY.
- SPOT REPLACEMENT TO COMPRISE AN ESTIMATED 50% OF EXISTING WOOD WORKS TO BE IDENTIFIED ON SITE. REPLACEMENT PORTIONS TO BE INSERTED WITH CUSTOMER REPAIR TECHNIQUE USING IN-KIND MATERIAL (LIKE FOR LIKE).

**M11. REPLACE ALL WOOD WINDOW SILLS:**

- REPLACE ALL WOOD WINDOW SILLS WITH IN-KIND MATERIALS TO REPLICATE ORIGINAL SILLS.
- APPLY 2 COATS OF PRIMER & 2 COATS OF PAINT THROUGHOUT THE WOOD SURFACE. USE WATER-BASED, LOW VOC, EXTERIOR PRIMER AND PAINT. COLOUR MATCH TO EXISTING. APPLY NEW CAULKING AT ALL JOINTS & TRANSITIONS TO OTHER MATERIALS.

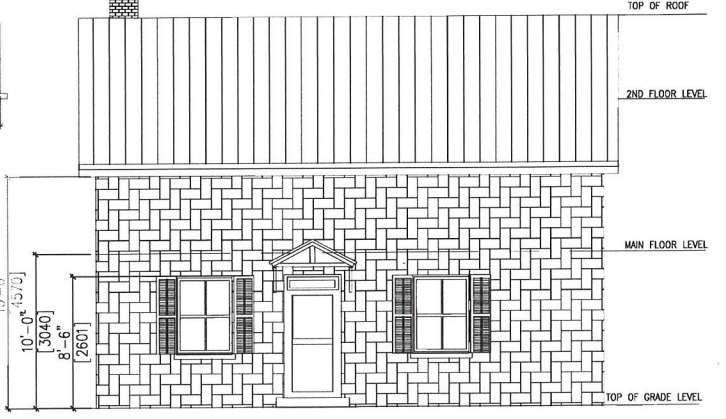
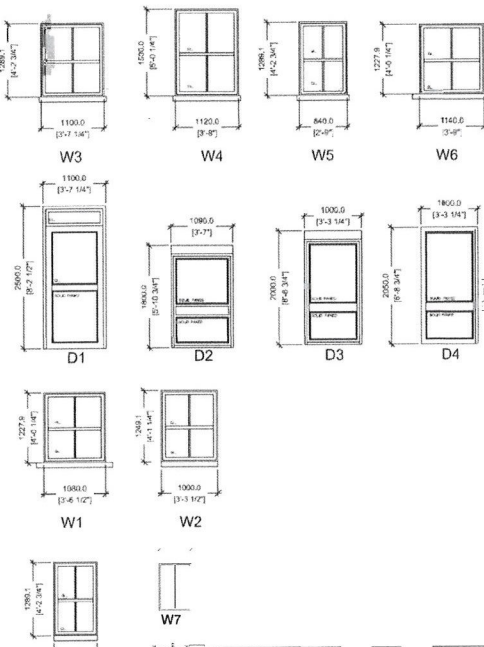
**M12. WINDOW TO BE FILLED IN:**  
 WINDOW TYPE 2, BARNMENT WINDOW AT SOUTH WALL (2 WINDOWS AND 1 EAST WALL (ONE WINDOW) TO BE FILLED IN WITH STONE, SEALED AND PARGEED ON THE EXTERIOR SIDE.

**M13. INSTALL NEW WINDOWS, EMULATING ORIGINAL WINDOWS:**

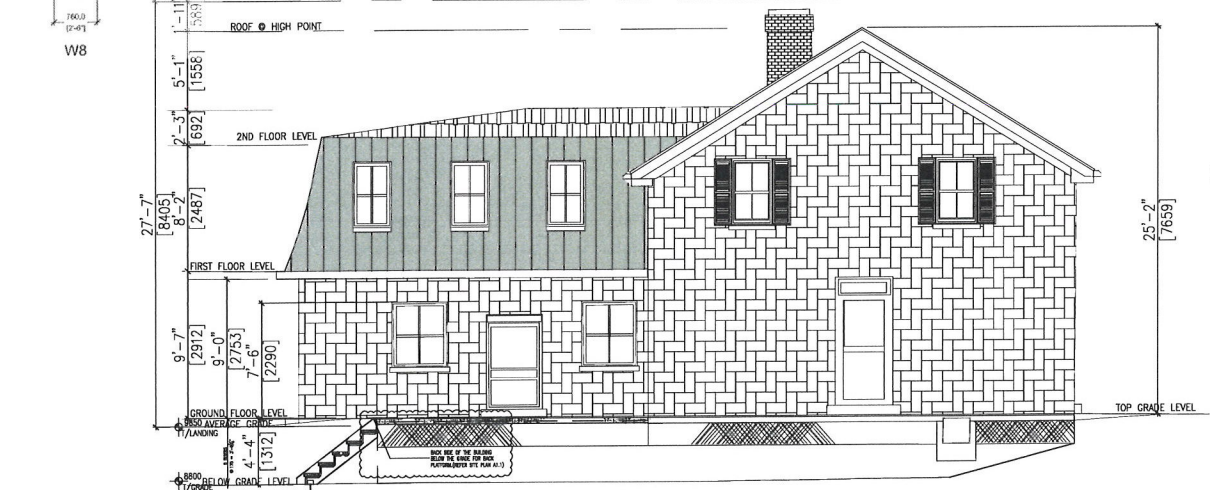
- NEW REPRODUCTION WOOD WINDOWS (WINDOW TYPES W1 TO W8 AND W9 SEE WINDOW SCHEDULE) TO REPLICATE ORIGINAL PROPORTIONS SINGLE-HUNG SASHES WINDOWS WILL BE WOOD EXCEPT FOR THOSE WHICH MAY NEED PRE-FRAME WHICH WOULD SECURE STEEL FRAMES AND GEORGIAN WIRE GLASS. WHOSE ORIGINAL FINE-RAISED WINDOWS WOULD BE ON THE SIZE WALL ELEVATIONS OF THE NEW SECOND FLOOR OF THE REAR (SOUTH) WING AND MAY BE REQUIRED FOR DRG. EXPOSING BUILDING FACE PROVISIONS. FINE-RAISED WINDOWS, IF ANY, WOULD APPEAR AS 2'-0"X4'-2" DOUBLE-HUNG BUT WILL BE FILLED IN.
- THE SASHES AND FRAMES WILL BE FABRICATED TO MATCH ORIGINAL MATERIAL (I.E. HIGH QUALITY WOOD) AND APPEARANCE.
- THE NEW WINDOWS TO BE DOUBLE GLAZED.
- OVER-ONE SINGLE HUNG WINDOW.
- TO INCLUDE EXTERIOR WOOD MULLION/CORNER CASING, INTERIOR WOOD CASING AND EXTENDER FOR THE DEPTH OF THE WALL.
- FRAMES AND SASHES TO BE SOFTWOOD, WATER-RESISTANT, PRESERVATIVE-TREATED WITH ENDURAGUARD TRIPLE WOOD PROTECTION.

**M14. INSTALL NEW DOORS, EMULATING ORIGINAL:**

- NEW REPRODUCTION FIBERGLASS DOORS AND TRANSOM WITH 8 SQUARED WOOD GRAIN EXTERIOR FINISH TO RESTORE THEIR ORIGINAL CHARACTERISTICS (DOOR TYPES D1 TO D4, SEE DOOR SCHEDULE).



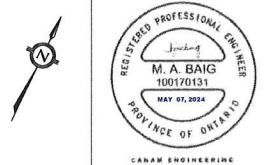
**1 PROPOSED NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**2 PROPOSED EAST ELEVATION**  
 SCALE: 1/4"=1'-0"

EXISTING PERMIT No.  
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PROJECT TITLE:  
**MAYFIELD ARCADIA CENTER (BUILDING "B")**  
 6461 MAYFIELD ROAD  
 BRAMPTON, ON.

DRAWING TITLE:  
**PROPOSED NORTH & WEST EXTERIOR ELEVATIONS**

SCALE	PROJECT NO.	DRAWING NO.
AS SHOWN	-	-
DRAWN SH.	CHKD MB.	DATE 2023.07.01

**A1.13**

**M. TYPICAL ALL MASONRY WALLS & REPOINT MORTAR**

1. ALL EXISTING MASONRY SURFACES ARE TO BE CLEANED THOROUGHLY TO REMOVE ALL SURFACE CONTAMINATION, INCLUDING BUT NOT LIMITED TO: OIL, GREASE, DIRT, AND OTHER DEBRIS. SURFACES ARE TO BE REPAIRED TO ORIGINAL CONDITION AND TO BE FREE OF ALL DEFECTS.

2. USE THE MOST EFFECTIVE METHOD USING A SOLUTION OF WATER AND SODIUM HYDROXIDE TO REMOVE ALL SURFACE CONTAMINATION. SURFACES ARE TO BE RINSED THOROUGHLY WITH CLEAN WATER AND DRIED. SURFACES ARE TO BE REPAIRED TO ORIGINAL CONDITION AND TO BE FREE OF ALL DEFECTS.

3. COULDS, CRACKS, PLANTS OR OTHER MASONRY DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION. REPAIRS SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES. REPAIRS SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES.

4. REMOVE PAINT, STAINING & OTHER HEAVY STAINING TO EXPOSE ORIGINAL MASONRY. REPAIRS SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES. REPAIRS SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES.

5. REPOINT OPEN & CRACKED CONCRETE, STONE AND JOINTS WITH TYPE 1 PORTLAND CEMENT MORTAR. REPOINTING SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES. REPOINTING SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES.

6. REPAIR CRACKS AND Holes WITH EPOXY RESIN. REPAIRS SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES. REPAIRS SHALL BE MADE WITH MATCHING MATERIALS AND FINISHES.

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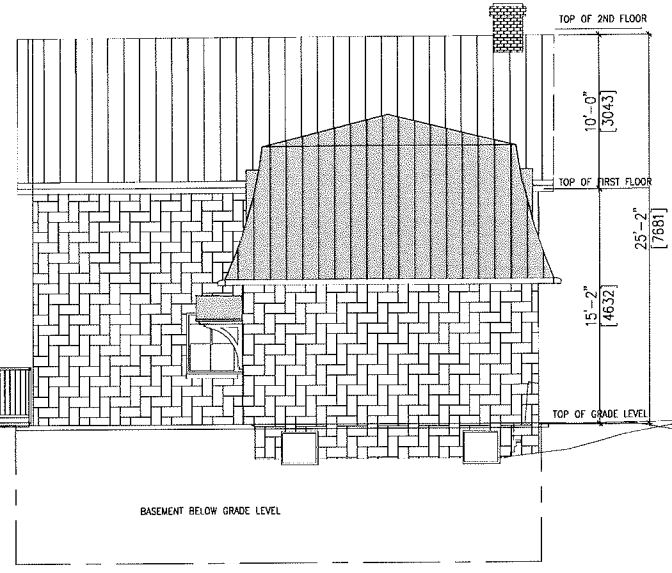
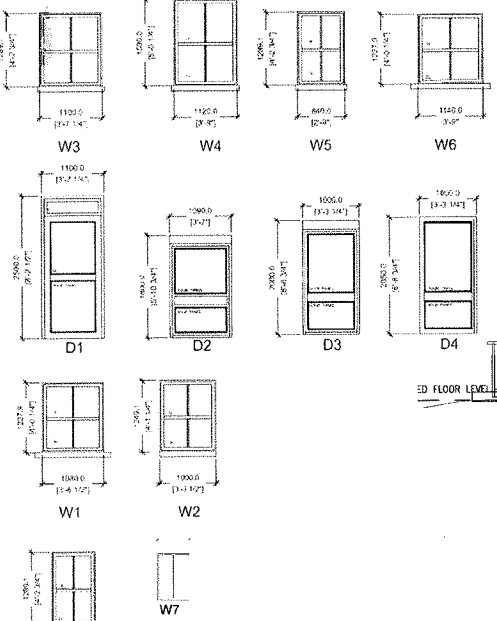
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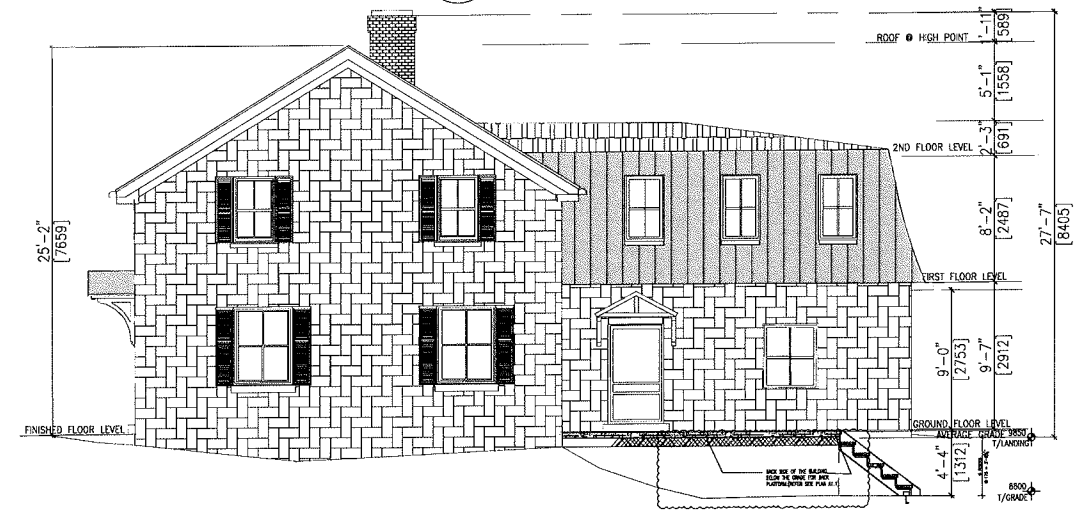
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**1 PROPOSED SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**2 PROPOSED WEST ELEVATION**  
SCALE: 1/4"=1'-0"

EXISTING PERMIT No.  
2022 - 252762 - P01 - 00 CO.  
DATED: 27 SEPT. 2022  
ADDRESS: 6461 MAYFIELD DR.  
BRAMPTON, ON.

Direction: Engineer's Seal & Stamp:



THIS DRAWING, ITS COPIES AND ALL RELATED DOCUMENTS ARE THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER.

NO.	DESCRIPTION	DATE	BY
3.	CITY COMMENTS	03.22.24 SH.	
1.	ISSUED FOR PERMIT	12.21.23 SH.	

DESIGNER:  
**CE CANAM ENGINEERING INC.**

88 Corporate Drive, Suite 2717  
Tel: (647) 961-1222 Fax: (416) 280-8620  
Email: mbcanamengineering.com

PROJECT TITLE:  
**MAYFIELD ARCADIA CENTER (BUILDING "B")  
6461 MAYFIELD ROAD  
BRAMPTON, ON.**

DRAWING TITLE:  
**PROPOSED SOUTH & WEST EXTERIOR ELEVATIONS**

SCALE	PROJECT NO.	DRAWING NO.
AS SHOWN		
DATE	DATE	
SH.	MB.	2023.07.01

**A1.14**



# HERITAGE PERMIT

Part IV - *Ontario Heritage Act*

Permit Number: 99

**MUNICIPAL ADDRESS:**

6461 Mayfield Rd

**PROPERTY OWNER:**

Sanjay Joshi

**APPLICANTS NAME (if different from owner):**

**PROJECT DESCRIPTION:**

For additional restoration work for the exterior restoration of the heritage building including the addition of awnings above the doors and decorative shutters adjacent to the windows. The unit owner also proposed to convert the current gable style roof at rear of the building to a mansard roof. The complete list of proposed alterations to the Thompson Farmhouse are outlined within the Heritage Conservation Plan document and are to be approved, subject to the following conditions:

**CONDITIONS:**

- a. That the report from Shelby Swinfield, Heritage Planner, dated to the Brampton Heritage Board meeting of June 20, 2023 re: **Recommendation Report-Heritage Permit Application –6461 Mayfield Road– Ward 10**, be received;
- b. That the Heritage Permit application for 6461 Mayfield Road for the be approved;

This Heritage Permit is issued in accordance with recommendation made through from the Brampton Heritage Board Meeting dated June 20, 2023, was considered by the Planning and Development Committee on July 31, 2023 and approved by Council on August 10, 2023 as item **HB043-2023**.

For additional information please contact:

Anastasia Abrazhevich  
Assistant Heritage Planner  
905-874-2780  
anastasia.abrazhevich@brampton.ca

Date of Issuance: November 9, 2023

NOTE: This Heritage Permit expires two years from the date of issuance.

**PLEASE POST IN A LOCATION THAT IS VISIBLE FROM THE PUBLIC DOMAIN (e.g. front window or door)**



**Consolidated Comment Report (R1)**
**Date:** March 21, 2024

**File:** SPA-2024-0013

**Applicant/Owner:** Mirza Baig / Maxxworth Leasing Ltd

**Location:** 6461 Mayfield Rd

**Proposal:** Internal Renovation/Alteration and Extension (Second floor at the back) to the existing heritage building and utilization of crawling space into the basement.

This report contains comments from the technical groups who have reviewed the proposal. Additional comments may be forthcoming pending the review of any revised drawings/reports/etc. The applicant/owner must address all of the comments by creating a "Comment Response Table" identifying how all comments have been addressed. In order to resubmit, please upload all revised drawings/reports/etc., and as a final step, upload the "Comment Response Table". If you have any questions or concerns, please contact the planner assigned to your file: Megan Fernandes (megan.fernandes@brampton.ca)

<b>Development Review</b>		<b>Not Cleared</b>
Megan Fernandes - megan.fernandes@brampton.ca		
<i>Final Comments</i>	<p><b>Development Comments:</b></p> <p>Please see comments provided by zoning staff.</p> <p>A Minor Variance Application will be required to permit the Montessori school in Building A as the Maximum Combined Total Commercial Floor Area exceeds the site permissions (2942.2 (9))</p> <p><b>Standard Comments:</b></p> <p>The Applicant is advised that the application may be closed due to inactivity if the Applicant has not responded to requests from staff to provide required information within a six (6) month period. If the Planning, Building and Economic Development Department does not receive a response sufficient to maintain application process and file activity from the Applicant within this time period, staff will not be in a position to properly assess the planning merits of the application within the legislative timelines and will recommend refusal of the application to City Council.</p> <p>All re-submissions are to be accompanied by a detailed cover letter that responds to all comments identified within this report. Responses such as `Noted` or `Done` do not constitute sufficient detail. Please provide this written response to each of the individuals</p>	

that have provided comments on this application.

All drawings and correspondence submitted to the City shall be identified with the assigned City Site Plan File Number as referenced herein.

**Zoning Review****Not Cleared**Elizabeth Corazzola - [elizabeth.corazzola@brampton.ca](mailto:elizabeth.corazzola@brampton.ca)*Final Comments*

The By-law permits a Maximum Combined Total Commercial Floor Area of 4,344 sq.m. whereas the proposed addition will result in a Combined Total Commercial Floor Area of 4404.24 sq.m.

The commercial floor area occupied by a Montessori school in Building A is not exempt from the Maximum Combined Total Commercial Floor Area set out in this commercial zone.

The intent of the Zoning By-law in this regard is to restrict the total commercial floor area on this site. The use of the commercial floor area currently occupied by a Montessori school in this commercial zone may vary overtime and is not exempt from the maximum combined commercial floor area calculation as suggested in the applicant's response.

Please or seek advice from Development Planning staff on options to resolve the Zoning compliance issue(s) identified.

- (2) Minimum Rear Yard Depth: 0 metres.
- (3) Minimum Setback to a Floodplain Zone:
  - i) For the purposes permitted by Section 2942.1 (1) to Section 2942.1 (5): 10 metres.
  - ii) For a heritage building: 3.5 metres.
- (3) Minimum Setback to the Westerly Property Line: 1.0 metres.
- (4) Minimum Setback to the Easterly Property Line: 1.5 metres.
- (5) Minimum Setback to a Daylight Triangle: 0 metres.
- (6) Minimum Landscape Open Space:
  - i) 40% of the minimum required front yard; and,
  - ii) 100% of the minimum required side yard yards.
- (7) Minimum Number of Parking Spaces: 166.
- (8) Maximum Combined Total Gross Commercial Floor Area: 4,344 square metres.
- (9) All waste or recycling containers or materials for restaurant purposes shall be stored within a climate-controlled garbage area within a building.

2942.3 For the purposes of this section, the following shall apply:

- (1) a heritage building is a building designated under the Ontario Heritage Act, as amended.
- (2) the lot line abutting Mayfield Road shall be deemed to be the front lot line.
- (3) the entirety of the lands zoned C1-2942 and OS-2943 shall be considered one lot for zoning purposes.

2943 The lands designated Open Space – 2943 on Schedule A to this by-law:

2943.1 Shall only be used for the purposes permitted in the OS zone and the following:

- (1) uses permitted by Section 2942.1, only within a heritage building.
- (2) a landscape buffer.

2943.2 Shall be subject to the following requirements and restrictions:

- (1) For the purposes permitted by Section 2943.1(1), the minimum setback between a heritage building and a Floodplain Zone shall be 3.5 metres;
- (2) All waste or recycling containers or materials for restaurant purposes shall be stored within a climate-controlled garbage area within a building.

**ARCHITECTS RASCH ECKLER ASSOCIATES LTD.**15 Lola Road • Toronto • Canada • M5P 1E5  
Tel • 416 696-1969 Fax • 416 696-1966 e-mail • [mail@areaarchitects.ca](mailto:mail@areaarchitects.ca)

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**Memorandum**

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**Date:** May 15, 2024

**To:** Clara Vani Interim Secretary-Treasurer, Committee of Adjustment

**By:** Email [clara.vani@brampton.ca](mailto:clara.vani@brampton.ca)  
[coa@brampton.ca](mailto:coa@brampton.ca)

**From:** David Eckler AREA, Architects Rasch Eckler Associates Ltd. (AREA)

**Project:** Commercial Plaza Thompson House, Arcadeium Centre, Brampton

**Application:** Minor Variance Committee of Adjustment (CoA)

**Heritage Building:** Thompson House 6461 Mayfield Rd., Brampton, Building 'B'

**AREA Project No.:** 17-646

**Copies to:** Senjey Joshi MaxxWorth Leasing Ltd.  
Mirza Baig Canam Engineering Inc.

**Re:** June 18, 2024 Committee of Adjustment (CoA)  
Application for Minor Variance

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**Item 3. Nature and extent of relief applied for (variances requested):**

A Second-Floor addition of 39 sm is proposed to be added on the existing one-storey rear wing of Building 'B', a heritage structure in the existing commercial plaza; the location and Site Plan of this Building 'B' are shown in drawings A1.0 & A1.1 (ATTACH. 1). The proposed Second Floor addition on the existing one-storey rear wing of Building 'B' is shown in the most recent drawings (ATTACH. 2) submitted for Building Permit Application (BPA) #2022 252762 P01 00 CO on (or around) 2023-12-22 (actually this BPA is a revision to the previous permit under this no.). This Second-Floor addition was already approved by a Heritage Permit Approval (HPA) #99 (ATTACH. 3). The BPA process generated a requirement for a Limited Site Plan Review #SPA-2024-0013 which uncovered in the Consolidated Comment Report (R1) a Minor Variance from the Zoning By-law being an excess of Gross Commercial Floor Area (CGFA) above the 4344 sm maximum allowable CGFA for the entire commercial plaza (ATTACH. 4). Zoning By-law Amendment (ZBA) 156-2019 was enacted for the development of this commercial plaza under the zone of Commercial One-Section 2942 (C1-Section 2942) which limits the Maximum Combined Gross Commercial Floor Area (CGFA) to 4344 sm (identified in red bubbled outline, ATTACH. 5). The actual CGFA for the property will be **4709.14 sm** which will be discussed below and which results in an overage of **365.14 sm** above the maximum allowable CGFA of 4344 sm. Because of the commercial plaza's existing non-conformance with the ZBA's maximum CGFA and the further variance from that Zoning By-law GFA limit due to the Building 'B' Second Floor addition, relief is sought for the property's overall excess of CGFA above the permitted Maximum Combined CGFA.

**Memo: Thompson House, Arcadeium Centre, 6461 Mayfield Rd., Brampton, Building 'B', May 15/24**

**Item 4. Why is it not possible to comply with the provisions of the by-law?**

Firstly, the commercial plaza development has been fully built out and as-existing already exceeds the maximum allowable CGFA of 4344 sm even prior to and without the proposed Second Floor addition to the existing Building 'B'. The most recently approved drawing A1.0 Site Plan, prepared by n Architecture, that received a stamp approval by City of Brampton Planning Division 2023-06-04 (ATTACH. 6) includes the Project Statistics showing a total GFA for the entire as-built development of 4365.24 sm (identified in red bubbled outline) which, of course, exceeds the Maximum Combined CGFA of 4344 sm as permitted under the ZBA. (It is unclear why this Site Plan was approved by the City whose site GFA exceeds the maximum allowable.) Furthermore, more detailed Total Areas of the perimeter of all buildings were prepared by the surveyor of the property (ATTACH. 7) and the resulting calculations indicate an even higher GFA for the entire as-built development. The area figures have been tabulated in charts outlined in a blue dash line at the bottom of the drawing A1.0. These tables respectively show the As-Existing GFA Calculations, upper chart, and the Proposed GFA Calculations, lower chart, in the last (right side) pair of columns in these tables. As shown in the chart for the As-Existing GFA Calculations Table, the resulting CGFA for the as-constructed commercial plaza presently already totals **4670.46 sm** (right hand pair of columns, upper chart) for the overall property which exceeds the Maximum Combined CGFA 4344 sm under the Zoning By-law. The lower chart for the Proposed GFA Calculations provides the same calculations as described above except that the Building 'B' Second Floor Addition of 39 sm results in the total CGFA for the as-constructed commercial plaza PLUS the Building 'B' addition totalling **4709.14 sm** (right hand pair of columns, lower chart). So, it is not possible to comply with the provisions of the Zoning By-law because of the commercial plaza's existing non-conformance with the ZBA's maximum CGFA.

**Item 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**a. Existing Buildings/Structures on the subject land: (List all structures (dwelling, shed, gazebo, etc.)**

**Commercial Plaza, As-Existing, Particulars**

Building No.	No. of Storeys	Use	Gross Commercial Floor Area (CGFA), square metres (sm)
A	1 storey	School	732.24
<b>B</b>	<b>2 storeys front + 1 storey rear</b>	<b>Office (former heritage house)</b>	<b>196.05</b>
C	1 storey	Grocery store	1044.06
D (1 <sup>st</sup> Floor <sup>1</sup> )	2 storeys	Commercial building (Retail Gr. Fl., Offices 2 <sup>nd</sup> Fl.)	1473.52
D (2 <sup>nd</sup> Floor)			677.29
E	1 storey	Retail building	546.98
Total GFA			4670.14

<sup>1</sup> Building D 1<sup>st</sup> Floor includes adjacent structure for garbage, mechanical & electrical rooms.



**Building Subject of Minor Variance, Description:**

Building 'B' Heritage Structure, as-existing, is identified by **bold font** in its row of the table above and is approximately 10352 mm wide and 15243 mm long (i.e. in depth) with 2-storey Front Wing (FW) + 1-storey Rear Wing (RW).

**b. Proposed Buildings/Structures on the subject land:**

**Commercial Plaza, Proposed, Particulars**

Building No.	No. of Storeys	Use	Gross Commercial Floor Area (CGFA), square metres (sm)
A	1 storey	School	732.24
<b>B</b>	<b>2 storeys front + 2 storey rear</b>	<b>Office (former heritage house)</b>	<b>235.05</b>
C	1 storey	Grocery store	1044.06
D (1 <sup>st</sup> Floor <sup>1</sup> )	2 storeys	Commercial building (Retail Gr. Fl., Offices 2 <sup>nd</sup> Fl.)	1473.52
D (2 <sup>nd</sup> Floor)			677.29
E	1 storey	Retail building	546.98
Total GFA			4709.14

<sup>1</sup> Building D 1<sup>st</sup> Floor includes adjacent structure for garbage, mechanical & electrical rooms.

**Building Subject of Minor Variance, Description:** (underlines added to denote proposed change)

Building 'B' Heritage Structure, proposed, is identified by **bold font** in its row of the table above and is approximately 10352 mm wide and 15243 mm long (i.e. in depth) with 2-storey Front Wing (FW) + 2-storey Rear Wing (RW). Proposed change is a second storey addition of 39 sm added onto the one-storey Rear Wing.

Should you have any questions, comments, or need additional information, please contact the undersigned.

MEMO BY: **AREA, Architects Rasch Eckler Associates Ltd.**

PRINCIPAL: David Eckler, BES, B.Arch., OAA, MRAIC, APT

SIGNATURE:

**Attachments**

**Memo: Thompson House, Arcadium Centre, 6461 Mayfield Rd., Brampton, Building 'B', May 15/24**

# Zoning Non-compliance Checklist

File No. A-2024-0186

Applicant: MaxxWorth Leasing Ltd. (Senjey Joshi)  
 Address: 6461 Mayfield Road  
 Zoning: C1-2942 and OS-2943  
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA	To permit a combined total gross commercial floor area of 4709.14 square metres	Whereas the by-law permits a maximum combined total gross commercial floor area of 4344 square metres	2942.2.9
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Amanda Dickie  
 Reviewed by Zoning

May 22.24  
 Date