

June 14, 2024

PAR-DPP-2024-00063
xRef: C-190804,
CFN 60794.12 (City file no. #SP19-040.000),
CFN 55079.13 (Concept)

By Email: coa@brampton.ca; clara.vani@brampton.ca

Clara Vani
Legislative Coordinator & Secretary-Treasurer Committee of Adjustment
Committee of Adjustment
2 Wellington Street West
Brampton, ON L6Y 4R2

Dear Clara Vani,

Re: Minor Variance Application – A-2024-0186
6461 Mayfield Road
City of Brampton, Region of Peel
Owner: MaxxWorth Leasing Ltd. c/o Senjey Joshi
Agent: Architects Rasch Eckler Associates Ltd. c/o David Eckler

This letter acknowledges receipt of the subject minor variance application, received on May 17, 2024. Toronto and Region Conservation Authority (TRCA) staff have reviewed this application and the circulated materials listed in Appendix A to this letter in accordance with the Conservation Authorities Act, which requires TRCA to provide programs and services related to the risk of natural hazards within its jurisdiction. With respect to Planning Act matters, conservation authorities have a role to ensure that decisions under the Planning Act are consistent with the natural hazard policies of the Provincial Policy Statement (PPS) and conform to any natural hazard policies in a provincial plan.

In addition, TRCA staff have also reviewed this application in accordance with Ontario Regulation 41/24. Where development activity is proposed, within a regulated area, a permit is required to ensure that it conforms to the applicable tests for implementation of the regulation.

The subject property is located at 6461 Mayfield Road, located at the southwest corner of Mayfield Road and Goreway Drive, in the City of Brampton. The subject property is 1.54 ha (3.80 acres) in size and the south portion of the subject property is located immediately adjacent to a valley corridor of Salt Creek, a tributary of the Humber River Watershed. As such, a TRCA permit pursuant to Ontario Regulation 41/24 is required from this Authority prior to any development and/or site alteration taking place within TRCA's Regulated Area on the property. Based on our review, the proposed development will be located within TRCA's regulated portion of the site.

Purpose of the Application

TRCA staff understand that the purpose of Minor Variance Application is to permit a combined total gross commercial floor area of 4709.14 square metres(sq.m.), whereas the by-law permits a maximum combined total gross commercial floor area of 4344sq.m.

TRCA staff understand Building 'B' Heritage Structure, also called Thompson House, (with a gross floor area of 196.05 sq.m.) is vacant office space in the commercial plaza.

TRCA staff understand that the requested variances are required to facilitate the second-story addition of 39 sq.m. added onto the one-storey rear wing (so that the total proposed gross floor area is 235.04 sq.m. with a setback of 4.34m from rear yard property line) for Building Permit Application #2022 252762 P0100 CO submitted to City staff on (or around) December 22, 2023, and later Site Plan Review of #SPA-2024-0013. The Site Plan was subsequently approved by the City, even though the site's (as-built development) gross floor area exceeds the maximum allowable in the Zoning By-law. TRCA staff understand that this Second-Floor addition was already approved by Heritage Permit Approval number 99.

Background

On October 27, 2016, TRCA staff conducted a site staking to determine the limits of development along the valley corridor as part of a Concept Development Application (File no. CFN 55079.13).

On June 28, 2019, TRCA staff provided a letter having no objection to the Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA). TRCA staff reviewed several technical studies including an Environmental Impact Study (EIS), Functional Servicing Report (FSR), and Slope Stability Assessment Report that addressed TRCA's key priority issues. The Environmental Impact Study (EIS) verified that the proposed works were located on the tableland portion of the site and were sufficiently setback from the valley corridor. The Slope Stability Report verified that there is no slope stability and/or geotechnical concerns with the proposed development since the proposed works were located beyond the long-term stable slope.

On August 7, 2019, TRCA provided conditional approval on Site Plan Application (City File #SP19-040.000) with the condition that the applicant obtains a TRCA Permit.

On August 9, 2019, a TRCA permit (Permit #C-190804 / File no. 61293) was issued (see Appendix B) for the commercial development consisting of five (5) commercial buildings including an existing heritage building associated with an official plan amendment, zoning by-law amendment (City File #C07E17.010) and site plan application (City File #SP19-040.000) at 6461 Mayfield Road, in the City of Brampton. Through this process, TRCA's typical detailed design requirements such as restoration planting, erosion and sediment control, etc. were addressed.

Application Specific Comments

TRCA staff have completed our review of the circulated materials noted in Appendix A and notes all outstanding TRCA items have been addressed through Permit no. C-190804 (See Appendix B). As such, we have no objection to the approval of Minor Variance Application – A-2024-0186.

Recommendation

TRCA's staff have **no objection** to support the approval of Minor Variance Application assigned City File No. **A-2024-0186 at 6461 Mayfield Road**, subject to the following condition:

- 1) That the applicant provides the required \$1,250.00 planning review fee.
- 2) The applicant obtains a TRCA Permit Revision pursuant to Ontario Regulation 41/24 for the proposed works.

A TRCA permit pursuant to Ontario Regulation 41/24 may be required for any future works on the subject property.

Fee

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a fee of \$1,250.00 (Variance Commercial – Minor). The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

We thank you for the opportunity to comment. We trust these comments are of assistance. Should you have any additional questions or comments, please contact the undersigned.

Sincerely,

Marina Janakovic
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority
Telephone: (437) 880-2368
Email: Marina.Janakovic@trca.ca

Appendix A: Circulated Materials

- Drawing no. A-1, Site Plan, dated June 4, 2023, prepared by nArchitecture Inc. c/o Nitin Malhotra
- Diagrams illustrating the configuration of the boundaries of Units and the Condominium Boundary, undated
- Drawing no. A1.1, Proposed Site Plan, revision no. 2 dated December 21, 2023, prepared by Canam Engineering Inc.
- Drawing no. A1.0, Site Plan, dated May 14, 2024, prepared by Canam Engineering Inc.
- Drawing no. A1.4, Existing and Proposed Basement Floor Plan, revision no. 3 dated March 22, 2024, prepared by Canam Engineering Inc.
- Drawing no. A1.5, Existing and Proposed Main Floor Plan, revision no. 3 dated March 22, 2024, prepared by Canam Engineering Inc.
- Drawing no. A1.6, Existing and Proposed Second Floor Plan, revision no. 3 dated March 22, 2024, prepared by Canam Engineering Inc.
- Drawing no. A1.12, Proposed Building Section, revision no. 3 dated March 22, 2024, prepared by Canam Engineering Inc.
- Drawing no. A1.13, Proposed North and West Exterior Elevations, revision no. 3 dated March 22, 2024, prepared by Canam Engineering Inc.
- Drawing no. A1.14, Proposed South and West Exterior Elevations, revision no. 3 dated March 22, 2024, prepared by Canam Engineering Inc.
- Heritage Permit no.99 at 6461 Mayfield Road
- Consolidated Comment Report (R1), dated March 21, 2024, File: SPA-2024-0013
- By-law Number 156-2019
- Memo, dated May 15, 2024, prepared by Architects Rasch Eckler Associates Ltd. c/o David Eckler
- Zoning Non-compliance Checklist, dated May 22, 2024, prepared by Amanda Dickie at the City of Brampton

Appendix B: TRCA Permit no. C-190804



August 9, 2019

CFN 61293

Surinder Ahuja
Mayfield Arcadium Holdings Ltd.
6740 Davand Drive, Unit 11
Mississauga, Ontario
L5T 2K9

Dear Surinder Ahuja:

**Re: Permit No. C-190804/MAYFIELD ARCADEIUM HOLDINGS LTD.
Application for permit under Ontario Regulation 166/06 by MAYFIELD ARCADEIUM
HOLDINGS LTD. for permission to construct, reconstruct, erect or place a building or
structure and site grade on Lot 17, Concession 7 NDS, 6461 Mayfield Road, in the City of
Brampton, Humber River Watershed.**

On August 9, 2019, your application 0302/19/BRAM, C-190804 for a permit under Ontario Regulation 166/06 was approved. We have enclosed one copy of Permit C-190804, which includes one set of the authorized plans/documents that were approved as part of this Permit. A copy of this cover letter and one set of plans have been submitted to the municipality. Please ensure that the plans approved by the municipality are consistent with the plans approved through this Conservation Authority permit. This Permit has been issued until August 8, 2021.

Please be advised that if revisions to the design of this project are required subsequent to the issuance of this permit, plans/documents reflecting these changes will need to be submitted to this office for further review and approval prior to construction of the redesigned works.

TRCA STAFF LIAISON

- For information regarding revisions, technical or administrative related issues please contact Adam Miller, Senior Planner, extension 5244.
- For site inspections, please contact Paul Nowak, Enforcement Officer, extension 5626.

Sincerely,

A handwritten signature in black ink, appearing to read 'AM', written over a horizontal line.

Adam Miller
Senior Planner, Development Planning and Permits
Development and Engineering Services

AM/gc

Encl.

cc: Lillyan McGinn, Building Department, City of Brampton
Candevcon Limited





PERMIT NO: C-190804

EXECUTIVE MEETING #: 8/19
DATE: September 6, 2019
APPLICATION #: 0302/19/BRAM
CFN: 61293

IN ACCORDANCE WITH ONTARIO REGULATION 166/06, PERMISSION IS GRANTED TO:

OWNER

Mayfield Arcadeium Holdings Ltd.
6740 Davand Drive, Unit 11
Mississauga, Ontario L5T 2K9

PURPOSE IS TO undertake works within a TRCA Regulated Area of the Humber River Watershed in order to facilitate the construction of a commercial development consisting of five (5) commercial buildings including an existing heritage building associated with an official plan amendment, zoning by-law amendment and site plan application at 6461 Mayfield Road, in the City of Brampton.

ON PROPERTY OWNED BY Mayfield Arcadeium Holdings Ltd. **AS LOCATED AT** Lot 17, Concession 7 NDS (6461 Mayfield Road), in the City of Brampton, Humber River Watershed.

FOR THE PERIOD OF August 9, 2019 **TO** August 8, 2021

AND MUST COMPLY WITH THE FOLLOWING STAMPED APPROVED DOCUMENTS AND/OR PLANS:

- Drawing No. A-1.0, Site Plan, prepared by N. Malhotra, N Architecture Inc., dated May 16, 2016, Revision No. 3 dated July 4, 2018, received by TRCA on July 22, 2019;
- Drawing No. G-1, Site Servicing Plan, prepared by F. Siddio, Candevcon Limited, dated March 15, 2018, Revision No. 1 dated March 8, 2019, received by TRCA on July 22, 2019;
- Drawing No. G-2, Grading Plan, prepared by F. Siddio, Candevcon Limited, dated March 15, 2018, Revision No. 1 dated March 8, 2019, received by TRCA on July 22, 2019;
- Drawing No. ESC-1, Erosion and Sediment Control Plan, prepared by D. Horgan, Candevcon Limited, dated March 15, 2018, Revision No. 2 dated August 2, 2019, received by TRCA on August 6, 2019;
- Sheet No. L1-01, Landscape Master Plan, prepared by L. Marton, Marton Smith Landscape Architects, dated January 2018, Revision No. 10 dated June 24, 2019, received by TRCA on July 22, 2019;
- Sheet No. LD-01, Landscape Details, prepared by L. Marton, Marton Smith Landscape Architects, dated January 2018, Revision No. 10 dated June 24, 2019, received by TRCA on July 22, 2019;
- Sheet No. LD-02, Landscape Details, prepared by L. Marton, Marton Smith Landscape Architects, dated January 2018, Revision No. 10 dated June 24, 2019, received by TRCA on July 22, 2019.

(STIPULATIONS OF APPROVAL ON REVERSE)

STIPULATIONS

All terms and conditions imposed upon this permit are legally binding.

Failure to comply with this permit can result in further action by Toronto and Region Conservation Authority (TRCA) in accordance with the Conservation Authorities Act.

This permit, or a copy thereof, must be posted on the site and available for inspection.

The owner is responsible for the accuracy of all information and technical details.

This permit does not preclude nor imply any approvals required by any other existing laws and regulations, including landowner consents.

All in-water and near water works must be conducted within the construction timing window as prescribed by Provincial and/or Federal Statutes.

REVISIONS

Any revisions or changes to the approved work(s) that impact TRCA interests require further TRCA approvals prior to being initiated.

RE-ISSUANCE (EXTENSION)

On a one-time basis, applicants may apply for a permit extension provided such requests are made at least 60 days prior to the expiration of an Ontario Regulation 166/06 permit. In the Application for Permit Re-Issuance, applicants shall set out the reasons for which an extension is required. Such requests will be assessed in accordance with any new updated technical hazard information and the current policies in place. There is no guarantee of an automatic approval.

FREEDOM OF INFORMATION ACT

The information contained on this form and any accompanying plans and documents is collected under the authority of the Conservation Authorities Act and Regulations made thereunder for the purpose of processing permits and is deemed to be public information. Questions about the collection of information should be directed to the Information and Privacy Officer, Toronto and Region Conservation Authority, Tel: 416-661-6600.

NOTE

TRCA shall not be responsible for any losses, costs, or damages arising out of the location, design, or construction of, or failure to construct, the works set out in the stamped approved documents.



AND MUST COMPLY WITH THE FOLLOWING CONDITIONS:

Standard Permit Conditions

1. The Owner shall strictly adhere to the approved TRCA permit, plans, documents and conditions, including TRCA redline revisions, herein referred to as the “works”, to the satisfaction of TRCA. The Owner further acknowledges that all proposed revisions to the design of this project that impact TRCA interests must be submitted for review and approval by TRCA prior to implementation of the redesigned works.
2. The Owner shall notify TRCA Enforcement staff 48 hours prior to the commencement of any of the works referred to in this permit and within 48 hours upon completion of the works referred to herein.
3. The Owner shall grant permission for TRCA staff, agents, representatives, or other persons as may be reasonably required by TRCA, in its opinion, to enter the premises without notice at reasonable times, for the purpose of inspecting compliance with the approved works, and the terms and conditions of this permit, and to conduct all required discussions with the Owner, their agents, consultants or representatives with respect to the works.
4. The Owner acknowledges that this permit is non-transferrable and is issued only to the current owner of the property. The Owner further acknowledges that upon transfer of the property into different ownership, this permit shall be terminated and a new permit must be obtained from TRCA by the new owner. In the case of municipal or utility projects, where works may extend beyond lands owned or easements held by the municipality or utility provider, Landowner Authorization is required to the satisfaction of TRCA.
5. This permit is valid for a period of two years from the date of issue unless otherwise specified on the permit. The Owner acknowledges that it is the responsibility of the Owner to ensure a valid permit is in effect at the time works are occurring; and, if it is anticipated that works will not be completed within the allotted time, the Owner shall notify TRCA at least 60 days prior to the expiration date on the permit if an extension will be requested.
6. The Owner shall ensure all excess fill (soil or otherwise) generated from the works will not be stockpiled and/or disposed of within any area regulated by TRCA (on or off-site) pursuant to Ontario Regulation 166/06, as amended, without a permit from TRCA.
7. The Owner shall install effective erosion and sediment control measures prior to the commencement of the approved works and maintain such measures in good working order throughout all phases of the works to the satisfaction of TRCA.
8. The Owner acknowledges that the erosion and sediment control strategies outlined on the approved plans are not static and that the Owner shall upgrade and amend the erosion and sediment control strategies as site conditions change to prevent sediment releases to the natural environment to the satisfaction of TRCA.
9. The Owner shall repair any breaches of the erosion and sediment control measures within 48 hours of the breach to the satisfaction of TRCA.
10. The Owner shall make every reasonable effort to minimize the amount of land disturbed during the works and shall temporarily stabilize disturbed areas within 30 days of the date the areas become inactive to the satisfaction of TRCA.
11. The Owner shall permanently stabilize all disturbed areas immediately following the completion of the works and remove/dispose of sediment controls from the site to the satisfaction of TRCA.

(STIPULATIONS OF APPROVAL ON REVERSE)

STIPULATIONS

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This permit, or a copy thereof, must be posted on the site and available for inspection.

The owner is responsible for the accuracy of all information and technical details.

This permit does not preclude nor imply any approvals required by any other existing laws and regulations, including landowner consents.

All in-water and near water works must be conducted within the construction timing window as prescribed by Provincial and/or Federal Statutes.

REVISIONS

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NOTE

TRCA shall not be responsible for any losses, costs, or damages arising out of the location, design, or construction of, or failure to construct, the works set out in the stamped approved documents.



12. The Owner shall arrange a final site inspection of the works with TRCA Enforcement staff prior to the expiration date on the permit to ensure compliance with the terms and conditions of the permit to the satisfaction of TRCA.
13. The Owner shall pay any additional fees required by TRCA in accordance with the TRCA Administrative Fee Schedule for Permitting Services, as may be amended, within 15 days of being advised of such in writing by TRCA for staff time allocated to the project regarding issues of non-compliance and/or additional technical review, consultation and site visits beyond TRCA's standard compliance inspections.

Authorized by: _____

A handwritten signature in black ink, appearing to be 'ASH', written over a horizontal line.

Enforcement Officer

(STIPULATIONS OF APPROVAL ON REVERSE)

STIPULATIONS

All terms and conditions imposed upon this permit are legally binding.

Failure to comply with this permit can result in further action by Toronto and Region Conservation Authority (TRCA) in accordance with the Conservation Authorities Act.

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FREEDOM OF INFORMATION ACT

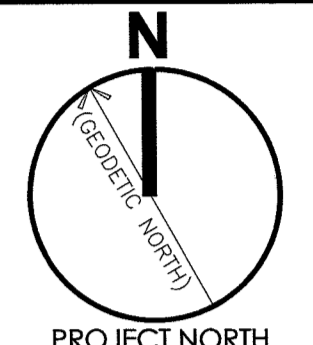
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NOTE

TRCA shall not be responsible for any losses, costs, or damages arising out of the location, design, or construction of, or failure to construct, the works set out in the stamped approved documents.



n Architecture Inc
 PRINCIPAL: NITIN MALHOTRA, ARCHITECT.
 9120 Leslie Street, Suite-208,
 Richmond Hill, ON, L4B 3J9
 T: 416.303.4821 F: 1.866.340.5265
 E: info@narchitecture.com
 www.narchitecture.com



19 FEB. 2019 PROJECT NORTH

17th JULY 2019
 ISSUED FOR PRELIMINARY PRICING
 NOT FOR CONSTRUCTION

RECEIVED
 JUL 22 2019
 Towns and Region Conservation Authority

No.	Date	Version	Dwn.
3.	2018 JULY 04	ISSUED FOR PRELIMINARY PRICING	MG.
2.	2018 FEB. 27	ISSUED FOR OPA AND ZBA	PB.
1.	2016 NOV. 02	SENT TO CONSULTANTS FOR COORDINATION	ST.

This drawing is copyright property of 'n Architecture Inc'. Not to be reproduced. Contractor must verify all job dimensions, drawings, details and specifications and report any discrepancies to the architect before proceeding with work.

PROJECT: PROPOSED DEVELOPMENT MAYFIELD ARCADEIUM CENTER, 6461 MAYFIELD ROAD BRAMPTON

DRAWING TITLE: **SITE PLAN**

DRAWN BY: ST	DATE: MAY 16 2016
CHECKED BY: NM	SCALE: AS NOTED
PROJECT NO.: 16-46	DRAWING NO.: A-1.0

PROJECT STATISTICS

ADDRESS: 6401 MAYFIELD ROAD, BRAMPTON

ZONING	REQUIRED	PROVIDED
LOT AREA (m ²)		14636.70 SQM (3.61 Acre)
MONTESSORI SCHOOL BLDG.-A		725.75 SQM.
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-A		34.20 SQM.
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-A		34.20 SQM.
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-A		208.38 SQM.
HERITAGE BLDG.-B (EXIST.)		952.42 SQM.
GROCERY STORE BLDG.-C		144.31 SQM.
COMMON AREA & MECH. SHAFT BLDG.-C		26.38 SQM.
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-C		20.26 SQM.
BASEMENT BLDG.-C		1092.39 SQM.
RETAIL BLDG.-D		2135.48 SQM.
FIRST FLOOR - COMMON AREA		115.65 SQM.
SECOND FLOOR - COMMON AREA & MECH. SHAFT BLDG.-D		147.16 SQM.
MECH./ELEC. RM.+GARAGE ENCL. BLDG.-D		46.92 SQM.
GAS METER BLDG.-D		11.58 SQM.
GARAGE ENCL. BLDG.-D		20.00 SQM.
RETAIL BLDG.-E		539.15 SQM.
GAS METER BLDG.-E		9.1 SQM.
ELEC. RM.+GARAGE ENCL. BLDG.-E		39.3 SQM.
GARAGE ENCL. BLDG.-E		15.93 SQM.
TOTAL GFA (EXCLUDING BUILDING B)		4410.74+208.38SQM.(EXIST.) + 4610.08 SQM. (49719.31 SQ.FT.)
COVERAGE		3959.33+123.62SQM.(EXIST.) = 4082.95 SQM. (27.83%)
LOT FRONTAGE		139.58 M.
LOADING SPACE		4
PARKING	177	166
BUILDING-A HEIGHT		7.31 M.
BUILDING-C HEIGHT		7.31 M.
BUILDING-D HEIGHT		12.8 M.
BUILDING-E HEIGHT		7.31 M.
LANDSCAPE AREA		3130.95 SQM. (21.49%)
PAVED AREA		1184.46 SQM. (8.09%)

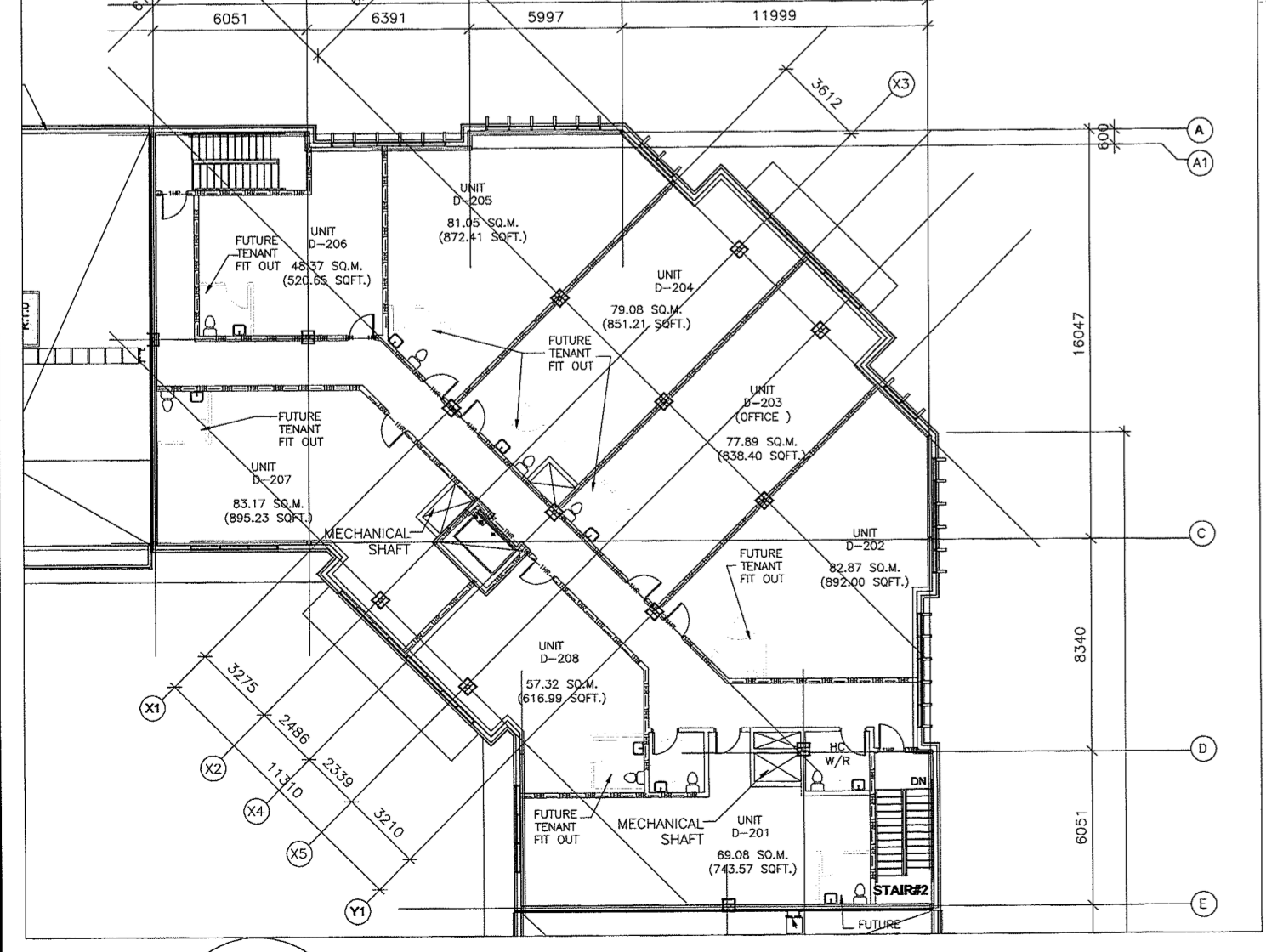
BUILDING	AREA (SQM)	REQUIRED	PROVIDED
BUILDING-A	725.75	43	43
BUILDING-B	952.42	10.97 (11)	10.97 (11)
BUILDING-C	1010.32	33.67 (34)	33.67 (34)
BUILDING-D	1470.64	49.0 (49)	49.0 (49)
BUILDING-E	664.84	22.16 (22)	22.16 (22)
TOTAL	539.15	179.7 (18)	179.7 (18)

BUILDING - A SETBACK	REQUIRED	PROVIDED
FRONT SETBACK (NORTH)	39.59 M.	39.59 M.
REAR SETBACK (SOUTH)	10.49 M.	10.49 M.
EXTERIOR SIDE SETBACK (EAST)	119.51 M.	119.51 M.
INTERIOR SIDE SETBACK (WEST)	1.87 M.	1.87 M.

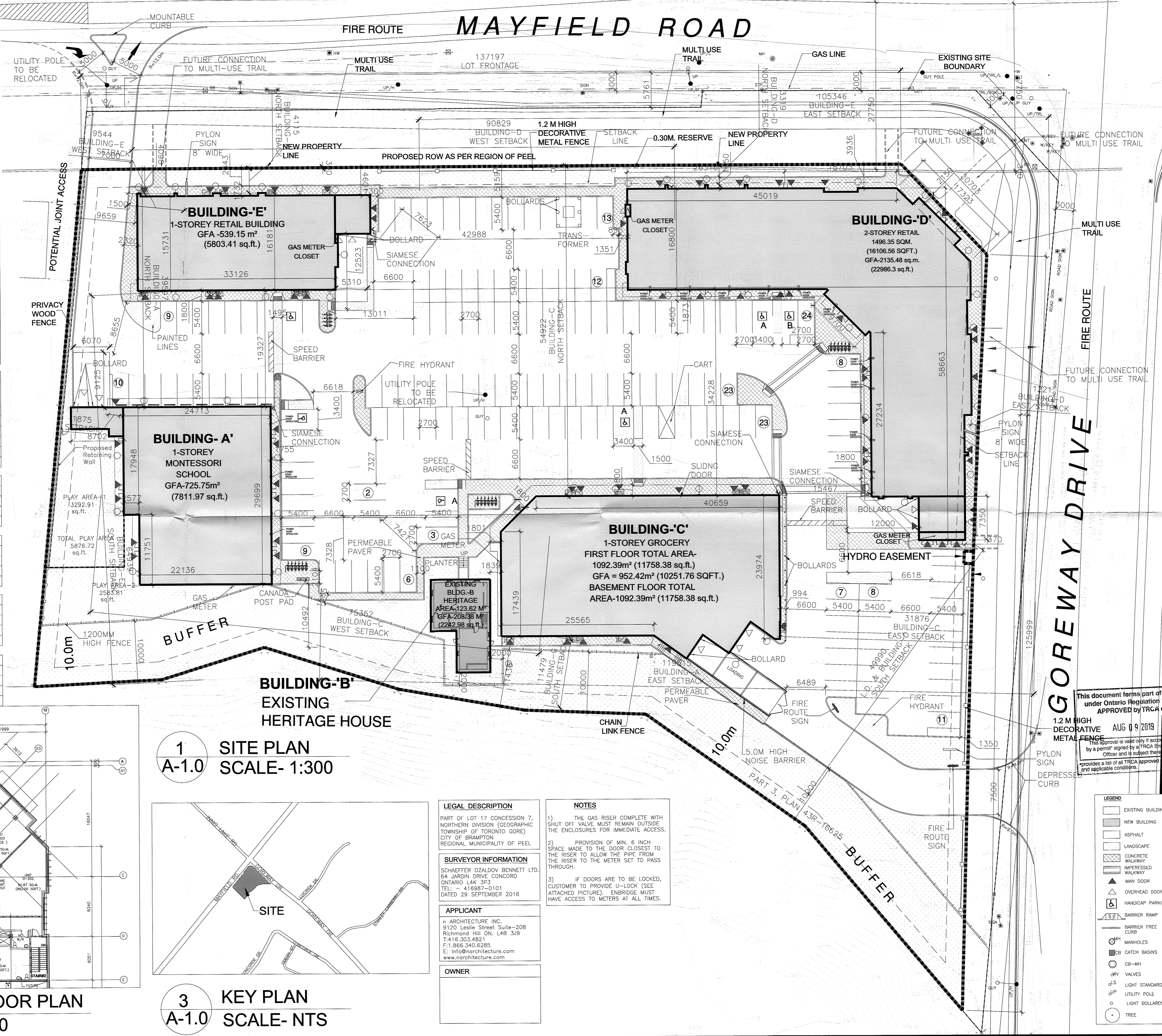
BUILDING - C SETBACK	REQUIRED	PROVIDED
FRONT SETBACK (NORTH)	54.92 M.	54.92 M.
REAR SETBACK (SOUTH)	11.47 M.	11.47 M.
EXTERIOR SIDE SETBACK (EAST)	31.87 M.	31.87 M.
INTERIOR SIDE SETBACK (WEST)	75.35 M.	75.35 M.

BUILDING - D SETBACK	REQUIRED	PROVIDED
FRONT SETBACK (NORTH)	3.31 M.	3.31 M.
REAR SETBACK (SOUTH)	49.99 M.	49.99 M.
EXTERIOR SIDE SETBACK (EAST)	1.22 M.	1.22 M.
INTERIOR SIDE SETBACK (WEST)	90.82 M.	90.82 M.

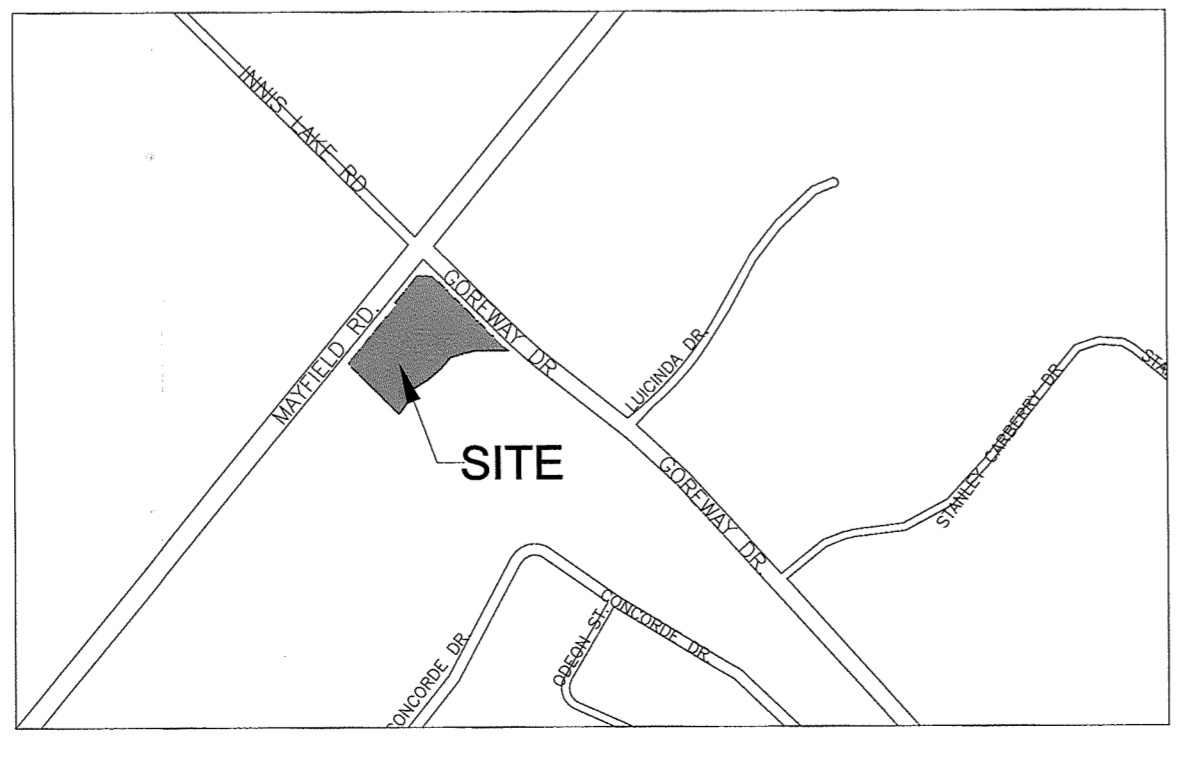
BUILDING - E SETBACK	REQUIRED	PROVIDED
FRONT SETBACK (NORTH)	4.11 M.	4.11 M.
REAR SETBACK (SOUTH)	64.93 M.	64.93 M.
EXTERIOR SIDE SETBACK (EAST)	105.34 M.	105.34 M.
INTERIOR SIDE SETBACK (WEST)	9.64 M.	9.64 M.



2 SECOND FLOOR PLAN
 A-1.0 SCALE- 1:250



1 SITE PLAN
 A-1.0 SCALE- 1:300



3 KEY PLAN
 A-1.0 SCALE- NTS

LEGAL DESCRIPTION
 PART OF LOT 17 CONCESSION 7, NORTHERN DIVISION (GEOGRAPHIC TOWNSHIP OF TORONTO GORE) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

SURVEYOR INFORMATION
 SCHAEFFER DZALDOV BENNETT LTD. 64 JARDIN DRIVE CONCORD ONTARIO L4K 3P3 TEL: 416.987-0101 DATED 29 SEPTEMBER 2016

APPLICANT
 n ARCHITECTURE INC. 9120 LESLIE STREET SUITE-208 RICHMOND HILL ON. L4B 3J9 T: 416.303.4821 F: 1.866.340.5265 E: info@narchitecture.com www.narchitecture.com

OWNER

NOTES

- 1) THE GAS RISER COMPLETE WITH SHUT OFF VALVE MUST REMAIN OUTSIDE THE ENCLOSURES FOR IMMEDIATE ACCESS.
- 2) PROVISION OF MIN. 6 INCH SPACE MADE TO THE DOOR CLOSEST TO THE RISER TO ALLOW THE PIPE, FROM THE RISER TO THE METER SET TO PASS THROUGH.
- 3) IF DOORS ARE TO BE LOCKED, CUSTOMER TO PROVIDE U-LOCK (SEE ATTACHED PICTURE). ENBRIDGE MUST HAVE ACCESS TO METERS AT ALL TIMES.

This document forms part of a permit under Ontario Regulation 166/08 APPROVED BY TRCA on AUG 09 2019

LEGEND

- EXISTING BUILDING
- NEW BUILDING
- ASPHALT
- LANDSCAPE
- CONCRETE WALKWAY
- IMPRESSIONED WALKWAY
- MAN DOOR
- OVERHEAD DOOR
- HANDICAP PARKING
- BARRIER RAMP
- BARRIER FREE CURB
- MANHOLES
- CATCH BASINS
- CB-MH
- VALVES
- LIGHT STANDARD
- UTILITY POLE
- LIGHT BOLLARDS
- TREE

- NOTES**
- A. GENERAL NOTES**
1. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON, THE REGION OF PEEL AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
 2. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
 3. PROPOSED ELEVATIONS ALONG SITE PROPERTY LINES MUST MATCH EXISTING ELEVATION.
 4. A SET FENCE TO THE CITY OF BRAMPTON STD. 406 MUST BE PLACED ALONG THE PERIMETER OF THE SITE OR AS SHOWN ON DRAWING.
 5. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE PROPERTY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING DRIVEWAY GRADE. CURB DEPRESSIONS WILL BE PROVIDED FOR EACH ENTRANCE. ACCESS CONSTRUCTION AS PER CITY OF BRAMPTON STD. 537.
 6. SIDEWALKS TO BE REMOVED AND REPLACED SHALL BE CONSTRUCTED AS PER O.P.S.D. STANDARD.
 7. THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY MUST BE PAVED WITH 40mm H&S AND 20mm H&S. SUBGRADE TO BE 150mm GRANULAR "A" (OR 130mm OF 20mm CRUSHER RUN LIMESTONE) AND 200mm GRANULAR "B" (OR 225mm OF 20mm CRUSHER RUN LIMESTONE) COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 8. A UTILITY CLEARANCE MARKING OF 1.5m BETWEEN THE PROPOSED DRIVEWAY ENTRANCE CURB RETURN AND ALL ABOVE GROUND UTILITIES MUST BE MAINTAINED.
 9. A ROAD OCCUPANCY PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.
 10. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROAD OCCUPANCY / ACCESS PERMIT APPLICATION.
 11. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEERING CONSULTING FIRM TO ENSURE THAT AN ELEVATION DETAIL OF EXISTING AERIAL PLANT IS SUBMITTED WHEN AERIAL PLANT IS PROPOSED. CABLES SHALL NOT BE LESS THAN 4.2 METRES FROM THE HIGHEST POINT OF THE FINISHED PAVEMENT TO THE LOWEST POINT OF THE AERIAL CABLE DIRECTLY ABOVE THE ADJUTING AREA TO ENSURE CLEARANCES ARE MET.

- B. REGION OF PEEL - WATERMANS AND SANITARY SEWERS**
1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
 2. WATERMAN AND/OR WATER SERVICES ARE TO BE DR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C900-16 SPEC COMPLETE WITH TRANCE WIRE SIZE 20mm (2") AND SMALLER MUST BE TYPE "X" SOFT COVER PIPE AS PER A.S.T.M. 888-49 SPECIFICATION.
 3. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM HORIZONTAL SPACING OF 1.2m (4'-0") FROM THEMSELVES AND ALL OTHER UTILITIES.
 4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING ETC. MUST BE PROVIDED WITH AT LEAST A 50mm (2") OUTLET ON 100mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END. THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ON TO A PARKING LOT OR TO A DRAIN. ON FIRE LINES FLUSHING OUTLET TO BE 100mm (4") DIAMETER MINIMUM ON A HYDRANT.
 5. ALL CURB STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
 6. HYDRANT AND VALVE SET TO REGION STANDARD 1-4-1. DIMENSION A AND B, 0.7m (2") AND 0.9m (3") AND TO HAVE PUMPER NOZZLE.
 7. WATERMANS TO BE INSTALLED TO GRADIS AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
 8. WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.5m (20") OVER / 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
 9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.
 10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
 11. LOCATION OF ALL UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
 12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATING, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
 13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
 14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-SECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGIONAL STANDARD 1-7-7 OR 1-7-8.
 15. BEDDING FOR WATERMANS SHALL BE AS PER STD. 1-5-1. PROVIDE MECHANICAL THRUST RESTRAINTS AS PER STD. 1-5-9 AT ALL BENDS AND TEES.
 16. WATER SERVICE TO BE LAD CONNECTION TOWARDS THE STREET LINE TO PREVENT JOINTS UNDER THE BUILDING FLOOR.
 17. SANITARY SEWERS SHALL BE AS PER STD. 2-1-1. PROVIDE MECHANICAL THRUST RESTRAINTS AS PER STD. 2-1-1.1.
 18. BEDDING FOR SANITARY SEWERS SHALL BE AS PER STANDARD 2-3-1.
 19. MANHOLES SHALL BE AS PER STANDARD 2-4-1 WITH BENCHING AS PER STANDARD 2-5-2; FRAME AND COVER SHALL BE AS PER STANDARD 2-5-1.3; MANHOLE STEPS SHALL BE AS PER STANDARD 2-5-1.1.
 20. BEDDING AS PER REGION OF PEEL STANDARD 2-3-1.

- C. STORM WATER MANAGEMENT**
1. DURING CONSTRUCTION AND UNTIL SUCH TIME AS THE SITE HAS BEEN PAVED AND SODDED, THE CONTRACTOR SHALL PREVENT STORM WATER RUNOFF FROM DIRECTLY ENTERING THE MUNICIPAL STORM SEWER SYSTEM AND THE ADJOINING PROPERTIES BY INSTALLING AND MAINTAINING SILT CONTROL FACILITIES AT ALL CATCHBASINS AND BY INSTALLING AND MAINTAINING SILT FENCE AS PER CITY OF BRAMPTON STD. 406.
 2. STORM WATER MANAGEMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE STORM WATER MANAGEMENT REPORT PREPARED BY CONDEVCON LIMITED FOR THE PROJECT.
 3. FOUNDATION DRAINS SHALL NOT BE CONNECTED TO THE STORM SEWER ON SITES WITH STORMWATER MANAGEMENT CONTROL.
 4. ROOF TOP STORAGE DETAILS INCLUDING CONTROL DEVICE TYPE/MAKE, (WIND-PROOF/MAXIMUM FLOW, VOLUME AND NUMBER OF NOTCHES PER DRAIN MUST BE INCLUDED IN THE S.W. REPORT AND SHOWN ON THE SERVING PLAN.

- D. STORM SEWER NOTES**
1. ALL STORM SEWER WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF BRAMPTON AND ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSD).
 2. SEWERS SHALL BE CONSTRUCTED OF CONCRETE OR PVC WITH CLASS "B" BEDDING IN ACCORDANCE WITH OPSD 802.03.
 3. SEWER PIPE 450mm DIA. AND SMALLER SHALL BE PVC CLASS 35 AS PER CSA B182-1 SEWER PIPE LARGER THAN 450mm DIA. SHALL BE CONCRETE CLASS 60-0.
 4. THE MAXIMUM ALLOWABLE TRENCH WIDTH AT THE TOP OF THE PIPE SHALL NOT EXCEED THE FOLLOWING:

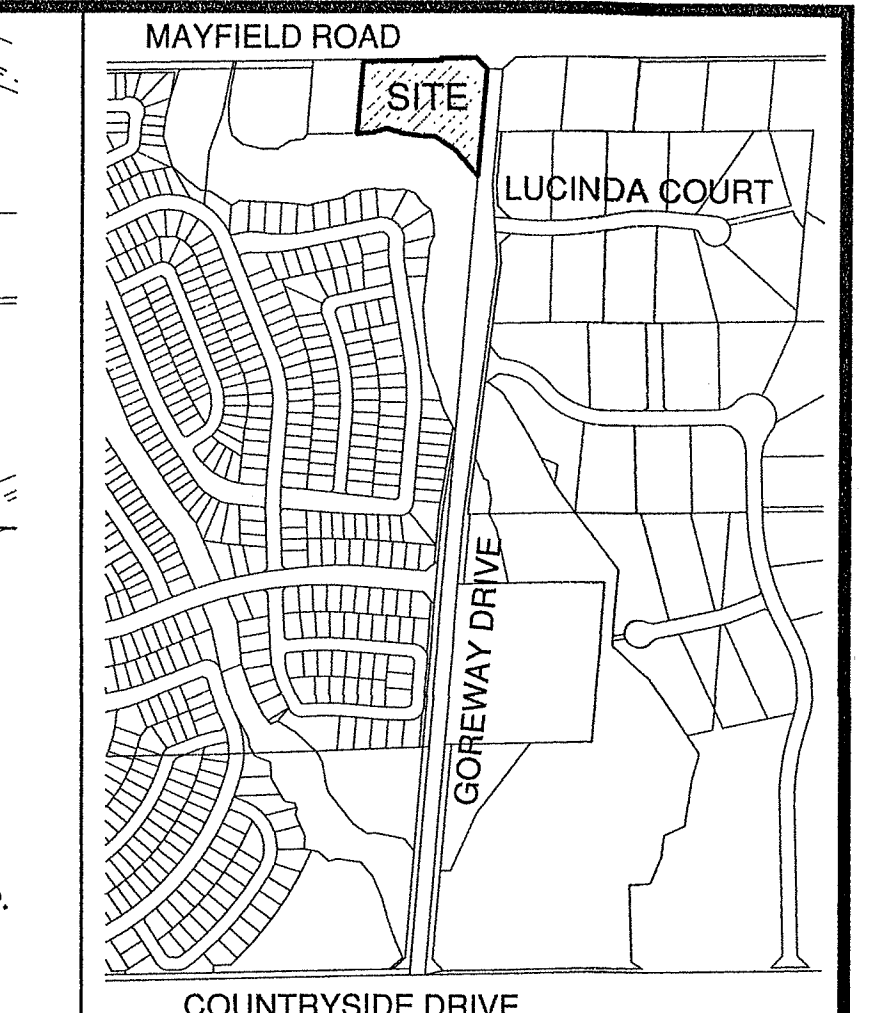
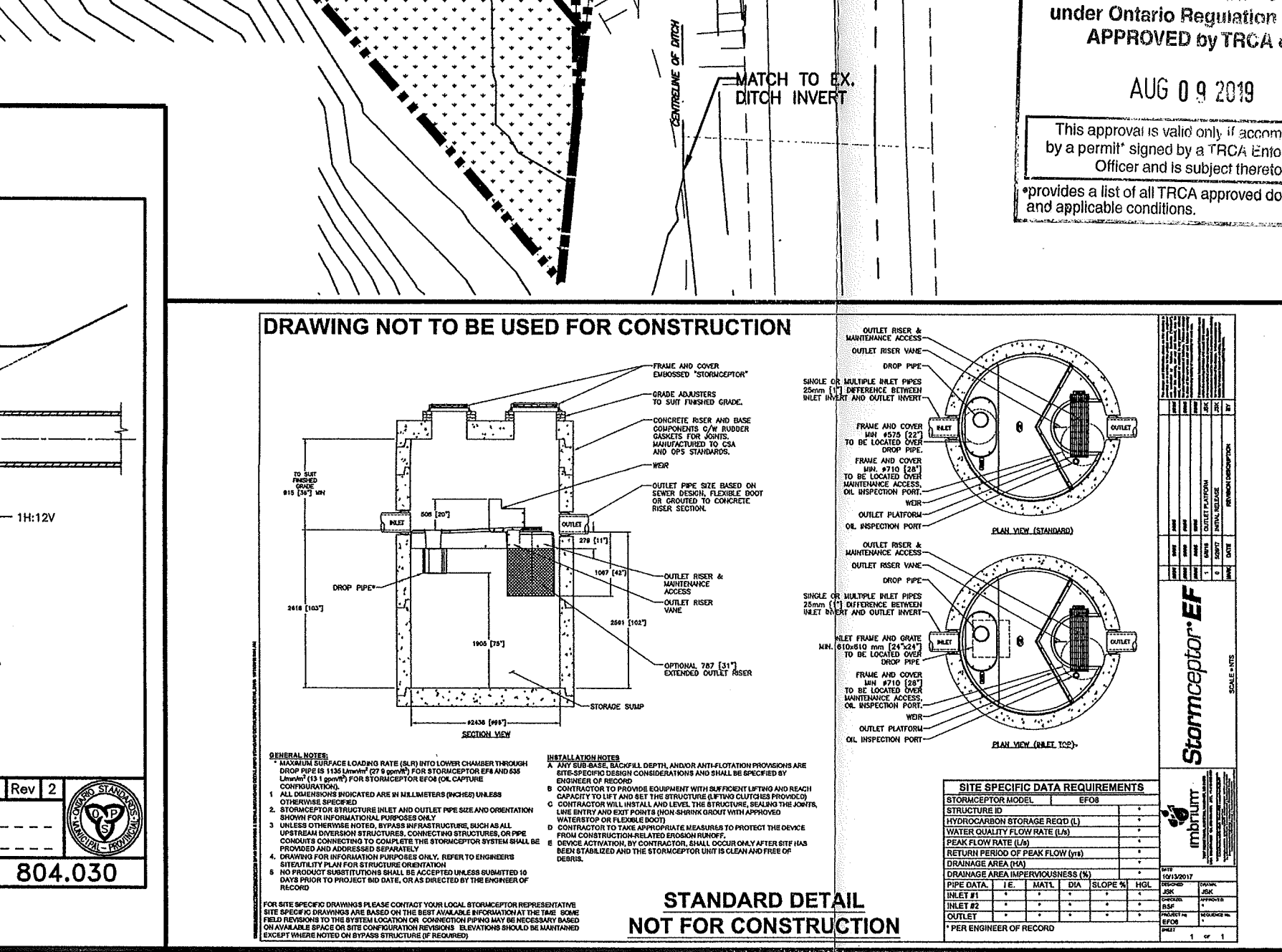
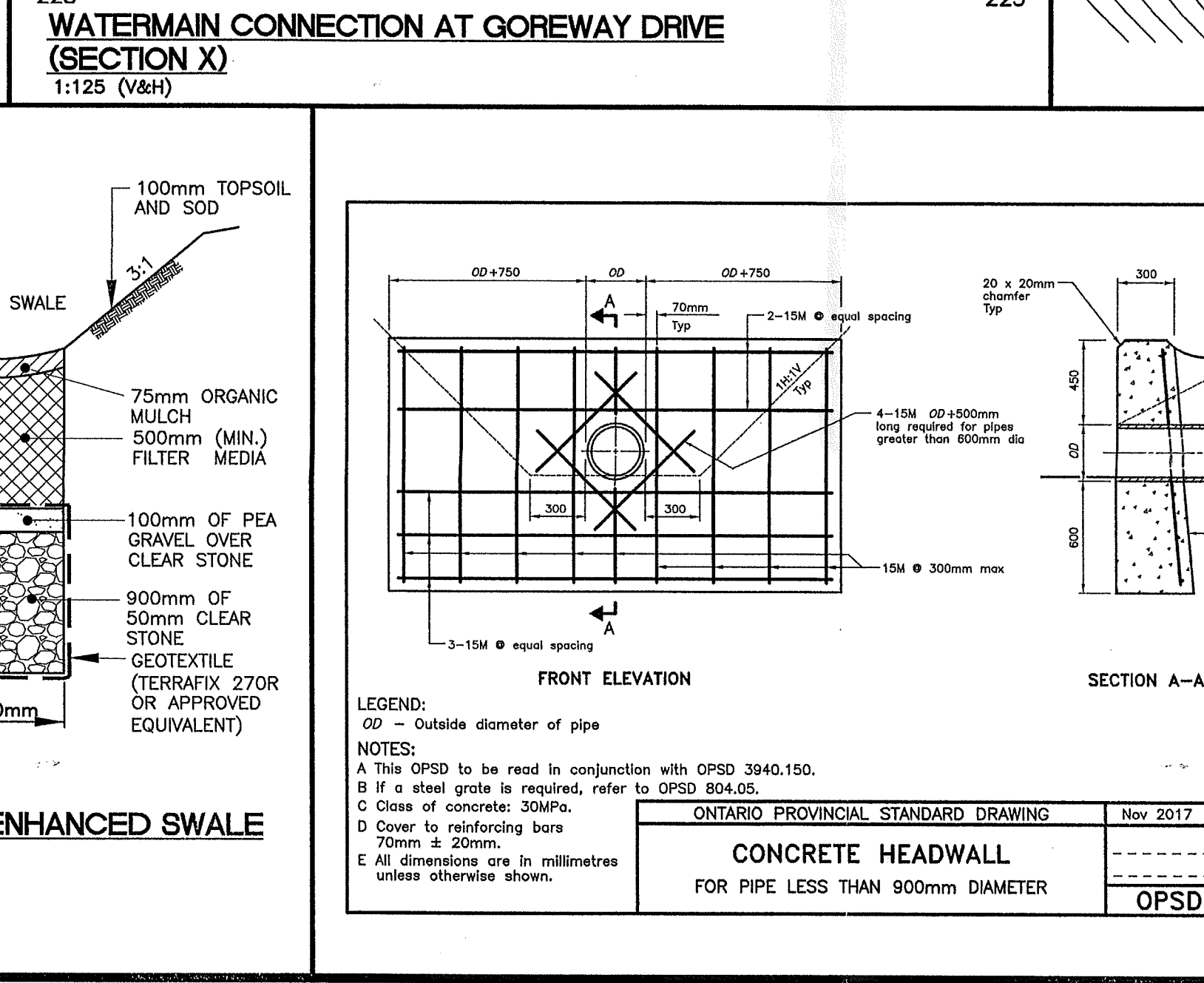
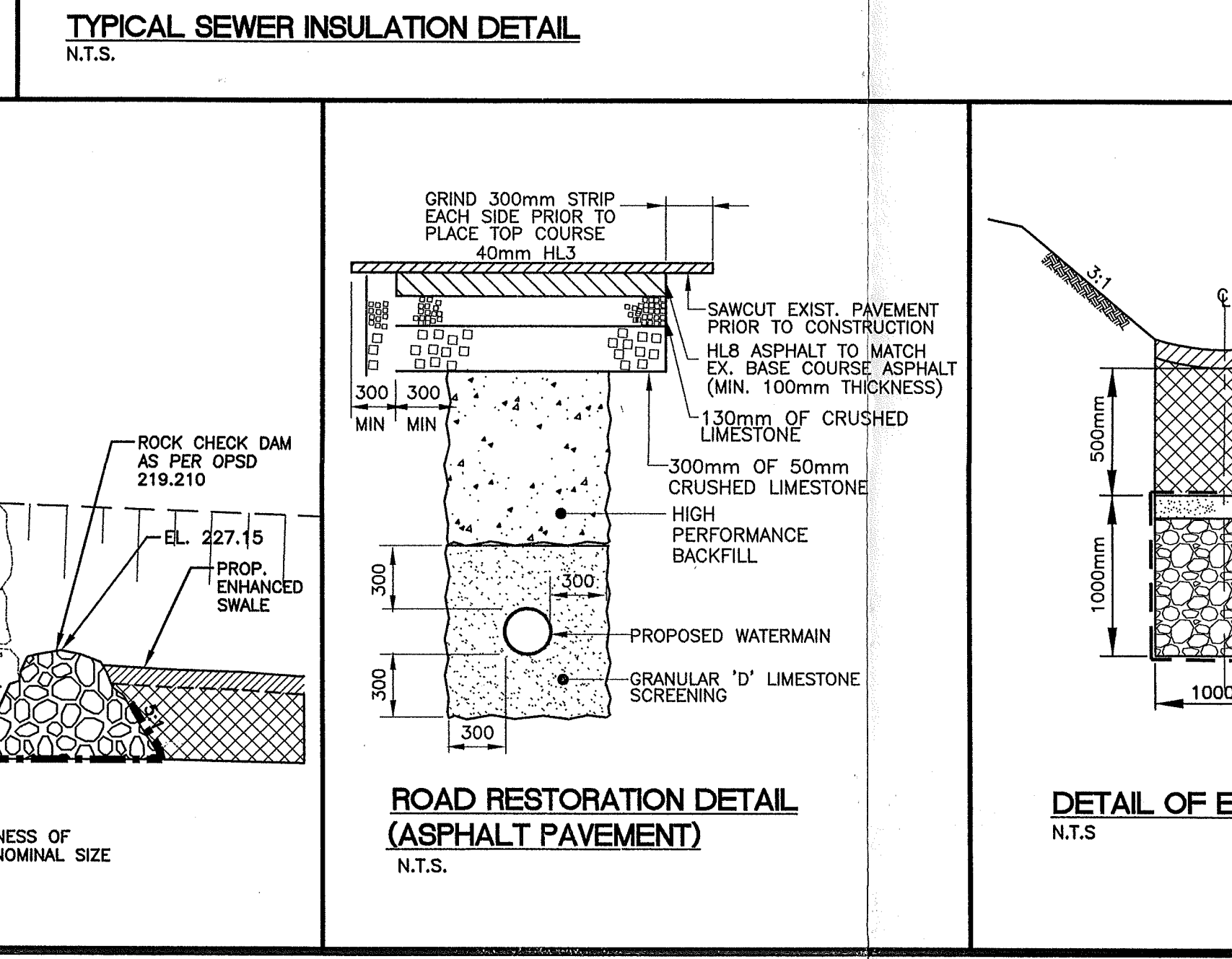
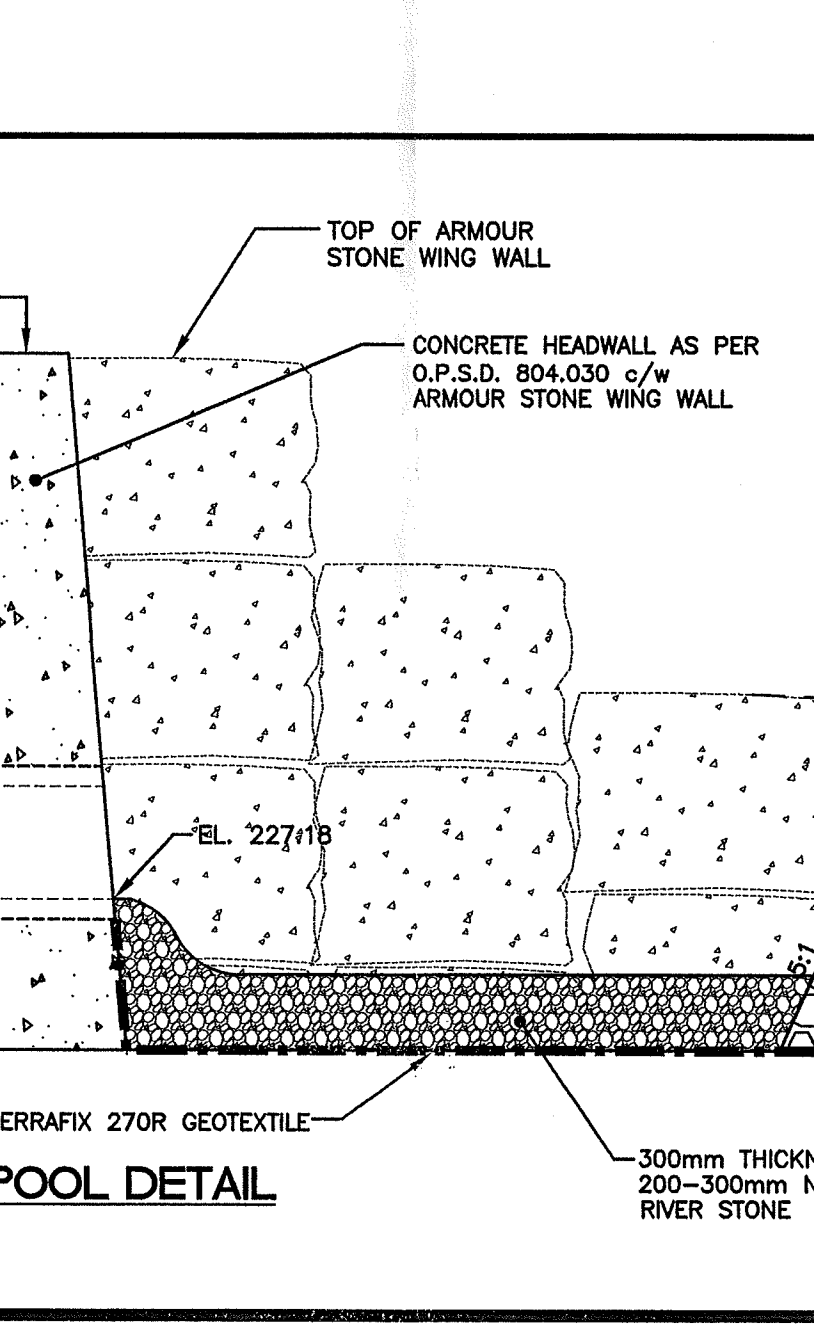
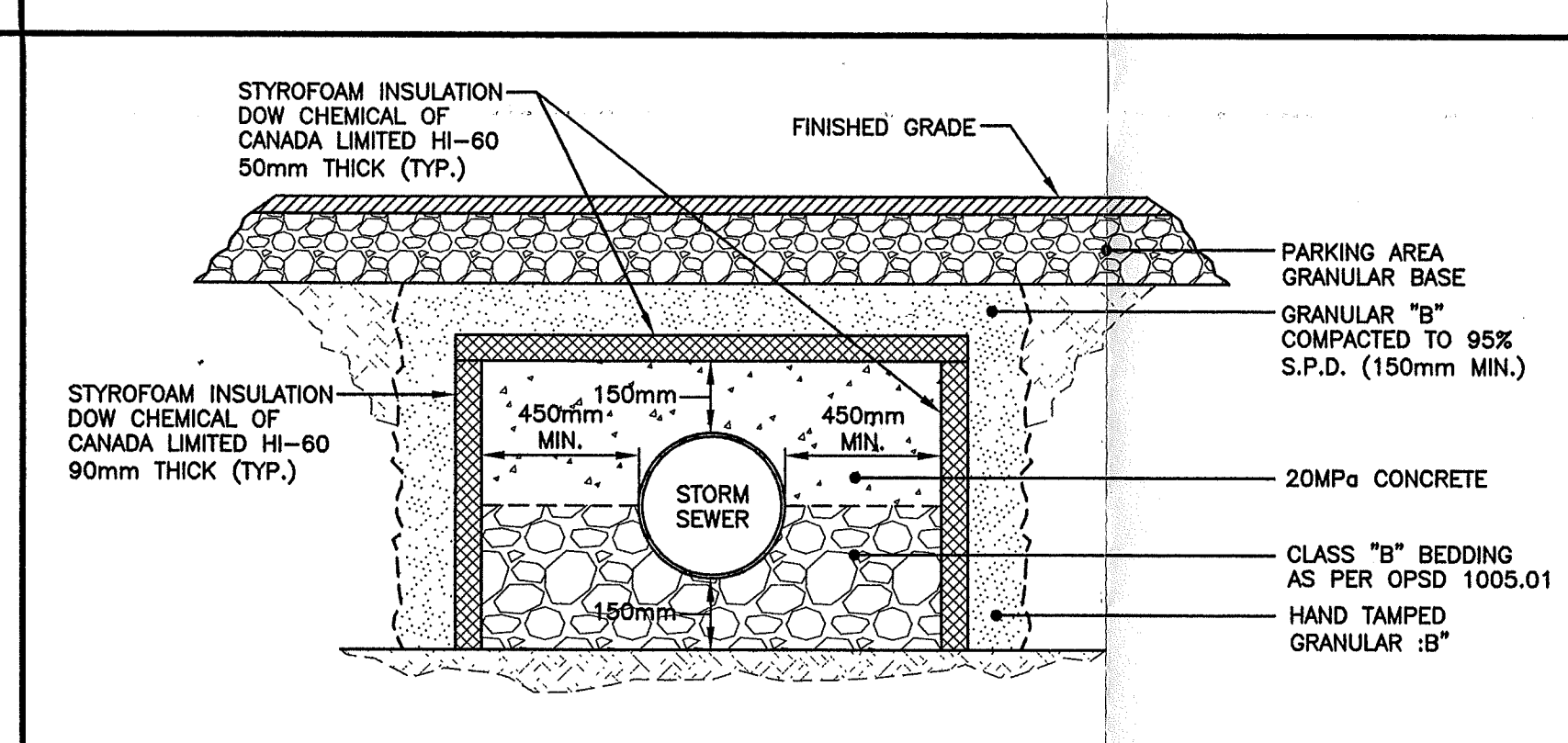
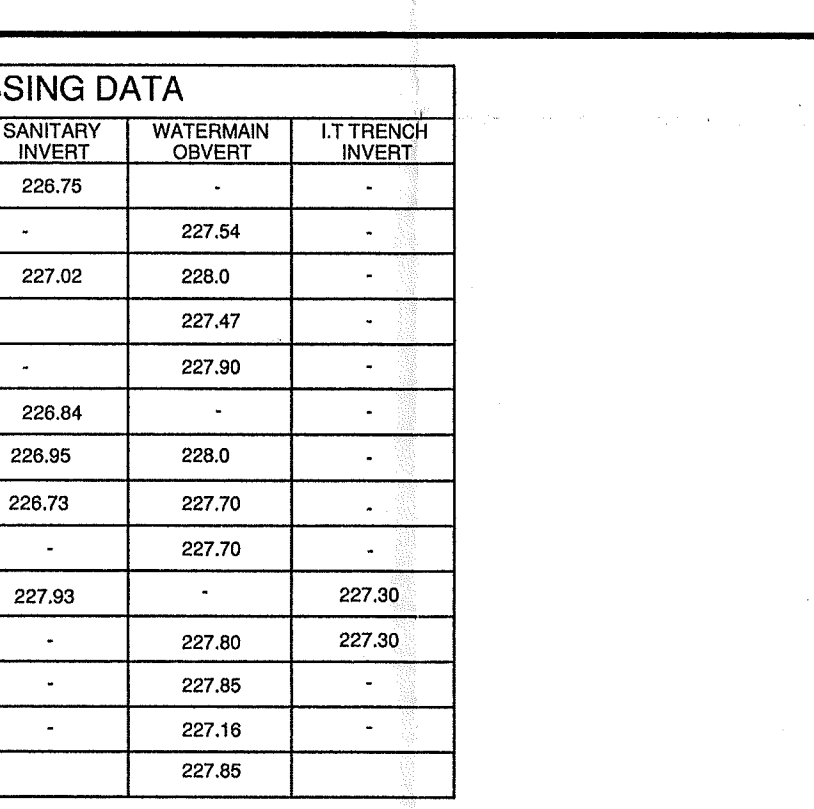
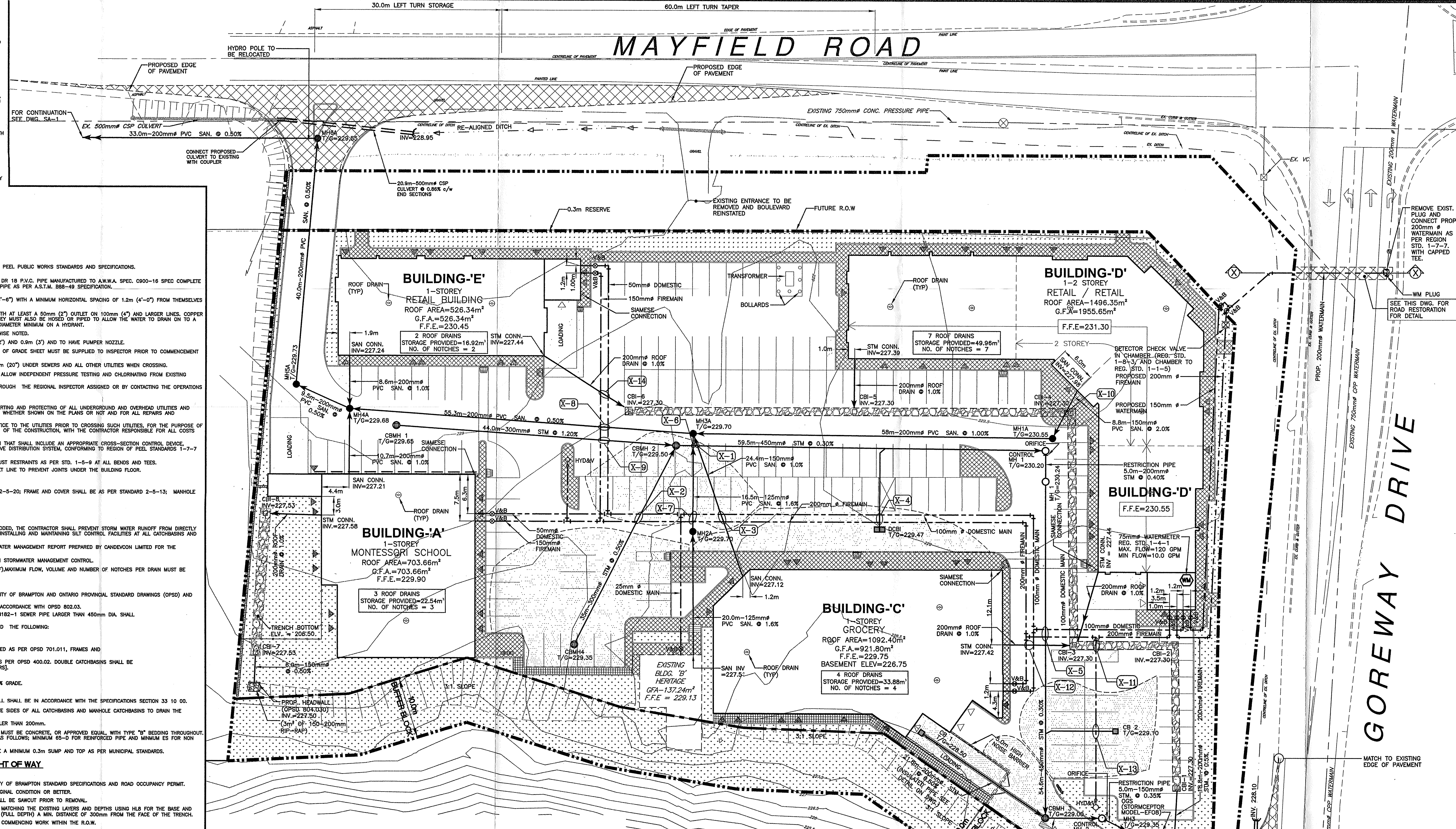
- 200mm - 300mm PIPE: 900mm
375mm - 450mm PIPE: 1000mm
450mm - 600mm PIPE: 1200mm
5. MANHOLES SHALL BE AS PER OPSD 701.010, WITH LARGER MANHOLES WHERE REQUIRED AS PER OPSD 701.011, FRAMES AND COVERS SHALL BE AS PER OPSD 401.010. STEPS SHALL BE AS PER STANDARD 316.
 6. SINGLE CATCHBASINS SHALL BE AS PER OPSD 701.010, WITH FRAMES AND COVERS AS PER OPSD 400.02. DOUBLE CATCHBASINS SHALL BE AS PER OPSD 700.020. INFILTRATION TRENCH CATCHBASINS SHALL HAVE SOLID COVERS.
 7. MANHOLE CATCHBASINS SHALL BE AS PER OPSD 701.010.
 8. UNLESS NOTED OTHERWISE, CATCHBASIN LEADS SHALL BE 200mm DIA. AT MINIMUM 1% GRADE.
 9. DROP STRUCTURES SHALL BE AS PER OPSD 1003.01.
 10. PROVIDE A MINIMUM OF 150mm GRANULAR "A" OR SAND COVER OVER PIPES. BACKFILL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS SECTION 33 10 00.
 11. PROVIDE TWO SUBDRAINS, MINIMUM LENGTH OF 5.0m EACH EXTENDING FROM OPPOSITE SIDES OF ALL CATCHBASINS AND MANHOLE CATCHBASINS TO DRAIN THE GRANULAR SUB BASE.
 12. STORM SEWER PIPES CONNECTING TO THE CITY'S STORM SEWER SHALL NOT BE SMALLER THAN 200mm.
 13. WITHIN THE CITY'S RIGHT-OF-WAY STORM SEWERS SHALL BE CONCRETE, OR APPROVED EQUAL, WITH TYPE "B" BEDDING THROUGHOUT. THE STRENGTH OF THE CONCRETE PIPE MUST BE AS PER CITY STANDARD 341 AND AS FOLLOWS: MINIMUM 85-D FOR REINFORCED PIPE AND MINIMUM 85 FOR NON REINFORCED PIPE.
 14. ALL CATCHBASIN MANHOLES AND MANHOLES WITH SILENT CONTROL DEVICES MUST HAVE A MINIMUM 0.3m SUMP AND TOP AS PER MUNICIPAL STANDARDS.

- E. SPECIFICATIONS FOR RESTORATION WORK WITHIN THE RIGHT OF WAY WITHIN RIGHT OF WAY**
1. ALL WORK SHALL BE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE CITY OF BRAMPTON STANDARD SPECIFICATIONS AND ROAD OCCUPANCY PERMIT.
 2. ALL DISTURBED GRASS AREAS SHALL BE RESTORED WITH TOPSOIL AND SOD TO ORIGINAL CONDITION OR BETTER.
 3. ALL ASPHALT PAVEMENT AND ALL CONCRETE SIDEWALK AND CURB AND GUTTER SHALL BE SAWCUT PRIOR TO REMOVAL.
 4. ALL DISTURBED ASPHALT PAVEMENT SHALL BE RESTORED WITH HOT LAD ASPHALT MATCHING THE EXISTING LAYERS AND DEPTHS USING H&S FOR THE BASE AND H&S FOR THE TOP LIFT. THE EXISTING ASPHALT SHALL BE SAW CUT AND REMOVED (FULL DEPTH) A MIN. DISTANCE OF 300mm FROM THE FACE OF THE TRENCH. THE CONTRACTOR SHALL OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING WORK WITHIN THE R.O.W.

- STORM SEWER INFORMATION**
- | DESCRIPTION | TOP OF GRADE ELEVATION | INVERT ELEVATION |
|-------------|------------------------|--------------------------------|
| CBM1 | 229.65 | E INV.-228.45 |
| CBM2 | 229.50 | W INV.-227.95
S INV.-227.76 |
| CONTROL MH1 | 230.24 | W INV.-227.60
S INV.-227.55 |
| MH1 | 230.20 | N INV.-227.54
S INV.-227.50 |
| DCB1 | 229.47 | N INV.-227.97 |
| CB2 | 229.10 | W INV.-227.68 |
| CB1 | 228.50 | E INV.-227.70 |
| CBM3 | 229.0 | N INV.-227.96
W INV.-227.81 |
| CBM4 | 229.35 | N INV.-228.15 |
| CONTROL MH2 | 229.40 | W INV.-227.30
S INV.-227.27 |
| MH3 | 229.35 | W INV.-227.28
E INV.-227.24 |
| OS | 229.32 | W INV.-227.23
S INV.-227.21 |
| CUTFALL | 229.25 | INV.-227.18 |

- Pipe Crossing Data**
- | LOCATION | STORM INVERT | SANITARY INVERT | WATERMAN INVERT | LT TRENCH INVERT |
|----------|--------------|-----------------|-----------------|------------------|
| [1] | 227.77 | 226.75 | - | - |
| [2] | 228.94 | 227.54 | - | - |
| [3] | - | 227.02 | 228.0 | - |
| [4] | 227.97 | 227.47 | 227.47 | - |
| [5] | 227.45 | 227.90 | - | - |
| [6] | 227.77 | 226.84 | 228.0 | - |
| [7] | - | 226.95 | 228.0 | - |
| [8] | - | 228.73 | 227.70 | - |
| [9] | 228.04 | 227.70 | 227.70 | - |
| [10] | - | 227.99 | 227.80 | 227.30 |
| [11] | - | 227.88 | 227.85 | - |
| [12] | 227.68 | 227.16 | - | - |
| [13] | 227.33 | 227.85 | - | - |

- SANITARY SEWER INFORMATION**
- | DESCRIPTION | TOP OF GRADE ELEVATION | INVERT ELEVATION |
|-------------|------------------------|--|
| MH1A | 230.55 | NE INV.-227.80
W INV.-227.75 |
| MH3A | 229.70 | SE INV.-228.68
E INV.-227.17
W INV.-228.62
NW INV.-228.80 |
| MH2A | 229.70 | N INV.-227.18
S INV.-227.20 |
| MH4A | 229.68 | E INV.-228.52
N INV.-227.10
NW INV.-228.47 |
| MH5A | 229.73 | SE INV.-228.42
N INV.-228.38 |
| MH6A | 229.55 | S INV.-228.14
W INV.-228.14 |
| SAN FLUX | E INV.-226.10 | - |



- LEGEND:**
- EXISTING PROPERTY LINE
 - FUTURE PROPERTY LINE/RIGHT OF WAY
 - EXISTING CONTOUR LINE
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED MANHOLE CATCHBASIN
 - OGS (STORMCEPTOR MODEL-EP08)
 - PROPOSED DOUBLE CATCHBASIN
 - PROPOSED SINGLE CATCHBASIN
 - PROPOSED INFILTRATION TRENCH CATCHBASIN (SOLID COVER)
 - PROPOSED OVERLAND FLOW
 - PIPE CROSSING LOCATION
 - ENTRY DOOR
 - LOADING DOCK DOOR
 - OVERHEAD DOOR
 - PROPOSED HARD LANDSCAPE
 - PROPOSED PERMEABLE PAVERS
 - PROPOSED SOFT LANDSCAPE
 - EXTERNAL AREAS TO BE PAVED (40mm H&S, 80mm H&S, 130mm of 18mm CRUSHER RUN LIMESTONE, 200mm CRUSHER RUN LIMESTONE)
 - PROPOSED INFILTRATION TRENCH (SEE DRAWING SWM-1)
 - PIPE INSULATION (SEE DETAIL ON THIS DWG.)

LEGAL DESCRIPTION:
PART OF LOT 17 CONVEYANCE 7, NORTHERN DIVISION (GEOGRAPHIC TOWNSHIP OF TORONTO GORE) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

TOPO INFO:
TOPOGRAPHIC INFORMATION TAKEN FROM DRAWING PREPARED BY SCHAEFER DZALDOV BENNETT LTD. ONTARIO LAND SURVEYORS DATED SEPTEMBER 29 2016, JOB NO. 16-186-01.

REFERENCE DRAWINGS:
1. FOR SITE PLAN INFORMATION REFER TO DRAWING A-1.0 PREPARED BY ARCHITECTURE INC. PROJECT NO. 16-146.
2. FOR GRADING INFORMATION AND UTILITY WIDENINGS OF MAYFIELD ROAD & GOREWAY DRIVE REFER TO CONDEVCON DWG. G-2.
3. FOR STORMWATER MANAGEMENT INFORMATION REFER TO DRAWING SWM-1.

BENCHMARK INFO:
CITY OF BRAMPTON BENCHMARK No. 47 ELEVATION = 229.120 METRES.

RECEIVED
JUL 22 2019

This document forms part of a report under Ontario Regulation 196/06 APPROVED BY TRCA on

AUG 09 2019

This approval is valid only if accompanied by a permit signed by a TRCA Enforcement Officer and is subject thereto.

provides a list of all TRCA approved documents and applicable conditions.

PROPOSED COMMERCIAL DEVELOPMENT FOR

MAYFIELD ARCADEIUM CENTER

6461 MAYFIELD ROAD CITY OF BRAMPTON SHEET TITLE

FILE No. C07E17.010

SITE SERVICING PLAN

DRAWN BY: E.M PROJECT No. W16073

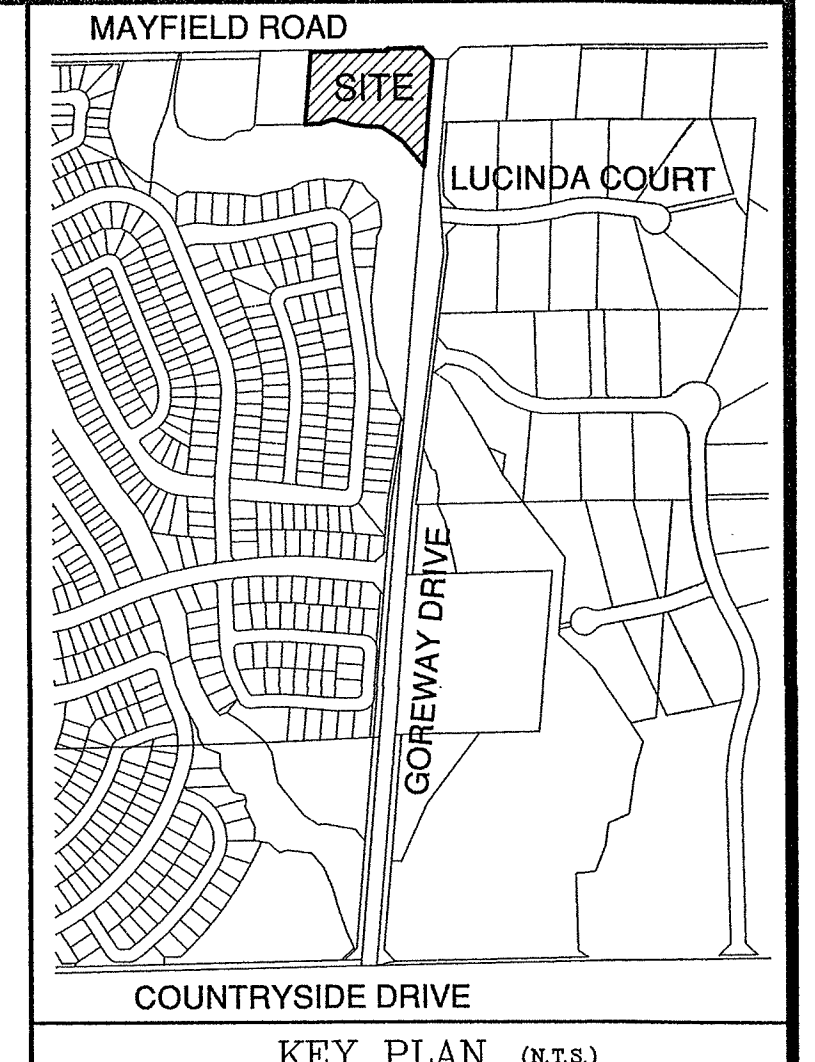
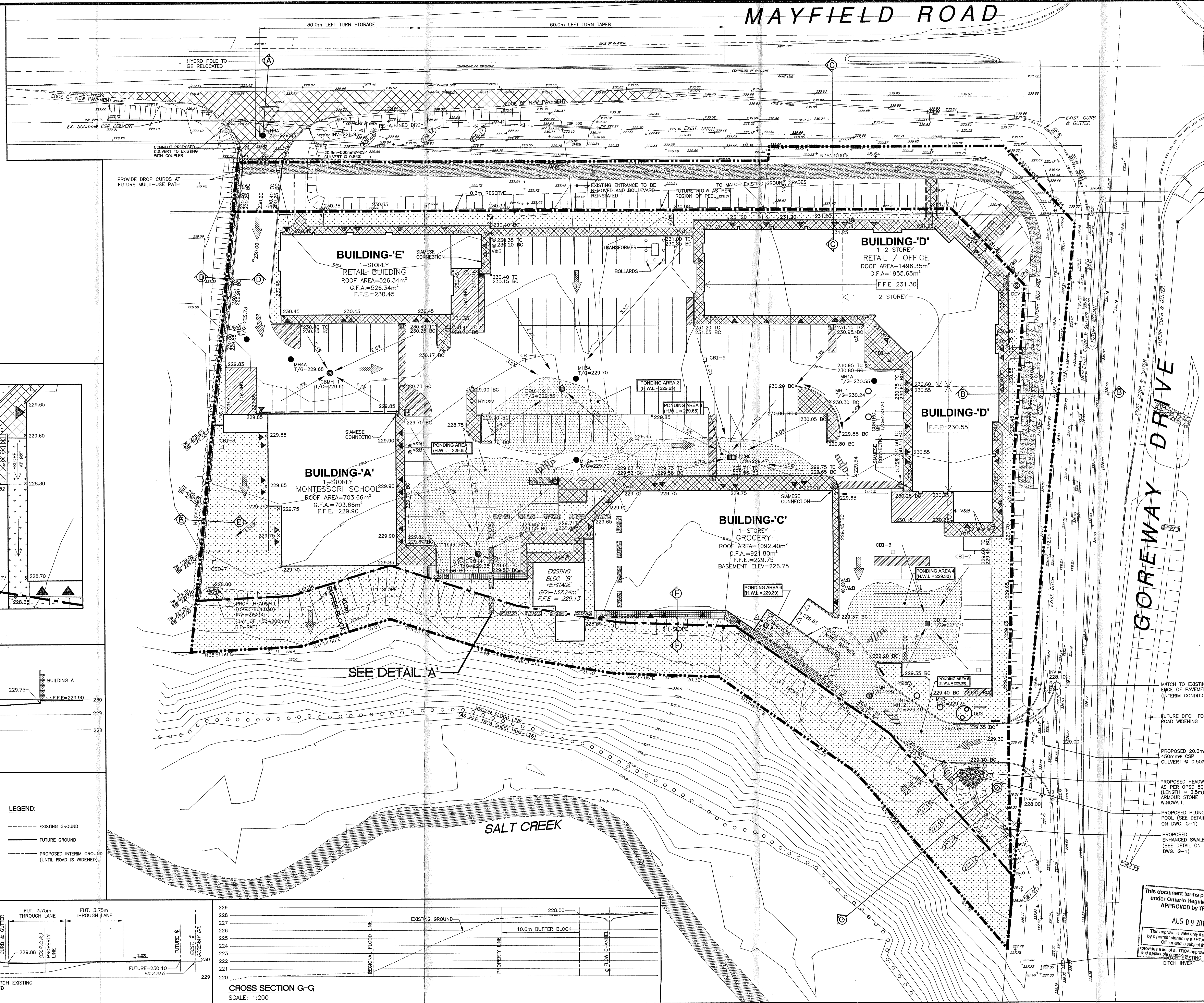
DESIGN/CHECK BY: T.M.J./D.K.H. DRAWING No.

SCALE: 1:300

DATE: MAR, 15th 2018

G-1

MAYFIELD ROAD



- LEGEND:**
- PROPERTY LINE
 - FUTURE PROPERTY LINE
 - EXISTING CONTOUR LINE
 - BUFFER BLOCK
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED BOTTOM OF CURB ELEVATION
 - PROPOSED TOP OF WALL ELEVATION
 - PROPOSED BOTTOM OF WALL ELEVATION
 - PROPOSED CONCRETE CURB AS PER OPSD 600.110 (0.15m HEIGHT UNLESS NOTED OTHERWISE)
 - PROPOSED SWALE ELEVATIONS
 - PROPOSED GRADE SLOPE
 - INFILTRATION TRENCH CATCHBASIN (SOLID COVER)
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED MANHOLE CATCHBASIN
 - PROPOSED DOUBLE CATCHBASIN
 - PROPOSED SINGLE CATCHBASIN
 - PROPOSED OVERLAND FLOW
 - ENTRY DOOR
 - LOADING DOCK DOOR
 - OVERHEAD DOOR
 - PROPOSED HARD LANDSCAPE
 - PROPOSED SOFT LANDSCAPE
 - PERMEABLE PAVERS
 - EXTERNAL AREAS TO BE PAVED
 - STORMWATER PONDING

LEGAL DESCRIPTION:
PART OF LOT 17 CONCESSION 7, NORTHERN DIVISION (GEOGRAPHIC TOWNSHIP OF TORONTO GORE) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEELE

TOPO INFO:
TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PLAN PREPARED BY SCHWARTZ KZADZY BENNETT LTD. ONTARIO LAND SURVEYORS DATED SEPTEMBER 29 2016. JOB NO. 16-186-01.

REFERENCE DRAWINGS:
1. FOR SITE PLAN INFORMATION REFER TO DRAWING A-1.0 PREPARED BY ARCHITECTURE INC. PROJECT NO. 16-46.
2. FOR SITE SERVICING INFORMATION REFER TO CANDEVCON DRAWING G-1.
3. FOR STORMWATER MANAGEMENT INFORMATION REFER TO CANDEVCON DRAWING SWM-1.
4. INFORMATION ON PROPOSED ROAD WIDENING FOR MAYFIELD ROAD AND GOREWAY DRIVE TAKEN FROM IBI GROUP PROJECT Nos. 11-4075 & 13-4065 DWG. SHEETS 26 & 27 OF 80.

BENCHMARK INFO:
CITY OF BRAMPTON BENCHMARK No. 47
ELEVATION = 229.120 METRES.

NO.	DESCRIPTION	DATE	BY
1	REVISED AS PER CITY OF BRAMPTON COMMENTS (AUG. 24th 2018) AND AS PER UPDATED SITE PLAN	8/3/2019	D.K.H.
2	REVISED AS PER CITY OF BRAMPTON COMMENTS (AUG. 24th 2018) AND AS PER UPDATED SITE PLAN	8/3/2019	D.K.H.

PROPOSED COMMERCIAL DEVELOPMENT FOR MAYFIELD ARCADEIUM CENTER

8461 MAYFIELD ROAD
CITY OF BRAMPTON

FILE No. C07E17.010

GRADING PLAN

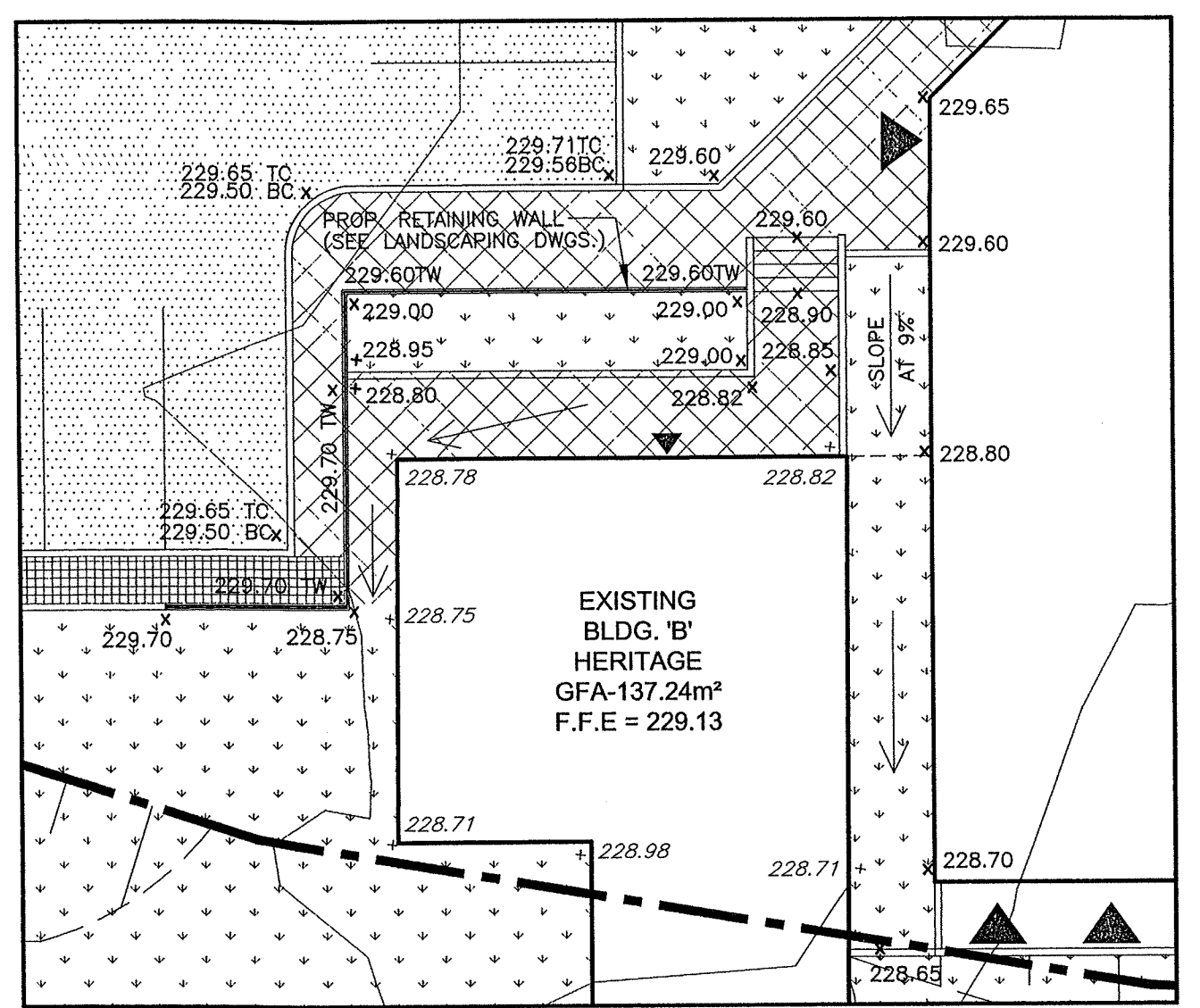
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T.M.J./D.K.H.

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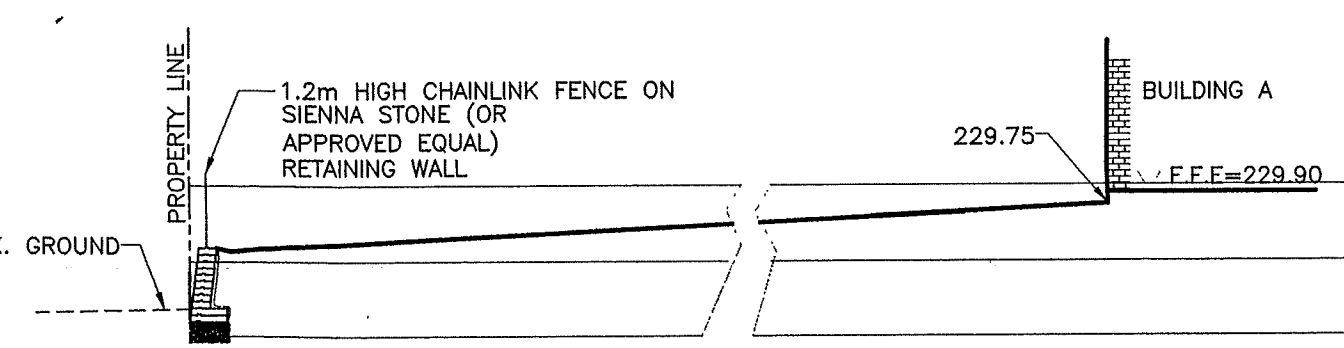
DATE: MAR., 15th 2018

PROJECT No. W16073

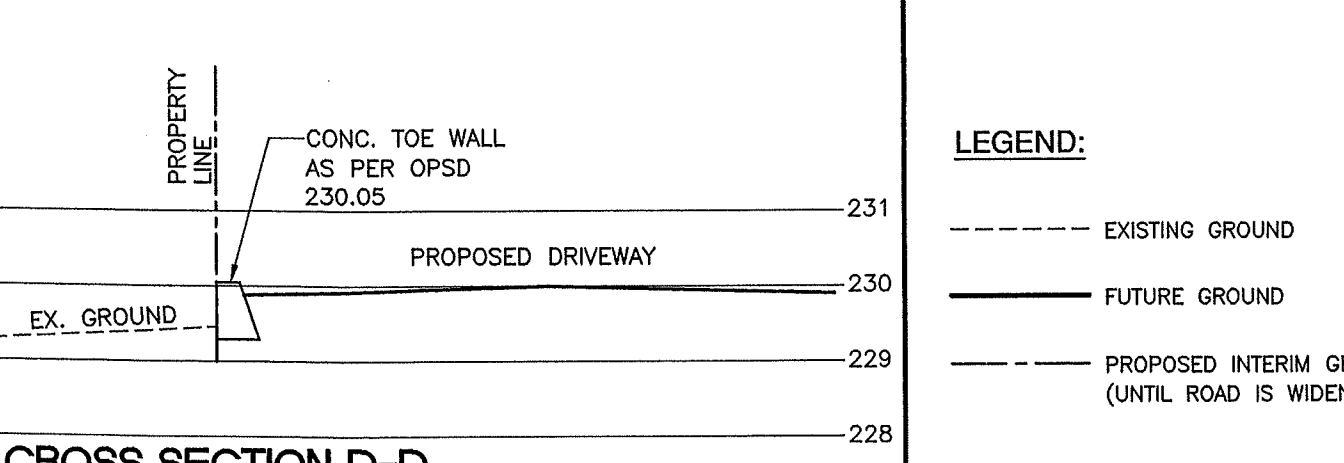
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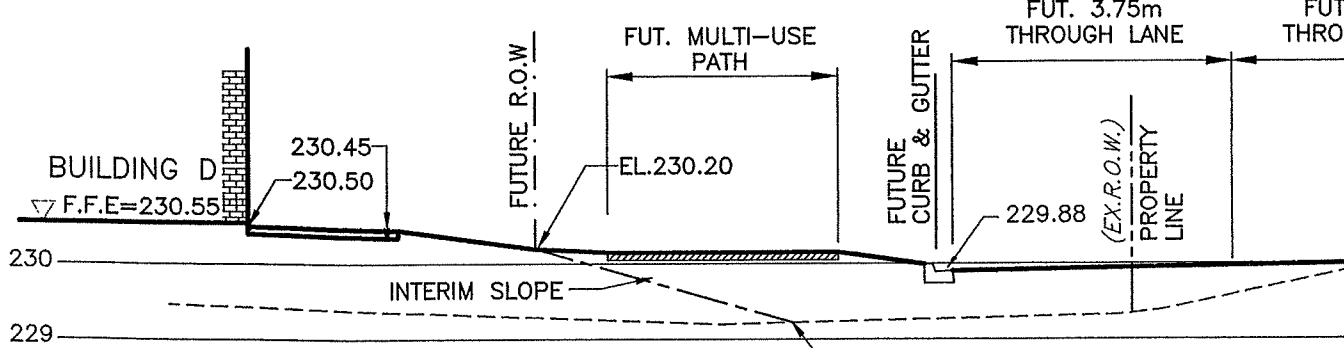
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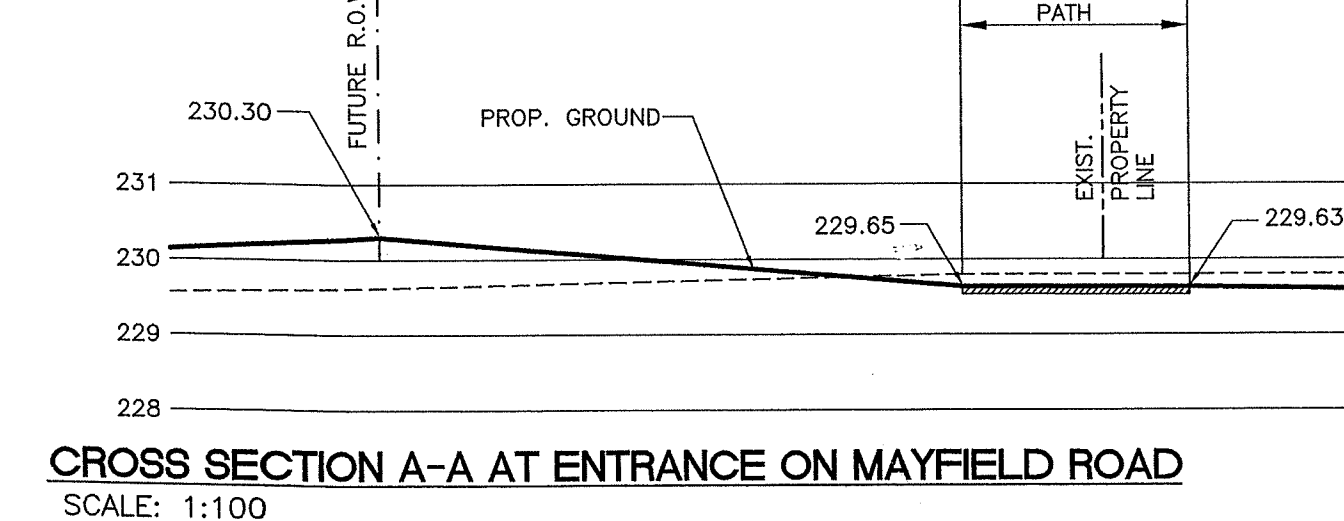
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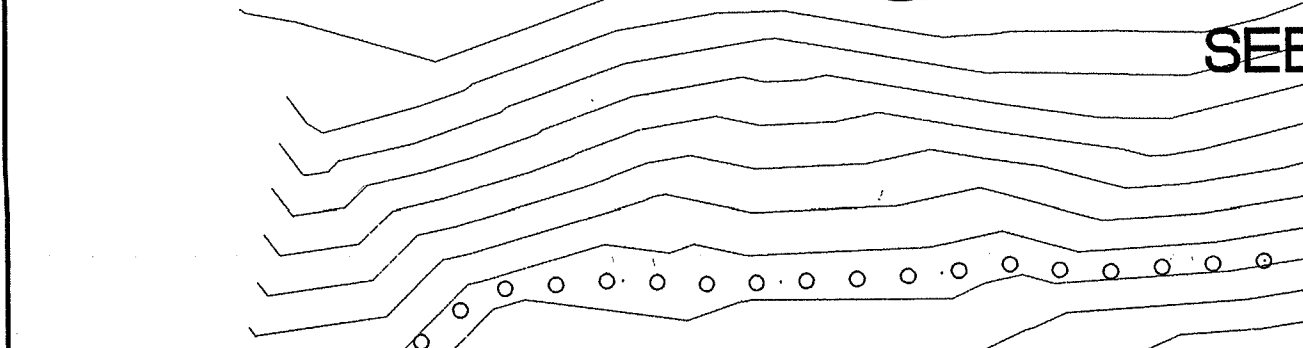
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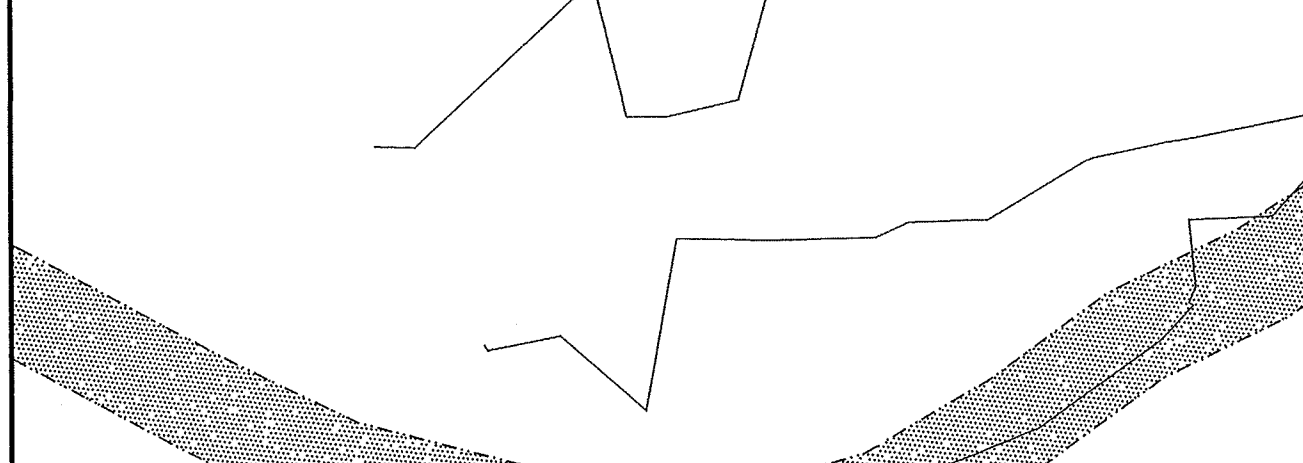
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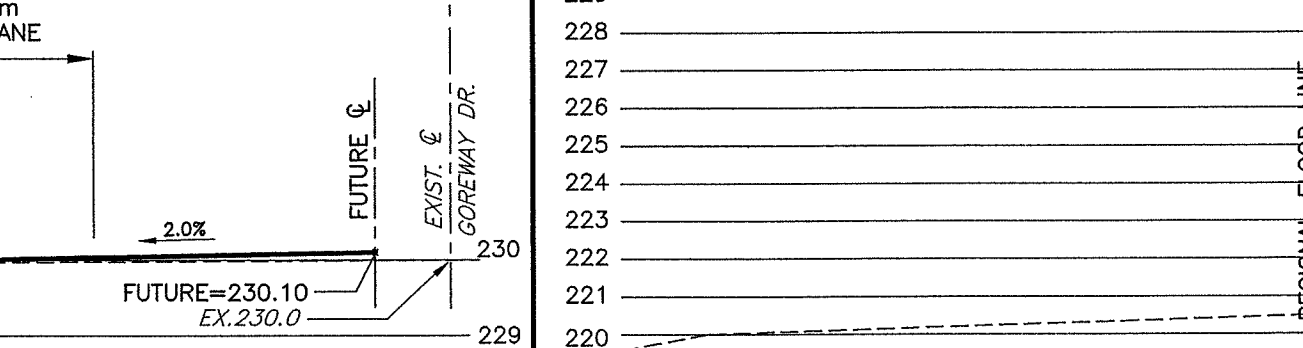
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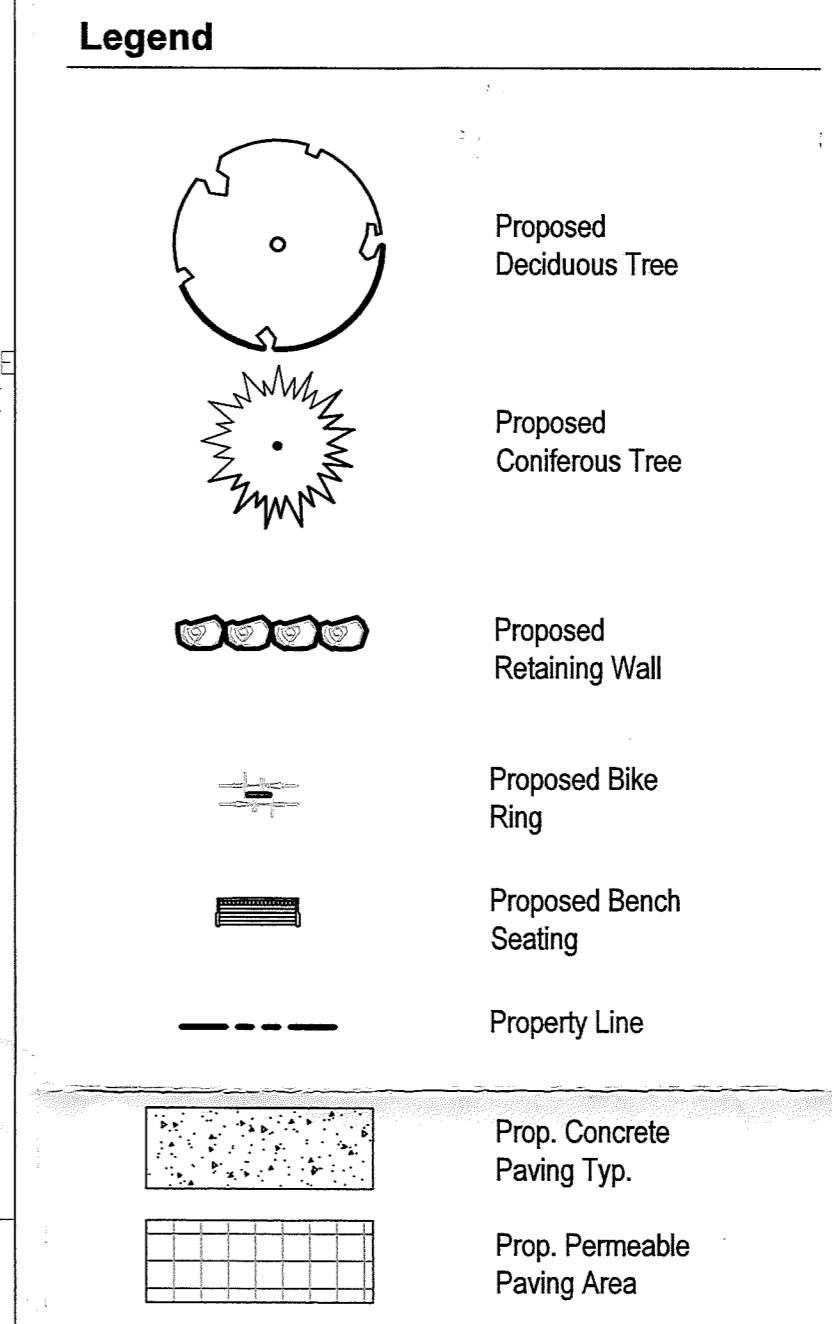
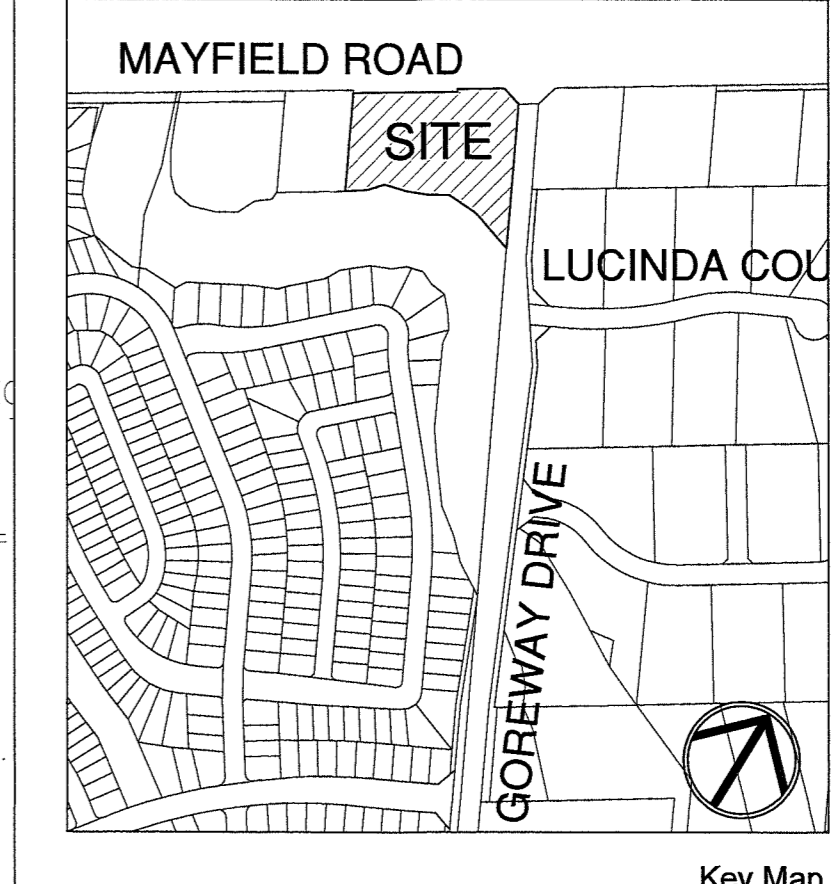
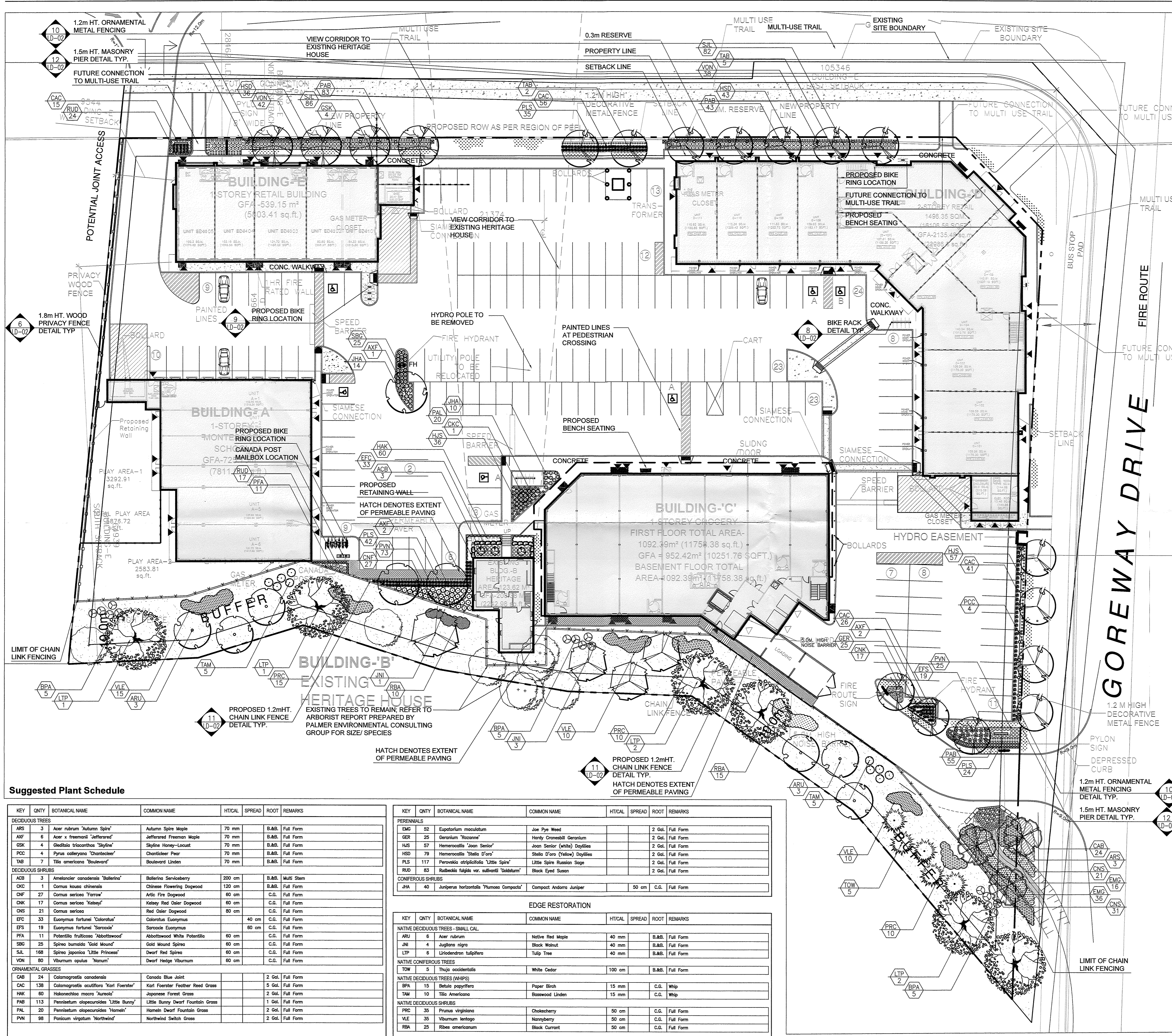
CROSS SECTION G-G
SCALE: 1:200



CROSS SECTION C-C AT MAYFIELD ROAD
SCALE: 1:100



CROSS SECTION F-F
SCALE: 1:100



This document forms part of a permit under Ontario Regulation 166/06 APPROVED BY TRCA on AUG 09 2019

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 www.narchitecture.com

Municipality:
BRAMPTON
 FLOWER CITY

Notes:

10	Revised per Site Plan	06/24/19
09	Revised per Site Plan	04/24/19
08	Issued for Review	04/09/19
07	Issued for Review	03/22/19
06	Revised per Site Plan	02/13/18
05	Revised per Site Plan	02/13/18
04	Revised per Site Plan	02/13/18
03	Revised per Site Plan	02/06/18
02	Revised per Site Plan	02/02/18
01	Concept Development	01/23/18

No. Revision Date

Suggested Plant Schedule

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HTICAL	SPREAD	ROOT	REMARKS
DECIDUOUS TREES							
ARS	3	Acer rubrum 'Autumn Spire'	Autumn Spire Maple	70 mm		B.&B.	Full Form
AXF	6	Acer x freemanii 'Jefferson'	Jefferson Freeman Maple	70 mm		B.&B.	Full Form
CSK	4	Ostrya tylosantha 'Skyline'	Skyline Honey-Locust	70 mm		B.&B.	Full Form
PCD	4	Pinus caleyana 'Chanticleer'	Chanticleer Pear	70 mm		B.&B.	Full Form
TAB	7	Tilia americana 'Boulevard'	Boulevard Linden	70 mm		B.&B.	Full Form
DECIDUOUS SHRUBS							
ACB	3	Amenolacis canadensis 'Ballerina'	Ballerina Serviceberry	200 cm		B.&B.	Multi Stem
CXC	1	Cornus kousa chinensis	Chinese Flowering Dogwood	120 cm		B.&B.	Full Form
DHF	27	Cornus sericea 'Farrow'	Arctic Fire Dogwood	60 cm		C.G.	Full Form
DNK	17	Cornus sericea 'Kelsey'	Kelsey Red Osier Dogwood	60 cm		C.G.	Full Form
ONS	21	Cornus sericea	Red Osier Dogwood	80 cm		C.G.	Full Form
ETC	33	Euconymus fortunei 'Coloratus'	Coloratus Euonymus	40 cm		C.G.	Full Form
EFS	19	Euconymus fortunei 'Sarcosis'	Sarcosis Euonymus	60 cm		C.G.	Full Form
PFA	11	Potentilla fruticosa 'Abbotswood'	Abbotswood White Potentilla	60 cm		C.G.	Full Form
SBQ	25	Spiraea bumalda 'Gold Mound'	Gold Mound Spiraea	60 cm		C.G.	Full Form
SAL	168	Spiraea japonica 'Little Princess'	Dwarf Red Spiraea	60 cm		C.G.	Full Form
VON	80	Viburnum opulus 'Nanum'	Dwarf Hedge Viburnum	60 cm		C.G.	Full Form
ORNAMENTAL GRASSES							
CAB	24	Calamagrostis canadensis	Canada Blue Joint			2 Gal.	Full Form
CAC	138	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass			5 Gal.	Full Form
HAK	60	Hakonechloa macro 'Aureola'	Japanese Forest Grass			2 Gal.	Full Form
PAB	113	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass			1 Gal.	Full Form
PAL	20	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass			2 Gal.	Full Form
PVN	98	Panicum virgatum 'Northwind'	Northwind Switch Grass			2 Gal.	Full Form

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HTICAL	SPREAD	ROOT	REMARKS
PERENNIALS							
EMG	52	Eupatorium maculatum	Joe Pye Weed			2 Gal.	Full Form
GER	25	Geranium 'Bozanne'	Hardy Cranesbill Geranium			2 Gal.	Full Form
HLS	57	Hemerocallis 'Joan Senior'	Joan Senior (white) Daylilies			2 Gal.	Full Form
HSD	79	Hemerocallis 'Stella D'oro'	Stella D'oro (Yellow) Daylilies			2 Gal.	Full Form
PLS	117	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			2 Gal.	Full Form
RUD	83	Rudbeckia fulgida var. 'sulfurata'	Black Eyed Susan			2 Gal.	Full Form
CONIFEROUS SHRUBS							
JHA	40	Juniperus horizontalis 'Plumosa Compacta'	Compact Andorra Juniper		50 cm	C.G.	Full Form
EDGE RESTORATION							
NATIVE DECIDUOUS TREES - SMALL GAL.							
ARU	6	Acer rubrum	Native Red Maple	40 mm		B.&B.	Full Form
JNI	4	Juglans nigra	Black Walnut	40 mm		B.&B.	Full Form
LTP	6	Liriodendron tulipifera	Tulip Tree	40 mm		B.&B.	Full Form
NATIVE CONIFEROUS TREES							
TOW	5	Thuja occidentalis	White Cedar	100 cm		B.&B.	Full Form
NATIVE DECIDUOUS TREES (WHIPS)							
BPA	15	Betula papyrifera	Paper Birch	15 mm		C.G.	Whip
TAM	10	Tilia americana	Basewood Linden	15 mm		C.G.	Whip
NATIVE DECIDUOUS SHRUBS							
PRC	35	Prunus virginiana	Chokecherry	50 cm		C.G.	Full Form
VLE	35	Viburnum lentago	Nannyberry	50 cm		C.G.	Full Form
RBA	25	Ribes americanum	Black Currant	50 cm		C.G.	Full Form

Project:
Mayfield Arcadium Centre Development
 6401 Mayfield Road
 Brampton, Ontario

Scale: 1:300 Date: Jan. 2018

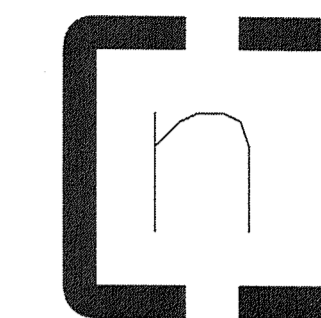
Drawn By: S.L. Checked By: L.M.

Drawing Title:
Landscape Master Plan

Project No. 18109 Sheet No. L1-01

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Municipality:



Notes:

LANDSCAPE SPECIFICATIONS
 CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.

ROUGH GRADING
 ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTHLY ALL TOPS AND TOES OF SLOPES. COMPACT ALL AREAS TO 90% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS SET OUT.

FINE GRADING
 FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 3:1 (30% (3:1)).

SPREADING OF TOPSOIL
 SCARIFY THE SUBSOIL PRIOR TO THE SPREADING OF TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE-TEXTURED EVEN SURFACE. ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE. TOPSOIL IS TO BE COMPACTED TO CREATE A FIRM AND EVEN SURFACE.

SOD
 USE NO. 1 GRADE TURFGRASS NURSERY SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF COMPACTED TOPSOIL. AND SHALL BE SODDED WITH #1 KENTUCKY BLUEGRASS - FESCUE. NO SOD SLOPES ARE TO EXCEED 3:1. SLOPE IN EXCESS OF 4:1 TO BE PEGGED.

MINERAL FERTILIZER
 APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER REQUIREMENTS:
 1. SODDED AREAS - 11% NITROGEN, 8% PHOSPHORUS AND 4% POTASH (11-8-4) AT THE RATE OF 4.5 KG OVER M² (10 LBS OVER 1000 SQ. FT.)
 2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (4 OZ.) FOR EVERY BUSH/EL. OF TOPSOIL.

PREPARATION OF PLANTING BEDS
 ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. MIN 400MM (16") BACKFILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTING OF 80% (8 PARTS) OF SAND/LOAM, ONE (1) PART OF FINELY PULVERIZED PEAT MOSS, TWO (2) PARTS OF WELL-ROTTED MANURE AND THE MINERAL FERTILIZER AS SPECIFIED ABOVE. ALSO ADD 38 KILOGRAMS (84 POUNDS) OF PLANTING SOIL (1 LB/CUBIC YARD). PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE JOB SITE.

NOTE: IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

PLANT MATERIALS
 ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND SPECIES.
 ALL SHRUB AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, SB OR BR, UNLESS OTHERWISE NOTED. BARE ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OR LATE FALL PLANTING SEASON. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

LANDSCAPE SPECIFICATIONS
 SCALE: N.T.S. DATE: 1 LD-01

PLANT MATERIAL INSTALLATION
 ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE PLANTED AS DETAILED & AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 75mm (3"), FOR GUYNING AND STAKING TREES, REFER TO PLANTING DETAILS. WRAP ALL DECIDUOUS TREES UNDER EXPERIENCED SUPERVISION ONLY TO THE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION.

PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING.

THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.

* MULCH - SHREDDED PINE MULCH BY "GRO BARK" OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE INSTALLATION.

GENERAL MAINTENANCE
 PROPER MAINTENANCE PROCEDURES ARE TO BE FULLY ADMINISTERED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK IN ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS (SECTION 16 - MAINTENANCE WORK). THIS SHALL APPLY ONLY DURING THE CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOD AND PLANTING UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

RODENT PROTECTION
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM RODENT INJURY FOR THE DURATION OF GUARANTY PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS TO BE 100MM DIA. PVC PIPE OR AS MUNICIPAL GUIDELINES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 20MM (3/4") OUT FROM THE TREE TRUNK ON ALL SIDES.

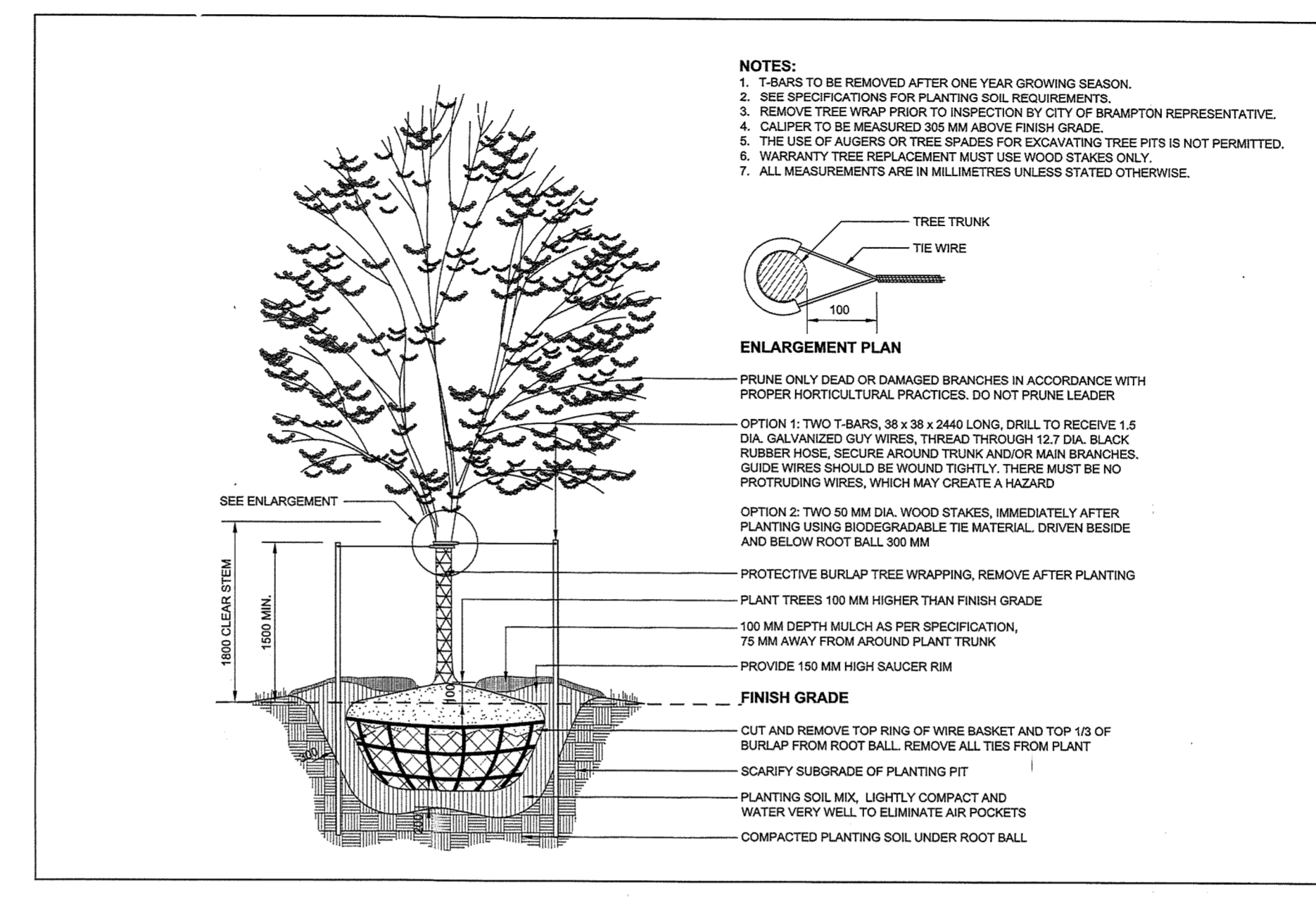
ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

GENERAL REQUIREMENTS
 USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION, THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO AND WITH THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIAL TRUE TO NAME, SIZE AND GRADE AS SPECIFIED ON PLANTING PLAN. PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN OR BUNDLE.

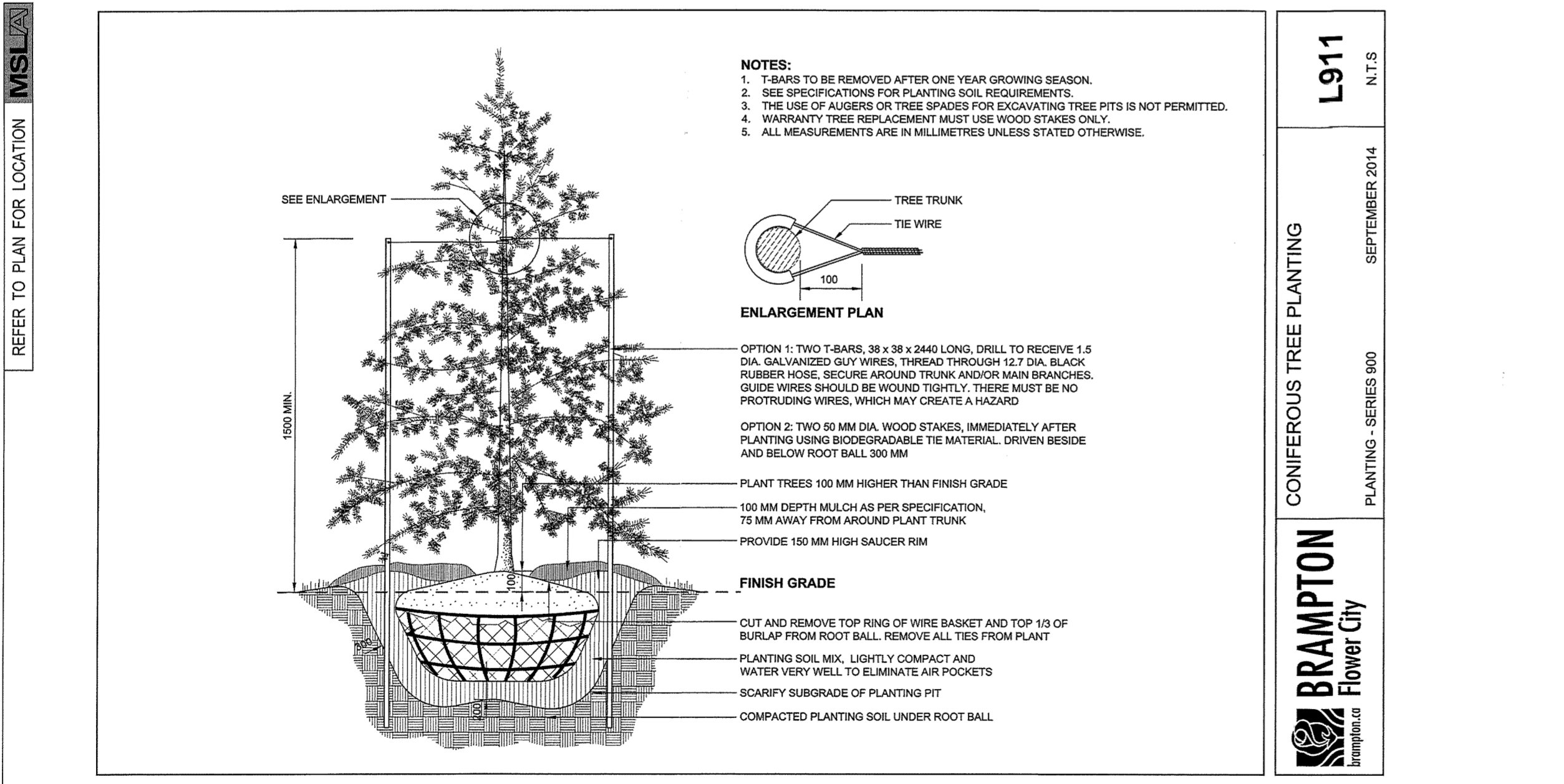
OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VISIBLE FREE FROM PEST AND DISEASE AND UNDEMANAGED. CHECK LOCATIONS AND OBTAIN STAKEOUTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF CONSTRUCTION. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PROCESS AND COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERCEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO REVIEW ALL DOCUMENTS.

GUARANTEE PERIOD
 PROVIDE ONE FULL YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS DEPENDING ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

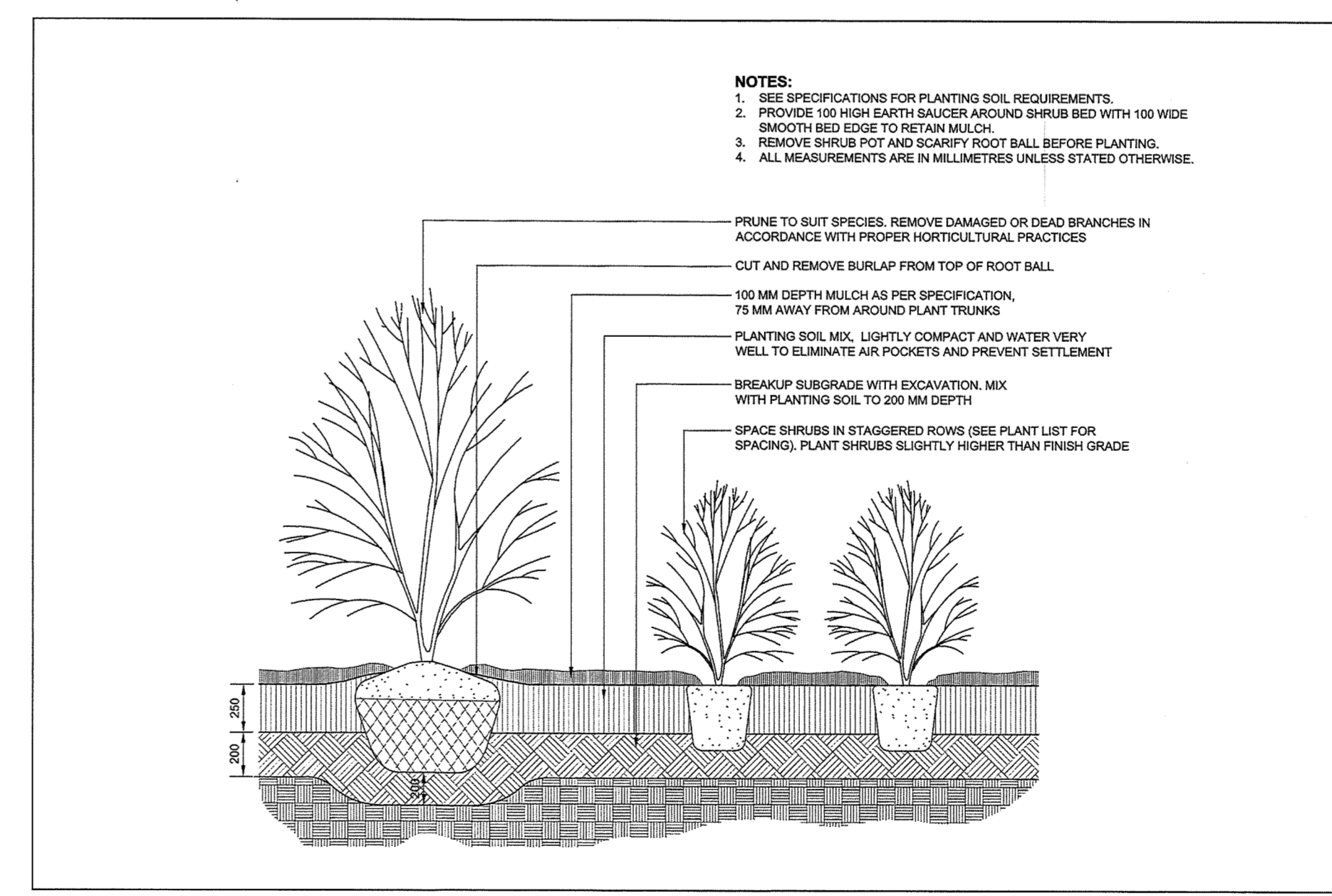
PLANT MATERIAL INSTALLATION
 SCALE: N.T.S. DATE: 2 LD-01



DECIDUOUS TREE PLANTING
 SCALE: N.T.S. CITY OF BRAMPTON 3 LD-01



CONIFEROUS TREE PLANTING
 SCALE: N.T.S. CITY OF BRAMPTON 4 LD-01

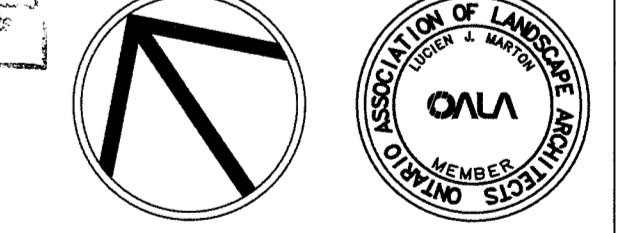


MULTI-STEM SHRUB AND MASS SHRUB PLANTING
 SCALE: N.T.S. CITY OF BRAMPTON 5 LD-01

RECEIVED
 JUL 22 2019
 Terms and Region Conservation Authority

No.	Revision	Date
10	Revised per Site Plan	06/24/19
09	Revised per Site Plan	04/24/19
08	Issued for Review	04/09/19
07	Issued for Review	03/22/19
06	Revised per Site Plan	02/13/18
05	Revised per Site Plan	02/13/18
04	Revised per Site Plan	02/13/18
03	Revised per Site Plan	02/06/18
02	Revised per Site Plan	02/02/18
01	Concept Development	01/23/18

North: Stamp:



Project:
Mayfield Arcadium Centre Development
 6401 Mayfield Road
 Brampton, Ontario

Scale: **As Shown** Date: **Jan. 2018**
 Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:
Landscape Details

Project No. **18109** Sheet No. **LD-01**

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