



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-092

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** HARTEHAL SINGH GILL, BALJINDER Kaur Gill
Address 11 REDWILLOW RD., BRAMPTON, ON, L6P 2A4

Phone # (289) 242-3583 **Fax #**
Email rubansinghgill@live.ca

2. **Name of Agent** VALIUDDIN MOHAMMED
Address Mechways Inc., 6 RIPON ST., Mississauga, ON L4T 1E2

Phone # 416 627 4100 **Fax #**
Email INFO@MECHWAYS.COM

3. **Nature and extent of relief applied for (variances requested):**

1. Seeking relief to allow a deck to encroach into a minimum rear, leaving a minimum rear yard setback of 2.37 m to the rear lot line.

2. Seeking relief to allow a roof structure to encroach into a minimum rear yard, leaving a minimum rear yard setback of 2.24 m to the rear lot line.

4. **Why is it not possible to comply with the provisions of the by-law?**

The rear yard setback for the property is 6m. As per section 6.13 of the Zoning By-law, Deck can encroach rear yard by 3m, but can be located no closer than 3metres to the rear lot line. Also a roof structure can encroach into the required yard by a maximum of 2

5. **Legal Description of the subject land:**
Lot Number 270
Plan Number/Concession Number M1633
Municipal Address 11 REDWILLOW RD, BRAMPTON, ON, L6P 2A4

6. **Dimension of subject land (in metric units)**
Frontage 16.33
Depth 24.67
Area 402.86

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area 115.30sqm Gross Floor Area 367.03 sqm Number Of Storeys 2 Height Of Building 5.48 m
--

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area 115.30sqm Gross Floor Area 367.03 sqm Number Of Storeys 2 Height Of Building 5.48 m
--

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.04m	_____
Rear yard setback	6 m	_____
Side yard setback	0.6m	_____
Side yard setback	2.75m	_____

PROPOSED

Front yard setback	6.04m	_____
Rear yard setback	6 m	_____
Side yard setback	0.6m	_____
Side yard setback	2.75m	_____

10. Date of Acquisition of subject land: 2022

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: _____

14. Date of construction of all buildings & structures on subject land: 2007

15. Length of time the existing uses of the subject property have been continued: Since 2007

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

- (b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

- (c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Mississauga _____

THIS 28 DAY OF March, 20 24.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE city OF Mississauga

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

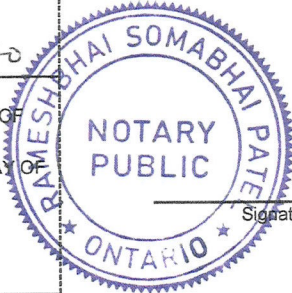
DECLARED BEFORE ME AT THE

City OF Toronto

IN THE Province OF

Ontario THIS 28th DAY OF

March, 20 24



VALIUDDIN MOHAMMED
MOHAMMED
ED
Digitally signed by VALIUDDIN MOHAMMED
DN: cn=VALIUDDIN MOHAMMED, o=MECHWAYS INC,
email=mechways@mechways.com, c=CA
Date: 2024.03.28 10:24:46 -0400

Signature of Applicant or Authorized Agent

Rameshbhai Somabhai Patel
Ramesh Patel & Associate Lawyers
Professional Corporation
127 Westmore Dr. Unit # 101,
Toronto, ON. M9V 3Y6
Tel: 416-742-2999 Fax: 416-742-3888
mail@rplawoffice.net

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	R1C-1820
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
Shiza Athar Zoning Officer	2024/04/29 Date

DATE RECEIVED May 29 2024
Clara

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 11 REDWILLOW RD, BRAMPTON, ON, L6P 2A4

I/We, Hartehal Gill Baljinder Gill MG
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

VALIUDDIN MOHAMMED/MECHWAYS INC.

please print/type the full name of the agent(s)

to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.

Dated this 20th day of April, 2021.

[Signature]
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner)

(where the owner is a firm or corporation, please print or type the full name of the person signing)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

SURVEYOR'S REAL PROPERTY REPORT

PART 1

**PLAN OF LOTS 270, 271, 272,
273 AND 274**

PLAN 43M-1633

**CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- PL DENOTES PLAN 43M-1633
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL FOUND MONUMENTS BY J. D. BARNES LIMITED., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE GRID AND ARE REFERRED TO THE
SOUTHEAST LIMIT OF CALDERSTONE ROAD AS SHOWN ON
PLAN 43M-1633 HAVING A BEARING OF N39°17'50"E

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 26th DAY OF July, 2004

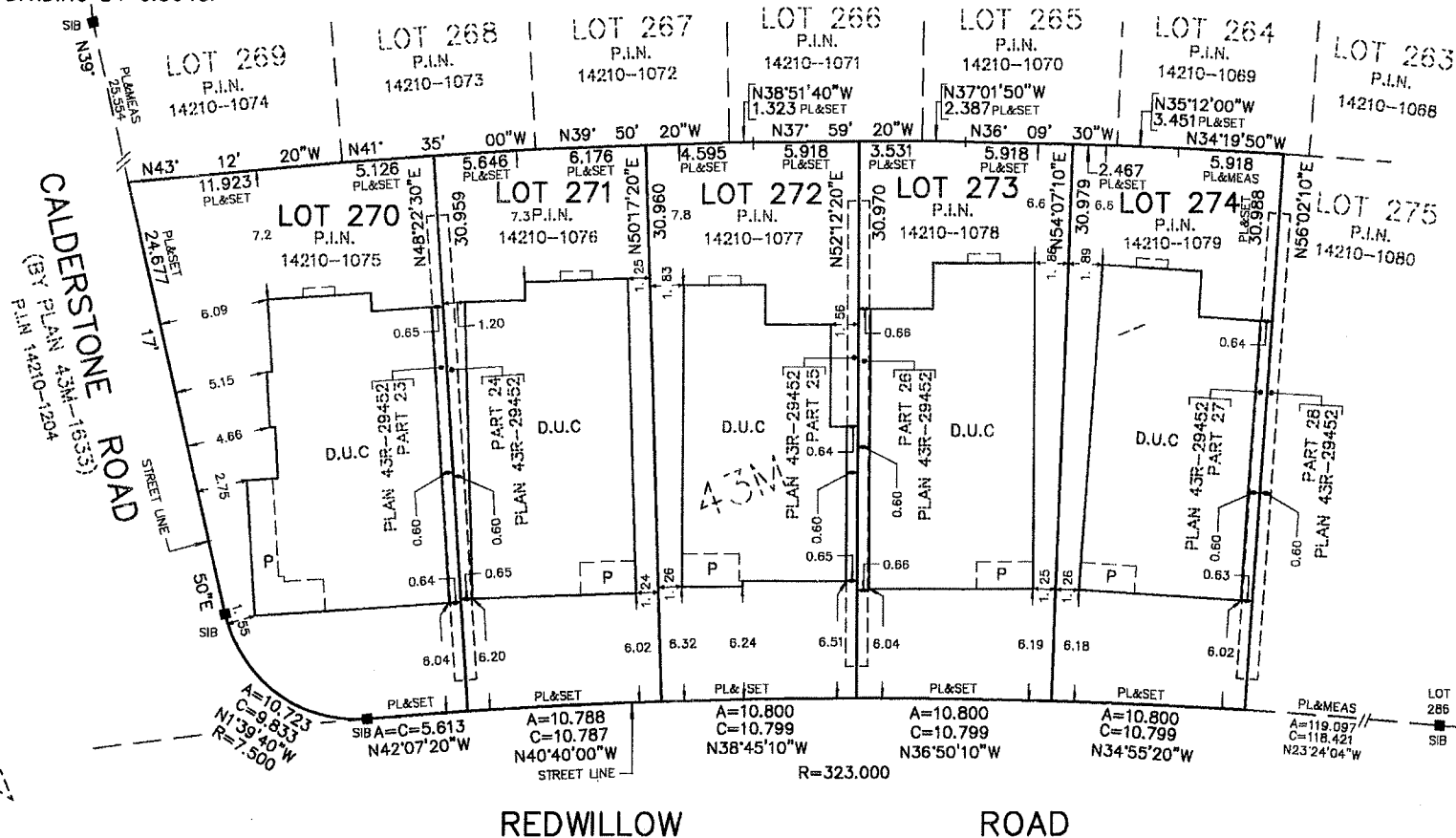
DATE Sept. 24th 2004

T. Singh
T. SINGH
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1531517



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).



1633

PLAN

THIS REPORT WAS PREPARED FOR
HIGHCASTLE HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

© RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2004

REDWILLOW

ROAD

(BY PLAN 43M-1633)
P.I.N. 14210-1215

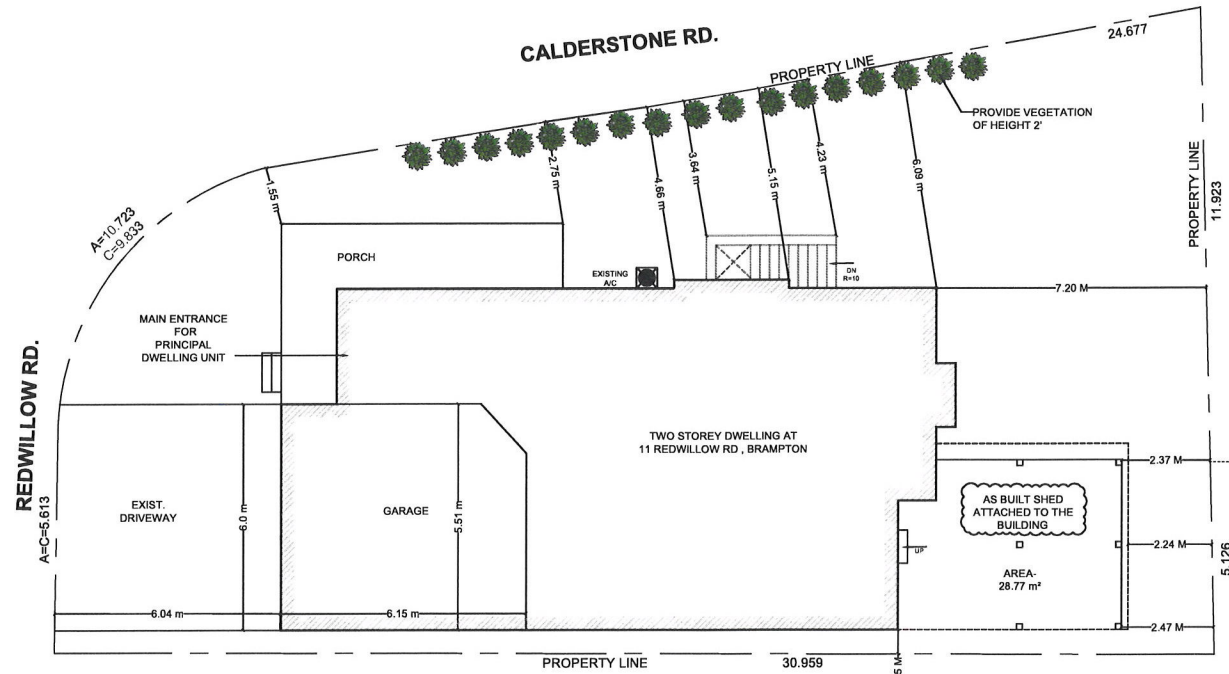


RADY-PENTEK & EDWARD SURVEYING LTD.

ONTARIO LAND SURVEYORS
465 WILSON AVENUE, DOWNSVIEW, ONTARIO
Tel. (416)635-5000 Fax (416)635-5001
Website: www.rpesurveying.ca

DRAWN: V.K.
CAD FILE No. 1633-270

CHECKED: T.S.
JOB No. 04-136



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A. PRINCIPAL RESIDENCE

EXISTING GROUND FLOOR GFA = 115.30 m²
 EXISTING SECOND FLOOR GFA = 144.51 m²

B. BASEMENT

BASEMENT G.F.A = 107.22 m²
 OWNER AREA = 17.37 m²
 TENANT AREA = 89.85 m²

ENTRANCE / EGRESS

SCOPE OF WORK

- ① PROP. BASEMENT APARTMENT
- ② ENLARGEMENT OF ONE WINDOW
- ③ PROP. ONE NEW WINDOW
- ④ PROP. BELOW GRADE ENTRANCE
- ⑤ LEGALIZATION OF AS BUILT SHED

AREA STATISTICS:

LOT COVERAGE

LOT AREA	= 4725.44 ft ²	= 439.00 m ²
DWELLING FOOTPRINT INCLUDING PORCH	= 1813.28 ft ²	= 168.46 m ²
SHED FOOTPRINT	= 309.71 ft ²	= 28.77 m ²
TOTAL	= 2122.99 ft ²	= 197.23 m ²
LOT COVERAGE	= 44.92%	

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	APR 29 2024
2	REVISION	MAR 22 2024
1	ISSUED FOR BUILDING PERMIT	FEB 25 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4T 2S6
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

SHEET TITLE:

SITE PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1:150
 DATE: FEB 25 2024

DRAWING:

A0.1



EXTERIOR SIDE ELEVATION

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	APR 29 2024
1	ISSUED FOR BUILDING PERMIT	FEB 25 2024

ENGINEER:



ADDRESS : 6 RIFON ET, MISSISSAUGA, ON L4T 2G8
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

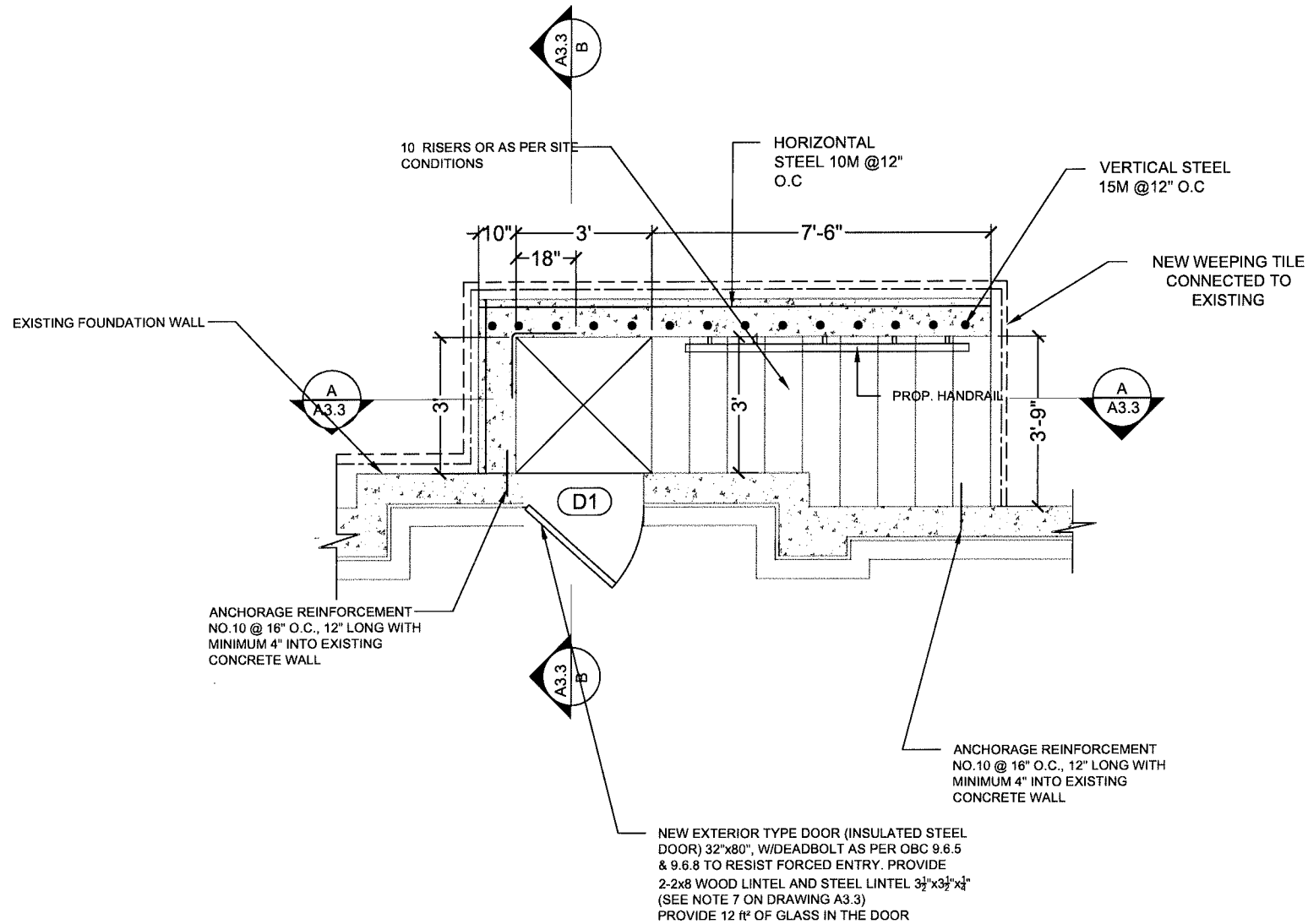
SHEET TITLE:

EXTERIOR SIDE ELEVATION

CHECKED: SS
 DRAWN: MA
 SCALE: 1/4" = 1'
 DATE: FEB 25 2024

DRAWING:

A2.2



GENERAL NOTES:

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NO.	DESCRIPTION	DATE
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ENGINEER:

Mechways Inc.
 ADDRESS : 6 RYDEN ST, MISSISSAUGA, ON L4T 2E6
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

SHEET TITLE:

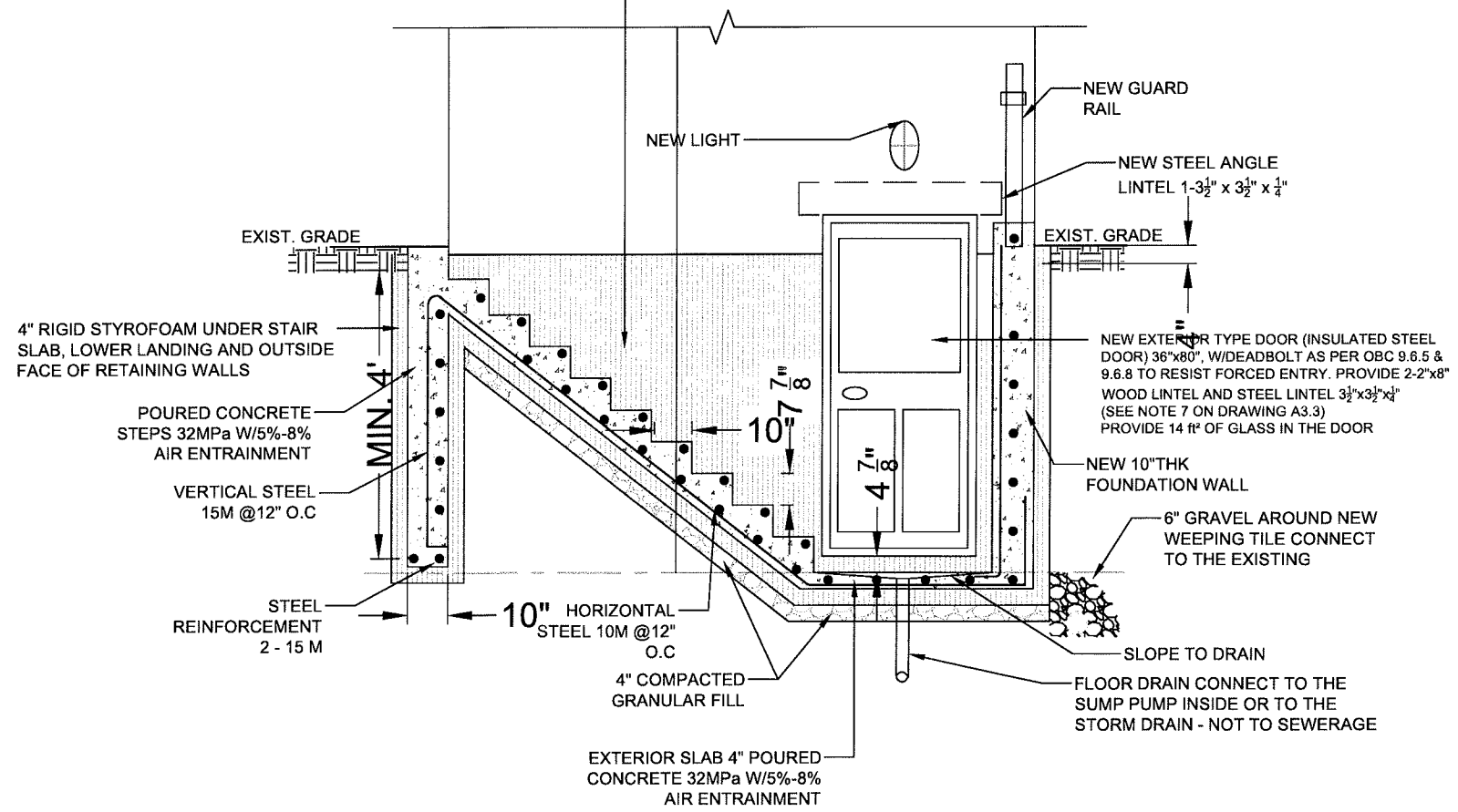
WALKOUT PLAN

CHECKED: SB
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: FEB 25 2024

DRAWING:

A3.1

1. INSTALL MINIMUM R10, 2" RIGID INSULATION ON EXISTING FOUNDATION WALL MIN. 4 FT ABOVE EXISTING FOOTING
2. INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER THE STEPS.
3. COVER INSULATION WITH 1/2" CEMENT BOARD AND SECURE TO WALL USING FENDER WASHER & HEX HEAD CONCRETE SCREWS 1/4"x4"
4. INSTALL 2-1/2" GALVANIZED "J" TRACK TO SECURE & PROTECT ALL EXPOSED EDGES
5. ALL JOINTS TO THE EXISTING WALL & NEW STEPS MUST BE CAULKED
6. APPLY SEAL GUARD TO ALL JOINTS ON CEMENT
7. PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



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ENGINEER:

Mechways Inc.
 ADDRESS : 8 RIFON ST, MISSISSAUGA, ON L4T 2E6
 TEL : 905-271-1100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

SHEET TITLE:
 SECTION A-A

CHECKED: SS
 DRAWN: MA
 SCALE: 3/8"=1'
 DATE: FEB 25 2024

DRAWING:
 A3.2

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
 - ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
 - ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
 - WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
 - EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
 - SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.
- 1. CONCRETE**
1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
 2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
 RUN 10" MINIMUM 14" MAXIMUM
 TREAD 10" MINIMUM 14" MAXIMUM
 TREAD SHOULD BE A MAX. OF 1" > RUN
 ADJUST STEP SIZE TO SUIT SITE

4. INSULATION

- 4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- 4B. PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

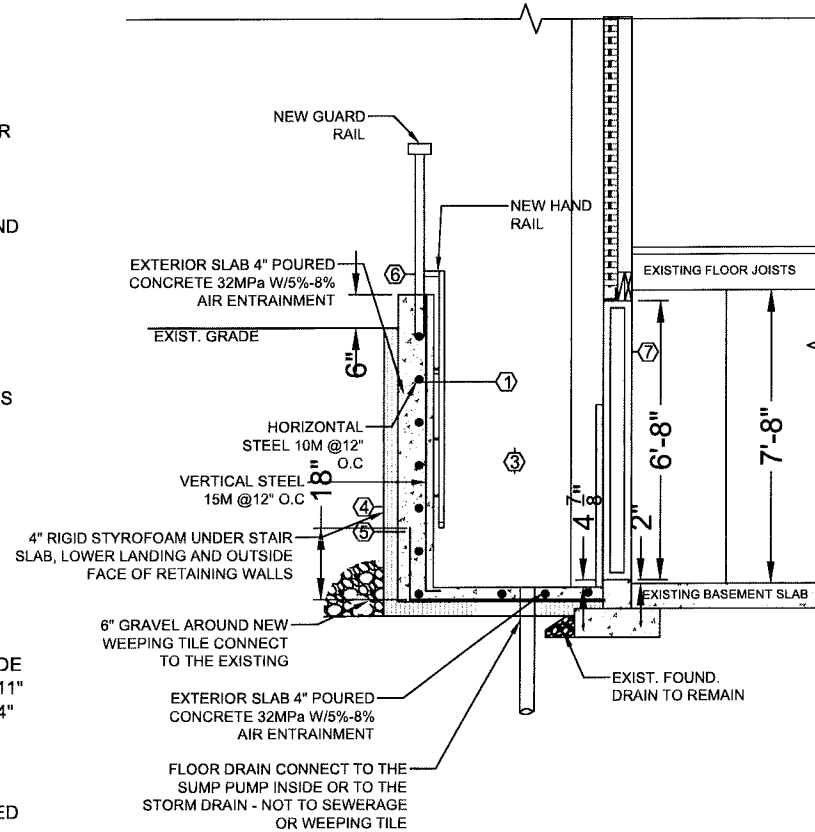
PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @ 12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS -

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

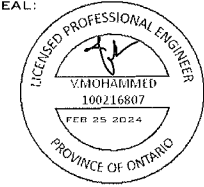
EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-10" x 6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
 WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
 STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
 ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM



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ENGINEER:

Mechways Inc.

ADDRESS : 6 GIFFORD ST. MISSISSAUGA, ON L4T 1B6
 TEL : 416-527-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
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 L6P 2A4

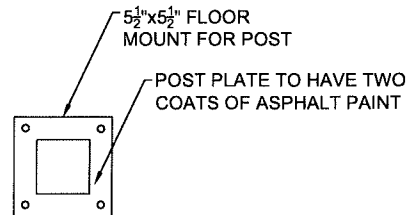
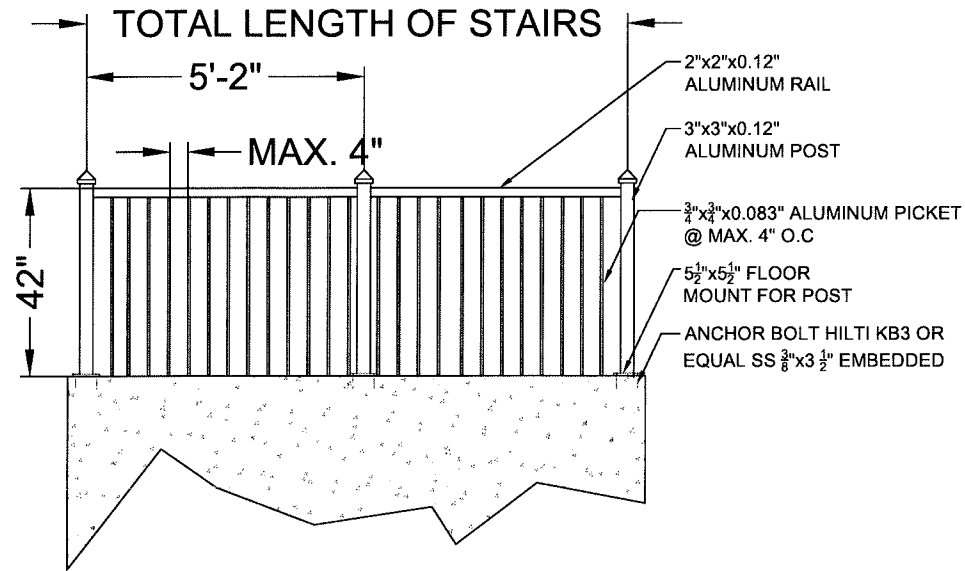
SHEET TITLE:

SECTION B-B

CHECKED: SS
 DRAWN: MA
 SCALE: 1:40
 DATE: FEB 25 2024

DRAWING:

A3.3



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 TEL: (905) 274-1100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

SHEET TITLE:

**GUARDRAIL
 DETAILS**

CHECKED: SS
 DRAWN: MA
 SCALE: 1" = 1'
 DATE: FEB 25 2024

DRAWING:

A3.4

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH		
LIVING, DINING/ KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
BEDROOMS	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYPSUM BD.			

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
- EGRESS DOOR - PROP. BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- EXISTING 8" CONC. FOUNDATION WALL MOISTURE BARRIER
2X4 SPF#2 STUDS @ 16" O.C WALL W/6MIL POLY WITH EXIST. INSULATION 6MIL POLY VAPOR BARRIER 3/4" GYPSUM BOARD
- NEW/ EXISTING DRYWALL - 1/2" GYPSUM BOARD, ON BOTH SIDES
2"x4" STUDS @16" OC
- EXISTING / PROPOSED CEILING
EXISTING CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SHALL SATISFIES THE HORIZONTAL FIRE SEPARATION REQUIREMENT 15 MINUTE F.R.R (1/2" GYPSUM BOARD). REMOVE 24"x48" CEILING TILE IF EXIST AND REPLACE WITH 1/2" GYPSUM BOARD CEILING
- 20 MIN. FIRE RESISTANCE RATED DOOR FOR WALL BETWEEN PRINCIPAL RESIDENCE AREA AND THE BASEMENT APARTMENT
- EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- MECHANICAL VENTILATION
24 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
CM WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER

RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.

RECEPTACLE

LIGHT

SPOT LIGHT

EMERGENCY LIGHT

FD: FLOOR DRAIN

SPRINKLER

DUCT TYPE SMOKE DETECTOR

SMOKE ALARM

CARBON MONOXIDE DETECTOR

EXHAUST FAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	FEB 25 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4T 2E8
TEL : 416-687-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
BRAMPTON, ON
L6P 2A4

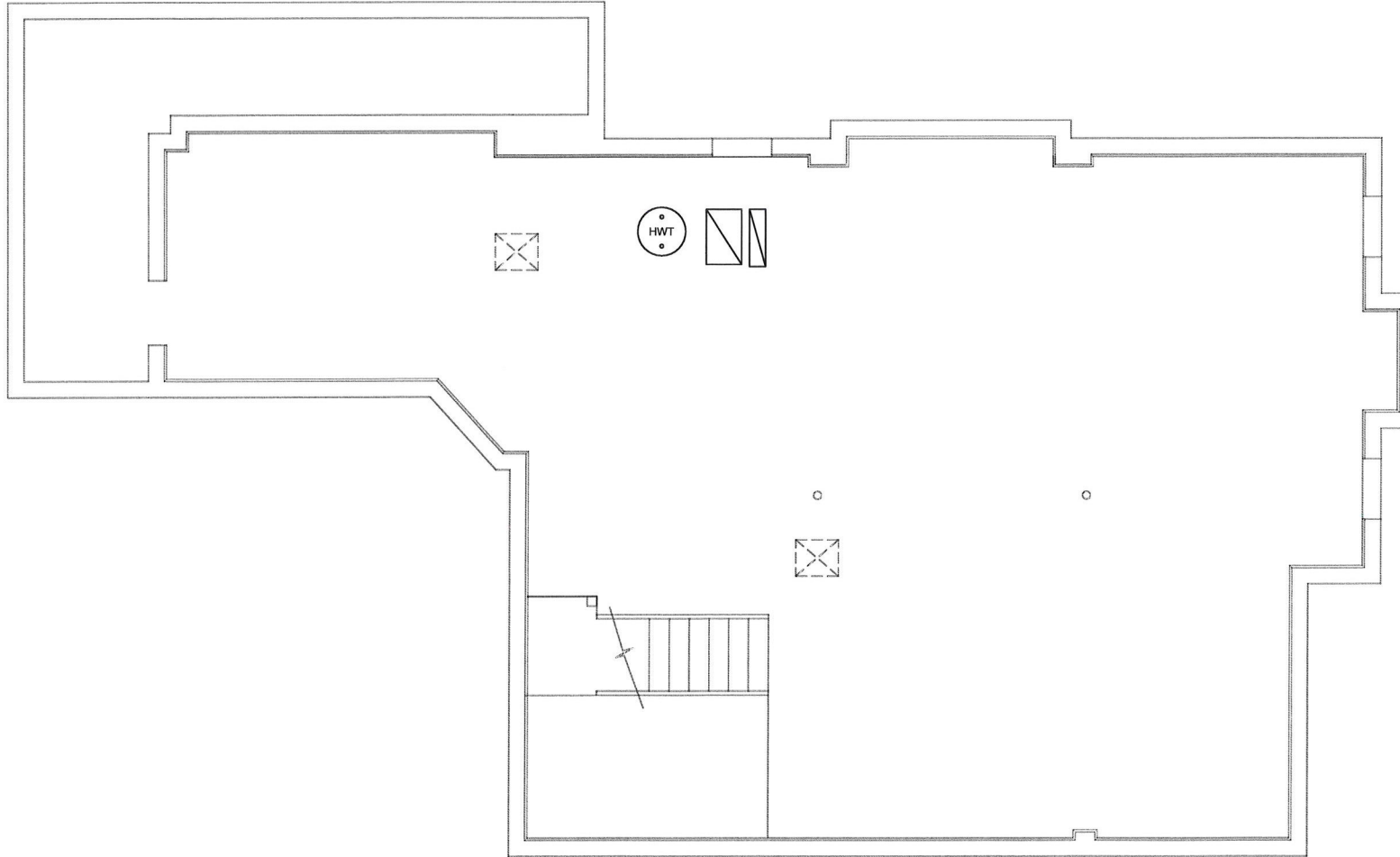
SHEET TITLE:

GENERAL NOTES

CHECKED: SS
DRAWN: MA
SCALE: NA
DATE: FEB 25 2024

DRAWING:

A4.1



GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	FEB 25 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
 ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 2B6
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

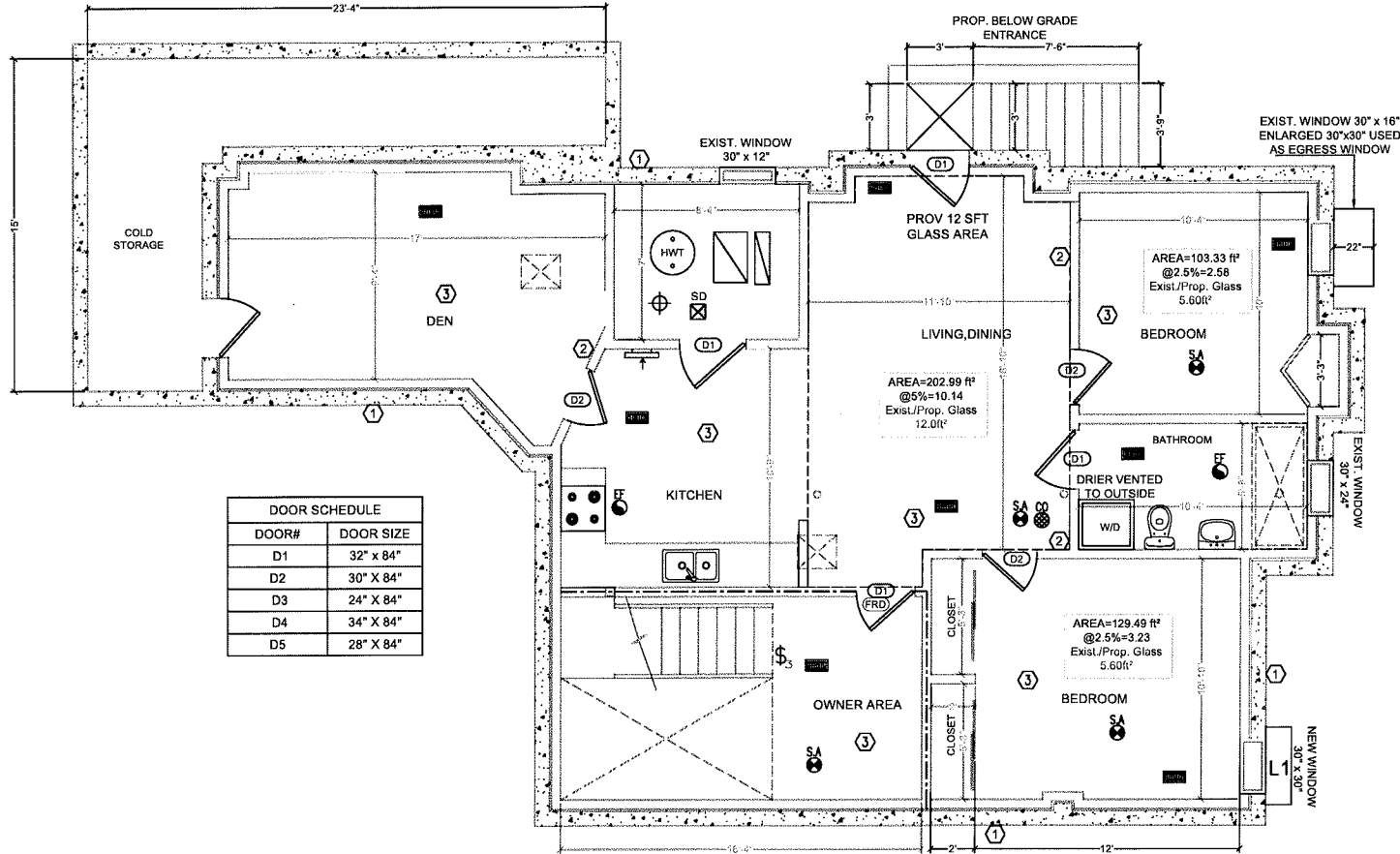
SHEET TITLE:

**EXIST.
 BASEMENT PLAN**

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: FEB 25 2024

DRAWING:

A1.1



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" X 84"
D2	30" X 84"
D3	24" X 84"
D4	34" X 84"
D5	28" X 84"

PROPOSED BASEMENT PLAN

BASEMENT G.F.A	= 1154.13 ft ² / 107.22 m ²
OWNER AREA	= 186.92 ft ² / 17.37 m ²
BASEMENT G.F.A	= 967.21 ft ² / 89.85 m ²
FIN. CEILING HEIGHT U/S OF JOISTS	= 7' - 9"
FIN. CEILING HEIGHT U/S OF DUCT	= 7' - 0"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

LEGEND	
	EXISTING FOUNDATION WALL
	DRY WALL
	PROVIDE 30 MINUTE F.R.R. (SB3 W/C 3/8 x 89 mm WOOD STUDS @ 610 mm O.C. W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEW/EXISTING WALL
	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
	SMOKE ALARMS W/ STROBE LIGHT INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	SPRINKLER
	NEW / EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN
	EMERGENCY LIGHT
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	PROVIDE 30 MINUTE F.R.R. (2 x 3/4" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
	LIGHT
	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
	L1 2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0 25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE

GENERAL NOTES:

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SEAL:

1	ISSUED FOR BUILDING PERMIT	FEB 25 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 16 ELDON ST, MISSISSAUGA, ON L4T 2E8
 TEL : 905-276-1100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

SHEET TITLE:

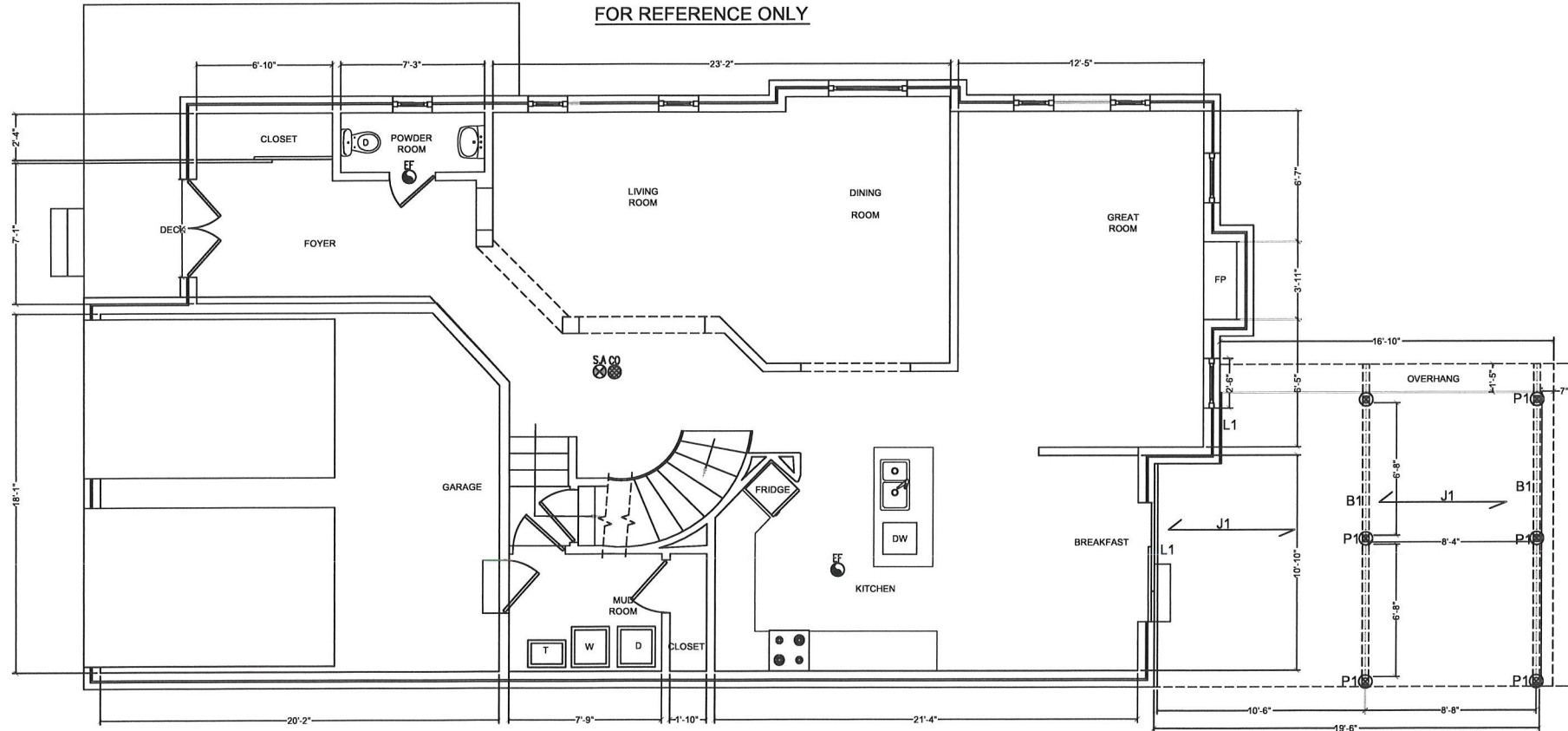
**PROP.
 BASEMENT PLAN**

CHECKED: SS
 DRAWN: MA
 SCALE: 1:75
 DATE: FEB 25 2024

DRAWING:

A1.2

FOR REFERENCE ONLY



GROUND FLOOR PLAN

SHED MATERIAL	
L1	2"x6" LEDGER LAG BOLT TO STRUCTURE WALL W/12.7MM DIA BOLTS @ 800 MM O.C
J1	JOIST 2"x6" @16" O.C. PRESSURE TREATED WOOD
SB 1	2" x 10" SOLID BLOCKING IN BETWEEN JOISTS @ 72" O.C
B1	2" x 8" PRESSURE TREATED WOOD BEAM
P1	8" DIAMETER CONCRETE PIER MINIMUM 4'-0" BELOW GRADE 4"x4" WOOD POST SECURED TO CONCRETE PIER W/METAL SHOE ANCHORED TO PIER MINIMUM 4" INTO CONCRETE

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	MAR 22 2024
1	ISSUED FOR BUILDING PERMIT	FEB 25 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4T 2G8
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

SHEET TITLE:

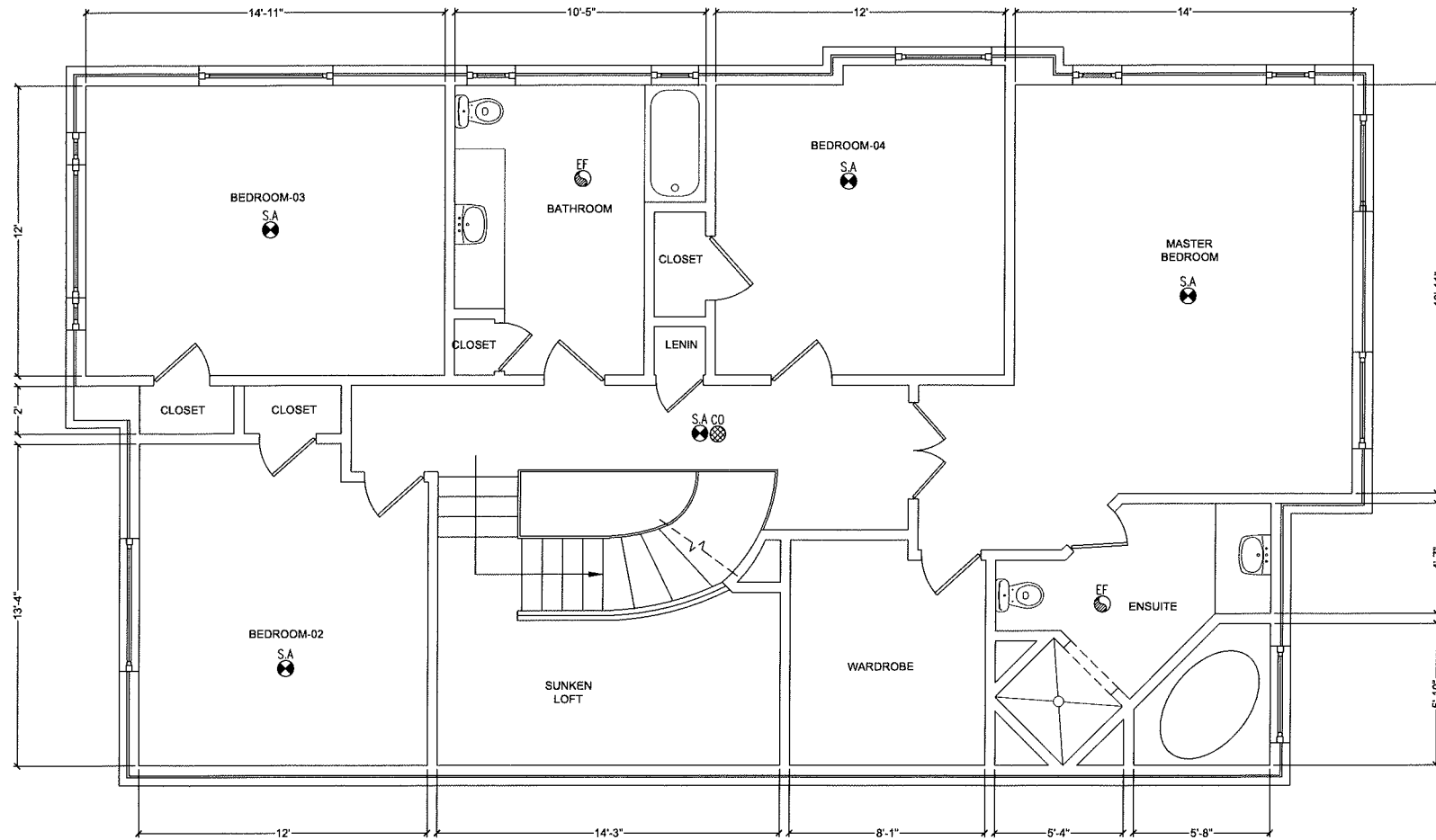
GROUND FLOOR
 PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1:75
 DATE: FEB 25 2024

DRAWING:

A1.3

FOR REFERENCE ONLY



SECOND FLOOR PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
 RESORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	FEB 25 2024

ENGINEER:

Mechways Inc.
 ADDRESS : 6 WILSON ST., MISSISSAUGA, ON L4T 2G8
 TEL : 478-827-2100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
 BRAMPTON, ON
 L6P 2A4

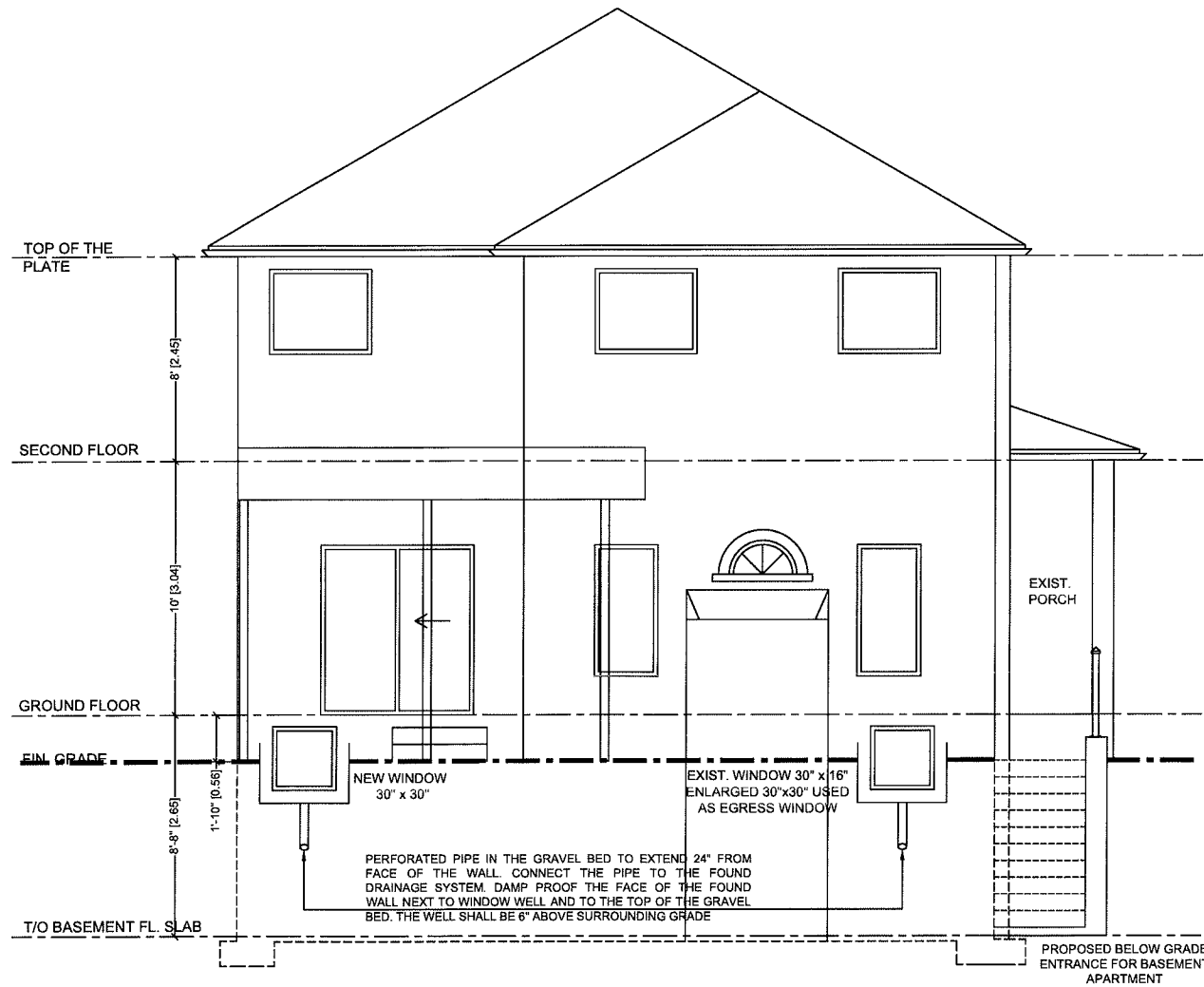
SHEET TITLE:

SECOND FLOOR
 PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: FEB 25 2024

DRAWING:

A1.4



REAR ELEVATION

GENERAL NOTES:

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	APR 29 2024
1	ISSUED FOR BUILDING PERMIT	FEB 25 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 BURNING ST. MISSISSAUGA, ON L4Y 3E6
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

11 REDWILLOW RD,
BRAMPTON, ON
L6P 2A4

SHEET TITLE:

REAR ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 1/4" = 1'
DATE: FEB 25 2024

DRAWING:

A2.1



notification@brampton.ca
to me ▾

Fri, 12 Apr, 14:57 (5 days ago) ☆ ↶ ⋮

*****DO NOT REPLY TO THIS EMAIL*****
Your Building Permit application requires some changes.

You DO NOT NEED to submit a new application form Please review the comments below and click the link to open the form to correct/upload the missing information. Your changes will then be resubmitted to continue processing your application.

DETAILS:

Reference # 100526-BPO-11 REDWILLOW RD-20240303
Project Location **11 REDWILLOW RD**
Permit Details

Comments:

1) As built deck does not comply with the zoning by law. The rear yard setback for the above mentioned property is 6 metres. As per Section 6.13 of the Zoning By-law, Deck can encroach rear yard by 3 metres, but can be located no closer than 3 metres to the rear lot line. Also a roof structure can encroach into the required yard by a maximum of 2 metres or the depth of the associated deck, whichever is less. (i.e. the roof has to be 4 meters away from the rear property line). 2) Below grade exterior stairs are not permitted in a yard located between the main wall of a dwelling and a flankage lot line. (A recent Zoning By-law amendment was passed which would allow a below grade stairway in exterior side yard to be located between the main wall of a dwelling and a front of flankage lot line if it met the required side yard setback, it is currently under appeal period which will end on 2nd April 2024)

If there is no response after **30 days (DD/MM/YYYY) (27/04/2024)**, your application will automatically be cancelled.

[Click here](#) to review the application and resubmit corrections.

City of Brampton Building Division
www.Brampton.ca/Building

Zoning Non-compliance Checklist

File No.

A-2024-0192

Applicant: Hartehal Singh Gill, Baljinder Kaur Gill

Address: 11 Redwillow Rd

Zoning: R1C-1820

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS	To permit an existing deck to encroach 3.63m into the rear yard setback, resulting in a setback of 2.37m from the deck to the rear lot line,	whereas the by-law permits a deck to encroach a maximum 3.0m into the rear yard setback, resulting in a required setback of 3.0m from the deck to the rear lot line.	6.13.A
ENCROACHMENTS	To permit an existing roof structure to encroach 3.76m into the rear yard setback, resulting in a setback of 2.24m from the deck to the rear lot line,	whereas the by-law permits a roof structure, including eaves and cornices, to encroach a maximum 2.0m into the rear yard setback, resulting in a required setback of 4.0m from the deck to the rear lot line.	6.13.A
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/04/29

Date