



FILE NUMBER: A-2024-0217

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) GOPALAKRISHNAN DURAIRAJAN KAVITA MANI KUMAR KAVITA MK
 Address 69 TRURO CIR, BRAMPTON, ON L7A 4E6

 Phone # 416 988 7370 Fax # _____
 Email gopal.198614@gmail.com

2. Name of Agent VALIUDDIN MOHAMMED
 Address 6 Ripon St, MISSISSAUGA, ON L4T 1E2

 Phone # 416 627 4100 Fax # _____
 Email INFO@MECHWAYS.COM

3. Nature and extent of relief applied for (variances requested):
To seek relief from zoning by law to allow below grade exterior stairs in the side yard of having setback of 2.04m whereas the required minimum exterior side yard setback is 3m.

4. Why is it not possible to comply with the provisions of the by-law?
Proposed below grade exterior stairs do not meet the minimum exterior side yard setback requirement of 3m. The proposed exterior side yard setback is 2.04m

5. Legal Description of the subject land:
 Lot Number 195
 Plan Number/Concession Number M1949
 Municipal Address 69 TRURO CIR BRAMPTON, ON, L7A4E6

6. Dimension of subject land (in metric units)
 Frontage 6.94
 Depth 27.34
 Area 189.74

7. Access to the subject land is by:
 Provincial Highway _____
 Municipal Road Maintained All Year _____
 Private Right-of-Way _____
 Seasonal Road _____
 Other Public Road _____
 Water _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area	86.51
Gross Floor Area	191.84
Number Of Storeys	2
Height Of Building	8.66

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area	86.51
Gross Floor Area	191.84
Number Of Storey	2
Height Of Building	8.66

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	2.56
Rear yard setback	7.79
Side yard setback	2.9
Side yard setback	0.8

PROPOSED

Front yard setback	2.56
Rear yard setback	7.79
Side yard setback	2.04
Side yard setback	0.8

- 0. Date of Acquisition of subject land: 2021
- 1. Existing uses of subject property: Residential
- 2. Proposed uses of subject property: Residential
- 3. Existing uses of abutting properties: Residential
- 4. Date of construction of all buildings & structures on subject land: 2018
- 5. Length of time the existing uses of the subject property have been continued: Since 2018

16. (a) What water supply is existing/proposed?

Municipal Well Other (specify) _____

(b) What sewage disposal is/will be provided?

Municipal Septic Other (specify) _____

(c) What storm drainage system is existing/proposed?

Sewers Ditches Swales Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes _____ No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes _____ No

19. Has the subject property of an application for minor variance? ever been the subject

Yes _____ No Unknown _____

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF MISSISSAUGA

THIS 15 DAY OF MAY, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VALIUDDIN MOHAMMED, OF THE CITY OF MISSISSAUGA

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

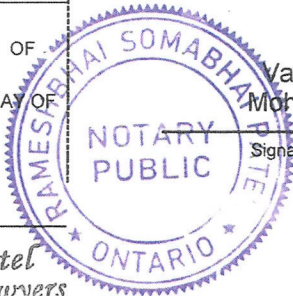
DECLARED BEFORE ME AT THE

city OF Toronto

IN THE Province OF

Ontario THIS 14 DAY OF

May, 2024



Valiuddin Mohammed

Signature of Applicant or Authorized Agent

Rameshbhai Somabhai Patel
Rameshbhai Somabhai Patel & Associate Lawyers
Professional Corporation
127 Westmore Dr. Unit # 101,
Toronto, Ontario M6K 3K6
Tel: 416-742-2999 Fax: 416-742-3888
mail@rplawonline.net

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer Date

DATE RECEIVED June 11, 2024

✓

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 69, TRURO CIRCLE

I/We, GODALAKRISHNAN DURAIRAJAN, KAVITHA MAMKUMAR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Valiuddin Mohammed/Mechways Inc.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 22 day of MAY, 2024

D. S. M. Kavitha
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 69, Truro Circle, Brampton, ON, L7A4E6

I/We, GOPALAKRISHNAN DURAIRAJAN, KAVITHA MANIKUMAR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 05 day of 17, 2024

D. S., M. Karitha
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

GOPALAKRISHNAN DURAIRAJAN, KAVITHA MANIKUMAR
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2042374



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

Note

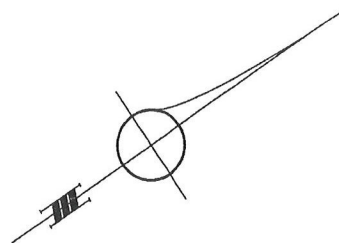
ALL BOUNDARY INFORMATION SHOWN HEREON HAS BEEN SET OR MEASURED IN ACCORDANCE WITH REGISTERED PLAN 43M-1949 AND PLAN 43R-37772 UNLESS NOTED OTHERWISE
ALL SET MONUMENTS ARE IB's (1215), UNLESS OTHERWISE INDICATED.
ALL FOUND MONUMENTS ARE IB's (1215), UNLESS OTHERWISE INDICATED.

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

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Part 2

NO REGISTERED EASEMENTS OR RIGHTS OF WAY
NO FENCES AT THE TIME OF SURVEY
SURVEY PREPARED FOR: PARADISE DEVELOPMENTS
UNLESS INDICATED, ALL TIES ARE TAKEN TO THE CONCRETE FOUNDATION



SURVEYOR'S REAL PROPERTY REPORT-PART 1
PLAN OF LOTS 191 TO 195
REGISTERED PLAN 43M-1949
CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300



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Ontario Land Surveyors

Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Notes

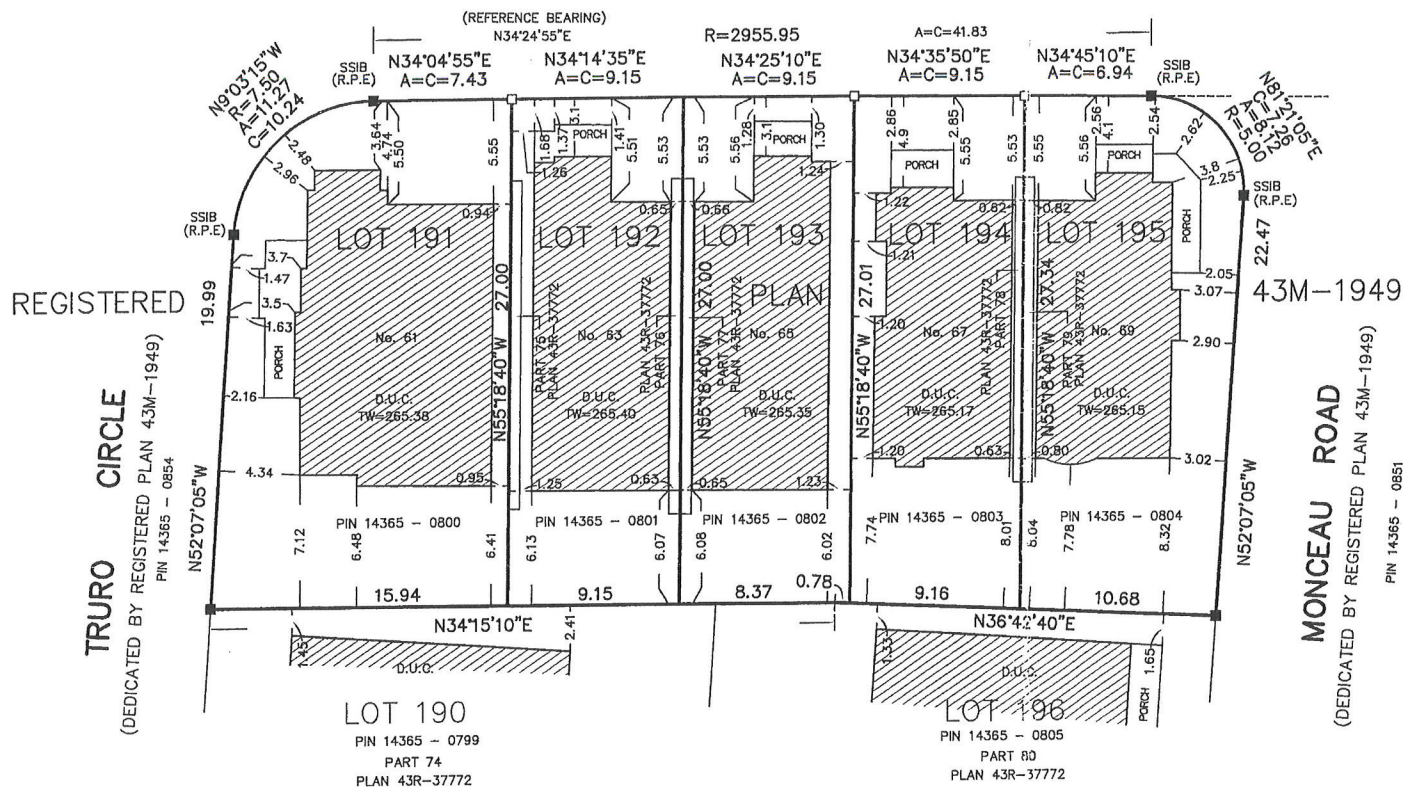
BEARINGS ARE GRID AND ARE REFERRED TO THE SOUTHEASTERLY LIMIT OF TRURO CIRCLE HAVING A BEARING N34°24'55"E AS SHOWN ON REGISTERED PLAN 43M-1949

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- WIT DENOTES WITNESS
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- TW DENOTES TOP OF WALL
- R.P.E. DENOTES RADY-PENTEK & EDWARD SURVEYING LTD.
- 1215 DENOTES ERTL SURVEYORS, O.L.S.
- N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST
- ℄ DENOTES CENTRELINE OF WALL ON LINE

TRURO CIRCLE

(DEDICATED BY REGISTERED PLAN 43M-1949)

PIN 14365 - 0854



Benchmark

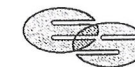
ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD28) BY DIRECT MEASUREMENT TO THE CAN-NET GPS NETWORK

Surveyor's Certificate

- I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF JULY, 2017

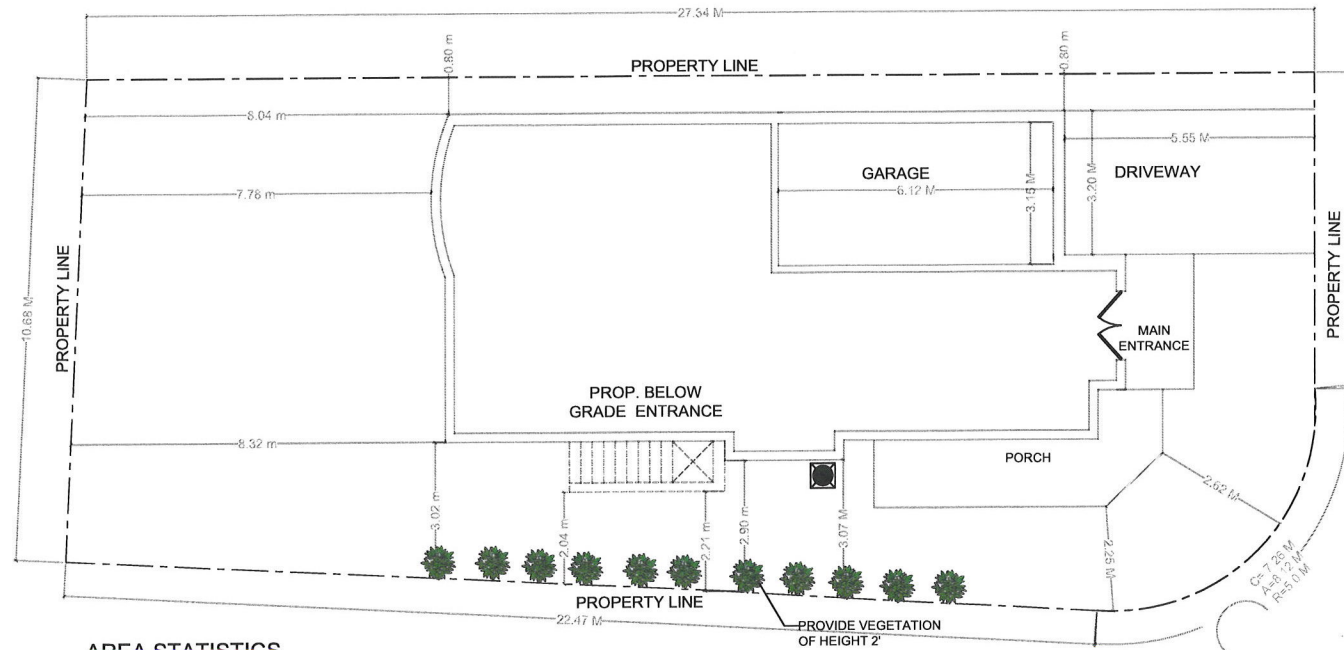
Dec 19th 2017
Date

Lawrence O. Ertl
Ontario Land Surveyor



ertl surveyors
Ontario Land Surveyors
www.es-ols.com

1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@es-ols.com
DRAWING 15251-LT191-195.DWG PROJECT : 15251
CALC. BY DM, DRAWN BY DICKY, CHECKED BY L. ERTL



AREA STATISTICS
GROSS FLOOR AREA CALCULATIONS

A. PRINCIPAL RESIDENCE	
EXISTING GROUND FLOOR GFA	= 86.51 m ²
EXISTING SECOND FLOOR GFA	= 105.33 m ²
B. BASEMENT	
BASEMENT G.F.A	= 86.22 m ²
OWNER AREA	= 19.30 m ²
TENANT AREA	= 66.97 m ²

ENTRANCE / EGRESS

SCOPE OF WORK

- ① PROP. BASEMENT APARTMENT
- ② PROP. ONE NEW WINDOW
- ③ ENLARGEMENT OF ONE WINDOW
- ④ PROP. BELOW GRADE ENTRANCE

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAY 1 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4S 1E9
 TEL : 416-697-1100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0G4

SHEET TITLE:

SITE PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1:125
 DATE: MAY 1 2024

DRAWING:

A0.1

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2042374



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REGIONAL MUNICIPALITY OF PEELE

SCALE 1:300



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Notes

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■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
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IB	DENOTES	IRON BAR
WIT	DENOTES	WITNESS
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TW	DENOTES	TOP OF WALL
R.P.E	DENOTES	RADY-PENTEK & EDWARD SURVEYING LTD.
1215	DENOTES	ERTL SURVEYORS, O.L.S.
N/S/E/W	DENOTES	NORTH/SOUTH/EAST/WEST
Ⓢ	DENOTES	CENTRELINE OF WALL ON LINE

Benchmark

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Date

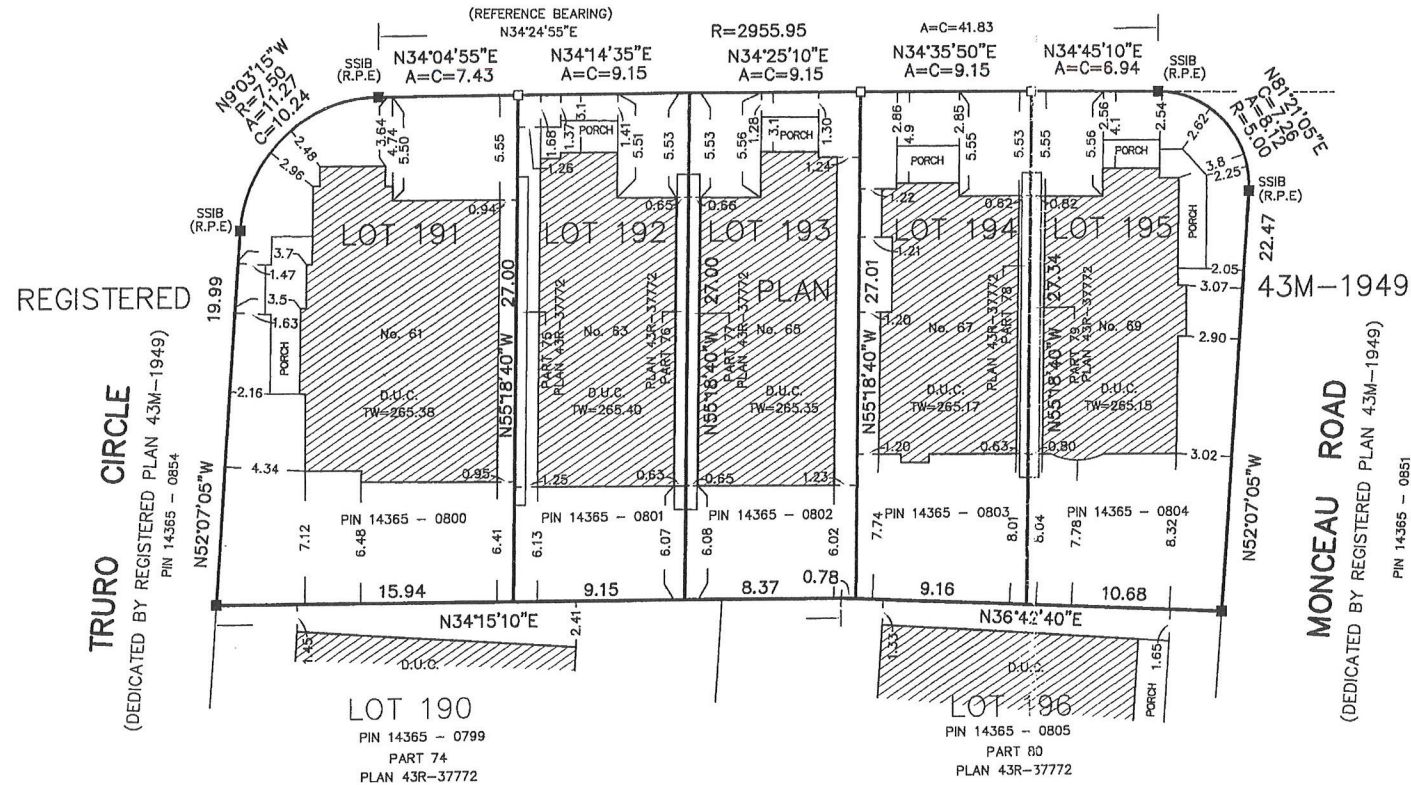
Lawrence O. Ertl
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Ontario Land Surveyor

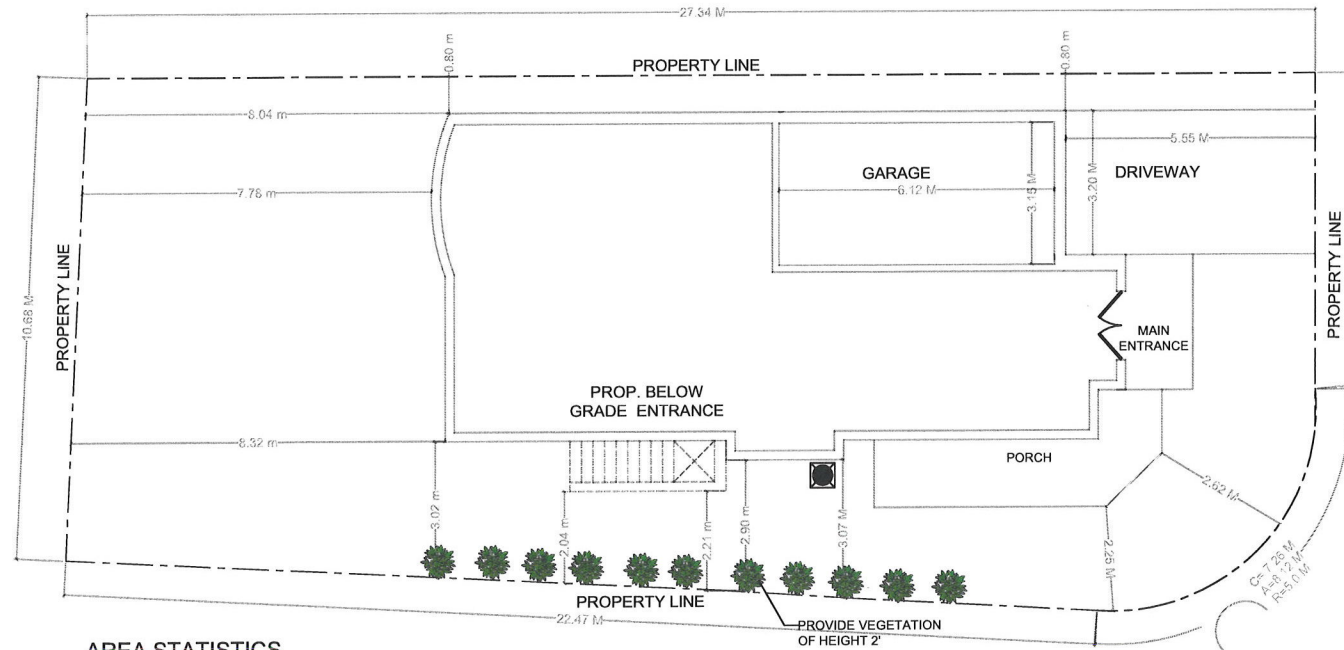
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CALC. BY DM, DRAWN BY DICKY, CHECKED BY L. ERTL

TRURO CIRCLE

(DEDICATED BY REGISTERED PLAN 43M-1949)
PIN 14365 - 0854





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GROSS FLOOR AREA CALCULATIONS

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- ① PROP. BASEMENT APARTMENT
- ② PROP. ONE NEW WINDOW
- ③ ENLARGEMENT OF ONE WINDOW
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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAY 1 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPCEN ST, MISSISSAUGA, ON L4Y 1E9
 TEL : 416-637-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0G4

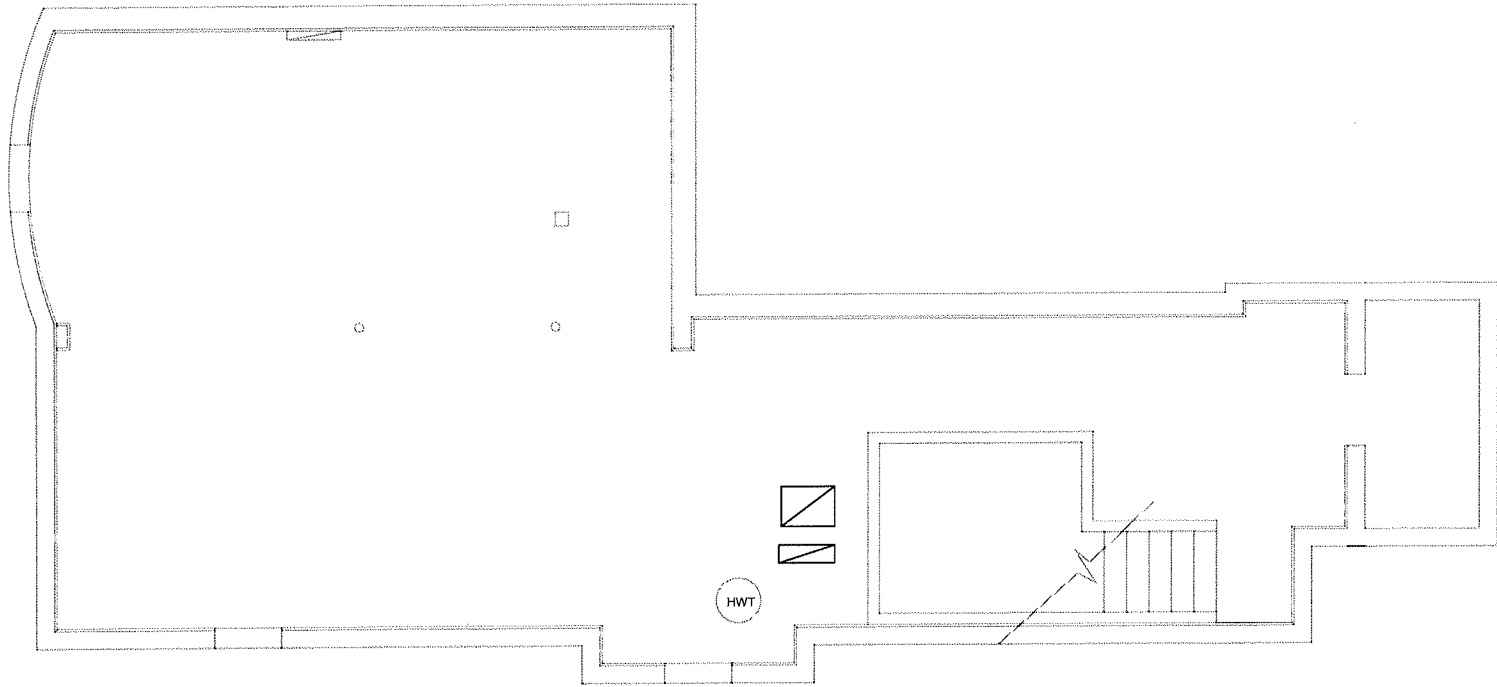
SHEET TITLE:

SITE PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1:125
 DATE: MAY 1 2024

DRAWING:

AO.1



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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAY 1 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
 ADDRESS: 6 RUFEN ST, MISSISSAUGA ON L4T 1E7
 TEL: 905.876.7100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0G4

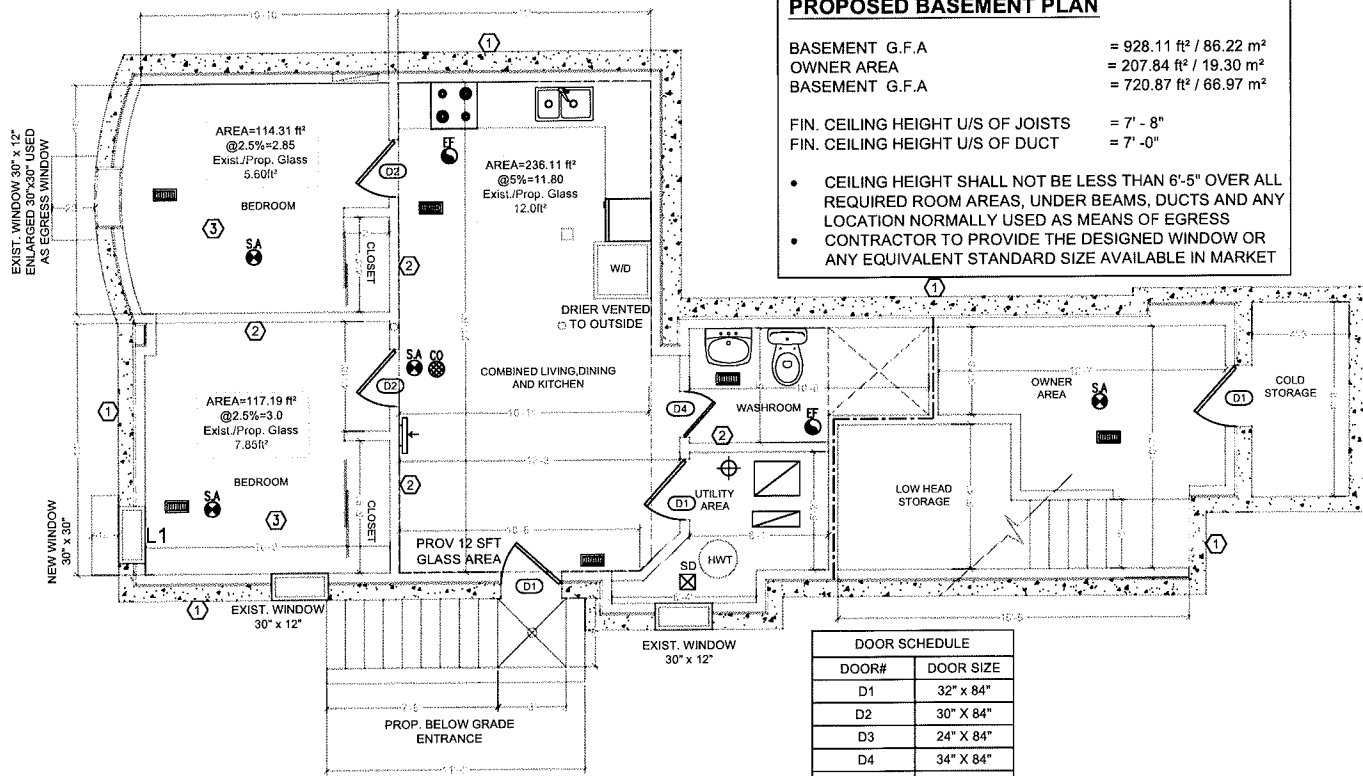
SHEET TITLE:

EXIST.
 BASEMENT PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: MAY 1 2024

DRAWING:

A1.1



PROPOSED BASEMENT PLAN

BASEMENT G.F.A = 928.11 ft² / 86.22 m²
 OWNER AREA = 207.84 ft² / 19.30 m²
 BASEMENT G.F.A = 720.87 ft² / 66.97 m²

FIN. CEILING HEIGHT U/S OF JOISTS = 7' - 8"
 FIN. CEILING HEIGHT U/S OF DUCT = 7' - 0"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	32" x 84"
D2	30" X 84"
D3	24" X 84"
D4	34" X 84"
D5	28" X 84"

LEGEND	
	EXISTING FOUNDATION WALL
	DRY WALL
	PROVIDE 30 MINUTE F.R.R. (SB3 W1C 38 x 89 mm WOOD STUDS @ 610 mm O.C. W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEW/EXISTING WALL
	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
	SMOKE ALARMS W/ STROBE LIGHT INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	SPRINKLER
	NEW / EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN
	EMERGENCY LIGHT
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	PROVIDE 30 MINUTE F.R.R. (2 x 1/2" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
	LIGHT
	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
	L1 2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE

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SEAL:



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NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS: 16 BRUNN ST. WINDSOR, ON N9A 2E9
 TEL: 519-253-2100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR.
 BRAMPTON, ON
 L7A 0C4

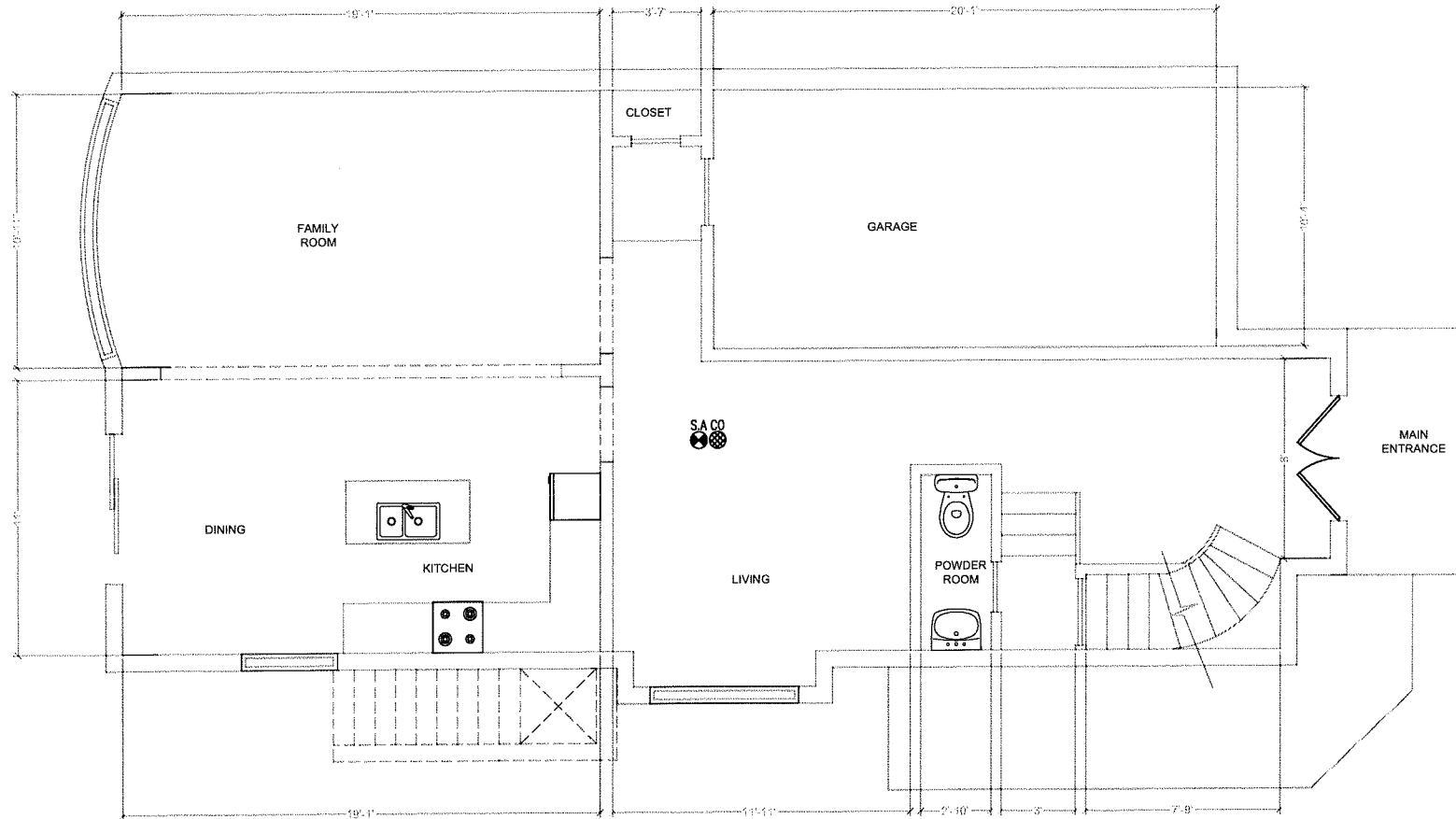
SHEET TITLE:

PROP. BASEMENT PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1:75
 DATE: MAY 1 2024

DRAWING:

A1.2



GROUND FLOOR PLAN

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAY 1 2024

ENGINEER:

Mechways Inc.

ADDRESS: 16 RIFTON ST, MISSISSAUGA, ON L4T 1E2
 TEL: 1-866-224-1100
 EMAIL: INFO@MECHWAYS.COM
 WEBSITE: WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR.
 BRAMPTON, ON
 L7A 0G4

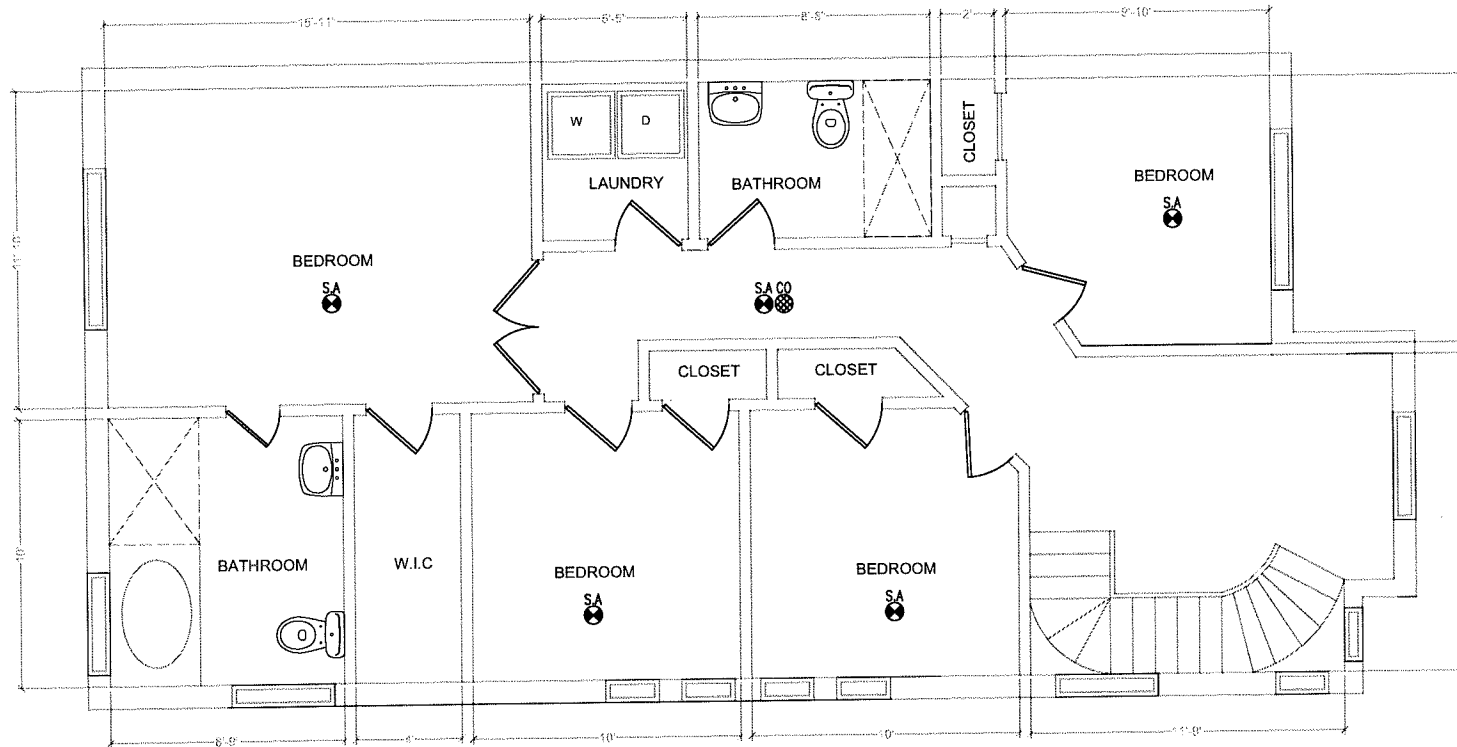
SHEET TITLE:

GROUND FLOOR PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: MAY 1 2024

DRAWING:

A1.3



SECOND FLOOR PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAY 1 2024
---	----------------------------	------------

NO.	DESCRIPTION	DATE
-----	-------------	------

ENGINEER:

Mechways Inc.

ADDRESS : 4 BRONX ST. MISSISSAUGA, ON L4W 1E9
 TEL : 416-637-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0C4

SHEET TITLE:

SECOND FLOOR PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: MAY 1 2024

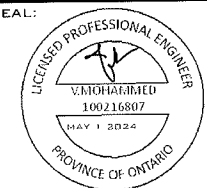
DRAWING:

A1.4

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAY 1 2024
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NO.	DESCRIPTION	DATE
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ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFEN ST. MISSISSAUGA, ON L4T 1E2
 TEL : 416-277-1100
 EMAIL : info@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0C4

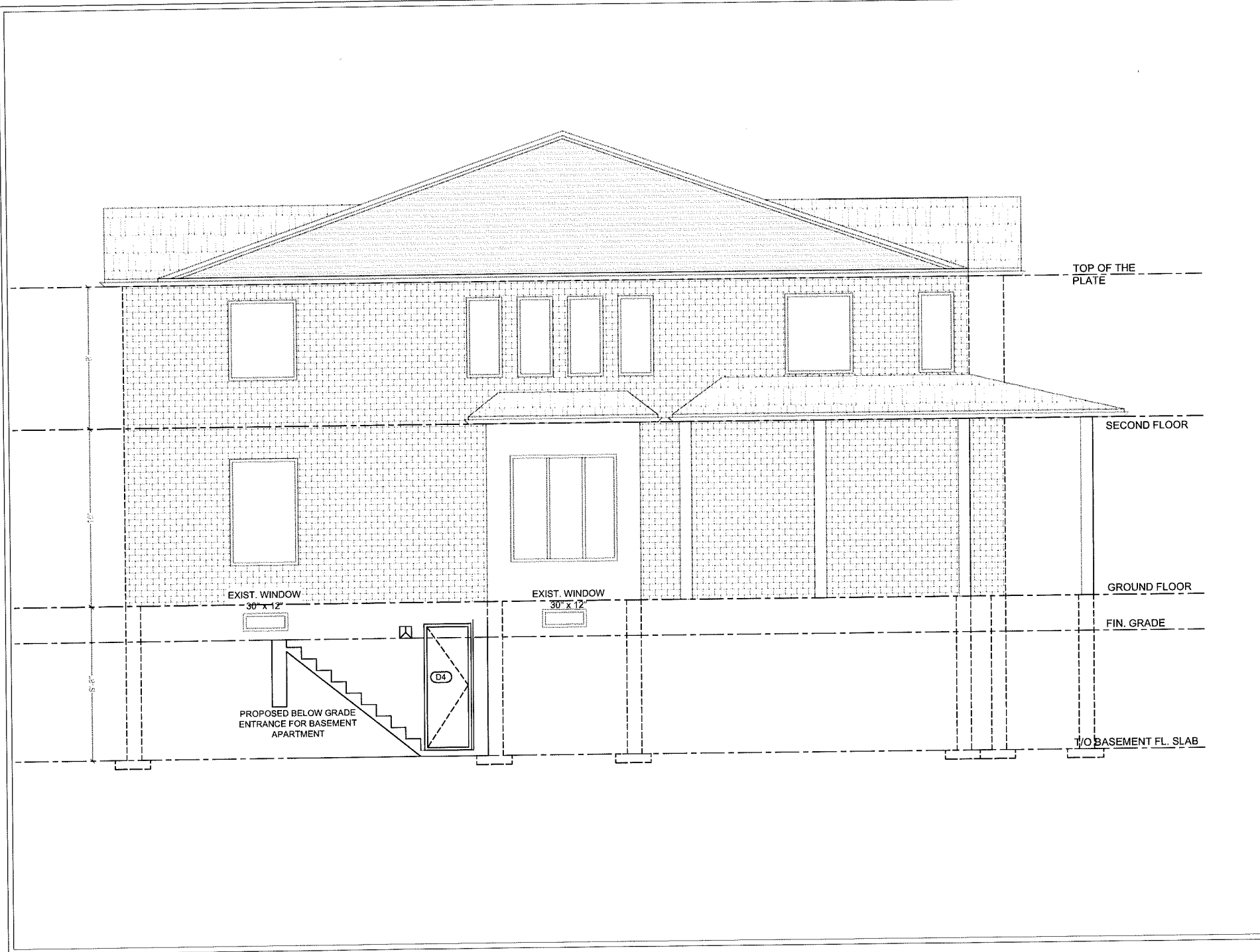
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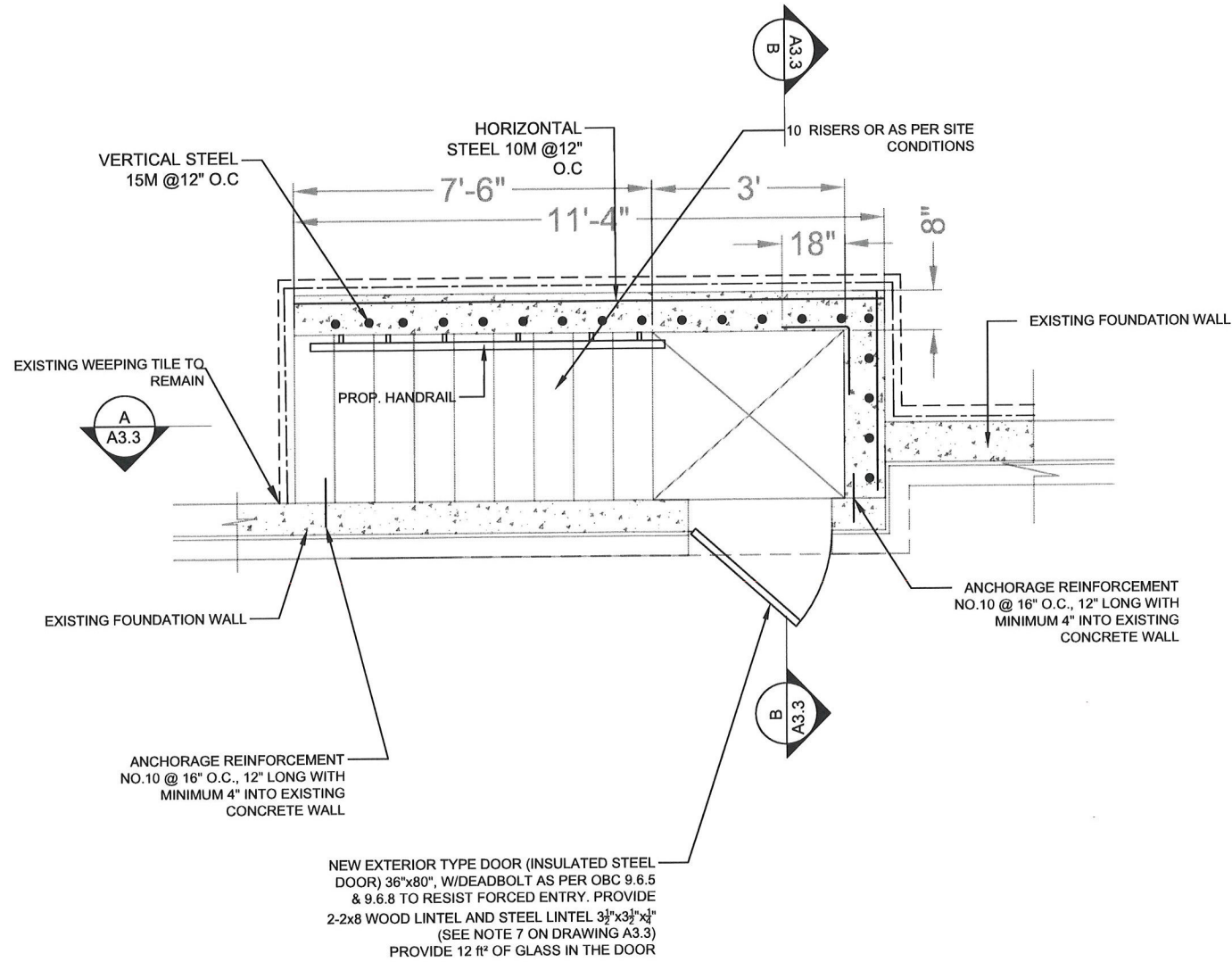
**EXTERIOR SIDE
 ELEVATION**

CHECKED: SS
 DRAWN: MA
 SCALE: 1/4" = 1'
 DATE: MAY 1 2024

DRAWING:

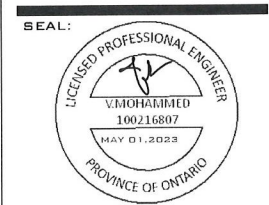
A2.1





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1	ISSUED FOR BUILDING PERMIT	MAY 1 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA,
ON L4T 1E2
TEL : 416-667-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
BRAMPTON, ON
L7A 0G4

SHEET TITLE:

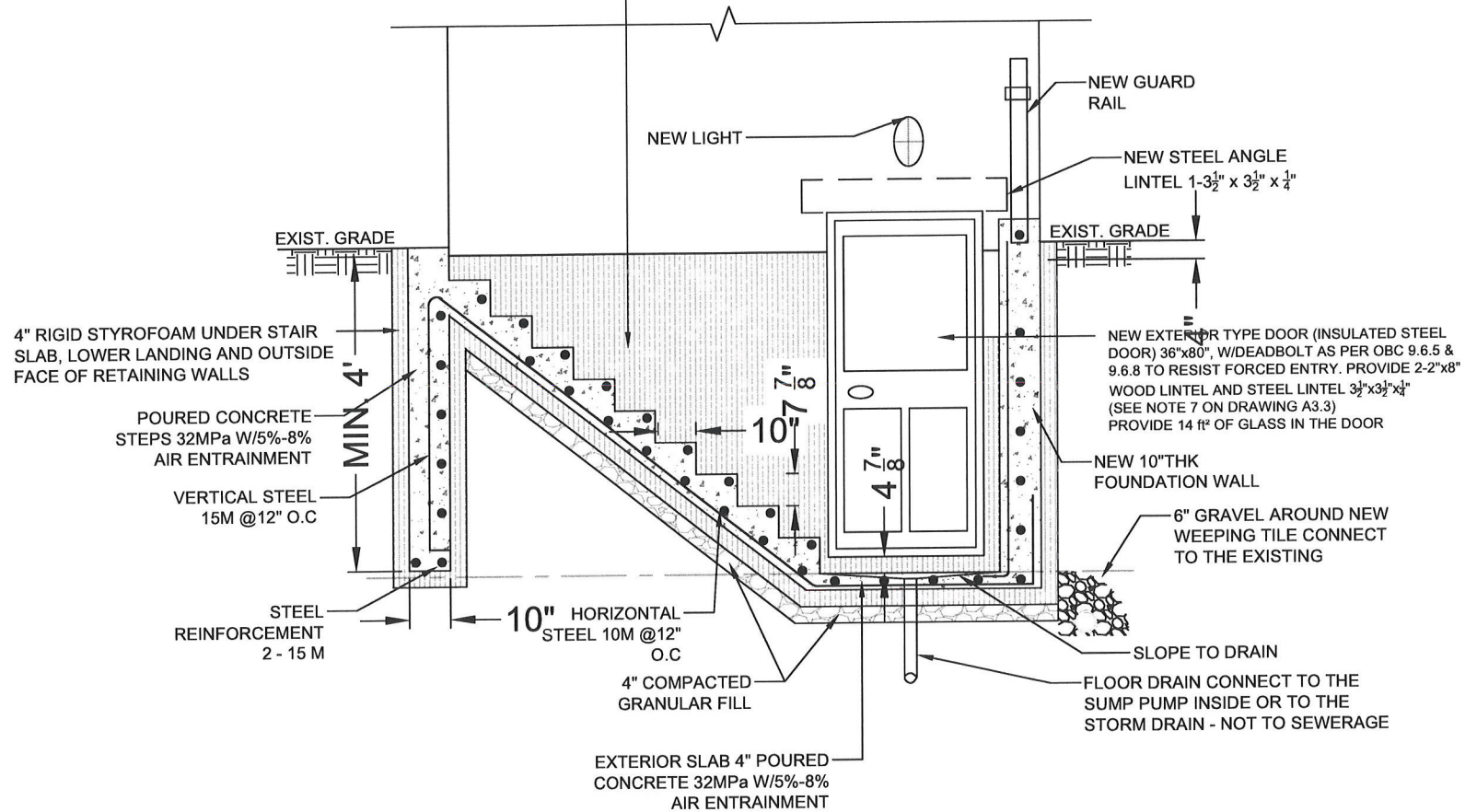
WALKOUT PLAN

CHECKED: SS
DRAWN: MA
SCALE: 1/8" = 1'
DATE: MAY 1 2024

DRAWING:

A3.1

1. INSTALL MINIMUM R10, 2" RIGID INSULATION ON EXISTING FOUNDATION WALL MIN. 4 FT ABOVE EXISTING FOOTING
2. INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER THE STEPS.
3. COVER INSULATION WITH 1/2" CEMENT BOARD AND SECURE TO WALL USING FENDER WASHER & HEX HEAD CONCRETE SCREWS 1/4"x4"
4. INSTALL 2-1/2" GALVANIZED "J" TRACK TO SECURE & PROTECT ALL EXPOSED EDGES
5. ALL JOINTS TO THE EXISTING WALL & NEW STEPS MUST BE CAULKED
6. APPLY SEAL GUARD TO ALL JOINTS ON CEMENT
7. PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAY 1 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E5
 TEL : 416-622-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0G4

SHEET TITLE:

SECTION A-A

CHECKED: SS

DRAWN: MA

SCALE: 1/8" = 1'

DATE: MAY 1 2024

DRAWING:

A3.2

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSEQUENCE SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
- MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
 RUN 10" MINIMUM 14" MAXIMUM
 TREAD 10" MINIMUM 14" MAXIMUM
 TREAD SHOULD BE A MAX. OF 1" > RUN
 ADJUST STEP SIZE TO SUIT SITE

4. INSULATION

- MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

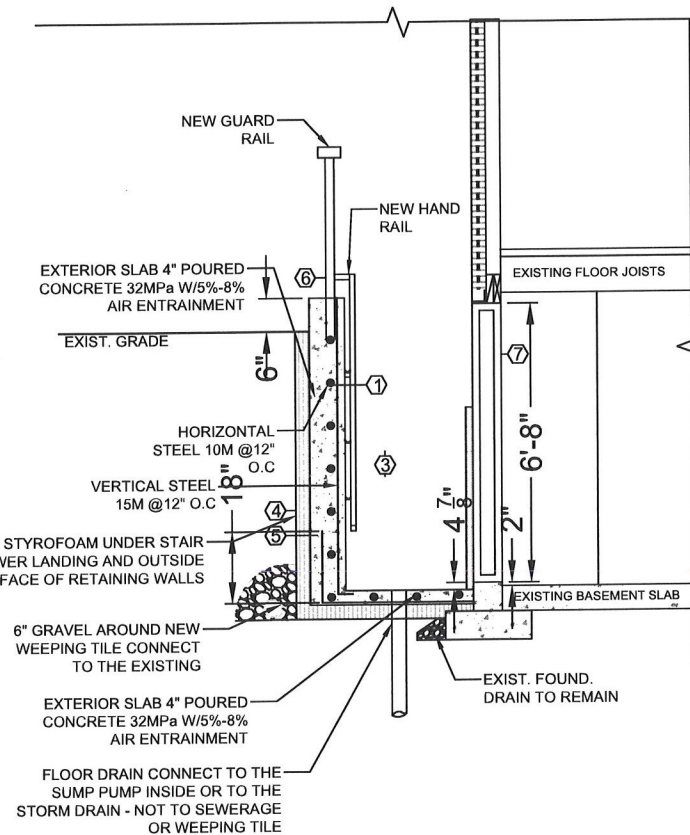
PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @ 12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-10" x 6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
 WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
 STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
 ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM



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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAY 1 2024

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0G4

SHEET TITLE:

SECTION B-B

CHECKED: SS

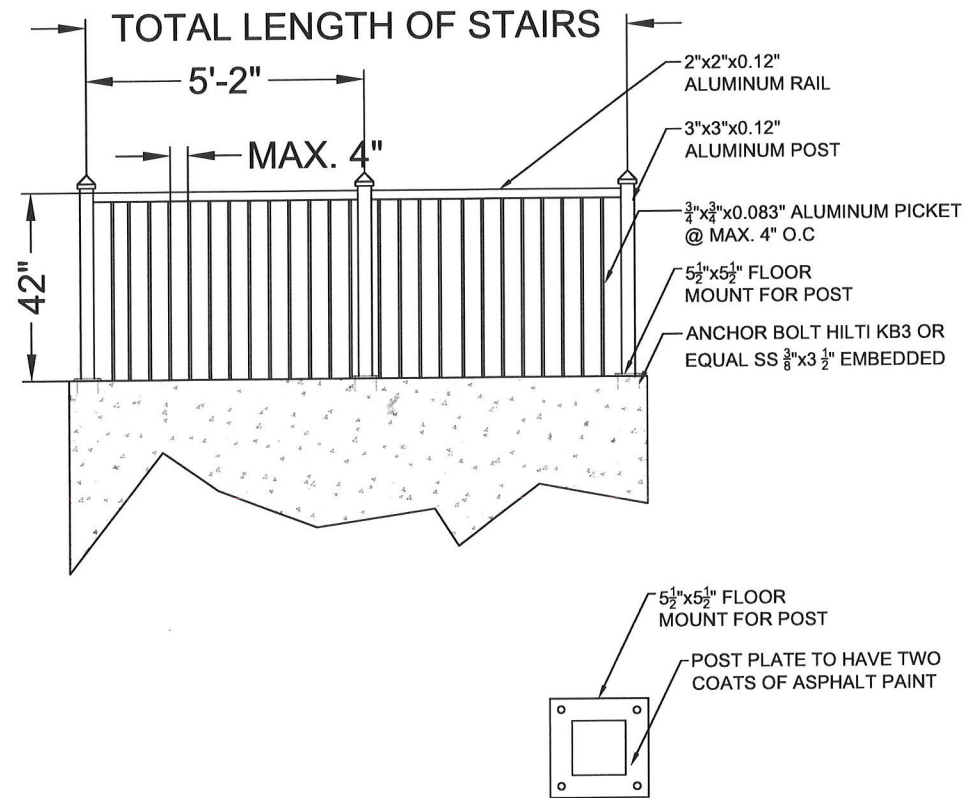
DRAWN: MA

SCALE: 1:40

DATE: MAY 1 2024

DRAWING:

A3.3



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PROJECT:

69 TRURO CIR,
 BRAMPTON, ON
 L7A 0G4

SHEET TITLE:

**GUARDRAIL
 DETAILS**

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1'
 DATE: MAY 1 2024

DRAWING:

A3.4

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
LIVING, DINING/ KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2311	
BEDROOMS	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2311	
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYP SUM BD.	PAINT	2311	
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYP SUM BD.			

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
- EGRESS DOOR - PROP. GRADE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- EXISTING 8" CONG. FOUNDATION WALL MOISTURE BARRIER 2X4 SPF#2 STUDS @ 16" O.C WALL W/6MIL POLY WITH EXIST. INSULATION 6MIL POLY VAPOR BARRIER 1/2" GYPSUM BOARD
- NEW/ EXISTING DRYWALL - 1/2" GYPSUM BOARD, ON BOTH SIDES 2"x4" STUDS @16" OC
- EXISTING / PROPOSED CEILING EXISTING CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SHALL SATISFIES THE HORIZONTAL FIRE SEPARATION REQUIREMENT 15 MINUTE F.R.R (1/2" GYPSUM BOARD). REMOVE 24"x48" CEILING TILE IF EXIST AND REPLACE WITH 1/2" GYPSUM BOARD CEILING
- 20 MIN. FIRE RESISTANCE RATED DOOR FOR WALL BETWEEN PRINCIPAL RESIDENCE AREA AND THE BASEMENT APARTMENT
- EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- MECHANICAL VENTILATION 24 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

- § 3 WAY SWITCH INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS
- 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE WHITE, C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

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ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPLEY ST, MISSISSAUGA, ON L4T 1E2
TEL : +1 66274100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

69 TRURO CIR,
BRAMPTON, ON
L7A 0G4

SHEET TITLE:

GENERAL NOTES

CHECKED: SS
DRAWN: MA
SCALE: NA
DATE: MAY 1 2024

DRAWING:

A4.1

ACTION REQUIRED - REWORK required for Building Online Permit Application - 104358-BPO-69 TRURO CIR.-20240508 External ▶ Inbox x



notification@brampton.ca
to me ▾

Thu, 9 May, 15:24 (4 days ago) ☆ ↶ ⋮

*****DO NOT REPLY TO THIS EMAIL*****

Your Building Permit application requires some changes

You DO NOT NEED to submit a new application form Please review the comments below and click the link to open the form to correct/upload the missing information. Your changes will then be resubmitted to continue processing your application.

DETAILS:

Reference #: 104358-BPO-69 TRURO CIR -20240508

Project Location: 69 TRURO CIR

Permit Details

Comments:

Below grade exterior stairs are not permitted in a required side yard. The below grade stairs do not meet the minimum exterior side yard setback requirement. Please revise your drawings or seek advice of a Planner to discuss your options to comply with the Zoning By-law. They can be reached at planning.development@brampton.ca. Once your drawings comply, Please use the link provided to rework your application. Should you have any questions, please contact me at connor.cowan@brampton.ca

If there is no response after **30 days (DD/MM/YYYY) (08/06/2024)** your application will automatically be cancelled

[Click here](#) to review the application and resubmit corrections.

City of Brampton Building Division

www.Brampton.ca/Building

 City of Brampton Logo

Zoning Non-compliance Checklist

File No.

A-2024-0217

Applicant: GOPALAKRISHNAN DURAIRAJAN

Address: 69 Truro Cir.

Zoning: R1F-9-2227 Residential

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE	To permit a <i>proposed</i> exterior side yard setback of 2.04m to a stairway leading to a below grade entrance	whereas the by-law requires a minimum exterior side yard setback of 3.0m.	2227.2(5)
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato
Reviewed by Zoning

June 4, 2024
Date