



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0066

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Jaydeep Banerjee, NANDINI CHATTERJEE.

Address 56 Mirabell Crt, Brampton, ON L6W 4K8

Phone # 416-949-8030 **Fax #** _____

Email jaydeepbanerjee9999@gmail.com

2. **Name of Agent** MANPREET KOHLI

Address 66 ENMOUNT DR BRAMPTON ON L6T4C9.

Phone # 437 984 5005 **Fax #** _____

Email PANJABDESIGN@GMAIL.COM

3. **Nature and extent of relief applied for (variances requested):**

Applying to minor variance to reduce the set back distance from required as per zoning 1.2m to existing 0.91m, and increasing the depth from required zoning 0.20m to existing 0.38m

4. **Why is it not possible to comply with the provisions of the by-law?**

As built door is in the side yard where the property line is .91m from as built side door, which is 0.29m less than required and the door is 0.38m below the ground which is 0.20m more than the zoning required

5. **Legal Description of the subject land:**

Lot Number #30

Plan Number/Concession Number 43M-776

Municipal Address 56 Mirabell Crt, Brampton, ON L6W 4K8

6. **Dimension of subject land (in metric units)**

Frontage 9.0m

Depth 39.65m

Area 353 sq.m

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

It is 2- storied detached house of gross floor area is 195.1 sq.m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Below grade as-built side door in the side yard

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING
 Front yard setback 6.12m
 Rear yard setback 13.3m
 Side yard setback 0.90m
 Side yard setback 1.20m

PROPOSED
 Front yard setback 6.12m
 Rear yard setback 13.3m
 Side yard setback 0.90m set back from the as-built side door
 Side yard setback 1.20m

10. Date of Acquisition of subject land: Oct-16-1985
11. Existing uses of subject property: Single family dwelling unit
12. Proposed uses of subject property: Single family dwelling unit
13. Existing uses of abutting properties: Single family dwelling unit
14. Date of construction of all buildings & structures on subject land: sep-29-1987
15. Length of time the existing uses of the subject property have been continued: 36 years

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF BRAMPTON
THIS 05 27 DAY OF 02, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MANPREET KOHLI, OF THE CITY OF BRAMPTON.
IN THE REGION OF PEEL. SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 27th DAY OF
February 2024

[Signature]
Signature of Applicant or Authorized Agent

Clara Vani
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton

FOR OFFICE USE ONLY Expires September 20, 2026	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	_____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
_____	_____
Zoning Officer	Date

DATE RECEIVED February 27, 2024 Revised 2022/02/17
Date Application Deemed Complete by the Municipality [Signature]

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 56 Mirabell Crt, Brampton, ON L6W 4K8

I/We, Jaydeep Banerjee
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

MANPREET KOHLI
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 29 day of January, 2024 .

Jaydeep Banerjee

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 56 Mirabell Crt, Brampton, ON L6W 4K8

I/We, Jaydeep Banerjee
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 29 day of january, 2024.

Jaydeep Banerjee

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

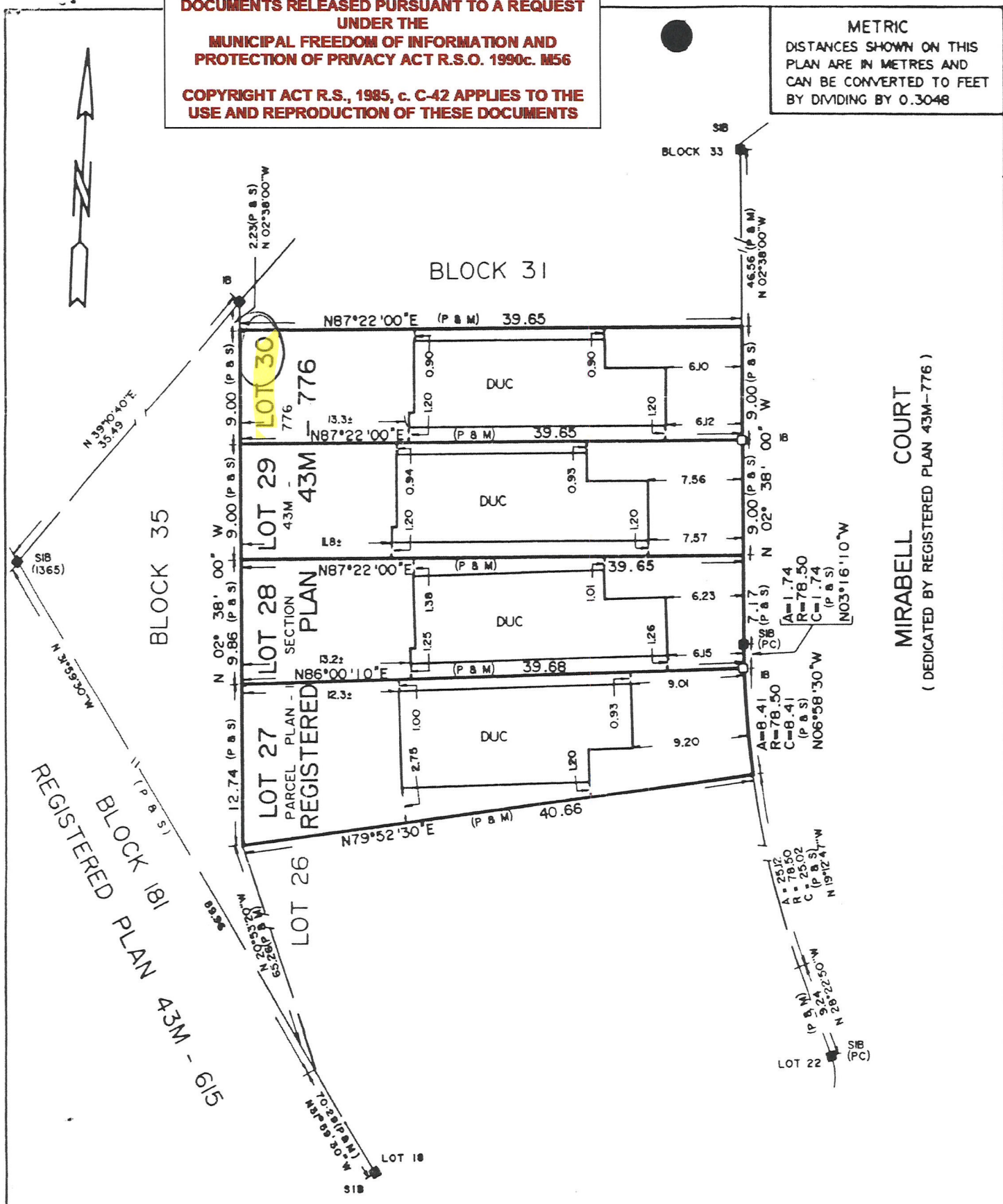
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



BUILDING LOCATION SURVEY OF
 LOTS 27, 28, 29 AND 30
 REGISTERED PLAN 43M-776
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1 : 400



J. D. BARNES LIMITED, Surveyors - 1987
 SURVEYOR'S CERTIFICATE

I CERTIFY THAT :
 THE FIELD SURVEY REPRESENTED ON THIS PLAN
 WAS COMPLETED ON THE 19th DAY OF DECEMBER, 1987.

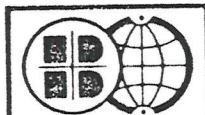
December 30, 1987 *Frank J. Mauro*
 DATE FRANK J. MAURO
 Ontario Land Surveyor

NOTES :

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF MIRABELL COURT AS SHOWN ON REGISTERED PLAN 43M - 776 HAVING A BEARING OF N 02°38'00"W

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- P.C. DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- P&S DENOTES REGISTERED PLAN 43M-776 AND SET
- P&M DENOTES REGISTERED PLAN 43M-776 AND MEASURED
- (1365) DENOTES B. J. STASSEN LTD.

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION
 ALL FOUND SURVEY MONUMENTS SET BY MARSHALL MACKLIN MONAGHAN LIMITED, SURVEYORS, UNLESS NOTED OTHERWISE



J. D. BARNES LIMITED, Surveyors
 Cadastral, • Geodetic, • Photogrammetric • Engineering Surveys
 TORONTO BRAMPTON OSHAWA MISSISSAUGA

DRAWN BY: PRC

CHECKED BY: C.Z.

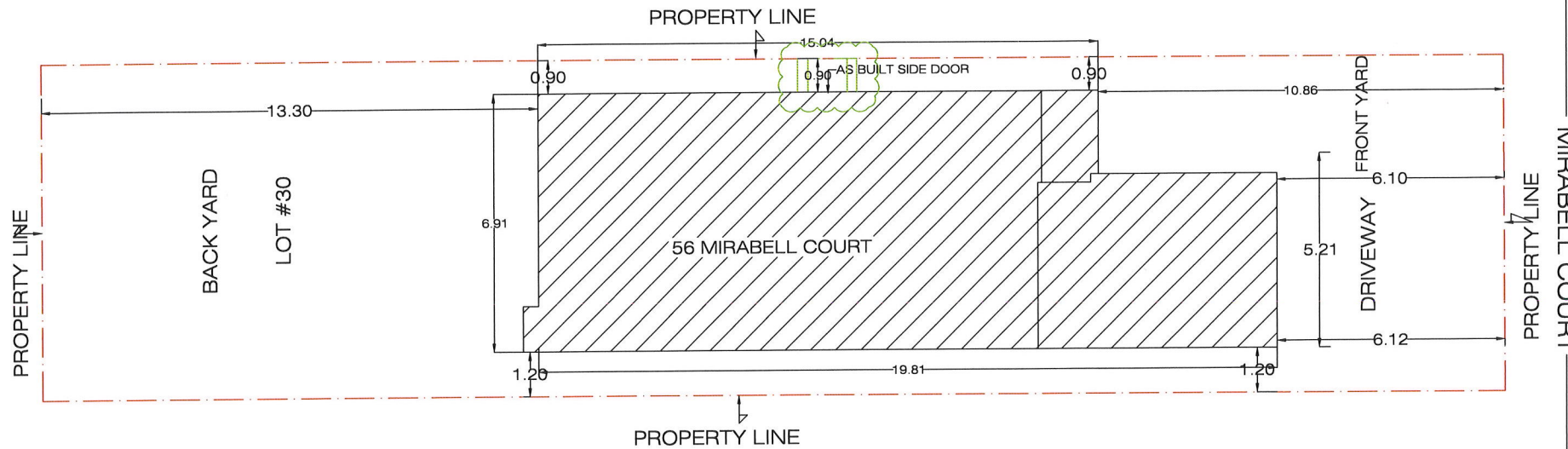
SCALE 1: 400

REFERENCE NO
 87-26-102-0-27

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

Manpreet Kohli

MANPREET KOHLI



SITE PLAN

RELEASED FOR BUILDING PERMIT
 * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
 * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
 * DRAWINGS ARE NOT TO BE SCALED.

Descriptions	Rev No.	Date

REVISIONS OF DRAWING

Consultants :

Shilanyash Design Inc.

Phone - 647 - 529 - 2003

shilanyashdesign@gmail.com

12 DUTCH CRESCENT
 Brampton, Ontario, L6Y 3V9

Project :

SIDE DOOR
 REGISTRATION

Project Location :

56 MIRABELL COURT
 BRAMPTON

Drawing Title :

SITE PLAN

Date :

Scale : 3/32 = 1

Drawn by : N.A.

Drawing No. :

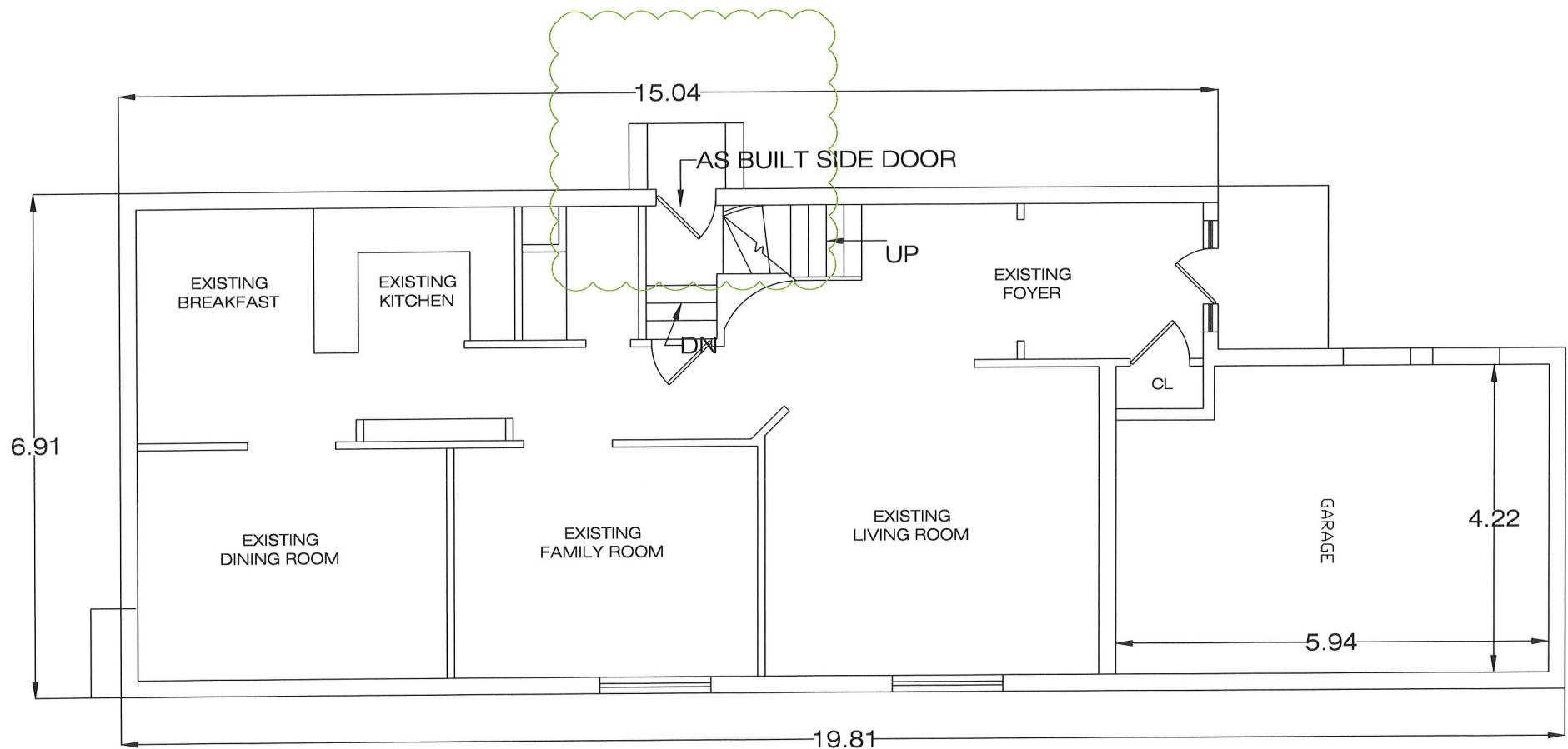
Project No. :

A-1

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

MANPREET KOHLI

Manpreet Kohli



RELEASED FOR BUILDING PERMIT
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Descriptions	Rev No.	Date

REVISIONS OF DRAWING

Consultants :

Shilanyash Design Inc.
 Phone - 647 - 529 - 2003
 shilanyashdesign@gmail.com
 12 DUTCH CRESCENT
 Brampton, Ontario, L6Y 3V9

Project :

SIDE DOOR
 REGISTRATION

Project Location :

56 MIRABELL COURT
 BRAMPTON

Drawing Title :

GROUND FLOOR

Date :

Scale : 3/16=1

Drawn by :

N.A.

Drawing No. :

Project No. :

A-3

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 20565
 Firm BCIN: 110812

MANPREET KOHLI

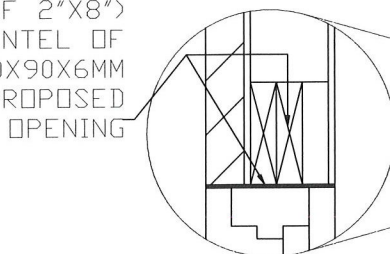


Manpreet Kohli

D1 2'10"X6'6" SOLID CORE WOOD DOOR IN HOLLOW METAL FRAME WITH STANDARD HARDWARE INCLUDING WEATHER STIPPING

EXTERIOR LIGHT TO BE PROVIDED WITH A WALL MOUNTED SWITCH ON THE INSIDE OF THE HOUSE

PROVIDE NEW WOOD (2 NOS OF 2"X8") AND STL LINTEL OF 90X90X6MM OVERTOP OF PROPOSED OPENING



OUTSIDE HOUSE

INSIDE HOUSE

DISTANCE BETWEEN LANDING AND PROPOSED DOOR SILL IS 2"

SECOND FL CEILING

FIRST FL LEVEL

MAIN FL LEVEL

CONCRETE LEVEL

GRADE LEVEL

LANDING LEVEL

BASEMENT FL

6'-6"

CROSS SECTIONAL PLAN A-A

RELEASED FOR BUILDING PERMIT
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Descriptions	Rev No.	Date

REVISIONS OF DRAWING

Consultants :
Shilanyash Design Inc.
 Phone - 647 - 529 - 2003
 shilanyashdesign@gmail.com
 12 DUTCH CRESCENT
 Brampton, Ontario, L6Y 3V9

Project :
 SIDE DOOR
 REGISTRATION

Project Location :
 56 MIRABELL COURT
 BRAMPTON

Drawing Title :
 SECTION A-A

Date : **Scale :** 3/8=1

Drawn by : N.A. **Drawing No. :**

Project No. : **A-8**