



*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
 (Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Binu Mathew Abraham & Mercy Mathew  
**Address** 14 River Rd Brampton, ON L6X 0A6  
 \_\_\_\_\_  
**Phone #** (647) 710-7753 **Fax #** \_\_\_\_\_  
**Email** binumabraham@hotmail.com

2. **Name of Agent** Saba Al Mathno (QBS Architects INC)  
**Address** 14 Crofton Rd, Toronto ON, M4G 2 B4  
 \_\_\_\_\_  
**Phone #** (416) 546-2040 **Fax #** \_\_\_\_\_  
**Email** saba@qbsarchitects.com

3. **Nature and extent of relief applied for (variances requested):**  
 \_\_\_\_\_  
 - Maximum GFA \_\_\_\_\_  
 - Minimum Setback to the Interior Side Lot Line \_\_\_\_\_  
 - Maximum Building Height for a garden suite \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

4. **Why is it not possible to comply with the provisions of the by-law?**  
It is an existing situation  
 \_\_\_\_\_  
 - Maximum GFA : 80 sq. m. \_\_\_\_\_  
 - Minimum Setback to the Interior Side Lot Line: 1.8m \_\_\_\_\_  
 - Maximum Building Height for a garden suite in a Residential Hamlet zone is 7.5 metres or the height of the principal building, whichever is less. \_\_\_\_\_  
 \_\_\_\_\_

5. **Legal Description of the subject land:**  
**Lot Number** Part of lot 5 & 6  
**Plan Number/Concession Number** Concession 5  
**Municipal Address** 14 River Rd Brampton, ON L6X 0A6

6. **Dimension of subject land (in metric units)**  
**Frontage** 48.46 m  
**Depth** 49.86 m  
**Area** 2259.38 m<sup>2</sup>

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Please refer to the following page

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.98 m
Rear yard setback	24.65 m
Side yard setback	0.17 m
Side yard setback	41.25 m

PROPOSED

Front yard setback	6.98 m
Rear yard setback	24.65 m
Side yard setback	0.17 m
Side yard setback	41.25 m

10. Date of Acquisition of subject land: September 14, 2020

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1960

15. Length of time the existing uses of the subject property have been continued: 64

16. (a) What water supply is existing/proposed?

Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?

Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?

Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

<b>EXISTING SECONDARY UNIT INFORMATION</b>				
PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA		70.36 m <sup>2</sup>	757.38 SF	
PROP LEGAL SECONDARY UNIT SECOND FLOOR AREA		58.92 m <sup>2</sup>	634.22 SF	
TOTAL: 2		129.28 m <sup>2</sup>	1391.60 SF	
PROP. SECONDARY UNIT COVERAGE $74.50/2259.38 = 3.30\%$		70.36 m <sup>2</sup>	757 SF	
<b>SETBACKS</b>	<b>EXISTING</b>		<b>PROPOSED</b>	
	(m)	(ft)	(m)	(ft)
FRONT:	6.98	22.90	EXISTING TO REMAIN	
REAR:	24.65	80.87	EXISTING TO REMAIN	
SIDE (RIGHT):	0.17	0.55	EXISTING TO REMAIN	
SIDE(LEFT):	41.25	135.33	EXISTING TO REMAIN	
BUILDING HEIGHT:			EXISTING TO REMAIN	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

*SauBa*

Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ OF \_\_\_\_\_

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, \_\_\_\_\_, OF THE \_\_\_\_\_ OF \_\_\_\_\_

IN THE \_\_\_\_\_ OF \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

\_\_\_\_\_ OF \_\_\_\_\_

IN THE \_\_\_\_\_ OF \_\_\_\_\_

\_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
A Commissioner etc.

*SauBa*

Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED \_\_\_\_\_

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[cea@brampton.ca](mailto:cea@brampton.ca)

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A6

I/We Binu Mathew Abraham & Mercy Mathew  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Saba Al Mathno (OBS Architects INC)  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land

Dated this 21 day of February, 2024

  
(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner )

  
(where the owner is a firm or corporation, please print or type the full name of the person signing )

**NOTE:** *If the owner is a firm or corporation, the corporate seal shall be affixed hereto.*

**PERMISSION TO ENTER**


To The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[cca@brampton.ca](mailto:cca@brampton.ca)

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A6

I/We, Binu Mathew Abraham & Mercy Mathew  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent

Dated this 21 day of February, 2024

  
\_\_\_\_\_  
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner )

  
\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing )

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**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



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**Minor Variance or Special Permission**  
 (Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

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**Phone #** (647) 710-7753 **Fax #** \_\_\_\_\_  
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**Address** 14 Crofton Rd, Toronto ON, M4G 2 B4  
 \_\_\_\_\_  
**Phone #** (416) 546-2040 **Fax #** \_\_\_\_\_  
**Email** saba@qbsarchitects.com

3. **Nature and extent of relief applied for (variances requested):**  
Proposed ground floor addition does not comply with the minimum required front yard setback of 12.0 metres  
 \_\_\_\_\_  
Proposed front yard landscaping does not comply with the minimum 70% required front yard landscaping.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

4. **Why is it not possible to comply with the provisions of the by-law?**  
The proposed addition lines up with the edge of the existing house which extends beyond the allowable setback  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

5. **Legal Description of the subject land:**  
**Lot Number** Part of lot 5 & 6  
**Plan Number/Concession Number** Concession 5  
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6. **Dimension of subject land (in metric units)**  
**Frontage** 48.46 m  
**Depth** 49.86 m  
**Area** 2259.38 m<sup>2</sup>

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Please refer to the following page

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Please refer to the following page

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.88 m  
Rear yard setback 28.80 m  
Side yard setback (right) 6.61 m  
Side yard setback (left) 30.14 m

PROPOSED

Front yard setback 2.60 m  
Rear yard setback 27.52 m  
Side yard setback (right): 6.61 m  
Side yard setback (left): 16: 20 m

10. Date of Acquisition of subject land: September 14, 2020

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1960

15. Length of time the existing uses of the subject property have been continued: 64

16. (a) What water supply is existing/proposed?

Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?

Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?

Sewers   
Ditches  Other (specify) Surface drainage  
Swales



**Existing building (main house):**

ground floor area: 155.62sm  
gross floor area: 218.47sm  
number of storeys: above grade 2, below grade 1  
width: 10.65m  
length: 17.21m  
height: 7.21m

**Existing secondary unit:**

ground floor area: 64.00sm  
gross floor area: 123.32sm  
number of storeys: above grade 2 (existing to remain)  
width: 12.24m  
length: 6.29m  
height: 8.29m

**Proposed building (main house):**

ground floor area: 300.59sm  
gross floor area: 417.65sm  
number of storeys: above grade 2, below grade 1 (existing to remain)  
width: 16.14m  
length: 18.55m  
height: 7.21m (existing to remain)

**Proposed secondary unit:**

ground floor area: 82.70sm  
gross floor area: 156.56sm  
number of storeys: above grade 2 (existing to remain)  
width: 13.88m  
length: 6.29m (existing to remain)  
height: 8.29m (existing to remain)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

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Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
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File # _____	Decision _____	Relief _____

~~Suba~~ 

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 29 DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Binu Mathew Abraham, OF THE City OF Brampton  
IN THE Region OF Peel. SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
City OF Brampton  
IN THE Region OF  
Peel THIS 29 DAY OF  
February, 2024

  
~~Suba~~

Signature of Applicant or Authorized Agent

Clara Vani  
A Commissioner etc.  
Clara Vani  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_  
Present Zoning By-law Classification: RHM1

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Connor Cowan \_\_\_\_\_ 2024-02-28  
Zoning Officer Date

DATE RECEIVED February 29, 2024  
Clara

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A6

I/We, Binu Mathew Abraham & Mercy Mathew  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

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please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land

Dated this 21 day of February, 2024

  
\_\_\_\_\_  
(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner )

  
\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing )

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

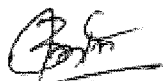
To The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[cca@brampton.ca](mailto:cca@brampton.ca)

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A5

I/We, Binu Mathew Abraham & Mercy Mathew  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent

Dated this 21 day of February, 2024

  
\_\_\_\_\_  
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner )

  
\_\_\_\_\_  
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ARCHITECTURAL SHEET LIST		
Sheet Number	Sheet Name	Current/Revision
A0-00	COVER	016
A0-01	PERSPECTIVE	016
A0-02	SITE PLAN	016
A0-03	SURVEY	016
A0-04	LOT AREA AND COVERAGE	016
A0-07	FLOOR AREA PLAN	016
A0-08	LANDSCAPE AREA PLAN	016
A0-09	SECONDARY UNIT FLOOR AREA PLAN	013
A0-10	CONSTRUCTION NOTES	016
A1-00	PROP. FOUNDATION PLAN	016
A1-01	PROP. UNFINISHED BASEMENT	016
A1-02	PROP. UNFINISHED FLOOR	016
A1-03	PROP. SECOND FLOOR	016
A1-04	PROP. ROOF PLAN	016
A1-05	PROP. SECONDARY UNIT FOUNDATION PLAN	014
A1-06	PROP. SECONDARY UNIT GROUND FLOOR PLAN	014
A1-07	PROP. SECONDARY UNIT SECOND FLOOR	014
A1-08	PROP. SECONDARY UNIT ROOF PLAN	014
A2-01	PROP. FRONT AND REAR ELEVATION	016
A2-02	PROP. SIDE ELEVATION	016
A2-03	PROP. SECONDARY UNIT FRONT AND REAR ELEVATION	013
A2-04	PROP. SECONDARY UNIT RIGHT AND LEFT ELEVATION	013
A2-05	PROP. SECTION	016
A3-02	PROP. SECONDARY UNIT SECTION	013
A4-01	DOOR WINDOW SCHEDULE & WALL ASSEMBLIES	016
A4-02	DETAILS	016
A5-01	EXISTING BASEMENT	016
A5-02	EXISTING GROUND FLOOR PLAN	016
A5-03	EXISTING SECOND FLOOR PLAN	016
A5-04	EXISTING ROOF PLAN	016
A5-05	EXISTING SECONDARY UNIT GROUND FLOOR PLAN	013
A5-06	EXISTING SECONDARY UNIT FIRST FLOOR PLAN	013
A5-07	EXISTING SECONDARY UNIT ROOF PLAN	013
A6-01	EXISTING FRONT AND REAR ELEVATION	016
A6-02	EXISTING SIDE ELEVATION	016
A6-03	EXISTING SECONDARY UNIT SIDE ELEVATION	013
A6-04	EXISTING SECONDARY UNIT FRONT & REAR ELEVATION	013

Grand total: 37

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/24
015	ISSUED FOR BUILDING PERMIT	02/14/24
013	ISSUED FOR BUILDING PERMIT	10/13/23
011	ISSUED FOR CLIENT	11/06/23
08	ISSUED FOR FORMING REVIEW	09/17/23
02	ISSUED FOR REVIEW	10/12/22
01	ISSUED FOR CVC	06/27/22

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

TORONTO - CANADA 416 516 3030 info@qbsarchitects.com




DRAWING TITLE  
**COVER**

DRAWN PP	CHECKED SA
SCALE @ ARCH D	DATE 11/03/23
GRAPHIC SCALE	

PROJECT NO. 200155

STAGE	DRAWING NO.
	<b>COFA A0-00</b>
LOCATION HALTON HILLS	REVISION <b>016</b>



PROJECT																						
<b>14 RIVER ROAD BRAMPTON, ON L6X 0A6</b>																						
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LOCATION	REVISION																					
HALTON HILLS	<b>016</b>																					

**ZONING INFO**

ZONING INFORMATION FOR (14 RIVER ROAD) BY LAW 204-2010

ZONING DISTRICT: RESIDENTIAL (R1)

PROPOSED DWELLING INFORMATION

SETBACKS	EXISTING	ALLOWABLE	PROPOSED
	(ft)	(ft)	(ft)
FRONT	3.94	13.12	13.12
REAR	3.94	13.12	13.12
SIDE (FRONT)	3.94	13.12	13.12
SIDE (REAR)	3.94	13.12	13.12
BUILDING HEIGHT	7.21	23.45	23.45

**EXISTING SECONDARY UNIT INFORMATION**

PROJ. LEGAL SECONDARY UNIT GROUND FLOOR AREA: 87.83 SF

PROJ. LEGAL SECONDARY UNIT SECOND FLOOR AREA: 111.64 SF

PROJ. SECONDARY UNIT COVERAGE BY TYPICAL 20-1: 3.94%

SETBACKS	EXISTING	PROPOSED
	(ft)	(ft)
FRONT	6.58	23.50
REAR	3.94	13.12
SIDE (FRONT)	3.94	13.12
SIDE (REAR)	3.94	13.12
BUILDING HEIGHT	11.28	13.12

PROJ. NAME: 14 RIVER ROAD

PROJ. NO: 200155

CERTIFICATE OF PRACTICE NUMBER: 8236

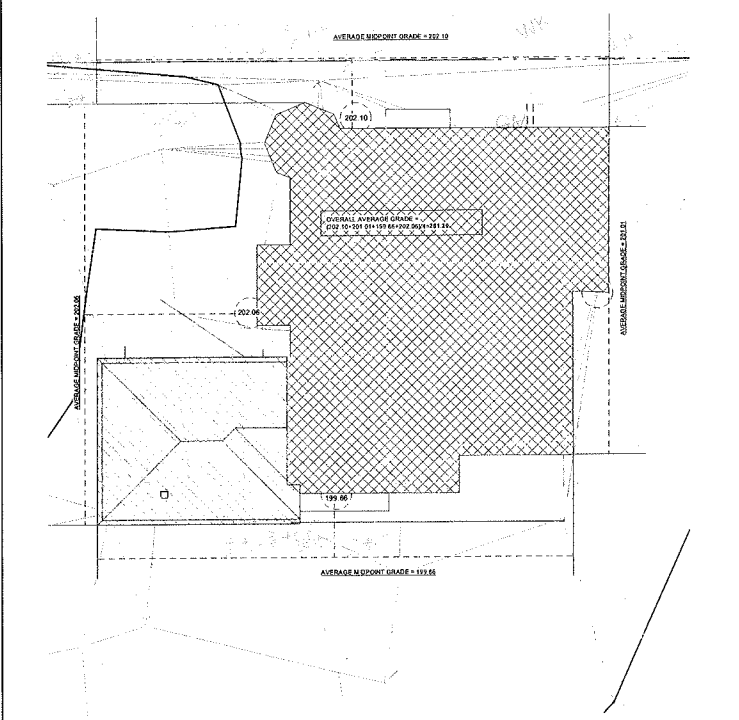
LOCATION: 14 RIVER ROAD, BRAMPTON, ON L6X 0A6

OWNER: QBS ARCHITECTS

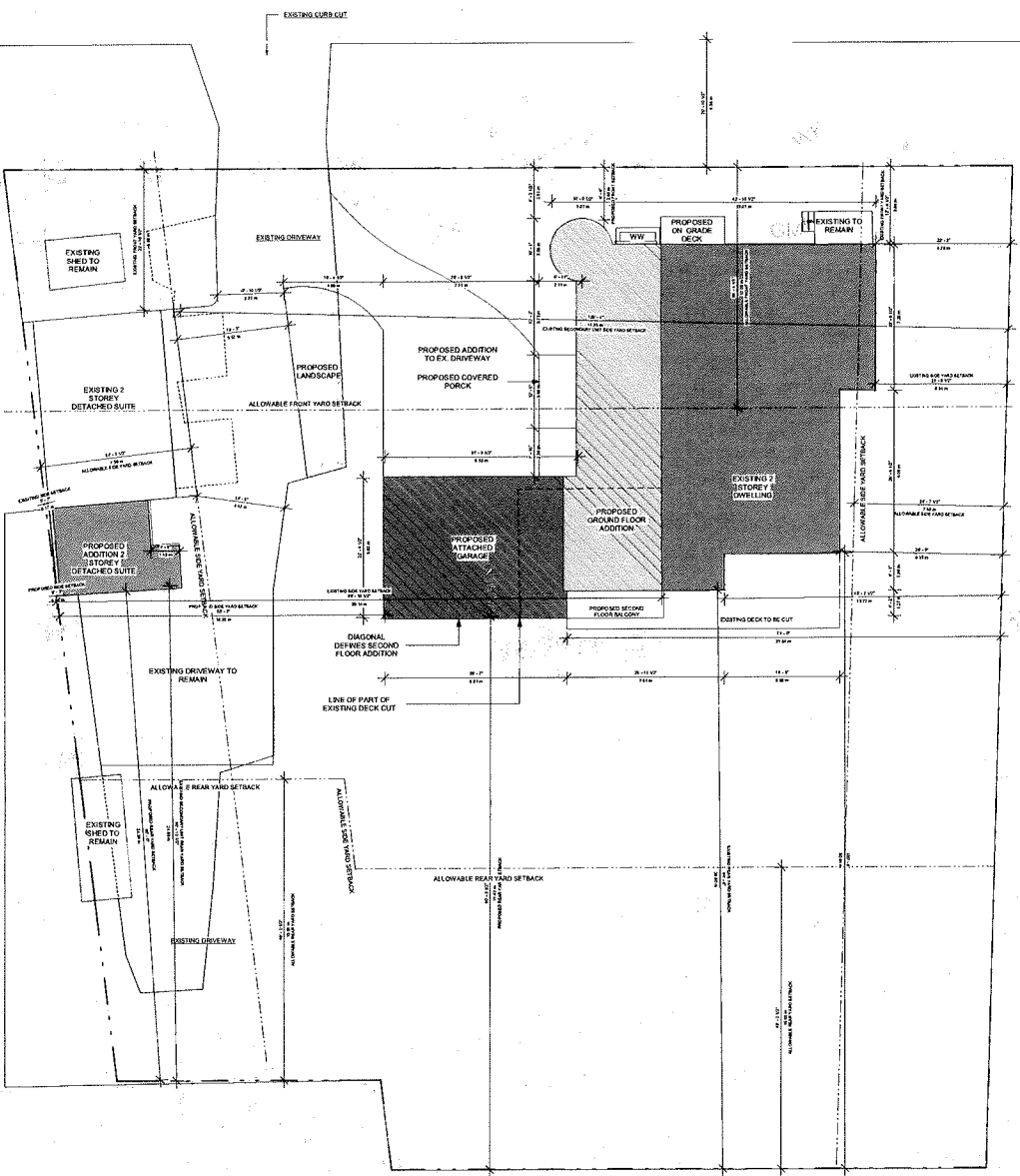
PROPOSED ADDITION AND ALTERATION TO EXISTING DWELLING

EXISTING BUILDING CODE DATA MATRIX PART 2 RESIDENTIAL

PROJECT DESCRIPTION	GROUP 1	GROUP 2	GROUP 3	GROUP 4
1. MAJOR OCCUPANCY	GROUP 1 RESIDENTIAL OCCUPANCY	GROUP 2 RESIDENTIAL OCCUPANCY	GROUP 3 RESIDENTIAL OCCUPANCY	GROUP 4 RESIDENTIAL OCCUPANCY
2. EXISTING USE	NEW GROUP 1	NEW GROUP 2	NEW GROUP 3	NEW GROUP 4
3. GROUP AREA CODE	EXISTING 21.17	NEW: 21.17	NEW: 21.17	NEW: 21.17
4. NUMBER OF STOREYS	ABOVE GRADE: 2	BELOW GRADE: 1	1.4 (1.2) 2.1 (1.4) 1.4 (1.2) 2.1 (1.4)	1.4 (1.2) 2.1 (1.4) 1.4 (1.2) 2.1 (1.4)
5. NUMBER OF DIRECTLY ADJACENT ACCESSES	1	1	1.2 (1.2) 2.1 (1.2) 1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2) 1.2 (1.2) 2.1 (1.2)
6. BUILDING CLASSIFICATION GROUP C			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
7. SHOWER SYSTEM PROPOSED			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
8. STAIRS REQUIRED			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
9. FIRE ALARM REQUIRED			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
10. WATER SERVICE/IS ADEQUATE			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
11. HIGH RISE BUILDING			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
12. COMPARTMENT RESTRICTIONS			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
13. MEZANINE AREAS			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
14. EQUIPMENT LOADS			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
15. HAZARDOUS SUBSTANCES			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
16. REDUCED FIRE RESISTANCE PARTS			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)
17. BRATON SEPARATION CONSTRUCTION OF EXTERIOR WALLS			1.2 (1.2) 2.1 (1.2)	1.2 (1.2) 2.1 (1.2)



**2 AVERAGE GRADE CALCULATION**  
3/32" = 1'-0"



**1 SITE**  
3/32" = 1'-0"

**LEGEND**

- EXISTING TWO STOREY DWELLING
- PROPOSED ATTACHED GARAGE
- PROPOSED GROUND FLOOR ADDITION
- PROPOSED SECOND FLOOR ADDITION
- EXISTING DRIVEWAY
- PROPOSED DRIVEWAY
- LANDSCAPE
- EXISTING SHED TO REMAIN
- PROPOSED LANDSCAPE
- EXISTING SECONDARY UNIT
- PROPOSED SECONDARY UNIT ADDITION

PROJECT: **14 RIVER ROAD**  
BRAMPTON, ON L6X 0A6

CLIENT: **Owner**

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PREPARED FOR BUILDING PERMIT	09/14/2024
013	ISSUED FOR BUILDING PERMIT	12/21/2023
012	ISSUED FOR LPO CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/09/2023
010	ISSUED FOR CLIENT	10/26/2023
09	ISSUED FOR CLIENT	10/16/2023

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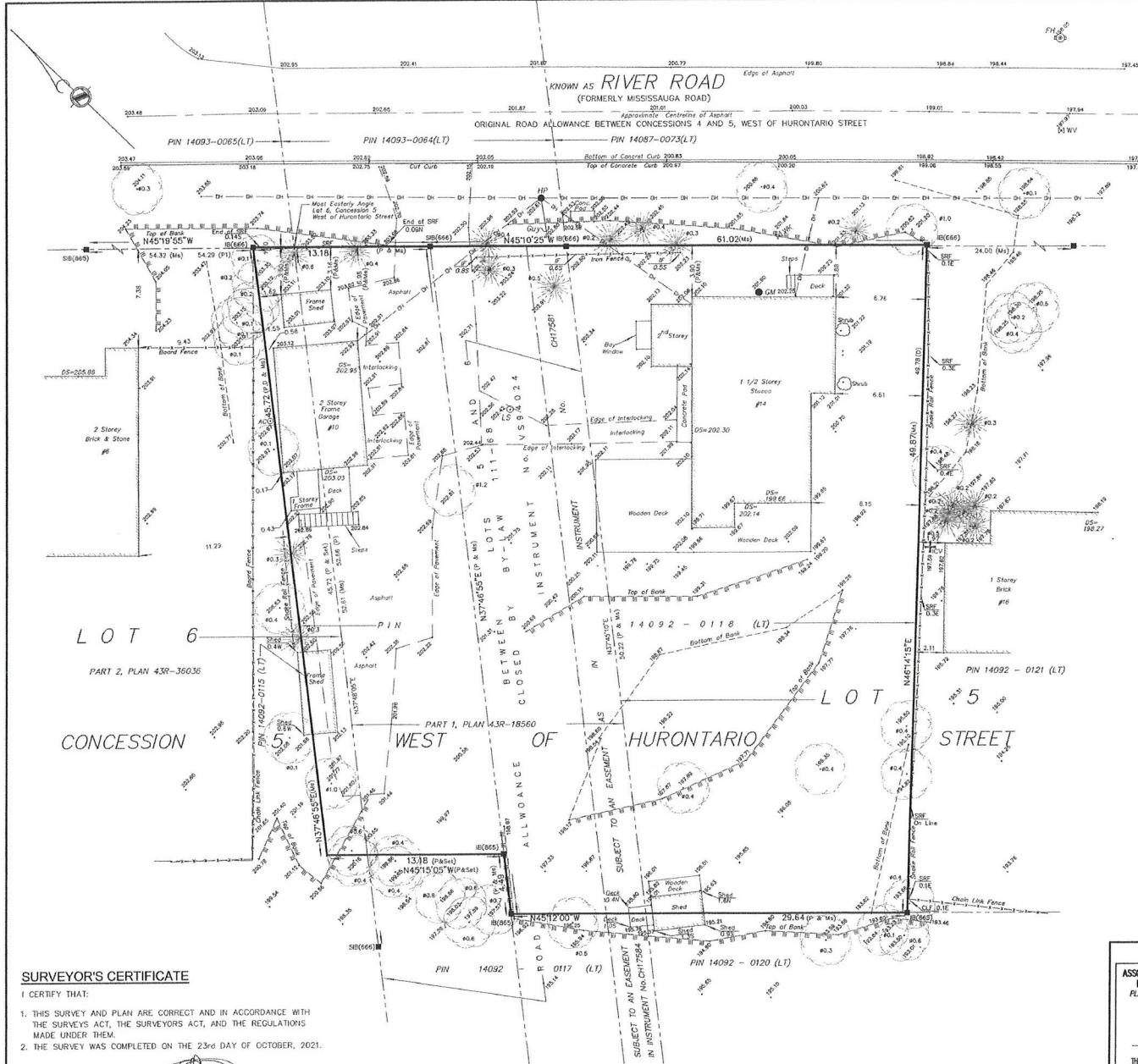
ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS: **QBS ARCHITECTS**

TORONTO - CANADA: +1 647 204 2142 | +1 800 670 3121 6370

DRAWING TITLE: **SITE PLAN**

DRAWN: PP	CHECKED: SA
SCALE @ ARCH D: As Indicated	DATE: 11/03/23
GRAPHIC SCALE	
PROJECT NO.: 200155	
STAGE: COFA	DRAWING NO.: A0-02
LOCATION: HALTON HILLS	REVISION: 016



**SURVEYOR'S REAL PROPERTY REPORT**  
 SHOWING TOPOGRAPHIC FEATURES OF  
**THE ROAD ALLOWANCE BETWEEN LOTS 5  
 AND 6**  
 (CLOSED BY CHINGUACOUSY BY-LAW 111-68)  
 AND  
**PART OF LOTS 5 AND 6, CONCESSION 5  
 WEST OF HURONTARIO STREET**  
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1:200

YOUNG & YOUNG SURVEYING INC.  
 ONTARIO LAND SURVEYORS  
 © 2021

**METRIC**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**PART 2**  
**DESCRIPTION OF LAND**  
 THE ROAD ALLOWANCE BETWEEN LOTS 5 AND 6  
 (CLOSED BY CHINGUACOUSY BY-LAW 111-68) AND  
 PART OF LOTS 5 AND 6, CONCESSION 5  
 WEST OF HURONTARIO STREET  
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL  
 COMPLIANCE WITH MUNICIPAL ZONING  
 NOT CERTIFIED BY THIS REPORT  
 REGISTERED EASEMENTS  
 SUBJECT TO AN EASEMENT AS IN INSTRUMENT No. CH17581  
**ADDITIONAL REMARKS**  
 NOTE THE LOCATION OF THE FENCES, DRIVEWAY, SHED, OVERHEAD WIRE AND TREES IN  
 RELATION TO THE BOUNDARY LIMITS.

**BEARING NOTE**  
 BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET)  
 OBSERVATIONS, UTM ZONE 17, NAD83 (CGRS 2010).

**DISTANCE NOTE**  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID  
 BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999668.

- LEGEND**
- DENOTES FOUND BAR
  - DENOTES PLANTED BAR
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - M<sub>0</sub> DENOTES MEASURED
  - P DENOTES PLAN 43R-18560
  - P1 DENOTES PLAN 43R-36036
  - D DENOTES INSTRUMENT No. R0952965
  - (666) DENOTES A, DEATH, O.L.S
  - (885) DENOTES D.P. McLEAN, O.L.S
  - WHS DENOTES WEST OF HURONTARIO STREET
  - HP DENOTES HYDRO POLE
  - LS DENOTES LIGHT STANDARD
  - MWV DENOTES WATER VALVE
  - MWK DENOTES WATER KEY
  - PH DENOTES FIRE HYDRANT
  - BF DENOTES BOARD FENCE
  - CLF DENOTES CHAIN LINK FENCE
  - DS DENOTES DOOR SILL
  - GS DENOTES GARAGE SILL
  - SRF DENOTES SHAKE RAIL FENCE
  - IF DENOTES IRON FENCE
  - N DENOTES NORTH
  - E DENOTES EAST
  - W DENOTES WEST
  - S DENOTES SOUTH
  - CL DENOTES CENTRE LINE
  - DENOTES DECIDUOUS TREE WITH DIAMETER
  - DENOTES CONIFEROUS TREE WITH DIAMETER
  - DENOTES OVERHEAD HYDRO LINES
  - DENOTES IRRIGATION CONTROL VALVE
  - DENOTES AIR CONDITIONER
  - DENOTES BELL BOX
  - DENOTES GAS METER

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
 THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS  
 MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 23<sup>rd</sup> DAY OF OCTOBER, 2021.

Nov 12/21  
 DATE  
  
 JAMES A. AGEMANG B.Eng.  
 ONTARIO LAND SURVEYOR

**BENCHMARK NOTE**  
 ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE  
 CITY OF BRAMPTON, MONUMENT #042200354 (ONT.78 ADJUSTMENT) HAVING  
 AN ELEVATION 205.85 METRES.

**BEARING ROTATION NOTE**  
 FOR BEARING COMPARISONS, A ROTATION OF 0°54'05" COUNTER CLOCKWISE  
 WAS APPLIED TO PLAN P TO CONVERT TO GRID BEARINGS

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-20341

THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR  
 IN ACCORDANCE WITH  
 Regulation 1009, Section 29(3).

**YOUNG & YOUNG  
 SURVEYING INC.**  
 A Subsidiary of Mauro Group Inc.  
 2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1  
 PHONE: 905.951.6000 - FAX: 905.857.4811  
 www.youngsurveying.ca - info@youngsurveying.ca  
 PARTY CHIEF: DEV DRAWN BY: LV CHECKED BY: JA  
 CLIENT: MATTHEW, 4802484M  
 PROJECT: F:\PROJECTS\2021\210775\WSCAD\B777E\_SRPFR\_TPO.DWG  
**PROJECT No. 21-B7778**

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PREPARED FOR BUILDING PERMIT	03/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/27/2023
04	ISSUED FOR ZONING REVIEW	03/17/2023

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 Architect before proceeding. Only figured dimensions are  
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CONSULTANTS

  
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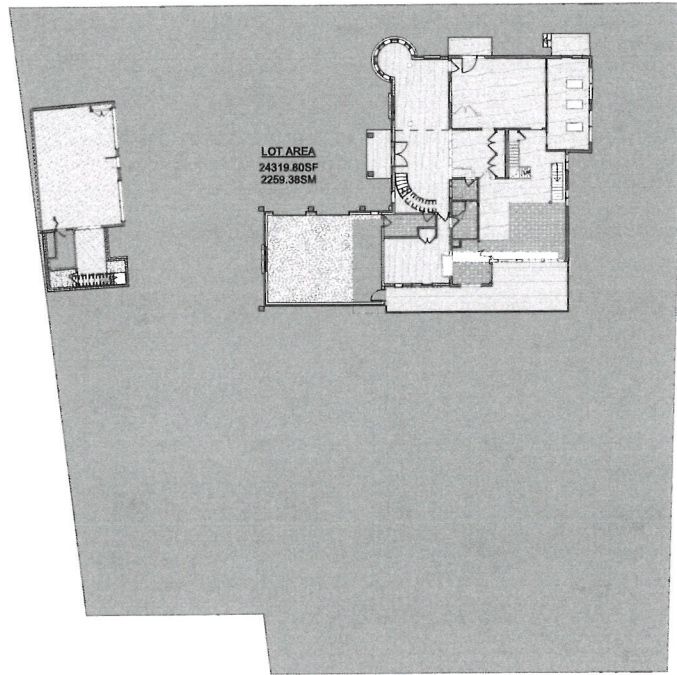
DRAWING TITLE  
**SURVEY**

DRAWN PP	CHECKED SA
SCALE @ ARCH D	DATE 10/20/22
GRAPHIC SCALE	

PROJECT NO. 200155

STAGE	DRAWING NO.
	<b>COFA A0-05</b>
LOCATION HALTON HILLS	REVISION <b>016</b>



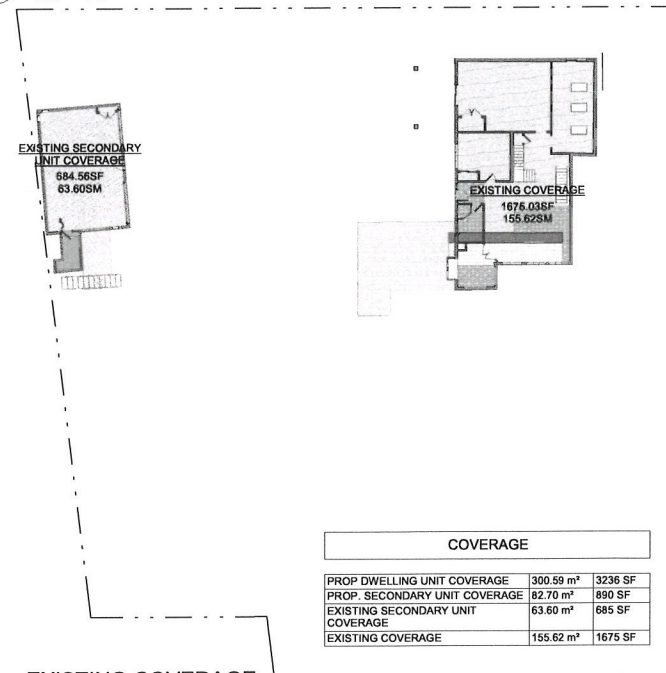


1 LOT AREA  
1/16" = 1'-0"

LOT AREA		
LOT AREA	2259.38 m <sup>2</sup>	24320 SF



2 PROP. COVERAGE  
1/16" = 1'-0"



3 EXISTING COVERAGE  
1/16" = 1'-0"

COVERAGE		
PROP DWELLING UNIT COVERAGE	300.59 m <sup>2</sup>	3235 SF
PROP. SECONDARY UNIT COVERAGE	82.70 m <sup>2</sup>	890 SF
EXISTING SECONDARY UNIT COVERAGE	63.60 m <sup>2</sup>	685 SF
EXISTING COVERAGE	155.62 m <sup>2</sup>	1675 SF

**PROJECT**  
14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

**CLIENT**  
Owner

**REVISIONS**

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023
04	ISSUED FOR ZONING REVIEW	03/17/2023

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**CONSULTANTS**

TORONTO - CANADA 416-646-2040 info@qbsarchitects.com

**DRAWING TITLE**  
LOT AREA AND COVERAGE

<b>DRAWN</b> PP	<b>CHECKED</b> SA
<b>SCALE @ ARCH D</b> 1/16" = 1'-0"	<b>DATE</b> 02/09/23

**GRAPHIC SCALE**

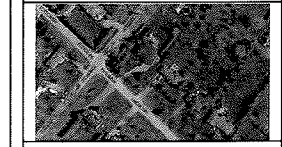
**PROJECT NO.** 200155

<b>STAGE</b>	<b>DRAWING NO.</b>
	<b>COFA A0-06</b>

<b>LOCATION</b> HALTON HILLS	<b>REVISION</b> 016
---------------------------------	------------------------

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PERMITTED FOR BUILDING PERMIT	03/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
011	ISSUED FOR CLIENT	11/06/2023
09	ISSUED FOR CLIENT	10/16/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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CONSULTANTS

**QBS ARCHITECTS**

ONTARIO ASSOCIATION OF ARCHITECTS (O.A.A.)  
 1000 SHEPPARD AVENUE EAST, SUITE 100  
 SCARBOROUGH, ONTARIO M1S 1T7

TORONTO - CANADA 416 546 2242 416 546 2243

DRAWING TITLE  
**FLOOR AREA PLAN**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 11/03/23

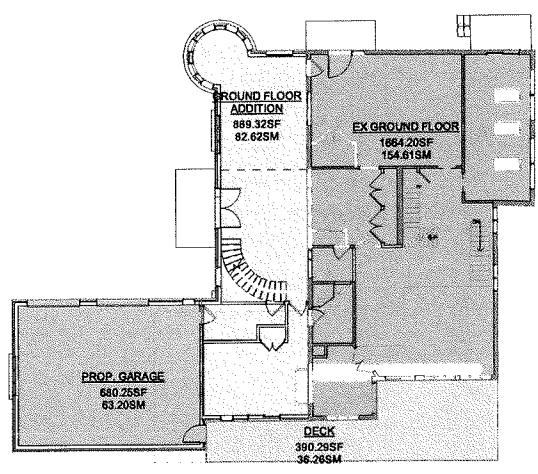
GRAPHIC SCALE

N

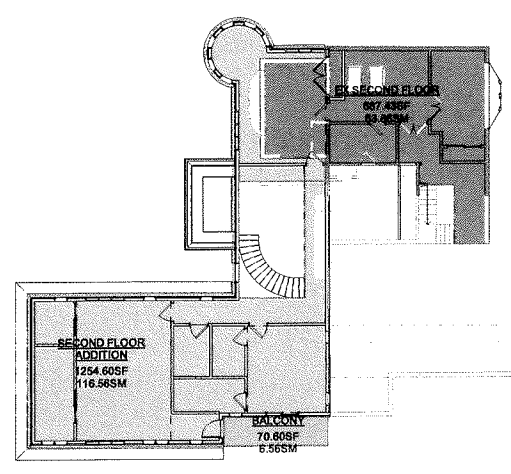
PROJECT NO.  
 200155

STAGE DRAWING NO.  
**COFA A0-07**

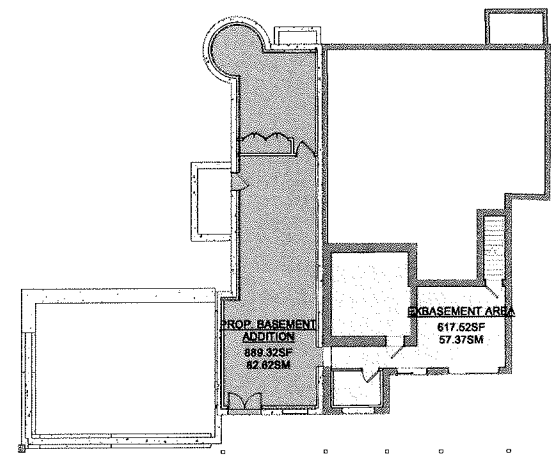
LOCATION HALTON HILLS REVISION **016**



**1** GROUND FLOOR-PROPOSED  
 1" = 10'-0"



**2** SECOND FLOOR-PROPOSED  
 1" = 10'-0"



**3** BASEMENT-PROPOSED  
 1" = 10'-0"

01-GFA

GROUND FLOOR ADDITION	889.32 SF	82.62 SM
SECOND FLOOR ADDITION	1254.60 SF	116.56 SM
EX GROUND FLOOR	1664.20 SF	154.61 SM
EX SECOND FLOOR	647.45 SF	60.45 SM
PROP. GARAGE	680.25 SF	63.20 SM
DECK	390.26 SF	36.26 SM
PROP. BASEMENT ADDITION	889.32 SF	82.62 SM
EX BASEMENT AREA	617.62 SF	57.37 SM

### FRONT YARD LANDSCAPING CALCULATION

- DRIVEWAY
- FRONT YARD SOFT LANDSCAPING
- HARD SURFACE
- PORCH

Area Schedule (Front Yard Area - Proposed)		
Name	Area	Area (M <sup>2</sup> )
DRIVEWAY	1788 SF	166.14 M <sup>2</sup>
FRONT YARD SOFT LANDSCAPING	774 SF	71.82 M <sup>2</sup>
HARD SURFACE	843 SF	77.97 M <sup>2</sup>
DRIVEWAY	1788 SF	166.14 M <sup>2</sup>
FRONT YARD LANDSCAPING CALCULATION	4309 SF	402.29 M <sup>2</sup>

	SQ. FT.	SQ. M.
TOTAL FRONT YARD AREA	5299	492.29
FRONT YARD SOFT LANDSCAPING AREA	2748	255.12
FRONT YARD SOFT LANDSCAPING RATIO	2748/5299 = 51.86%	



**PROJECT**  
14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

**CLIENT**  
*Owner*

**REVISIONS**

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE-ISSUED FOR BUILDING PERMIT	12/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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**CONSULTANTS**

**QBS ARCHITECTS**

ONTARIO ASSOCIATION OF ARCHITECTS  
200-1000  
550-A-1000  
TORONTO, ONTARIO  
M5G 1S1

TORONTO - CANADA 416 545 2242 info@qbsarchitects.com

**DRAWING TITLE**  
LANDSCAPE AREA PLAN

<b>DRAWN</b> PP	<b>CHECKED</b> SA
<b>SCALE @ ARCH D</b> 1" = 10'-0"	<b>DATE</b> 10/20/22

**GRAPHIC SCALE**

**PROJECT NO.** 200155

<b>STAGE</b>	<b>DRAWING NO.</b>
COFA	A0-08

**LOCATION** HALTON HILLS **REVISION** 016



PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COVA	10/17/2024
015	ISSUED FOR PERMIT	10/07/2023
013	ISSUED FOR BUILDING PERMIT	10/07/2023
012	ISSUED FOR CONSTRUCTION	12/28/2023

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TOWN OF - CANTON 418-448-2705  
DRAWING TITLE  
**PROP. FOUNDATION PLAN**

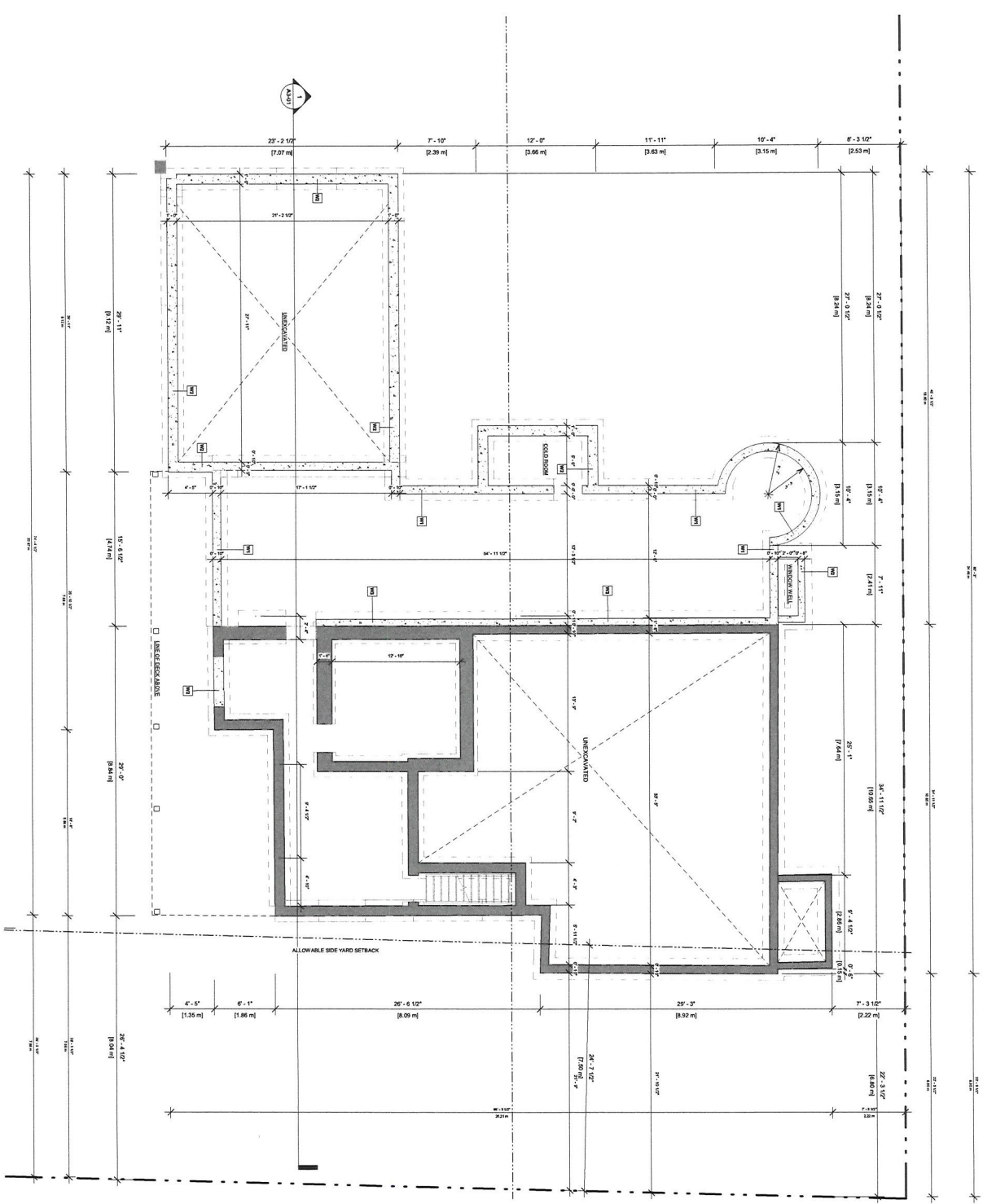
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SCALE @ ARCHD	DATE	11/21/23	
3/16" = 1'-0"			
GRAPHIC SCALE			

PROJECT NO. 200155

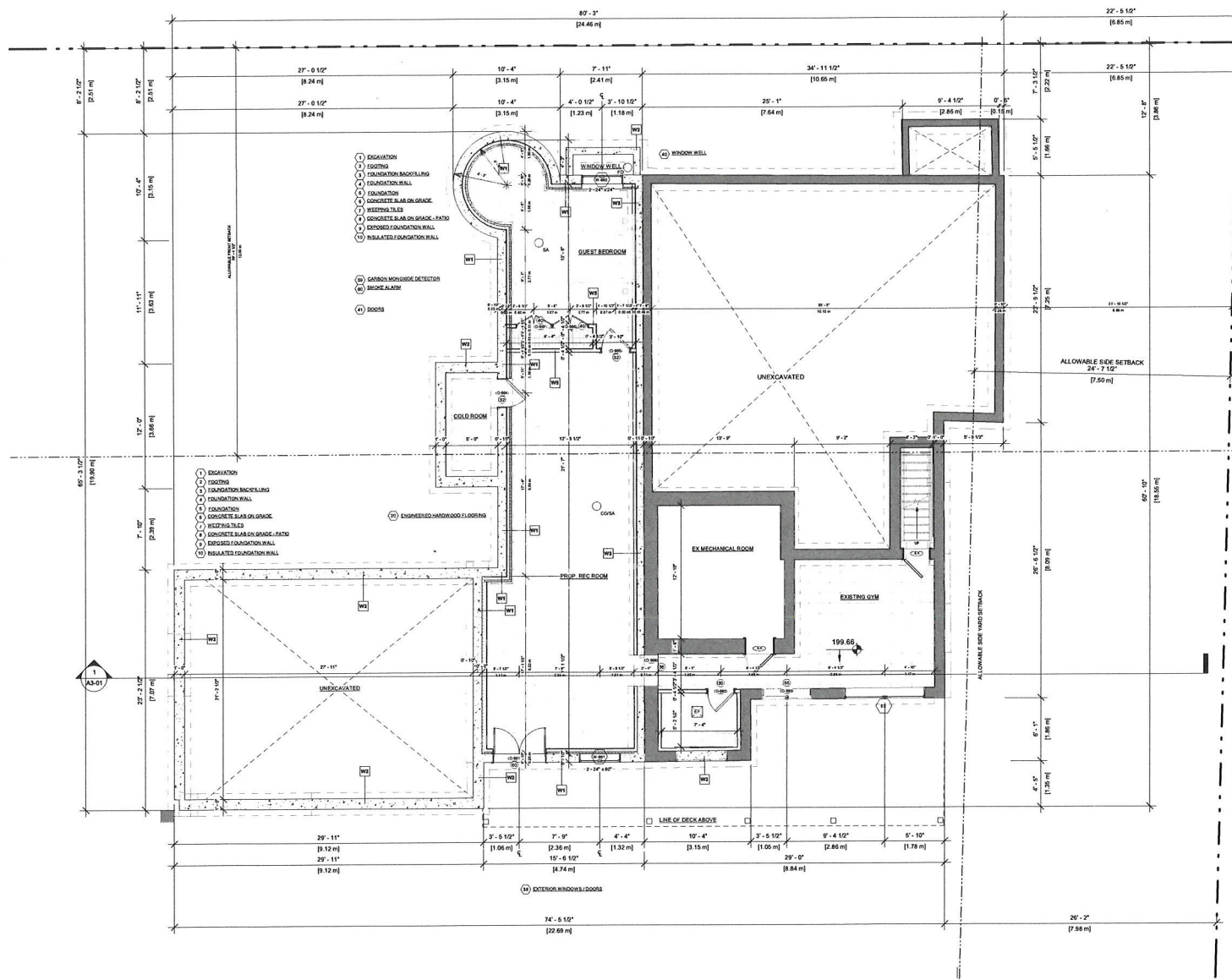
STAGE DRAWING NO.

**COFA A1-00**

LOCATION HALTON HILLS REVISION 016



WALL TO REMAIN
NEW CONSTRUCTION



- (1) EXCAVATION
  - (2) FOOTING
  - (3) FOUNDATION BACKFILLING
  - (4) FOUNDATION WALL
  - (5) FOUNDATION
  - (6) CONCRETE SLAB ON GRADE
  - (7) CONCRETE SLAB ON GRADE - FATIO
  - (8) EXPOSED FOUNDATION WALL
  - (9) INSULATED FOUNDATION WALL
- (M) CARBON MONOXIDE DETECTOR
  - (A) SMOKE ALARM
  - (D) DOORS

- (1) EXCAVATION
- (2) FOOTING
- (3) FOUNDATION BACKFILLING
- (4) FOUNDATION WALL
- (5) FOUNDATION
- (6) CONCRETE SLAB ON GRADE
- (7) CONCRETE SLAB ON GRADE - FATIO
- (8) EXPOSED FOUNDATION WALL
- (9) INSULATED FOUNDATION WALL

**WALL LEGEND**  
 [Symbol] EXISTING TO REMAIN  
 [Symbol] TO BE DEMOLISHED  
 [Symbol] NEW CONSTRUCTION

**PROJECT**  
 14 RIVER ROAD  
 BRAMPTON, ON  
 L6X 0A6

**CLIENT**  
 Owner

**REVISIONS**

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PREPARED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR P/Q CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/06/2023
010	ISSUED FOR CLIENT	10/26/2023

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**CONSULTANTS**

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**DRAWING TITLE**  
 PROP. UNFINISHED BASEMENT

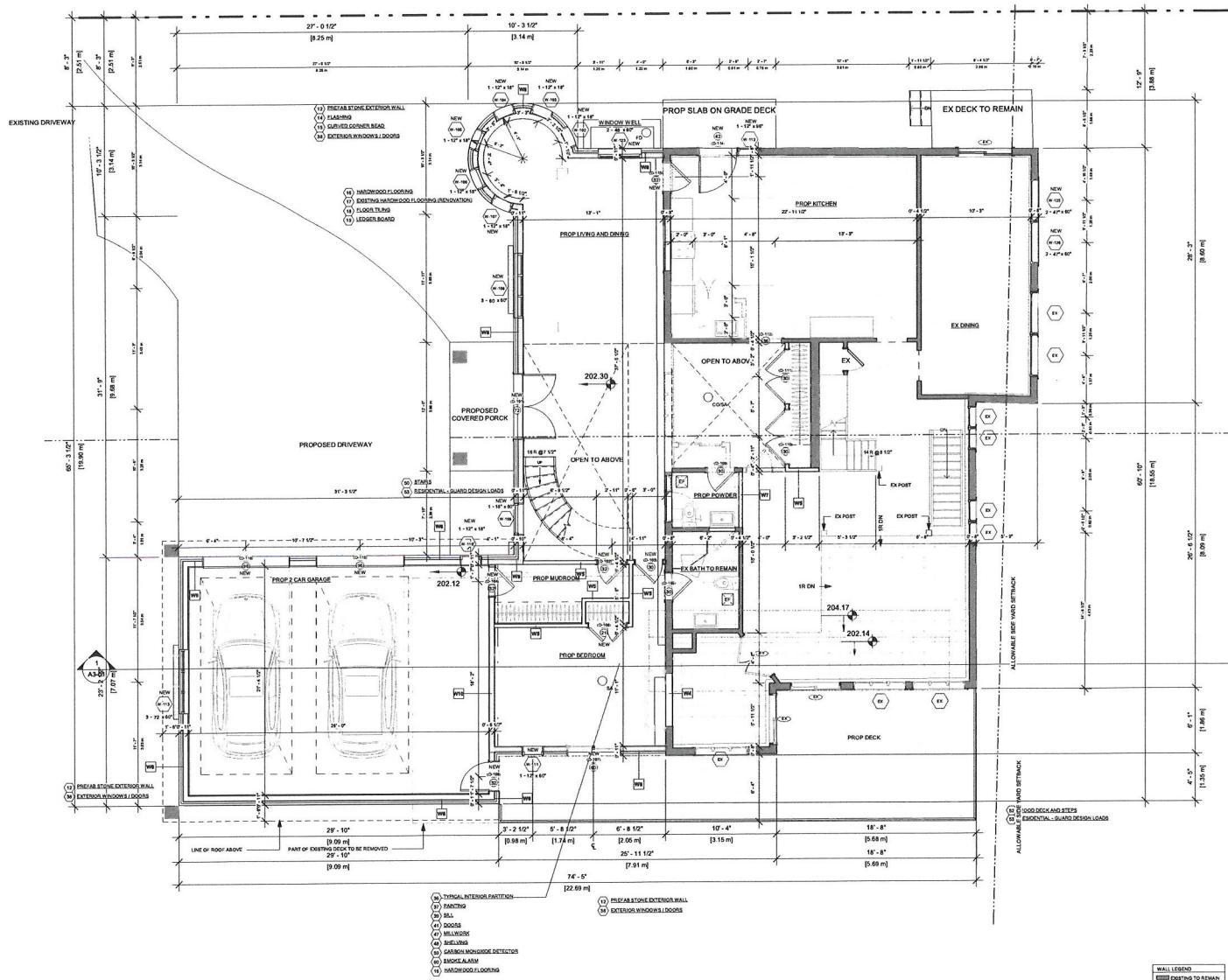
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<b>SCALE @ ARCH D</b> 3/16" = 1'-0"	<b>DATE</b> 11/03/23

**GRAPHIC SCALE**

**PROJECT NO.** 200155

<b>STAGE</b>	<b>DRAWING NO.</b>
	<b>COFA A1-01</b>

<b>LOCATION</b> HALTON HILLS	<b>REVISION</b> <b>016</b>
---------------------------------	-------------------------------



- (1) TYPICAL INTERIOR PARTITION
- (2) FINISHES
- (3) BALL
- (4) DOORS
- (5) MILLWORK
- (6) BASELINGS
- (7) CARBON MONOXIDE DETECTOR
- (8) BRASS PLATE
- (9) HARDWOOD FLOORING
- (10) FIRE-RATED EXTERIOR WALL
- (11) EXTERIOR WINDOWS & DOORS

WALL LEGEND	
[Solid Line]	EXISTING TO REMAIN
[Dashed Line]	TO BE DEMOLISHED
[Thin Solid Line]	NEW CONSTRUCTION

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE-SUBMITTED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR P/Q CONSULTANT	11/29/2023
011	ISSUED FOR CLIENT	11/06/2023
010	ISSUED FOR CLIENT	10/26/2023

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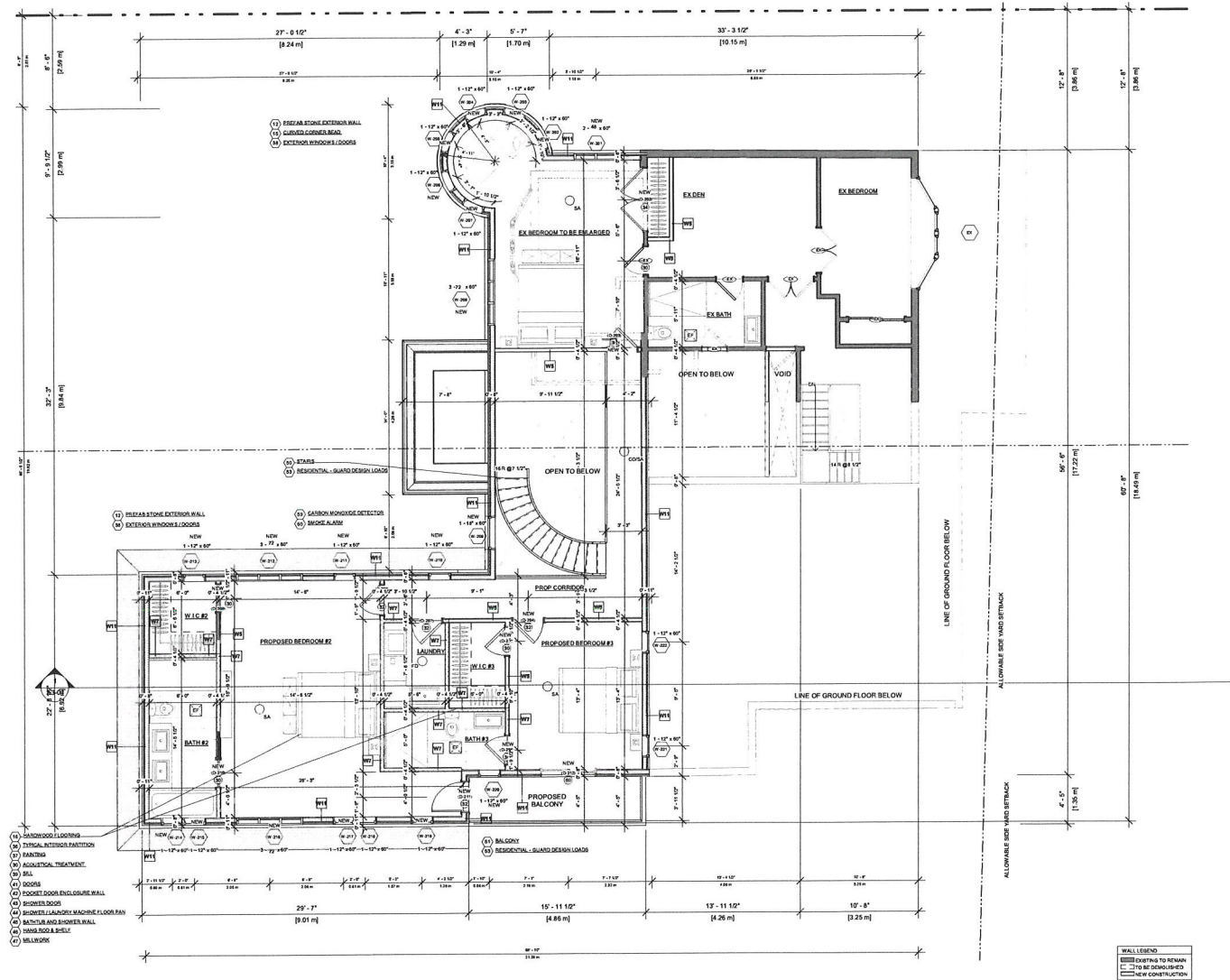
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DRAWING TITLE  
**PROP. GROUND FLOOR**

DRAWN	PP	CHECKED	SA
SCALE @ ARCH D	3/16" = 1'-0"	DATE	11/03/23

GRAPHIC SCALE

PROJECT NO.	200155
STAGE	DRAWING NO.
<b>COFA A1-02</b>	
LOCATION	HALTON HILLS
REVISION	<b>016</b>



- (1) HARDWOOD FLOORING
- (2) TYPICAL INTERIOR PARTITION
- (3) FRANKLIN
- (4) ACQUILATA TREATMENT
- (5) SILL
- (6) DOORS
- (7) DOCKET DOOR ENCLOSURE WALL
- (8) SHOWER DOOR
- (9) SHOWER DOOR
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- (99) SHOWER DOOR
- (100) SHOWER DOOR

WALL LEGEND  
 [Symbol] EXISTING TO REMAIN  
 [Symbol] TO BE DEMOLISHED  
 [Symbol] NEW CONSTRUCTION

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RESUBMITTED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPS CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/06/2023
010	ISSUED FOR CLIENT	10/26/2023

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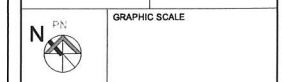
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DRAWING TITLE  
**PROP. SECOND FLOOR**

DRAWN	PP	CHECKED	SA
SCALE @ ARCH D	3/16" = 1'-0"	DATE	11/03/23

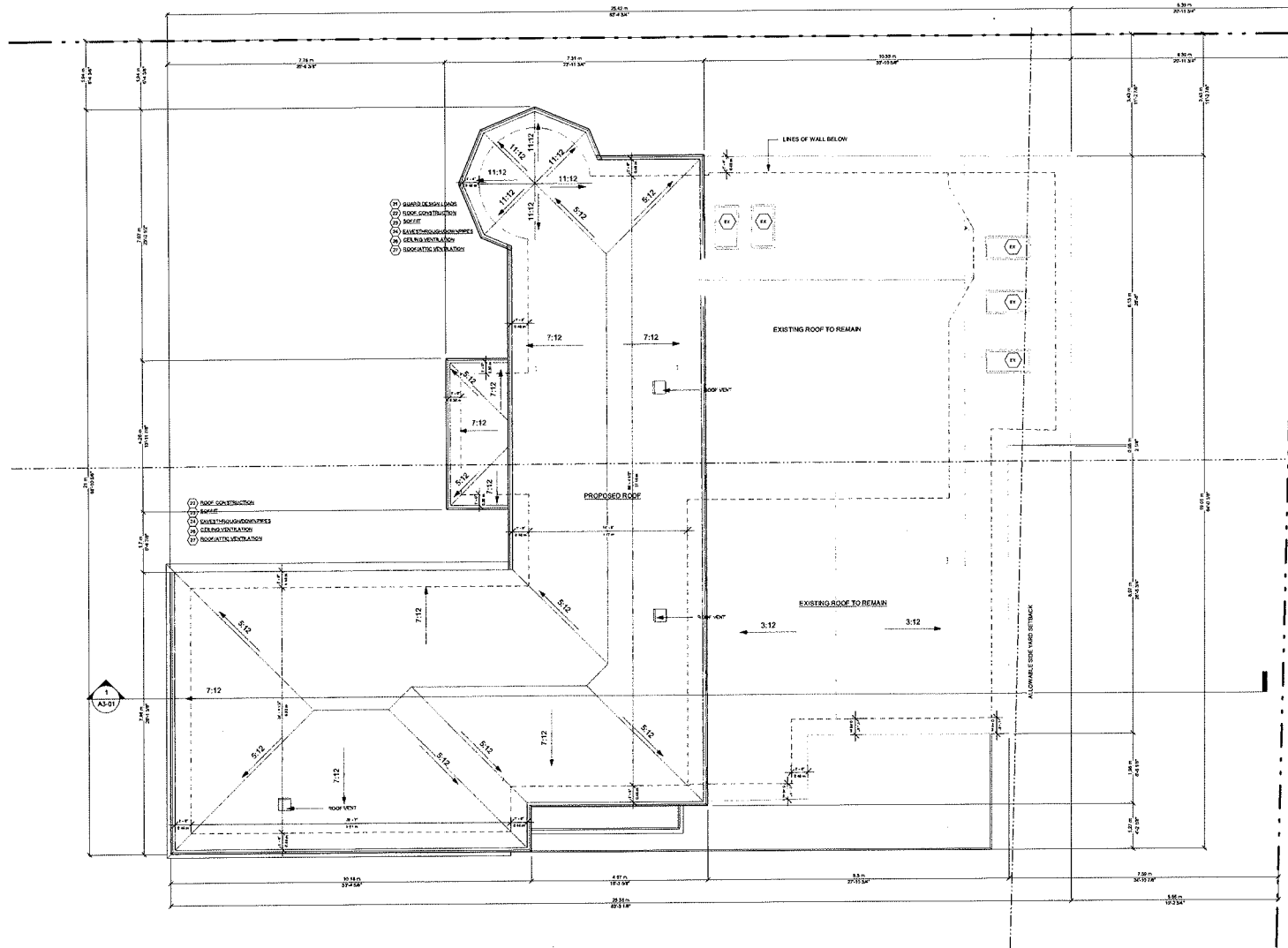


PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-03**

LOCATION HALTON HILLS REVISION **016**





PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RESUBMITTED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSTRUCTION PERMIT	11/20/2023
013	ISSUED FOR BUILDING PERMIT	11/20/2023
012	ISSUED FOR CONSTRUCTION PERMIT	11/20/2023
011	ISSUED FOR CONSTRUCTION PERMIT	02/17/2023
010	RESUBMITTED FOR REVIEW	10/11/2022

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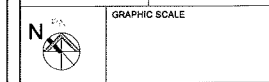
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DRAWING TITLE  
**PROP. ROOF PLAN**

DRAWN	HH	CHECKED	SA
SCALE @ ARCH D	3/16" = 1'-0"	DATE	10/20/22



PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-04**

LOCATION HALTON HILLS REVISION **016**

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PREPARED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPD CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/02/2023
010	ISSUED FOR CLIENT	10/26/2023
09	ISSUED FOR CLIENT	10/25/2023

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CONSULTANTS

ONLINE ASSOCIATION OF ARCHITECTS  
 1000 GERRARD ST. E. SUITE 100  
 TORONTO, CANADA 416 846 2910 info@qbsarchitects.com

DRAWING TITLE  
**PROP. FRONT AND REAR ELEVATION**

DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	11/03/23
	3/16" = 1'-0"		

GRAPHIC SCALE

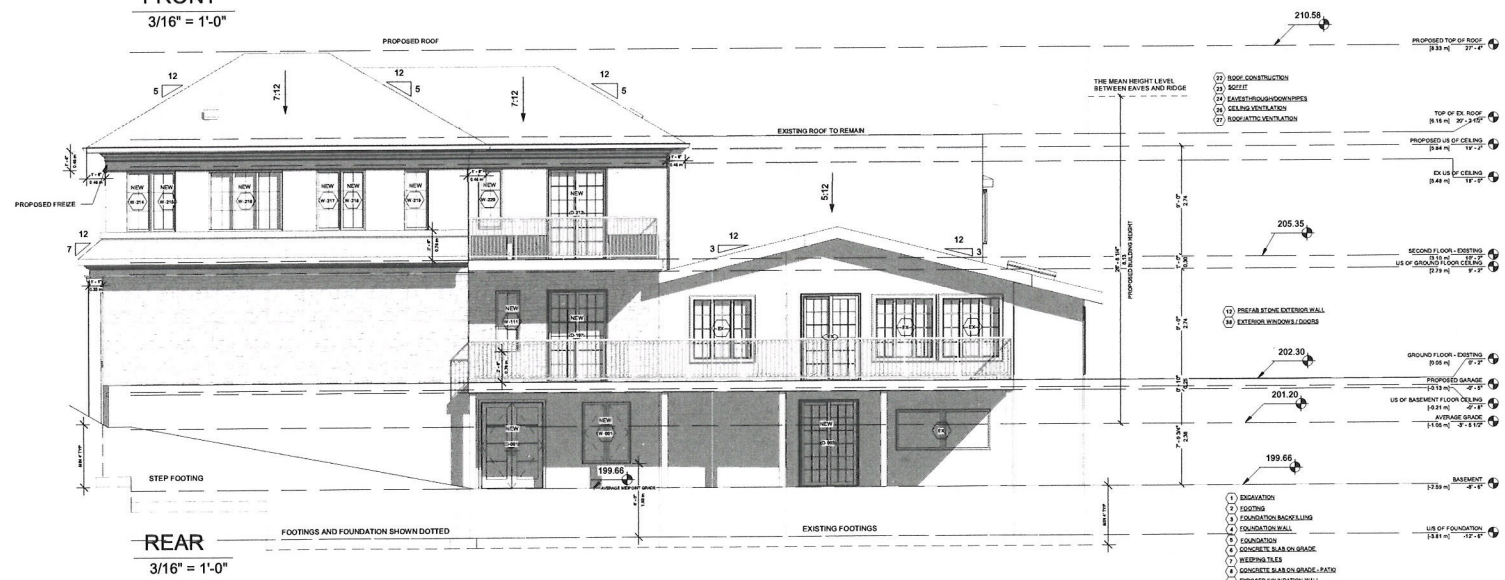
PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A2-01**

LOCATION HALTON HILLS REVISION **016**



**FRONT**  
 3/16" = 1'-0"



**REAR**  
 3/16" = 1'-0"

LIMITING DISTANCE: 10.50 FT - 3.19 M  
 MAX OPENINGS: 100%  
 EXPOSED BUILDING FACE: 1958.55 SQ. F. - 181.58 SQ. M  
 ALLOWABLE GLAZING: 1954.55 SQ. F. - 181.58 SQ. M  
 PROPOSED GLAZING AREA (15.68%): 306.60 SQ. F. - 28.48 SQ. M

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE-ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPS CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/26/2023
010	ISSUED FOR CLIENT	10/26/2023
09	ISSUED FOR CLIENT	10/25/2023

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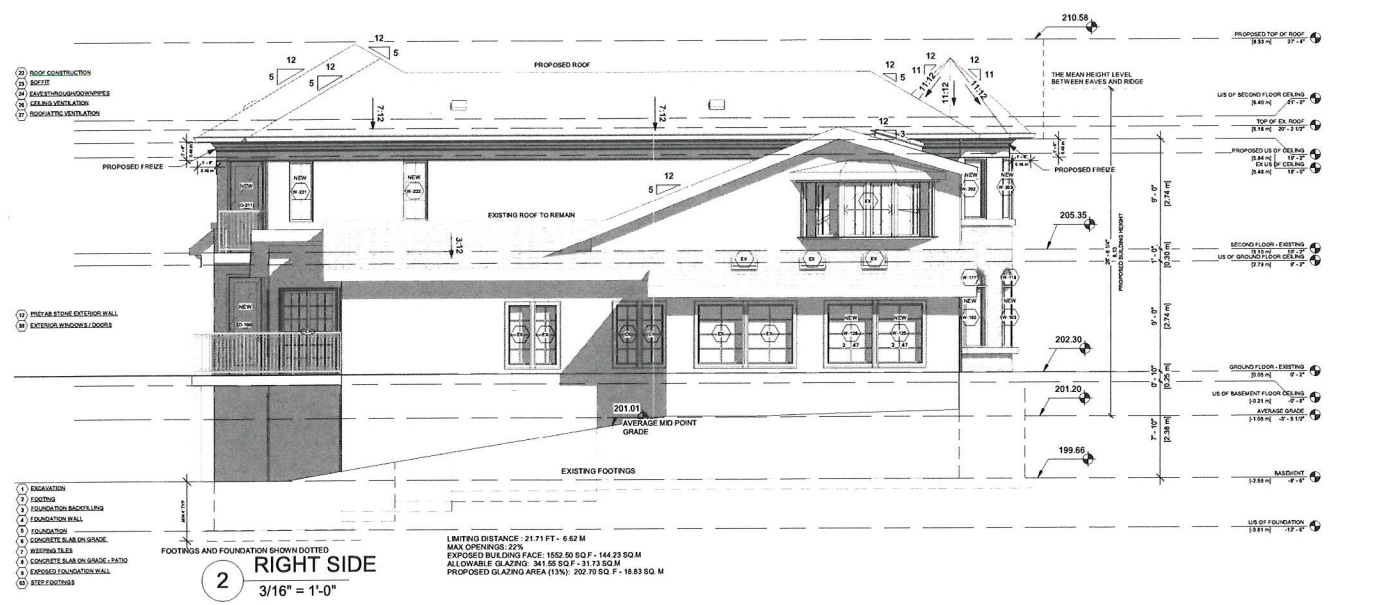
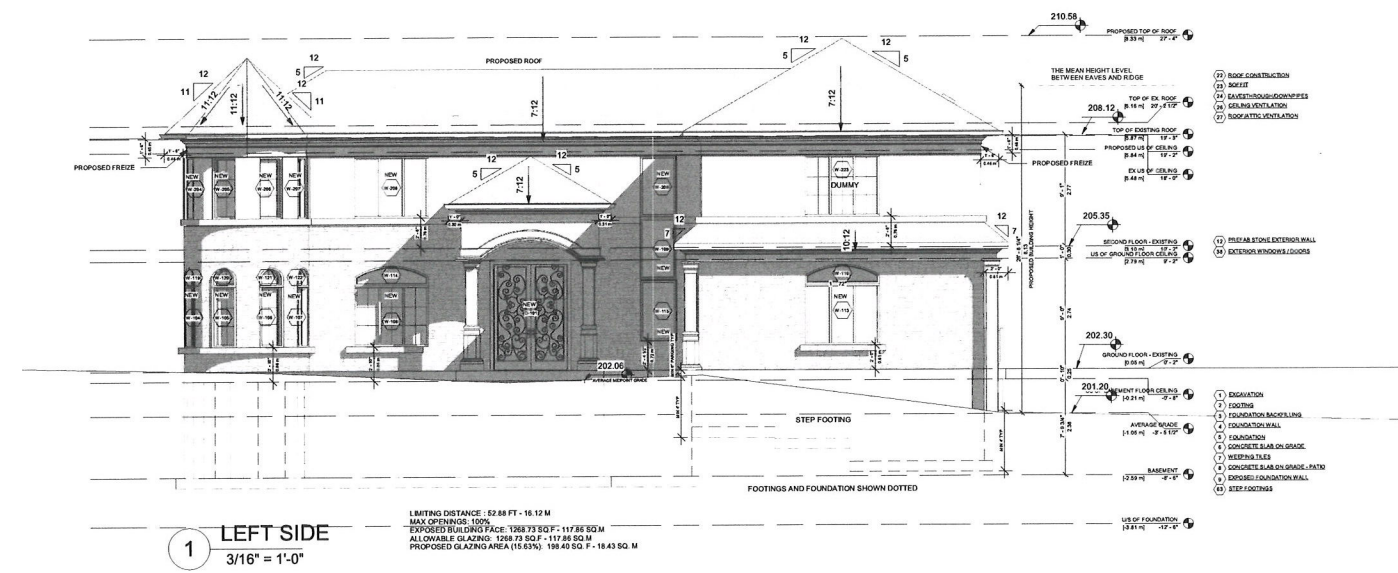
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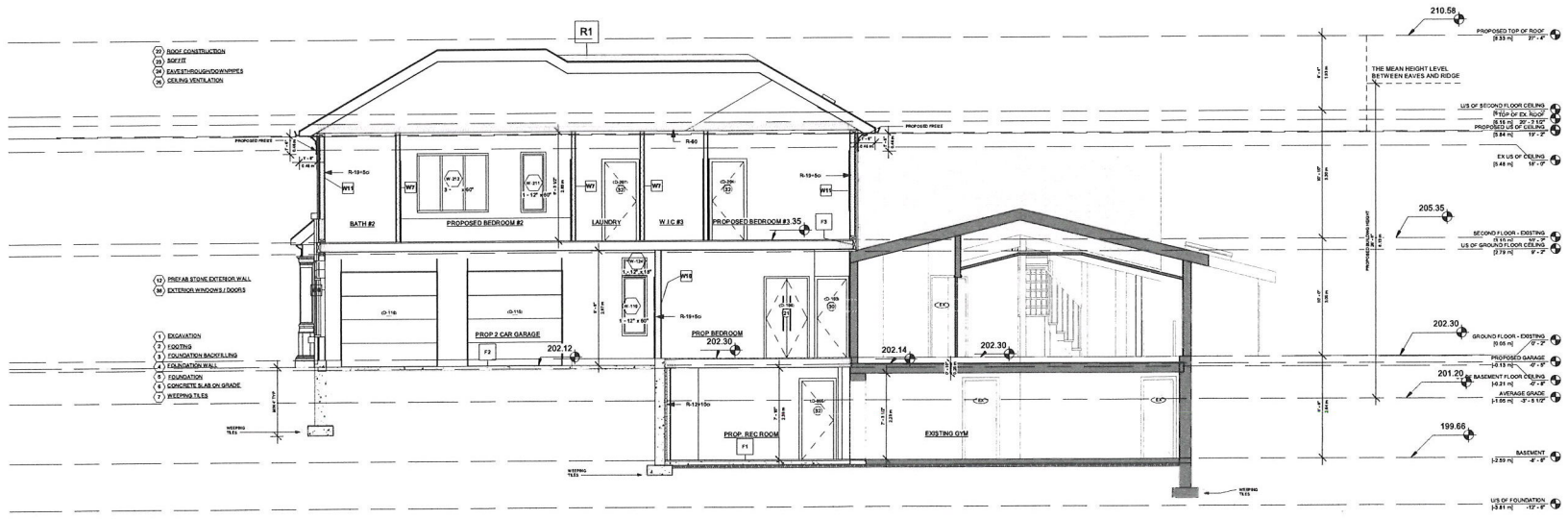
DRAWING TITLE  
**PROP. SIDE ELEVATION**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/03/23

GRAPHIC SCALE

PROJECT NO. 200155
STAGE <b>COFA A2-02</b>
DRAWING NO.
LOCATION HALTON HILLS
REVISION <b>016</b>





- (7) ROOF CONSTRUCTION
- (8) SIDING
- (9) EXTERIOR DOOR/DOWNERS
- (10) SEILING VENTILATION

- (12) PRECAST STONE EXTERIOR WALL
- (13) EXTERIOR WINDOWS / DOORS

- (1) EXCAVATION
- (2) FOOTING
- (3) FOUNDATION BACKFILLING
- (4) FOUNDATION WALL
- (5) FOUNDATION
- (6) CONCRETE SLAB ON GRADE
- (7) REPAIRING TILES

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
016	ISSUED FOR BUILDING PERMIT	10/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LFG CONSULTANT	11/22/2023

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DRAWING TITLE  
**PROP. SECTION**

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/21/23

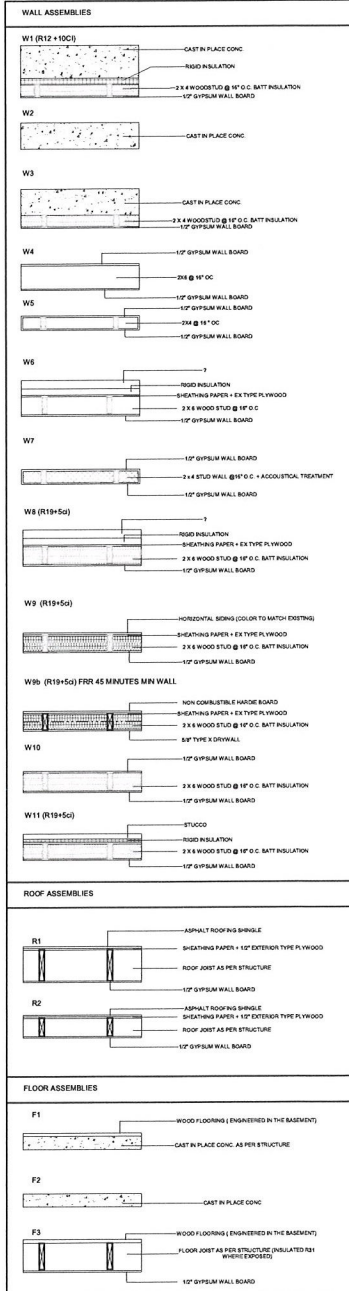
PROJECT NO.  
 200155

STAGE DRAWING NO.  
**COFA A3-01**

LOCATION HALTON HILLS REVISION **016**

DOOR SCHEDULE						
Mark	Level	Width	Height	From Room	To Room	Operation
D-001	BASEMENT	5'-0"	7'-0"	EXTERIOR	PROP REC ROOM	DOUBLE DOOR
D-002	BASEMENT	2'-6"	6'-8"	BATH	EXISTING GYM	SINGLE SWING
D-003	BASEMENT	4'-8"	7'-0"	EXISTING GYM	EXTERIOR	SLIDING DOOR
D-004	BASEMENT	2'-8"	6'-8"	PROP CLOD ROOM	PROP REC ROOM	SINGLE SWING
D-005	BASEMENT	2'-8"	6'-8"	PROP REC ROOM	PROP REC ROOM	SINGLE SWING
D-006	BASEMENT	3'-4"	7'-0"	PROP CLOSET	PROP GUEST BEDROOM	DOUBLE DOOR
D-007	BASEMENT	3'-4"	7'-0"	PROP CLOSET	PROP GUEST BEDROOM	DOUBLE DOOR
D-008	BASEMENT	3'-0"	6'-8"	PROP REC ROOM	EXISTING GYM	OPENING
D-101	GROUND FLOOR - EXISTING	6'-0"	8'-0"	PROP PORCH	PROP LIVING AND DINING	DOUBLE DOOR
D-102	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP LIVING AND DINING	PROP MUD ROOM	SINGLE SWING
D-103	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP LIVING AND DINING	PROP BED ROOM	SINGLE SWING
D-104	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP MUD ROOM	PROP CAR GARAGE	SINGLE SWING
D-105	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP BED ROOM	BATH	SINGLE SWING
D-106	GROUND FLOOR - EXISTING	1'-9"	6'-8"	CLOSET	PROP BED ROOM	DOUBLE DOOR
D-107	GROUND FLOOR - EXISTING	5'-0"	7'-6"	PROP BED ROOM	DECK	SLIDING DOOR
D-108	GROUND FLOOR - EXISTING	2'-8"	8'-0"	DECK	PROP CAR GARAGE	SINGLE SWING
D-109	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP FOYER	PROP POWDER	SINGLE SWING
D-110	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP CLOSET	PROP FOYER	DOUBLE DOOR
D-111	GROUND FLOOR - EXISTING	2'-6"	6'-8"	PROP CLOSET	PROP FOYER	DOUBLE DOOR
D-112	GROUND FLOOR - EXISTING	3'-0"	6'-8"	PROP FOYER	PROP KITCHEN	OPENING
D-113	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP LIVING AND DINING	PROP KITCHEN	SINGLE SWING
D-114	GROUND FLOOR - EXISTING	3'-8"	8'-0"	PROP KITCHEN	EXTERIOR	SINGLE SWING
D-115	PROPOSED GARAGE	8'-0"	8'-0"	PROP CAR GARAGE	EXTERIOR	ROLL UP
D-116	PROPOSED GARAGE	8'-0"	8'-0"	PROP CAR GARAGE	EXTERIOR	ROLL UP
D-117	SECONDARY UNIT GROUND FLOOR LEVEL	2'-6"	6'-0"	PROP HALL	LOW HEADROOM STORAGE	SINGLE SWING
D-202	SECOND FLOOR - EXISTING	2'-10"	6'-8"	PROP CLOSET	EXISTING BEDROOM	DOUBLE DOOR
D-203	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CLOSET	EXISTING BEDROOM	SINGLE SWING
D-204	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CORRIDOR	PROP BEDROOM #3	SINGLE SWING
D-205	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #3	PROP W.I.C #3	SINGLE SWING
D-206	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #3	PROP BATH #3	SINGLE SWING
D-207	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CORRIDOR	PROP LAUNDRY	SINGLE SWING
D-208	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CORRIDOR	PROP BEDROOM #2	SINGLE SWING
D-209	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #2	PROP W.I.C #2	POCKET
D-210	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #2	PROP BATH #2	POCKET
D-211	SECOND FLOOR - EXISTING	7'-8"	7'-8"	PROP BALCONY	PROP BEDROOM #2	SINGLE SWING
D-212	SECOND FLOOR - EXISTING	5'-0"	7'-6"	PROP BALCONY	PROP BEDROOM #3	SLIDING DOOR
D-213	SECONDARY UNIT US OF GROUND FLOOR CEILING	6'-0"	7'-0"	PROP DEN	EXISTING DECK	SLIDING DOOR

Window Schedule 2					
Mark	Level	Sill Height	Height	Width	From Room: Name
W-001	BASEMENT	2'-0"	5'-0"	4'-0"	PROP. REC ROOM
W-002	BASEMENT	5'-6"	2'-0"	4'-0"	GUEST BEDROOM
W-101	GROUND FLOOR - EXISTING	2'-0"	5'-0"	4'-0"	PROP LIVING AND DINING
W-102	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-103	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-104	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-105	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-106	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-107	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-108	GROUND FLOOR - EXISTING	2'-0"	5'-0"	6'-0"	PROP LIVING AND DINING
W-109	GROUND FLOOR - EXISTING	1'-6 1/2"	6'-0"	3'-0"	PROP FOYER
W-110	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP 2 CAR GARAGE
W-111	GROUND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROP BEDROOM
W-112	GROUND FLOOR - EXISTING	0'-0"	8'-0"	2'-0"	PROP KITCHEN
W-113	GROUND FLOOR - EXISTING	2'-0"	8'-0"	7'-0"	PROP 2 CAR GARAGE
W-114	GROUND FLOOR - EXISTING	7'-0"	1'-6"	10'-0"	PROP LIVING AND DINING
W-115	GROUND FLOOR - EXISTING	2'-4 1/2"	5'-0"	3'-0"	PROP FOYER
W-116	GROUND FLOOR - EXISTING	7'-0"	1'-6"	10'-0"	PROP 2 CAR GARAGE
W-117	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-118	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-119	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-120	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-121	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-122	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-123	GROUND FLOOR - EXISTING	7'-0"	1'-6"	4'-0"	EX BEDROOM TO BE ENLARGED
W-124	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP 2 CAR GARAGE
W-125	GROUND FLOOR - EXISTING	0'-8"	5'-0"	3'-11"	EX DINING
W-126	GROUND FLOOR - EXISTING	0'-8"	5'-0"	3'-11"	EX DINING
W-127	SECONDARY UNIT GROUND FLOOR LEVEL	0'-8"	5'-0"	3'-0"	PROP HALLROOM STORAGE
W-201	SECOND FLOOR - EXISTING	2'-6"	5'-0"	4'-0"	EX BEDROOM TO BE ENLARGED
W-202	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-203	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-204	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-205	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-206	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-207	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-208	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-209	SECOND FLOOR - EXISTING	2'-6"	5'-0"	3'-0"	OPEN TO BELOW - PROP FOYER
W-210	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROP CORRIDOR
W-211	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-212	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-213	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	W.I.C #2
W-214	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	BATH #2
W-215	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	BATH #2
W-216	SECOND FLOOR - EXISTING	2'-6"	5'-0"	6'-0"	PROPOSED BEDROOM #2
W-217	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-218	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-219	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-220	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #3
W-221	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #3
W-222	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #3



ASSEMBLIES  
1 : 20

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PRE-SUBMIT FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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DRAWING TITLE  
**DOOR WINDOW SCHEDULE & WALL ASSEMBLIES**

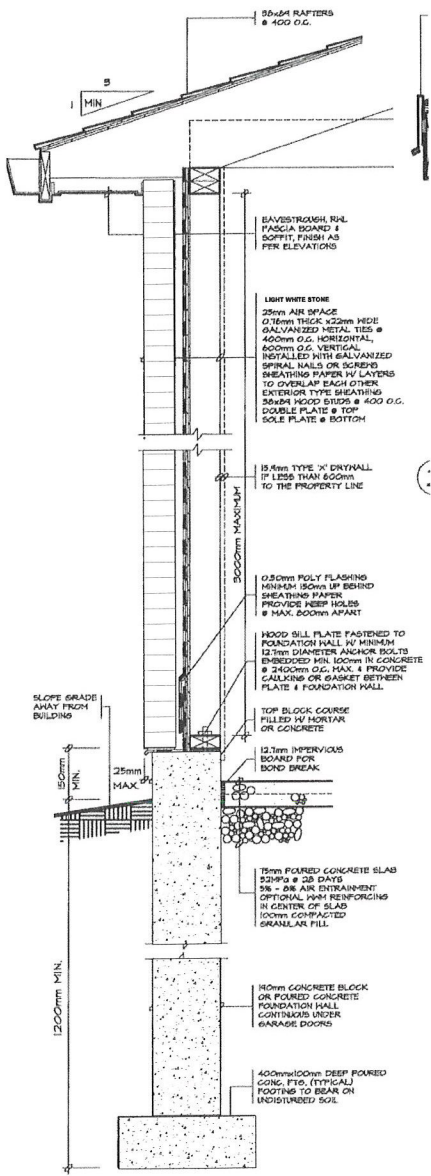
DRAWN PP	CHECKED SA
SCALE @ ARCH D 1:20	DATE 11/23/23

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A4-01**

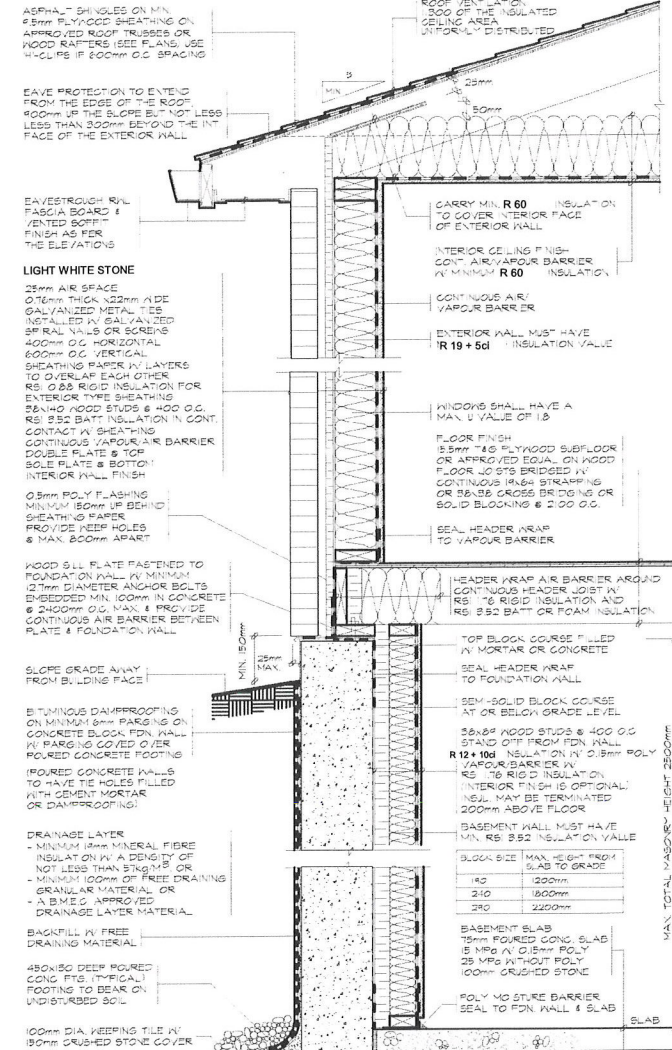
LOCATION HALTON HILLS REVISION **016**

TYPICAL GARAGE WALL

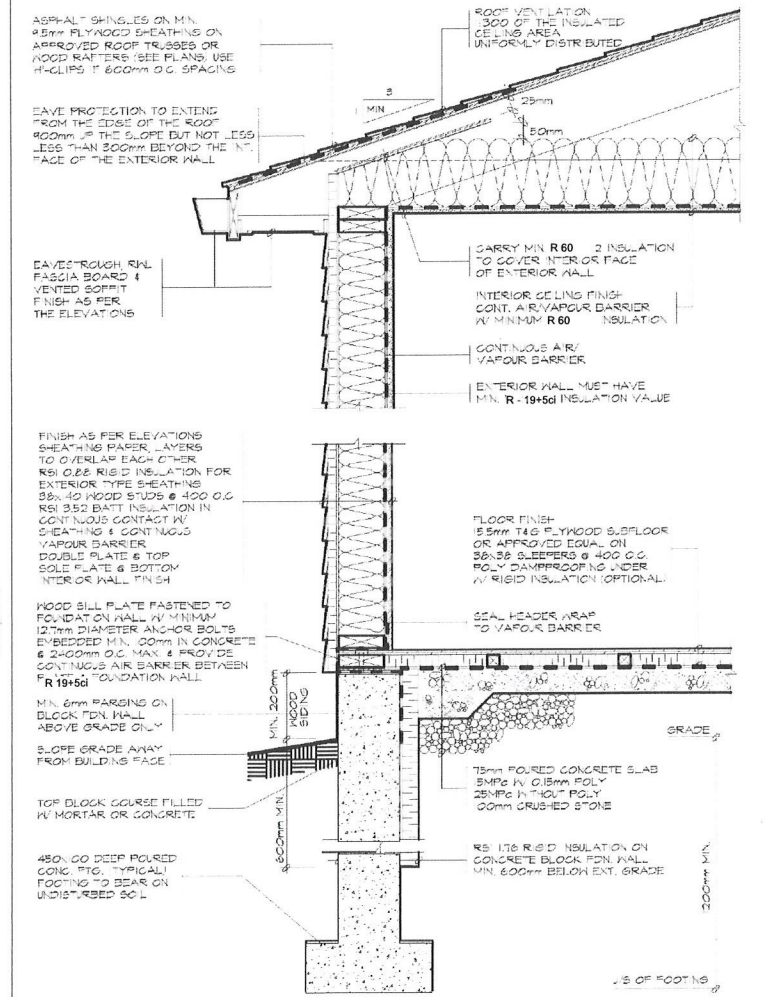


1 WALL SECTION

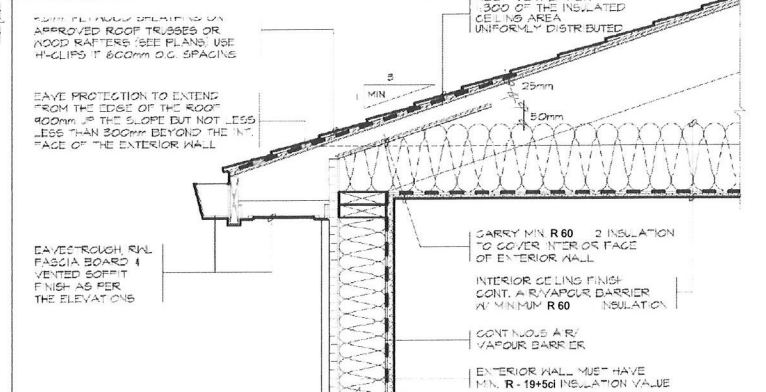
TYPICAL EXTERIOR WALL



TYPICAL SIDING WALL DETAIL



TYPICAL STUCCO WALL DETAIL



**PROJECT**  
14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

**CLIENT**  
Owner

**REVISIONS**

No.	Description	Date
016	ISSUED FOR COFA	03/14/2024
017	REUBUS FOR BUILDING PERMIT	03/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

**Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.**

**ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.**

**CONSULTANTS**

**QBS ARCHITECTS**

**TORONTO - CANADA 416 616 2242 info@qbsarchitects.com**

**DRAWING TITLE**  
DETAILS

<b>DRAWN</b> PP	<b>CHECKED</b> SA
<b>SCALE @ ARCH D</b> 12" = 1'-0"	<b>DATE</b> 11/23/23

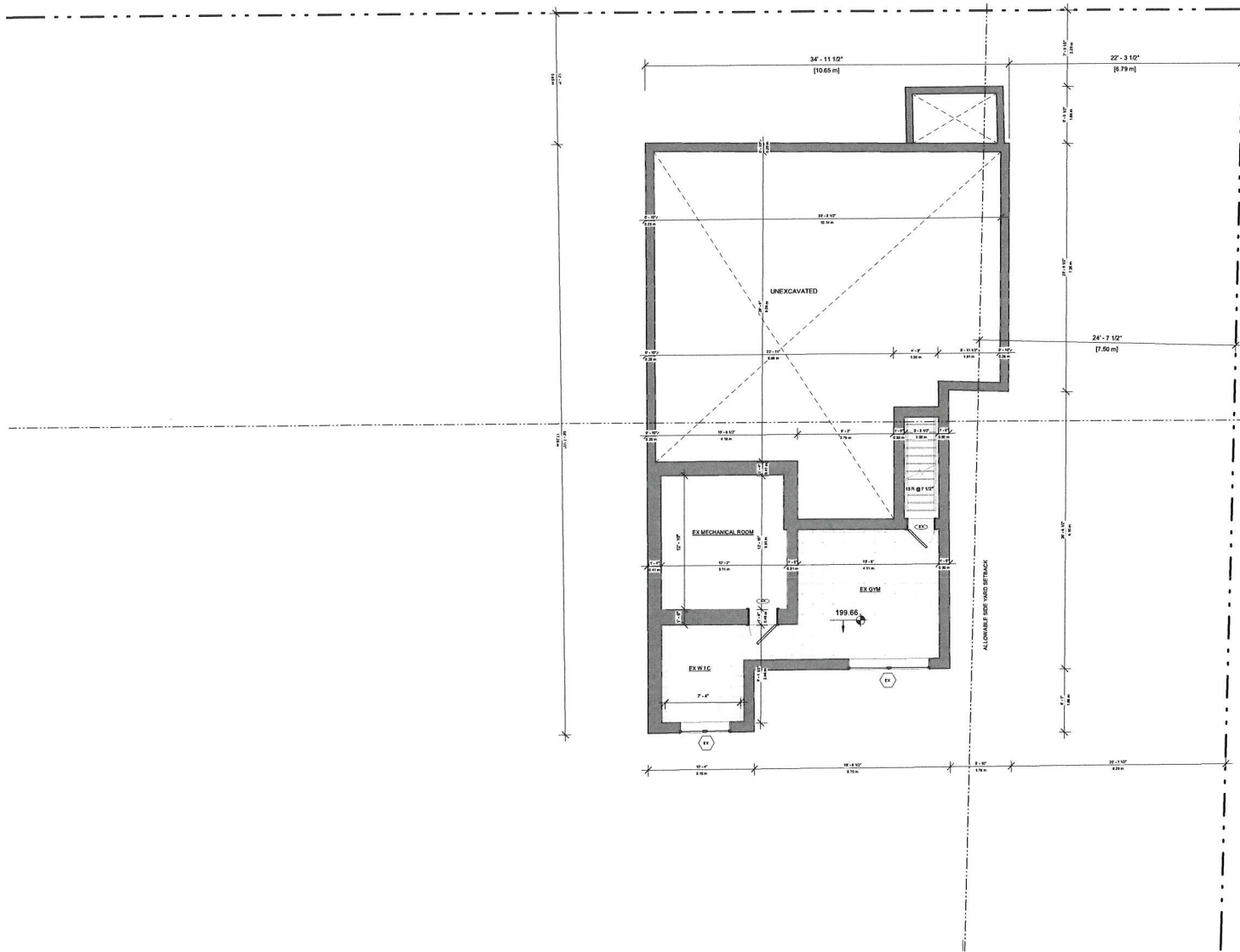
**GRAPHIC SCALE**

**PROJECT NO.** 200155

**STAGE** **DRAWING NO.**

**COFA A4-02**

**LOCATION** HALTON HILLS **REVISION** 016



PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

TORONTO • CANADA 416 646 2842 info@qbsarchitects.com

DRAWING TITLE  
**EXISTING BASEMENT**

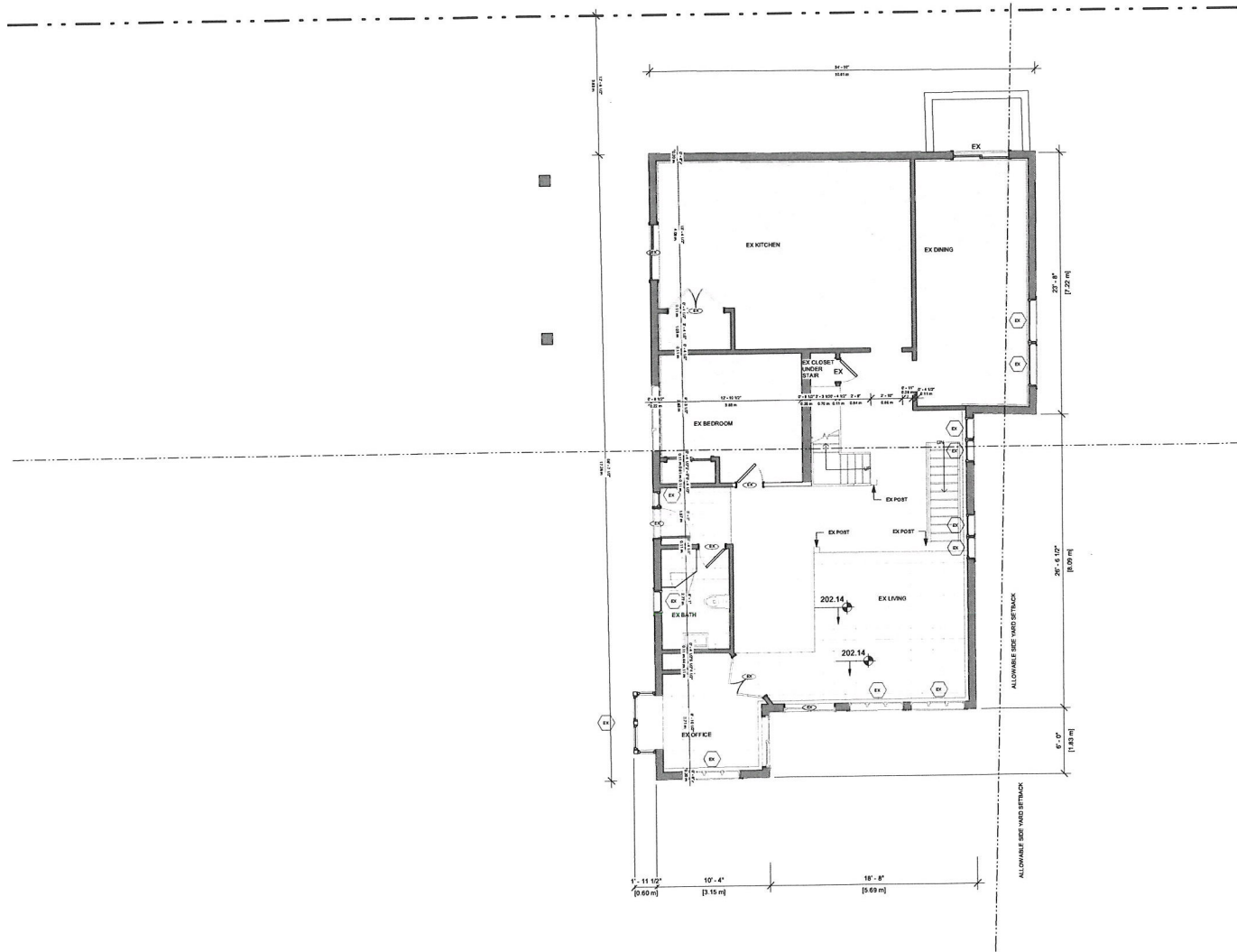
DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A5-01**

LOCATION HALTON HILLS REVISION **016**



**PROJECT**  
**14 RIVER ROAD**  
**BRAMPTON, ON**  
**L6X 0A6**

**CLIENT**  
**Owner**

**REVISIONS**

No.	Description	Date
016	ISSUED FOR COFA	09/14/2024
015	RESUBMITTED FOR BUILDING PERMIT	03/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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**CONSULTANTS**

QBS ARCHITECTS

ONTARIO ASSOCIATION OF ARCHITECTS  
 200155  
 QBS ARCHITECTS  
 416 546 2045  
 info@qbsarchitects.com

**DRAWING TITLE**  
**EXISTING GROUND FLOOR PLAN**

<b>DRAWN</b> PP	<b>CHECKED</b> SA
<b>SCALE @ ARCH D</b> 3/16" = 1'-0"	<b>DATE</b> 11/20/23

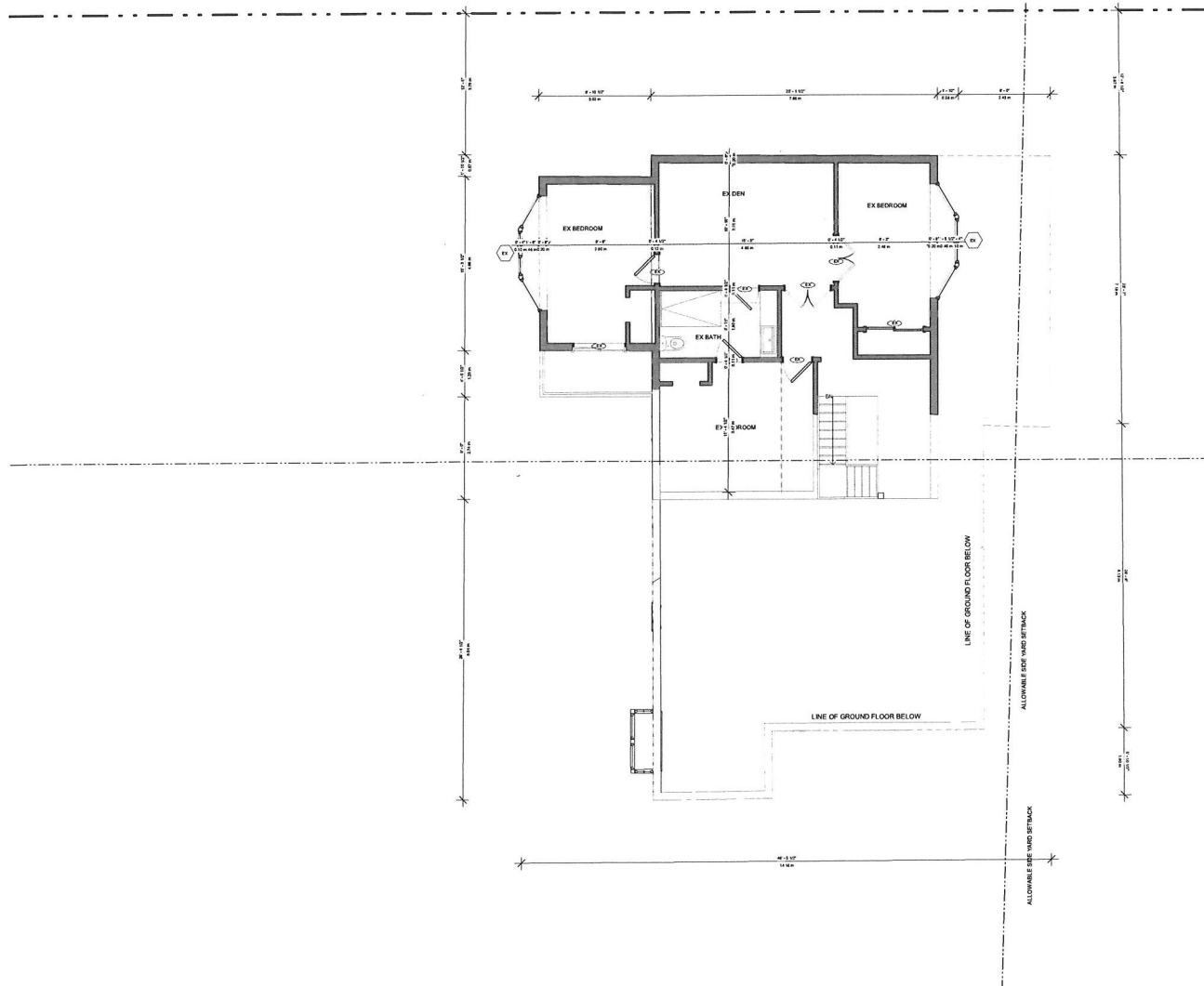
**GRAPHIC SCALE**

**PROJECT NO.**  
200155

<b>STAGE</b>	<b>DRAWING NO.</b>
	<b>COFA A5-02</b>

<b>LOCATION</b> HALTON HILLS	<b>REVISION</b> <b>016</b>
---------------------------------	-------------------------------





PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	09/14/2024
015	PRE ISSUED FOR BUILDING PERMIT	09/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

TORONTO - CANADA 416 616 2040 info@qbsarchitects.com

DRAWING TITLE  
**EXISTING SECOND FLOOR PLAN**

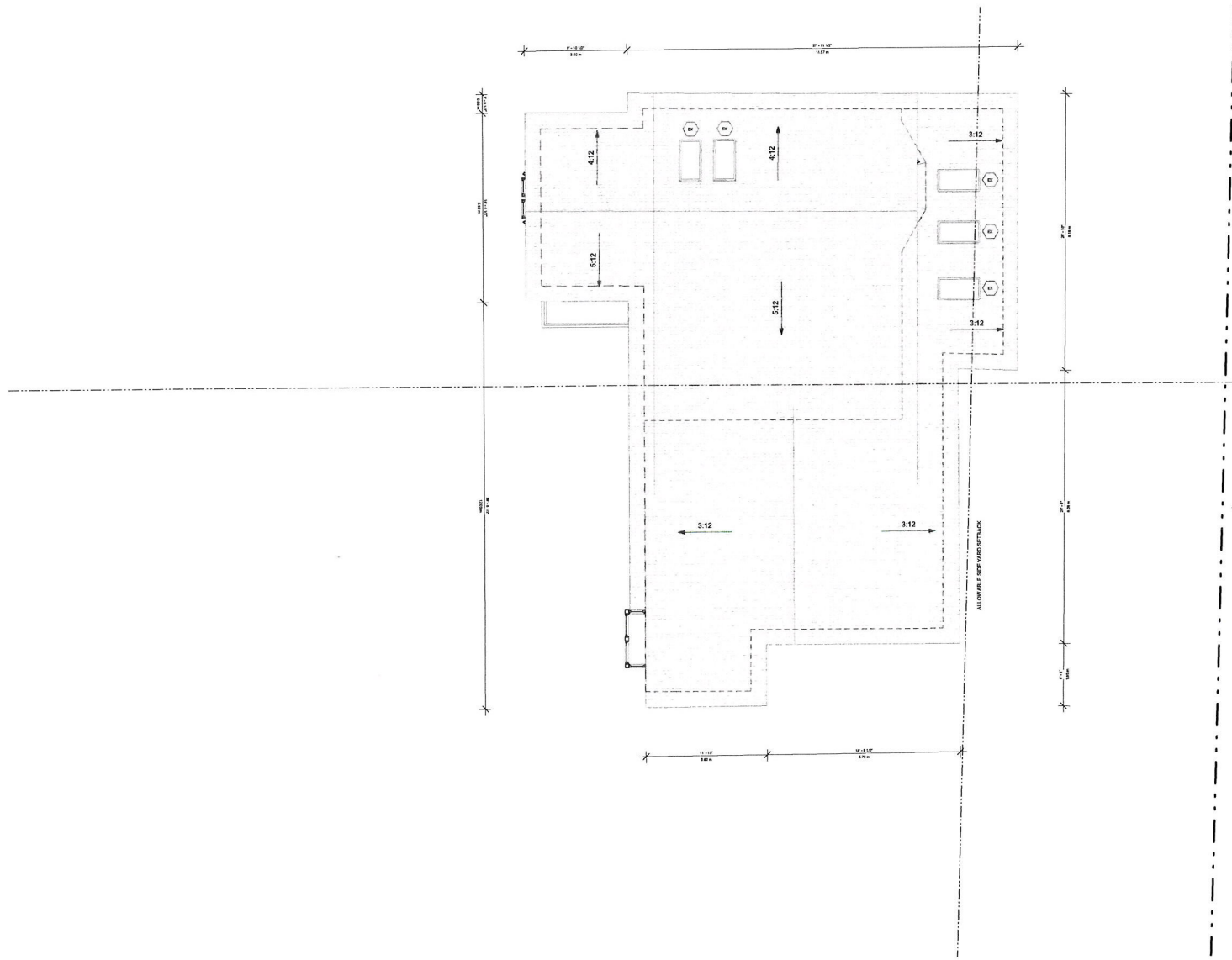
DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A5-03**

LOCATION HALTON HILLS	REVISION <b>016</b>
--------------------------	------------------------



PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	09/14/2024
015	REISSUED FOR BUILDING PERMIT	09/14/2024
013	ISSUED FOR BUILDING PERMIT	12/07/2023

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CONSULTANTS

**QBS** ARCHITECTS

TORONTO • CANADA 416 546 2045 info@qbsarchitects.com

DRAWING TITLE  
**EXISTING ROOF PLAN**

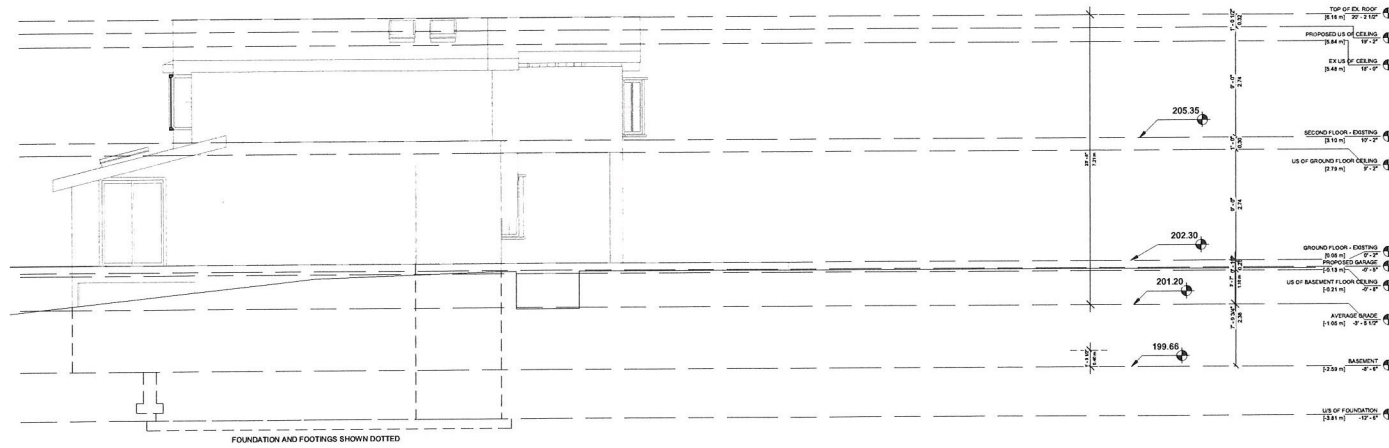
DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A5-04**

LOCATION HALTON HILLS REVISION **016**



2 FRONT EX  
3/16" = 1'-0"



1 REAR EX  
3/16" = 1'-0"

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	REQUIRED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

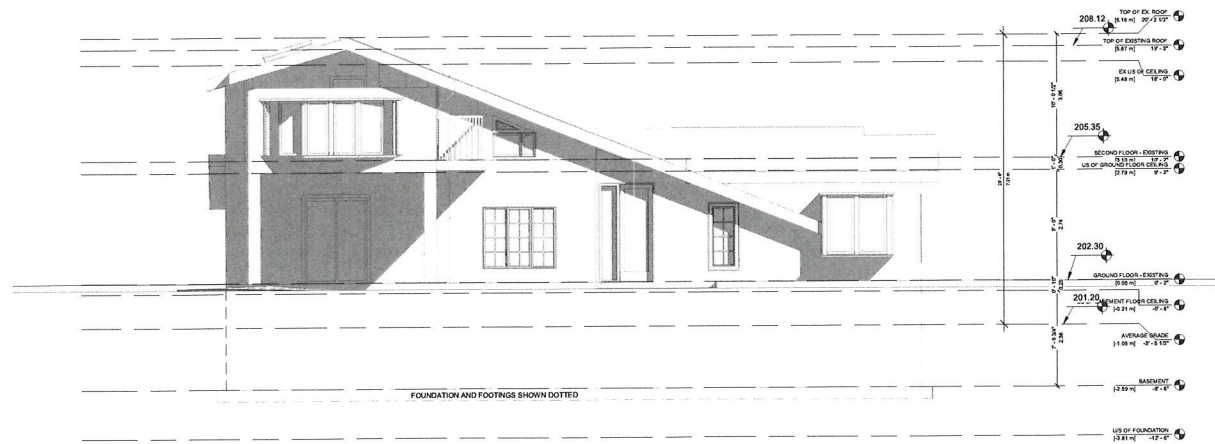
TORONTO - CANADA 416 846 2510 info@qbsarchitects.com

DRAWING TITLE  
**EXISTING FRONT AND REAR ELEVATION**

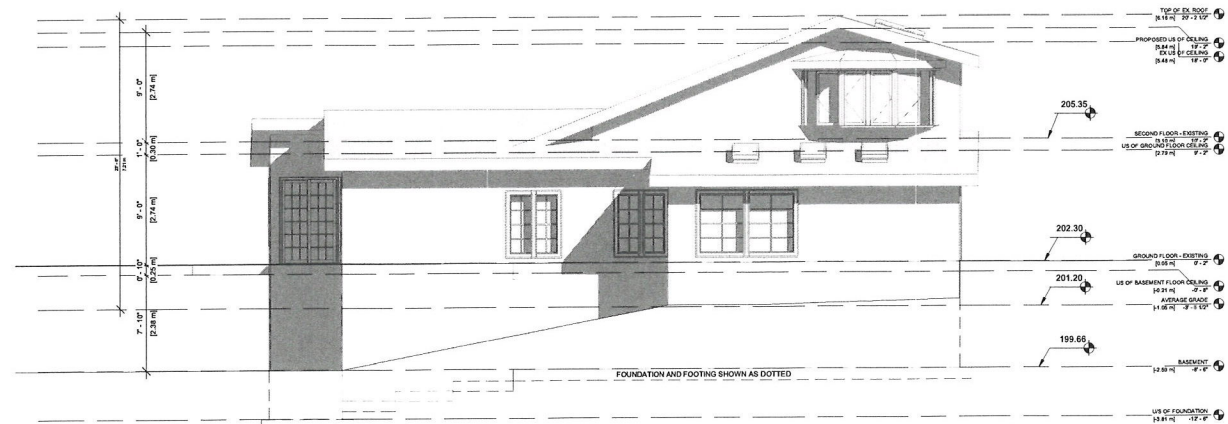
DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23
GRAPHIC SCALE	

PROJECT NO. 200155

STAGE	DRAWING NO.
	<b>COFA A6-01</b>
LOCATION HALTON HILLS	REVISION <b>016</b>



1 RIGHT EX  
3/16" = 1'-0"



2 LEFT EX  
3/16" = 1'-0"

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE ISSUED FOR BUILDING PERMIT	12/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

TORONTO • CANADA 416 546 2042 info@qbsarchitects.com

DRAWING TITLE  
**EXISTING SIDE ELEVATION**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23
GRAPHIC SCALE	

PROJECT NO. 200155
STAGE <b>COFA A6-02</b>
DRAWING NO.
LOCATION HALTON HILLS
REVISION <b>016</b>

# Zoning Non-compliance Checklist

File No.  
A-2024-00067

Applicant: Saba Al Mathno  
 Address: 14 River Rd  
 Zoning: RHM1  
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS - FRONT	To permit a front yard setback of 2.6m to a proposed two-storey addition to an existing single detached dwelling	whereas the by-law requires a minimum front yard setback of 12m.	11.4.2(d)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE	To permit a minimum landscaped open space of 63.3% of the front yard	whereas the by-law a minimum landscaped open space of 70% of the front yard	11.4.2(j)
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Connor Cowan

Reviewed by Zoning

2024-02-28

Date

# Zoning Non-compliance Checklist

File No.
----------

Applicant: Saba Al Mathno

Address: 14 River Rd, Brampton, ON L6X 0A6

Zoning: RHM1

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH	To permit a front yard setback of 2.6m to a proposed two-storey addition to an existing single detached dwelling	Whereas the by-law requires a minimum front yard setback of 12m	11.4.2(d)
BELOW GRADE ENTRANCE			
SETBACKS			
BUILDING HEIGHT			
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
GARDEN SUITE SETBACK	To permit an addition to an existing Legal Non-Conforming Garden Suite having a setback of 0.0m to the interior property line	Whereas the by-law requires a minimum interior side yard width of 1.2m	10.16.2(e)
GARDEN SUITE GFA	To permit an increase of GFA of 65.33m <sup>2</sup> to an existing legal non-conforming garden suite, with an existing gross floor area of 63.95m <sup>2</sup> resulting in a total GFA of 129.28m <sup>2</sup>	Whereas the by-law permits a maximum of Garden Suite Gross Floor Area of 80m <sup>2</sup> on a lot in a Residential Hamlet zone	10.16.2(c)(i)
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE	To permit a minimum landscaped open space of 68.71% of the front yard	whereas the by-law a minimum landscaped open space of 70% of the front yard	11.4.2(j)
GARAGE DOOR HEIGHT			

John C. Cabral  
Reviewed by Zoning

2024-04-29  
Date

**ZONING INFO.**

ZONING INFORMATION FOR (14 RIVER ROAD) BY LAW 204-2010

ZONING: RHM1 (RESIDENTIAL HAMLET ONE)	MIN LOT AREA: 4200 m <sup>2</sup> / 147 638 FT <sup>2</sup>	43305.64 SF
MIN LOT WIDTH: 45 m	44320 SF	
LOT AREA: 2259.38 m <sup>2</sup> / 87320 SF		

**PROPOSED DWELLING INFORMATION**

EX GROUND FLOOR: 154.61 m <sup>2</sup> / 1664.20 SF	154.61 m <sup>2</sup> / 1664.20 SF
EX SECOND FLOOR: 82.62 m <sup>2</sup> / 891.35 SF	82.62 m <sup>2</sup> / 891.35 SF
PROF. G.F.A.: 417.85 m <sup>2</sup> / 4495.54 SF	417.85 m <sup>2</sup> / 4495.54 SF
PROF DWELLING UNIT COVERAGE: 300.59/2259.38 = 13.30%	300.59 m <sup>2</sup> / 3236 SF

**SETBACKS**

	EXISTING (m)	ALLOWABLE (m)	PROPOSED (m)
FRONT:	3.88	12.72	12.00
REAR:	28.90	94.48	15.00
SIDE (RIGHT):	6.81	7.50	49.21
SIDE (LEFT):	30.14	98.88	7.50
BUILDING HEIGHT:	7.21	23.65	10.60

**EXISTING SECONDARY UNIT INFORMATION**

PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA: 70.36 m <sup>2</sup> / 757.38 SF	70.36 m <sup>2</sup> / 757.38 SF
PROP. LEGAL SECONDARY UNIT SECOND FLOOR AREA: 58.92 m <sup>2</sup> / 634.22 SF	58.92 m <sup>2</sup> / 634.22 SF
TOTAL: 129.28 m <sup>2</sup> / 1391.60 SF	129.28 m <sup>2</sup> / 1391.60 SF
PROP. SECONDARY UNIT COVERAGE: 74.50/2259.38 = 3.30%	70.36 m <sup>2</sup> / 757 SF

**SETBACKS**

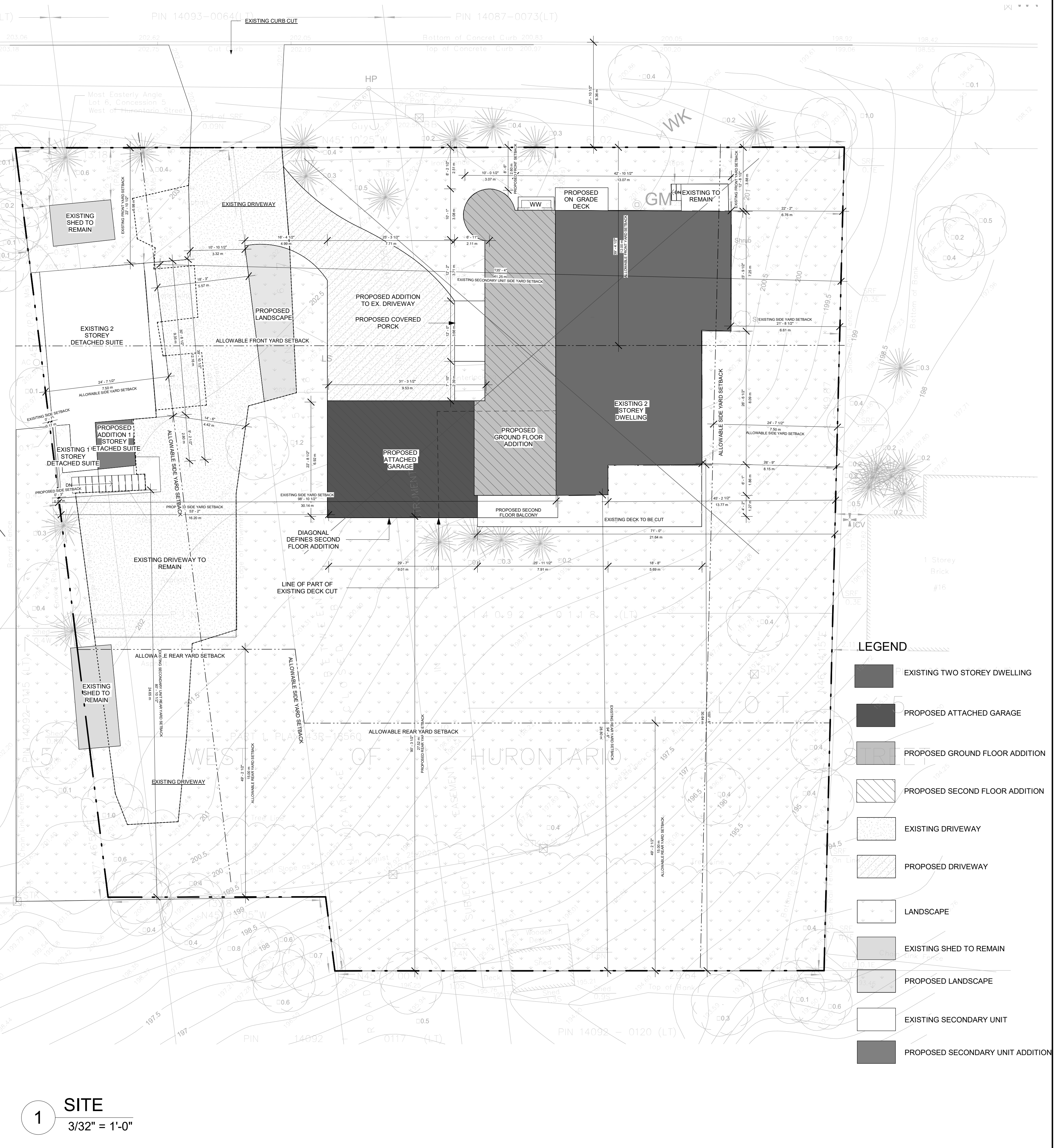
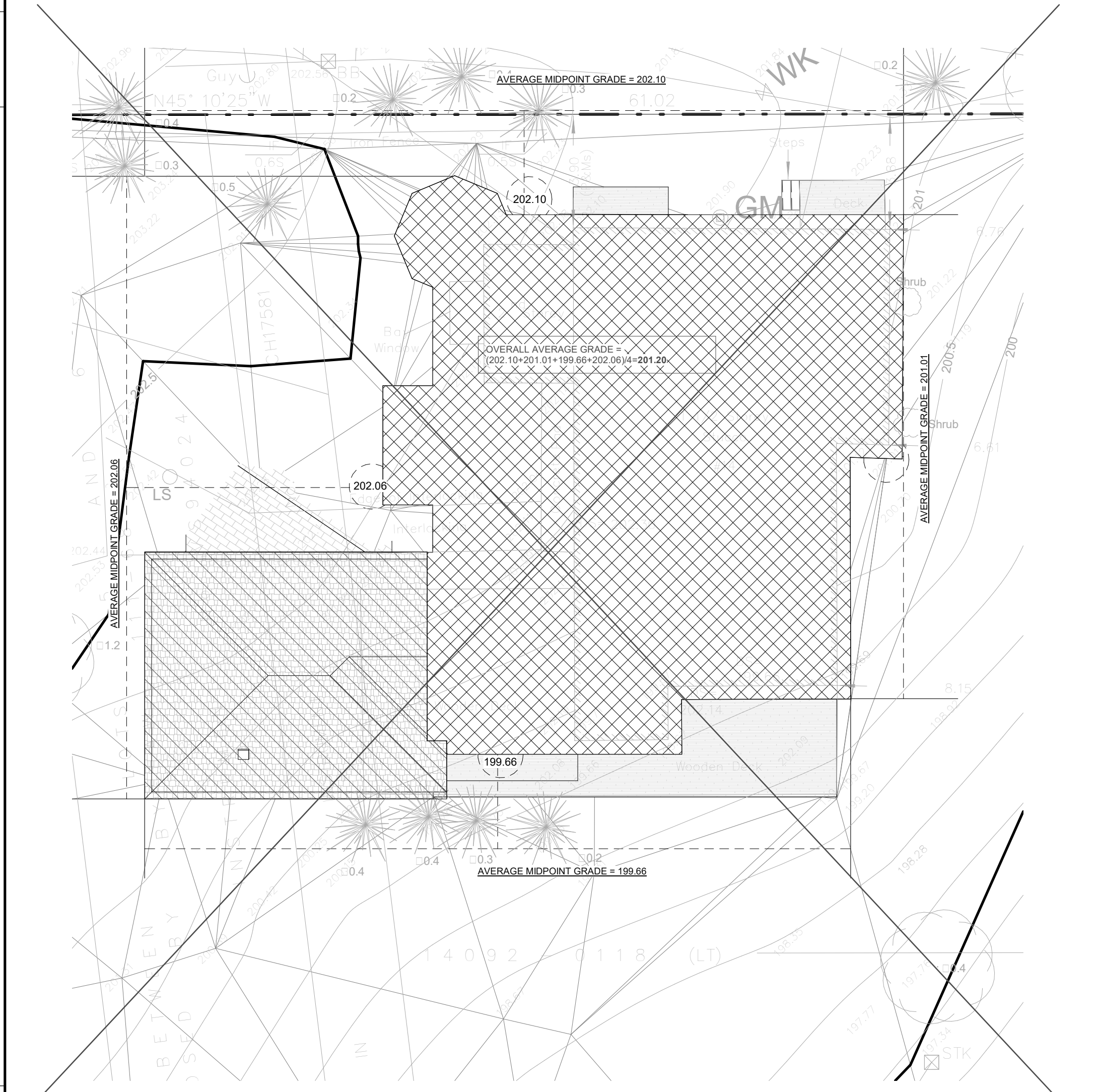
	EXISTING (m)	PROPOSED (m)
FRONT:	6.98	22.90
REAR:	24.65	80.67
SIDE (RIGHT):	0.17	0.55
SIDE (LEFT):	41.25	135.33
BUILDING HEIGHT:		

**UNION ASSOCIATION OF ARCHITECTS**

FIRM NAME: QBS ARCHITECTS INC.  
 14 CROFTON ROAD  
 TORONTO, ON M4G 2B4  
 CERTIFICATE OF PRACTICE NUMBER: 5235  
 PROPOSED ADDITION AND ALTERATION TO EXISTING DWELLING  
 LOCATION: 14 RIVER RD BRAMPTON ON, L6X 0A6

**ONTARIO'S BUILDING CODE DATA MATRIX PART 9 - RESIDENTIAL**

1 PROJECT DESCRIPTION:	NEW ADDITION	PART 11	2.1.1(A)	2.1.1(A)	9.10.2			
2 MAJOR OCCUPANCY(S):	GROUP C RESIDENTIAL OCCUPANCY							
3 BUILDING AREA (m <sup>2</sup> ):	EXISTING: 155.62 NEW: 300.59		1.4.1.2(A)	1.4.1.2(A)				
4 GROSS AREA (m <sup>2</sup> ):	EXISTING: 218.47 NEW: 417.85		1.4.1.2(A)	1.4.1.2(A)				
5 NUMBER OF STOREYS:	ABOVE GRADE: 2 BELOW GRADE: 1		1.4.1.2(A) & 3.2.1.1	1.4.1.2(A) & 9.10.4				
6 NUMBER OF STREET FIRE FIGHTER ACCESS:			3.2.2.10 & 3.2.5	9.10.20				
7 BUILDING CLASSIFICATION GROUP:	C		3.2.2.20-43	9.10.2				
8 SPRINKLER SYSTEM PROPOSED:			3.2.2.20-43	9.10.2				
9 STANDPIPE REQUIRED:	ENTIRE BUILDING		3.2.1.5	3.2.2.17	INDEX			
10 FIRE ALARM REQUIRED:	SELECTED COMPARTMENTS		3.2.9	N/A				
11 WATER SERVICE/SUPPLY IS ADEQUATE:	YES (MUNICIPAL)		3.2.5.7	N/A				
12 HIGH BUILDING:	YES		3.2.6	N/A				
13 CONSTRUCTION RESTRICTIONS:	NON-COMBUSTIBLE PERMITTED		3.2.2.20-83	9.10.6				
ACTUAL CONSTRUCTION:	NON-COMBUSTIBLE		3.2.1.1 (3)(B)	9.10.4.1				
14 MEZZANINE(S) AREA (m <sup>2</sup> ):	N/A		3.1.17	9.9.1.3				
15 OCCUPANT LOAD BASES ON:	DESIGN OF BUILDING							
BASEMENT:	LOAD 2 PERSONS							
1st FLOOR:	OCCUPANCY C							
2nd FLOOR:	OCCUPANCY C							
ROOF:	LOAD 0 PERSONS							
16 BARRIER-FREE DESIGN:	YES		3.8	9.5.2				
17 HAZARDOUS SUBSTANCES:	YES		3.3.1.2 & 3.3.1.19	9.10.1.3(4)				
18 REQUIRED FIRE RESISTANCE RATINGS (FRR):	HORIZONTAL ASSEMBLIES FRR (HOURS)	LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20-83	9.10.8				
ROOF:	0 HOURS		3.2.1.4	9.10.9				
MEZZANINE:	N/A HOURS							
FRR OF SUPPORTING MEMBERS:	LISTED DESIGN NO. OR DESCRIPTION (SG-2)							
FLOORS:	0 HOURS							
MEZZANINE:	N/A HOURS							
19 SPATIAL SEPARATION: CONSTRUCTION OF EXTERIOR WALLS	AREA OF E.F.F. (m <sup>2</sup> )	L.D. (m)	PERMITTED LH OR HL OPENINGS (% OF OPENINGS)	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONSTR.
FRONT:	134.81	2.52	100%	12.45(16.84)				
REAR:	181.58	27.44	100%	15.68(28.48)				
RIGHT:	144.23	6.82	22%	13.00(18.83)				
LEFT:	117.86	16.12	100%	15.63(18.43)				



**LEGEND**

- EXISTING TWO STOREY DWELLING
- PROPOSED ATTACHED GARAGE
- PROPOSED GROUND FLOOR ADDITION
- PROPOSED SECOND FLOOR ADDITION
- EXISTING DRIVEWAY
- PROPOSED DRIVEWAY
- LANDSCAPE
- EXISTING SHED TO REMAIN
- PROPOSED LANDSCAPE
- EXISTING SECONDARY UNIT
- PROPOSED SECONDARY UNIT ADDITION

**PROJECT**

14 RIVER ROAD  
 BRAMPTON, ON  
 L6X 0A6

**CLIENT**

Owner

**REVISIONS**

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/06/2023

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**CONSULTANTS**

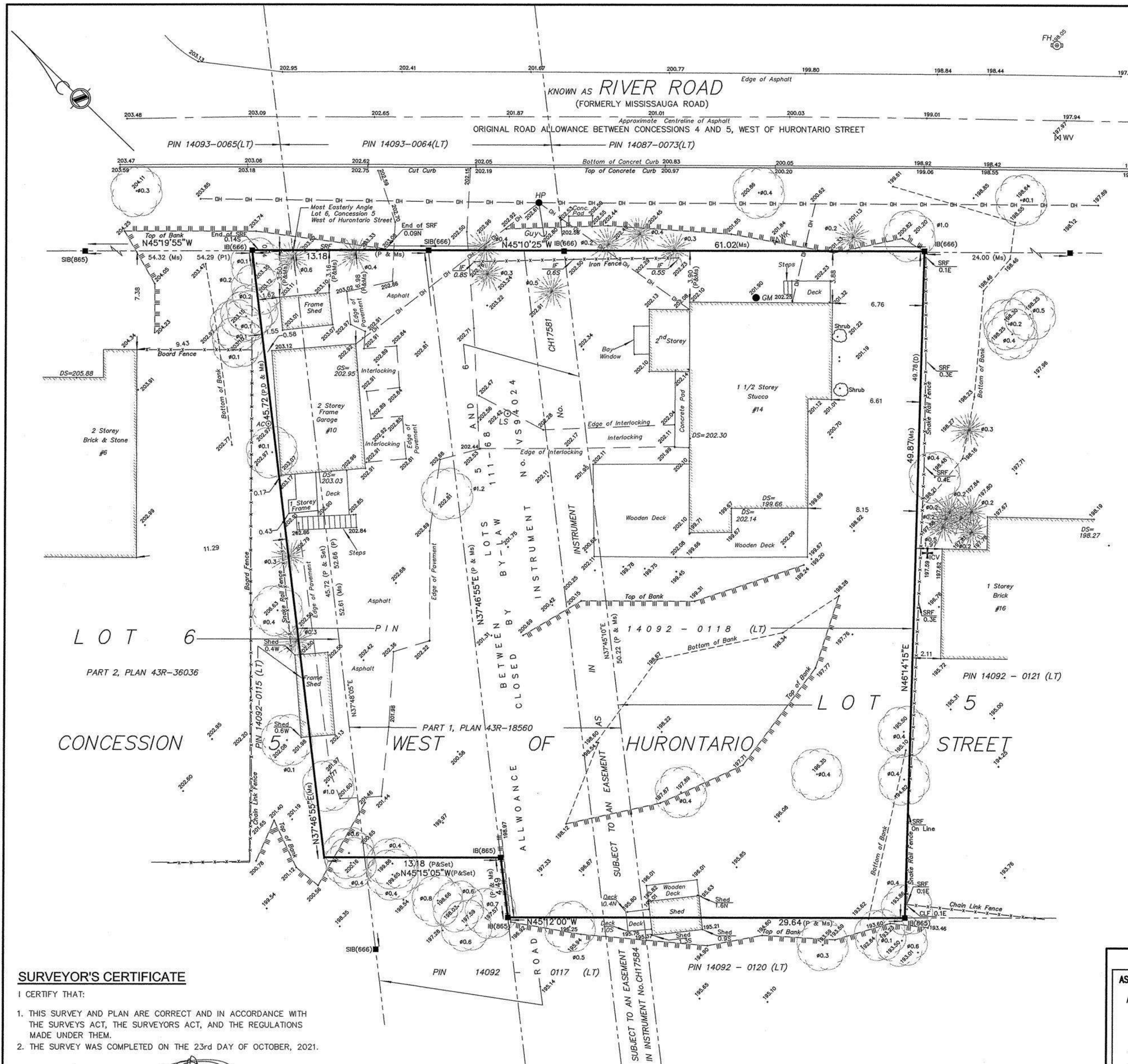
**QBS ARCHITECTS INC.**

TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

**DRAWING TITLE**

**SITE PLAN**

DRAWN: PP	CHECKED: SA
SCALE @ ARCH D: As indicated	DATE: 11/03/23
GRAPHIC SCALE	
PROJECT NO.: 200155	
STAGE: COFA A0-02	DRAWING NO.:
LOCATION: HALTON HILLS	REVISION: 018



**SURVEYOR'S REAL PROPERTY REPORT**  
 SHOWING TOPOGRAPHIC FEATURES OF  
**THE ROAD ALLOWANCE BETWEEN LOTS 5**  
**AND 6**  
 (CLOSED BY CHINGUACOUSY BY-LAW 111-68)  
 AND  
**PART OF LOTS 5 AND 6, CONCESSION 5**  
**WEST OF HURONTARIO STREET**  
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1:200  
 5 4 3 2 1 0 5 10 Metres

YOUNG & YOUNG SURVEYING INC.  
 ONTARIO LAND SURVEYORS  
 © 2021

**METRIC**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

<b>PART 2</b>
<b>DESCRIPTION OF LAND</b>
THE ROAD ALLOWANCE BETWEEN LOTS 5 AND 6 (CLOSED BY CHINGUACOUSY BY-LAW 111-68) AND PART OF LOTS 5 AND 6, CONCESSION 5 WEST OF HURONTARIO STREET (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL
<b>COMPLIANCE WITH MUNICIPAL ZONING</b>
NOT CERTIFIED BY THIS REPORT
<b>REGISTERED EASEMENTS</b>
SUBJECT TO AN EASEMENT AS IN INSTRUMENT No.CH17581
<b>ADDITIONAL REMARKS</b>
NOTE THE LOCATION OF THE FENCES, DRIVEWAY, SHED, OVERHEAD WIRE AND TREES IN RELATION TO THE BOUNDARY LIMITS.

**BEARING NOTE**  
 BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET)  
 OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS 2010).

**DISTANCE NOTE**  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID  
 BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999688.

**LEGEND**

■	DENOTES FOUND BAR
□	DENOTES PLANTED BAR
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
Ms	DENOTES MEASURED
P	DENOTES PLAN 43R-18560
P1	DENOTES PLAN 43R-36036
D	DENOTES INSTRUMENT No.R0952965
(666)	DENOTES A, DEATH, O.L.S.
(665)	DENOTES D.P. McLEAN, O.L.S.
WHS	DENOTES WEST OF HURONTARIO STREET
HP	DENOTES HYDRO POLE
LS	DENOTES LIGHT STANDARD
MV	DENOTES WATER VALVE
MWK	DENOTES WATER KEY
FH	DENOTES FIRE HYDRANT
BF	DENOTES BOARD FENCE
CLF	DENOTES CHAIN LINK FENCE
DS	DENOTES DOOR SILL
GS	DENOTES GARAGE SILL
SRF	DENOTES SNAKE RAIL FENCE
IF	DENOTES IRON FENCE
N	DENOTES NORTH
E	DENOTES EAST
W	DENOTES WEST
S	DENOTES SOUTH
C	DENOTES CENTRE LINE
(Tree symbol)	DENOTES DECIDUOUS TREE WITH DIAMETER
(Tree symbol)	DENOTES CONIFEROUS TREE WITH DIAMETER
DH	DENOTES OVERHEAD HYDRO LINES
ICV	DENOTES IRRIGATION CONTROL VALVE
ACO	DENOTES AIR CONDITIONER
(Bell symbol)	DENOTES BELL BOX
GM	DENOTES GAS METER

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
 THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS  
 MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF OCTOBER, 2021.

Nov 12/21  
 DATE

JAMES A. AGYEMANG B.Eng.  
 ONTARIO LAND SURVEYOR

**BENCHMARK NOTE**  
 ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE  
 CITY OF BRAMPTON, MONUMENT #042200354 (ONT.78 ADJUSTMENT) HAVING  
 AN ELEVATION 205.88 METRES.

**BEARING ROTATION NOTE**  
 FOR BEARING COMPARISONS, A ROTATION OF 0°54'05" COUNTER CLOCKWISE  
 WAS APPLIED TO PLAN P TO CONVERT TO GRID BEARINGS

**ASSOCIATION OF ONTARIO LAND SURVEYORS**  
 PLAN SUBMISSION FORM  
 V-20341

**YOUNG & YOUNG SURVEYING INC.**  
 A Subsidiary of Mauro Group Inc.

2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1  
 PHONE 905.951.6000 - FAX 905.857.4811  
 www.youngsurveying.ca - info@youngsurveying.ca

PARTY CHIEF: DEV DRAWN BY: LV CHECKED BY: JA  
 CLIENT: MATTHEW, ABRAHAM  
 PATH: F:\PROJECTS\2021\B7778\MSCAD\B7778\_SRPR\_TOPO.DWG

**PROJECT No. 21-B7778**

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**

REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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CONSULTANTS

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DRAWING TITLE  
**SURVEY**

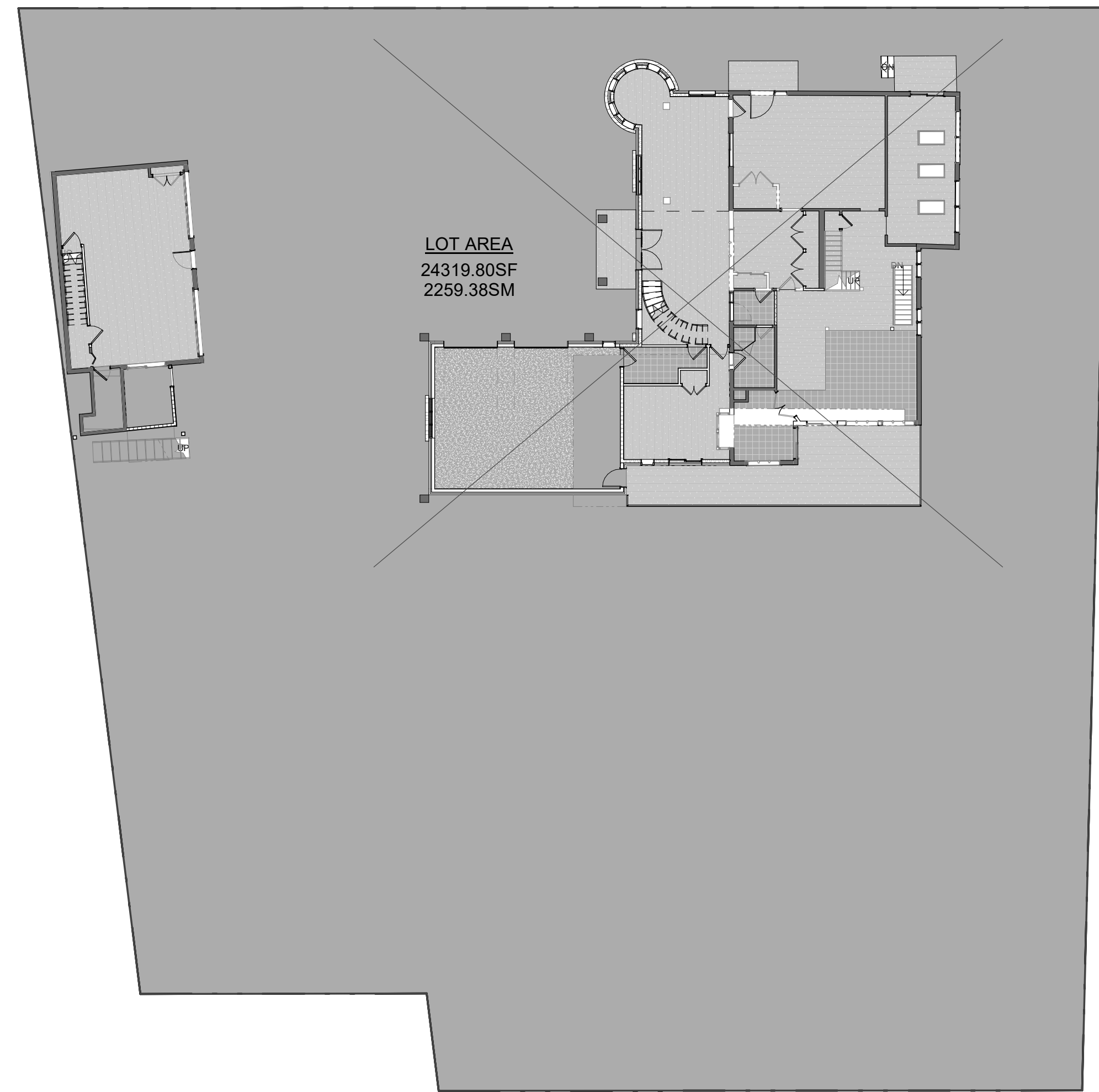
DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	10/20/22
GRAPHIC SCALE			

PROJECT NO. 200155

STAGE	DRAWING NO.
<b>COFA A0-05</b>	

LOCATION	REVISION
HALTON HILLS	<b>018</b>





LOT AREA  
24319.80SF  
2259.38SM

1 LOT AREA  
1/16" = 1'-0"

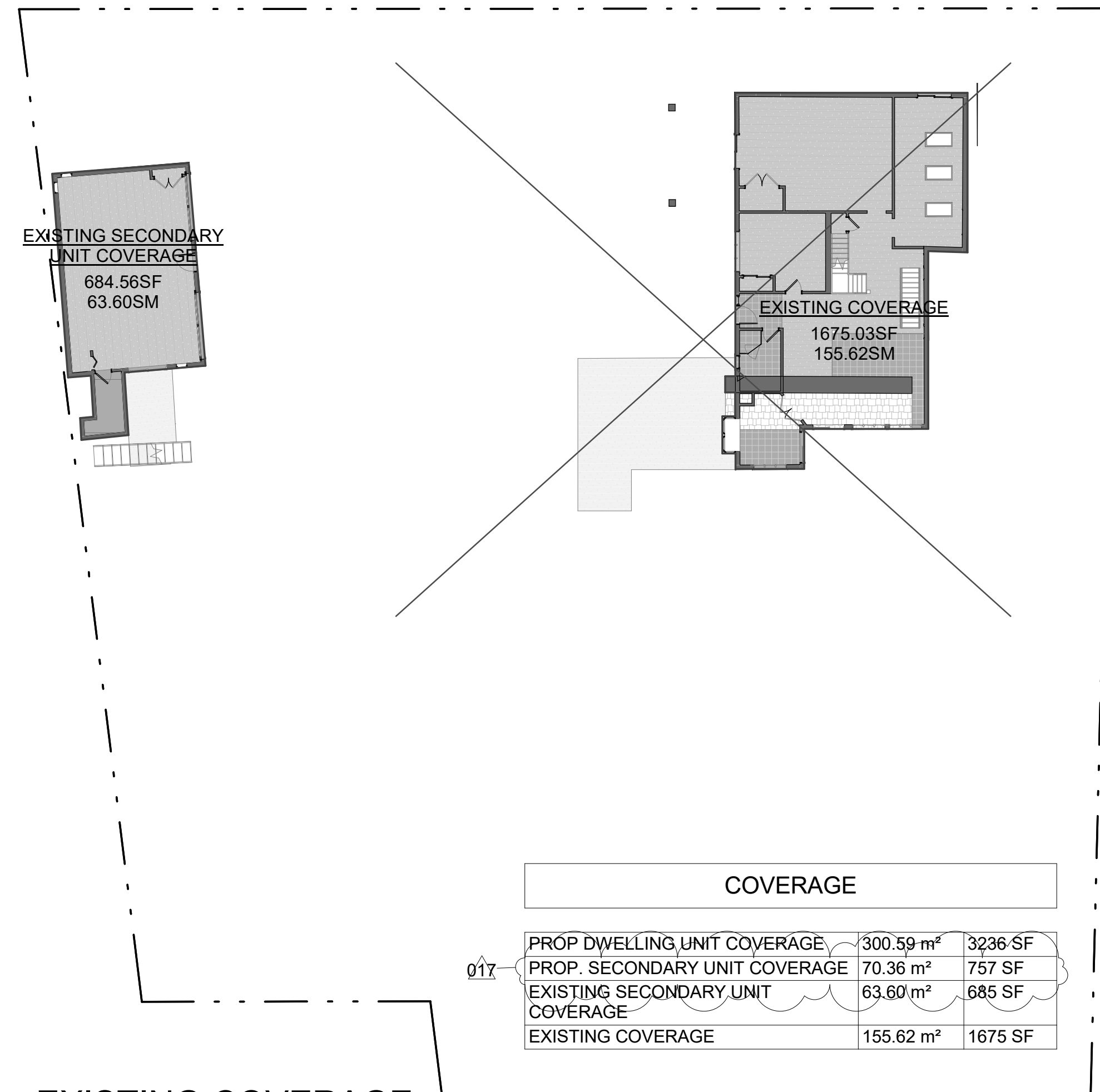
LOT AREA		
LOT AREA	2259.38 m <sup>2</sup>	24320 SF



PROP. SECONDARY UNIT COVERAGE  
757.38SF  
70.36SM

PROP DWELLING UNIT COVERAGE  
3235.52SF  
300.59SM

2 PROP. COVERAGE  
1/16" = 1'-0"



EXISTING SECONDARY UNIT COVERAGE  
684.56SF  
63.60SM

EXISTING COVERAGE  
1675.03SF  
155.62SM

3 EXISTING COVERAGE  
1/16" = 1'-0"

COVERAGE		
PROP DWELLING UNIT COVERAGE	300.59 m <sup>2</sup>	3236 SF
PROP. SECONDARY UNIT COVERAGE	70.36 m <sup>2</sup>	757 SF
EXISTING SECONDARY UNIT COVERAGE	63.60 m <sup>2</sup>	685 SF
EXISTING COVERAGE	155.62 m <sup>2</sup>	1675 SF

PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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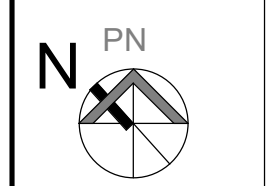


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DRAWING TITLE

LOT AREA AND COVERAGE

DRAWN	PP	CHECKED	SA
SCALE @ ARCH D	1/16" = 1'-0"	DATE	02/09/23




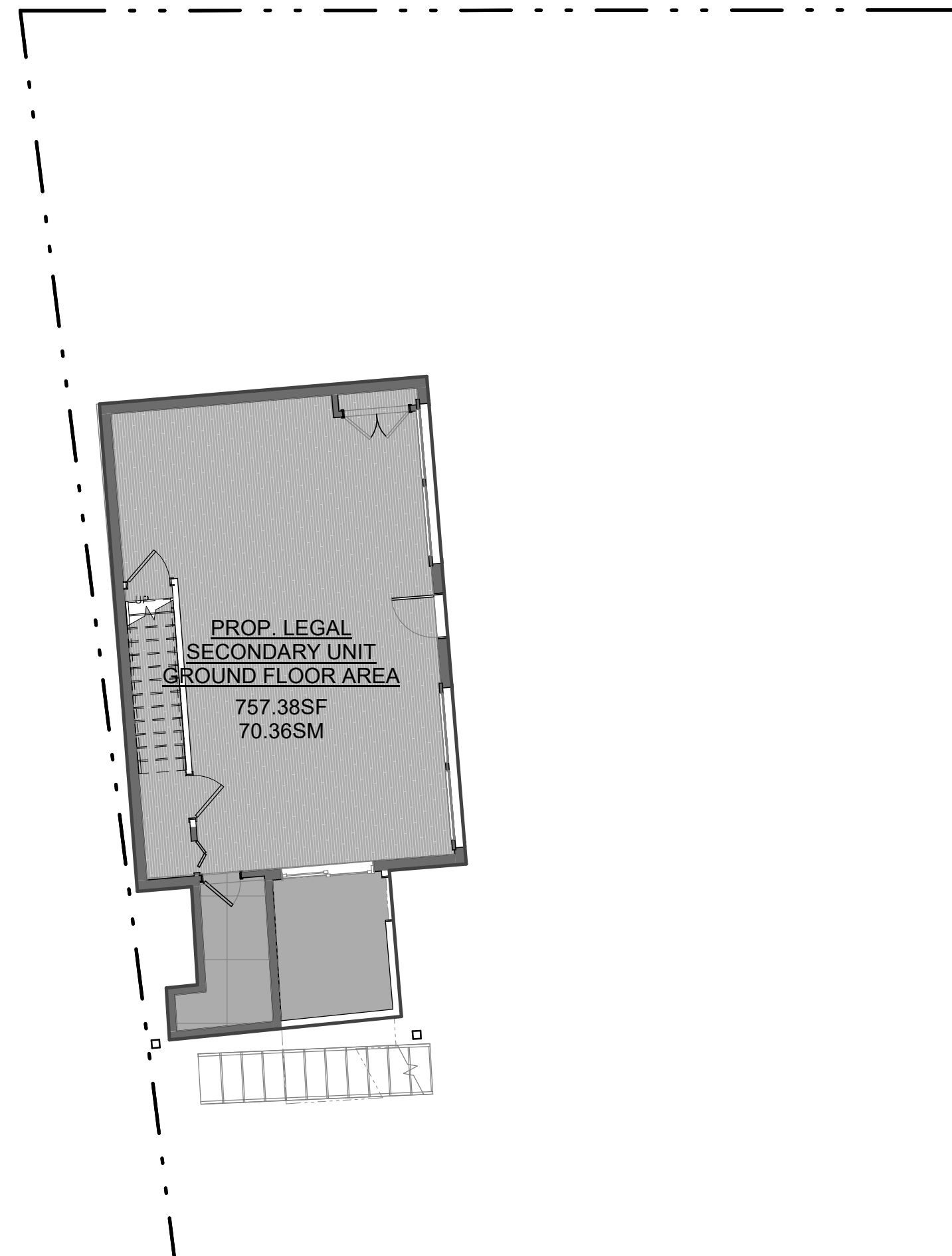
PROJECT NO. 200155

STAGE DRAWING NO.

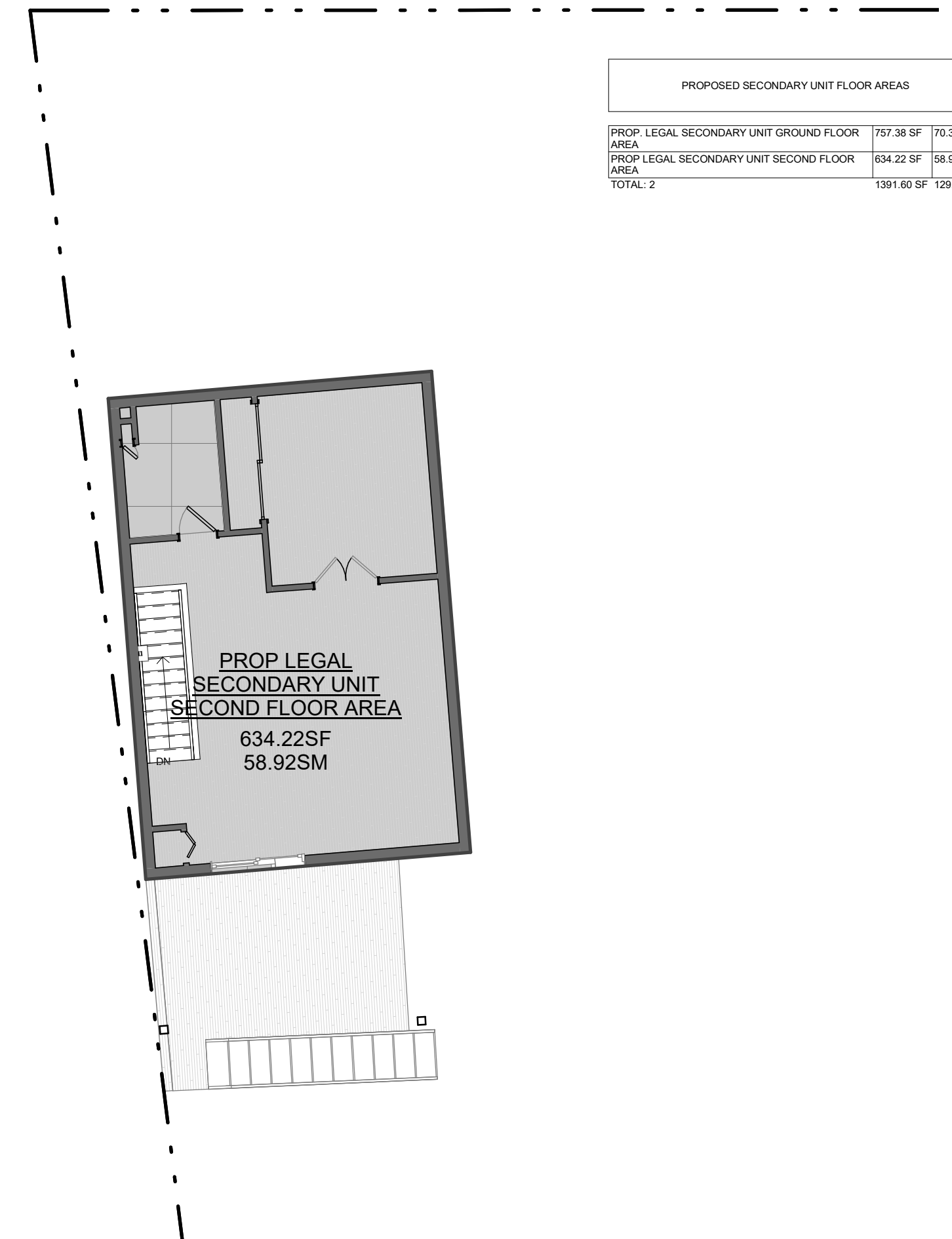
**COFA A0-06**

LOCATION HALTON HILLS REVISION 018

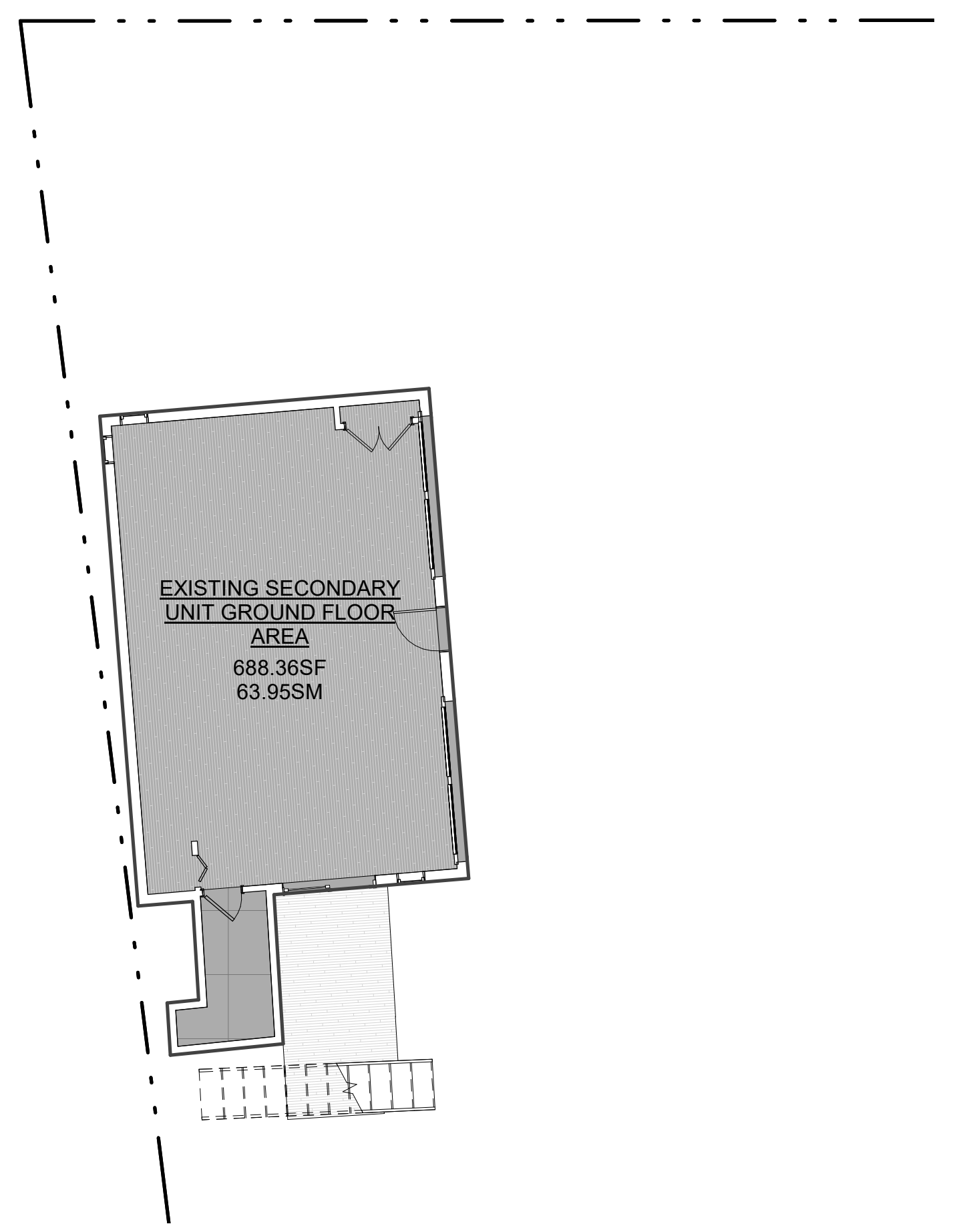
FIRM NAME: QBS ARCHITECTS INC. 14 CROFTON ROAD TORONTO, ON M4G 2B4 CERTIFICATE OF PRACTICE NUMBER: 5235 TO CONVERT EXISTING GARAGE TO BE PART OF EXISTING LEGAL SECONDARY UNIT LOCATION: 14 RIVER RD, BRAMPTON ON, L6X 0A6		 <p>The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's licence number.</p>																																																								
No. ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL		OBC REFERENCE: References are to Division B unless noted (A) for Division A or (C) for Division C.																																																								
1 PROJECT DESCRIPTION:																																																										
<input type="checkbox"/> CHANGE OF USE		<input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9																																																								
<input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION		<input type="checkbox"/> 11.1 TO 11.4 <input checked="" type="checkbox"/> 2.1.1 (A) <input checked="" type="checkbox"/> 2.1.1 (A) & 9.10.1.3																																																								
2 MAJOR OCCUPANCY(S): GROUP C RESIDENTIAL OCCUPANCY		3.1.2.1 (1) 9.10.2																																																								
3 BUILDING AREA (m <sup>2</sup> ): EXISTING: 63.95 NEW: 79.36		1.4.1.2 (A) 1.4.1.2 (A)																																																								
4 GROSS AREA (m <sup>2</sup> ): EXISTING: 122.87 NEW: 129.28		1.4.1.2 (A) 1.4.1.2 (A)																																																								
5 NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 0		1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4																																																								
6 NUMBER OF STREET/FIRE FIGHTER ACCESS: 1		3.2.2.10 & 3.2.5 9.10.20																																																								
7 BUILDING CLASSIFICATION: GROUP C		3.2.2.20-83 9.10.2																																																								
8 SPRINKLER SYSTEM PROPOSED:		3.2.2.20-83 9.10.8.2																																																								
<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input checked="" type="checkbox"/> NOT REQUIRED		<input type="checkbox"/> IN LIEU OF ROOF RATING INDEX INDEX																																																								
9 STANDBY REQUIRED:		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO 3.2.9 N/A																																																								
10 FIRE ALARM REQUIRED:		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO 3.2.4 9.10.18																																																								
11 WATER SERVICE/SUPPLY IS ADEQUATE:		<input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> NO 3.2.5.7 N/A																																																								
12 HIGH-BUILDING:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.6 N/A																																																								
13 CONSTRUCTION RESTRICTIONS:		<input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE BOTH BOTH 3.2.2.20-83 9.10.6																																																								
14 MEZZANINE(S) AREA (m <sup>2</sup> ): N/A		3.2.1.1 (3)-(8) 9.10.4.1																																																								
15 OCCUPANT LOAD BASES ON:		<input type="checkbox"/> PER PERSON <input checked="" type="checkbox"/> DESIGN OR BUILDING 14 FLOOR: OCCUPANCY_C LOAD_0 PERSONS 2nd FLOOR: OCCUPANCY_C LOAD_2 PERSONS ROOF: OCCUPANCY_C LOAD_0 PERSONS																																																								
16 BARRIER-FREE DESIGN:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) BUILDING IS A HOUSE (EXEMPT) 3.8 9.5.2																																																								
17 HAZARDOUS SUBSTANCES:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.3.1.2 & 3.3.1.19 9.10.1.3(4)																																																								
18 REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN No. OR DESCRIPTION (S0-2) FLOORS: 0 HOURS ROOF: 0 HOURS MEZZANINE: N/A HOURS FRR OF SUPPORTING MEMBERS: LISTED DESIGN No. OR DESCRIPTION (S0-2) FLOORS: 0 HOURS ROOF: 0 HOURS MEZZANINE: N/A HOURS																																																								
19 SPATIAL SEPERATION - CONSTRUCTION OF EXTERIOR WALLS		<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF E.B.F. (sq.m)</th> <th>L.D. (m)</th> <th>L.H. OR H.L.</th> <th>PERMITTED MAX % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN OR DESCRIPTION</th> <th>COMB. CONST.</th> <th>COMB. CONST. NON-COMB. CLADDING</th> <th>NON-COMB. CONSTR.</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>EXISTING TO REMAIN</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>REAR</td> <td>EXISTING TO REMAIN</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>RIGHT</td> <td>88.83</td> <td>41.25</td> <td></td> <td>100%</td> <td>11.84%(10.63)</td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>LEFT</td> <td>EXISTING TO REMAIN</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> </tbody> </table>		WALL	AREA OF E.B.F. (sq.m)	L.D. (m)	L.H. OR H.L.	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONSTR.	FRONT	EXISTING TO REMAIN							<input checked="" type="checkbox"/>			REAR	EXISTING TO REMAIN							<input checked="" type="checkbox"/>			RIGHT	88.83	41.25		100%	11.84%(10.63)			<input checked="" type="checkbox"/>			LEFT	EXISTING TO REMAIN							<input checked="" type="checkbox"/>		
WALL	AREA OF E.B.F. (sq.m)	L.D. (m)	L.H. OR H.L.	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONSTR.																																																
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REAR	EXISTING TO REMAIN							<input checked="" type="checkbox"/>																																																		
RIGHT	88.83	41.25		100%	11.84%(10.63)			<input checked="" type="checkbox"/>																																																		
LEFT	EXISTING TO REMAIN							<input checked="" type="checkbox"/>																																																		



1 PROPOSED SECONDARY UNIT GROUND FLOOR - EXISTING GARAGE  
1/8" = 1'-0"



2 PROPOSED SECONDARY UNIT SECOND FLOOR  
1/8" = 1'-0"



3 EX SECONDARY UNIT GROUND FLOOR LEVEL  
1/8" = 1'-0"




4 EX SECONDARY UNIT SECOND FLOOR LEVEL  
1/8" = 1'-0"

PROPOSED SECONDARY UNIT FLOOR AREAS		
PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA	757.38 SF	70.36 m <sup>2</sup>
PROP. LEGAL SECONDARY UNIT SECOND FLOOR AREA	634.22 SF	58.92 m <sup>2</sup>
TOTAL 2	1391.60 SF	129.28 m <sup>2</sup>

EXISTING SECOND FLOOR UNIT AREA		
Name	Area	AREA SQ.M.
EXISTING SECONDARY UNIT GROUND FLOOR AREA	688 SF	64 m <sup>2</sup>
EXISTING SECONDARY UNIT SECOND FLOOR AREA	634 SF	59 m <sup>2</sup>
Grand total: 2	1322 SF	123 m <sup>2</sup>

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**




REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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DRAWING TITLE  
**SECONDARY UNIT FLOOR AREA PLAN**

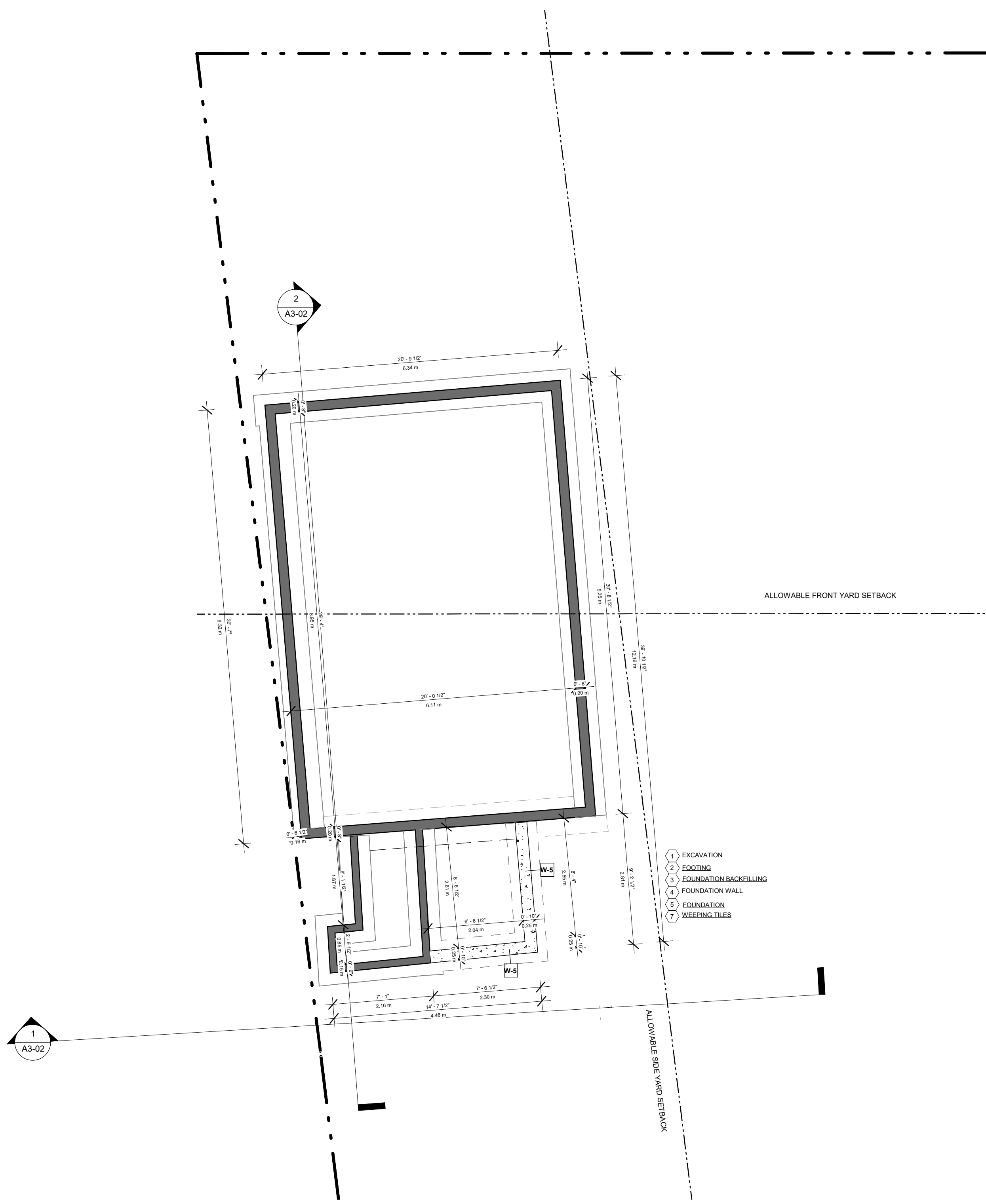
DRAWN PP	CHECKED SA
SCALE @ ARCH D As indicated	DATE 06/21/23

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A0-09**

LOCATION HALTON HILLS	REVISION <b>018</b>
--------------------------	------------------------





WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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ONTARIO ASSOCIATION OF ARCHITECTS  
 2024  
 2024

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DRAWING TITLE  
**PROP. SECONDARY UNIT  
 FOUNDATION PLAN**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/28/23

GRAPHIC SCALE

PROJECT NO.  
 200155

STAGE  
**COFA A1-05**

LOCATION  
 HALTON HILLS

REVISION  
**018**



2 Storey  
Brick & Stone  
#6

NOTE: NUMBER OF STEPS  
TO BE CONFIRMED ON  
SITE

PLEASE NOTE: ALL EXISTING TO REMAIN  
CONVERT EXISTING GARAGE TO BE  
PART OF THE EXISTING LEGAL  
SECONDARY UNIT

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
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014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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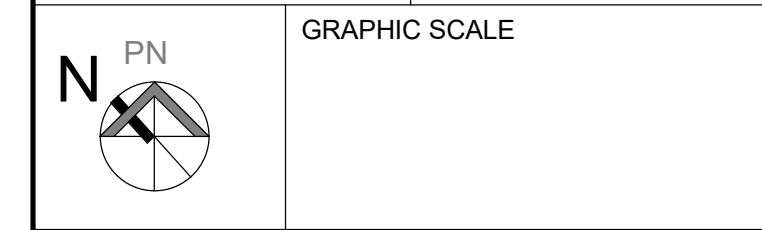
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DRAWING TITLE  
**PROP. SECONDARY UNIT  
GROUND FLOOR PLAN**

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/02/23



PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-06**

LOCATION HALTON HILLS REVISION **018**

PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
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012	ISSUED FOR LPG CONSULTANT	11/22/2023
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06	ISSUED FOR BUILDING PERMIT	06/22/2023

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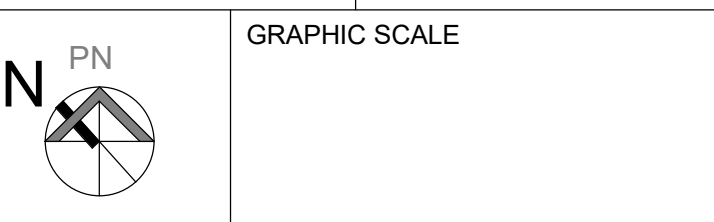
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DRAWING TITLE  
**PROP. SECONDARY UNIT  
SECOND FLOOR**

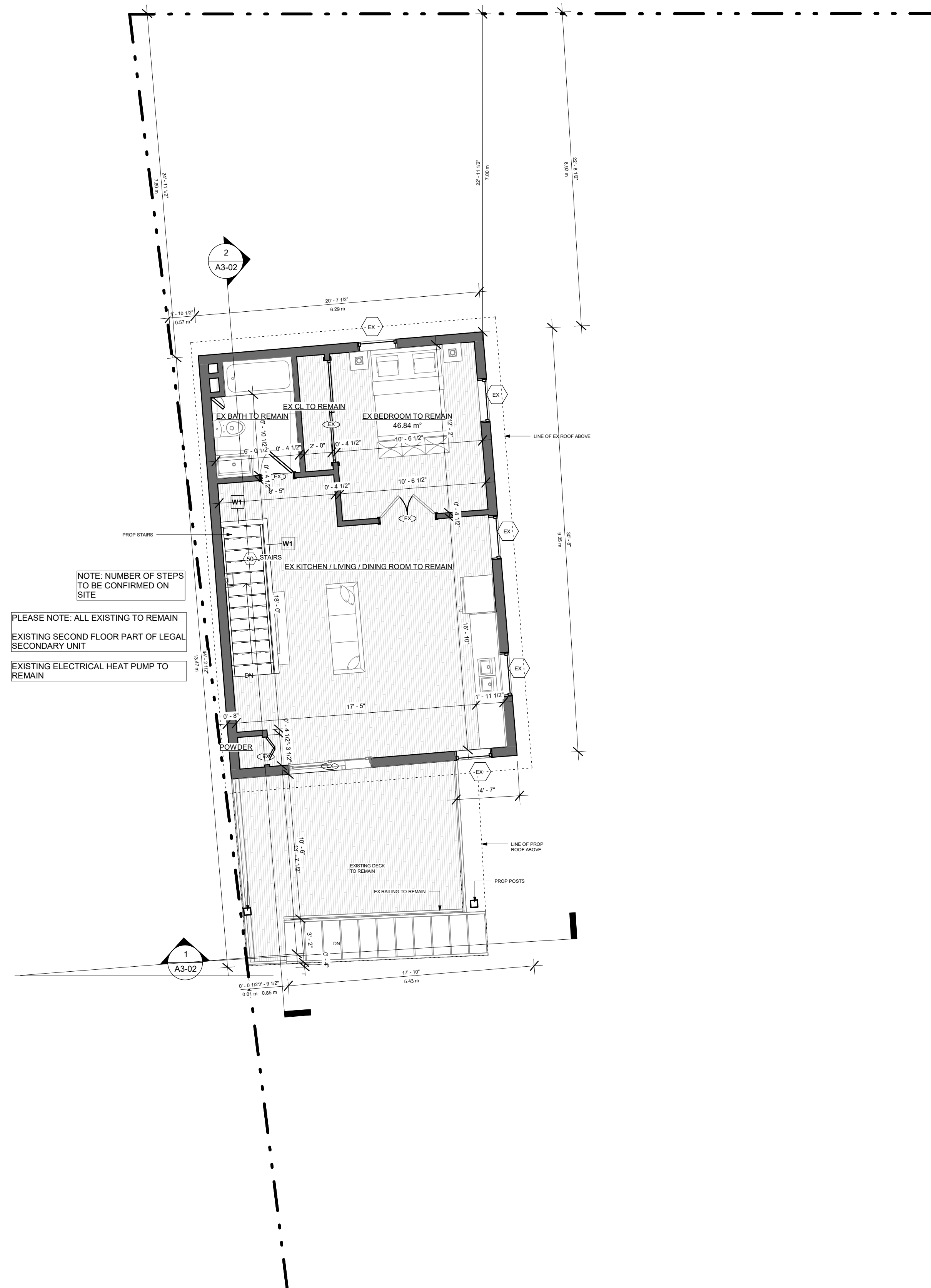
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PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-07**

LOCATION HALTON HILLS REVISION **018**

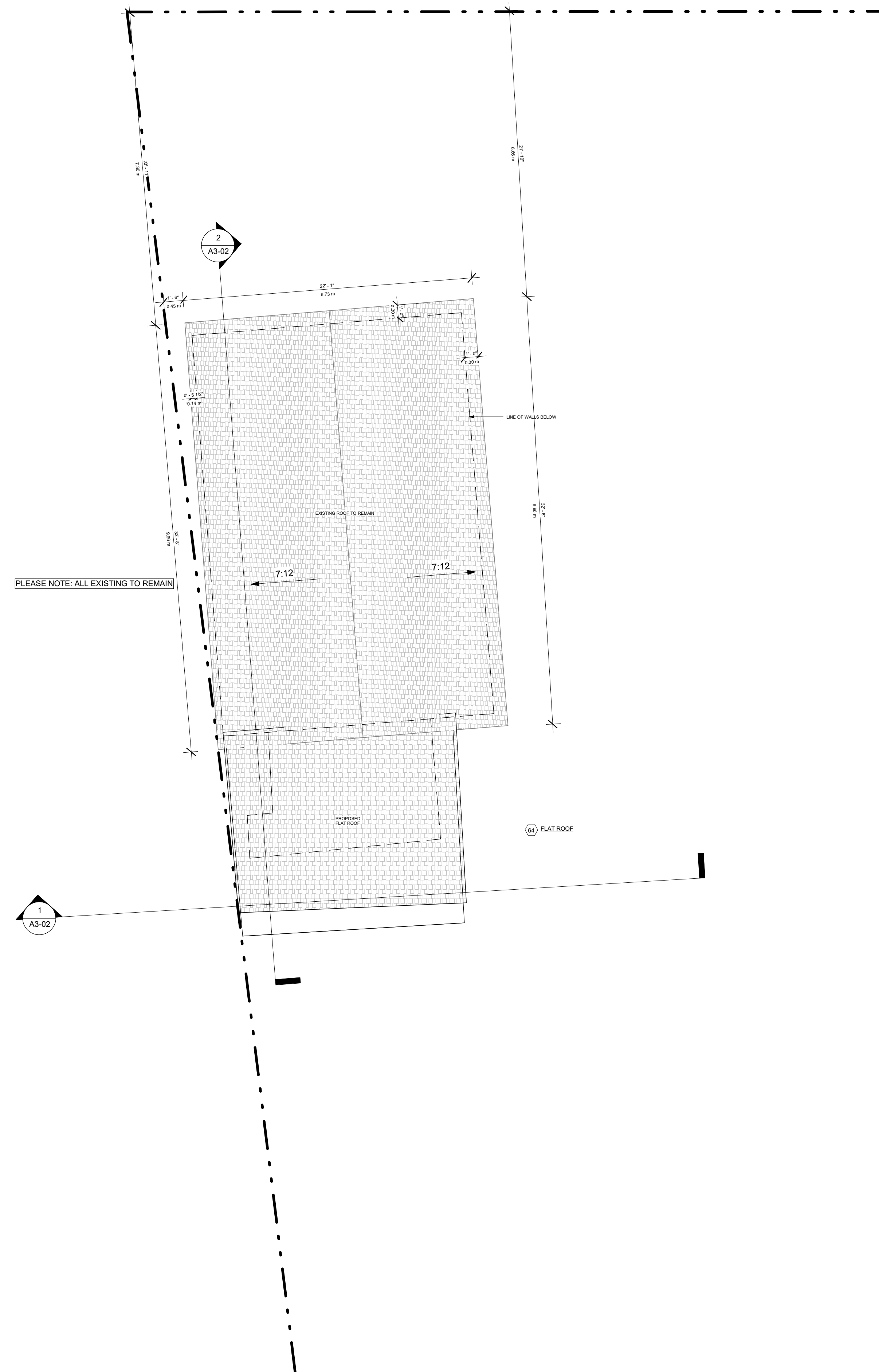


NOTE: NUMBER OF STEPS TO BE CONFIRMED ON SITE

PLEASE NOTE: ALL EXISTING TO REMAIN EXISTING SECOND FLOOR PART OF LEGAL SECONDARY UNIT EXISTING ELECTRICAL HEAT PUMP TO REMAIN

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION



PLEASE NOTE: ALL EXISTING TO REMAIN

WALL LEGEND		
	EXISTING TO REMAIN	
	TO BE DEMOLISHED	
	NEW CONSTRUCTION	

PROJECT

**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT

**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
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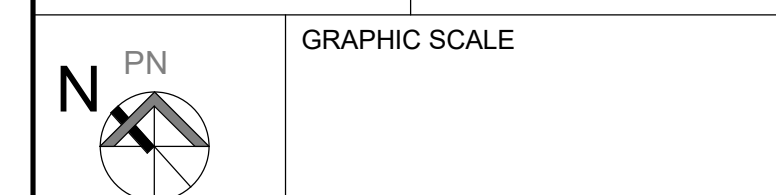
TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE

**PROP. SECONDARY UNIT ROOF PLAN**

DRAWN PP	CHECKED JB
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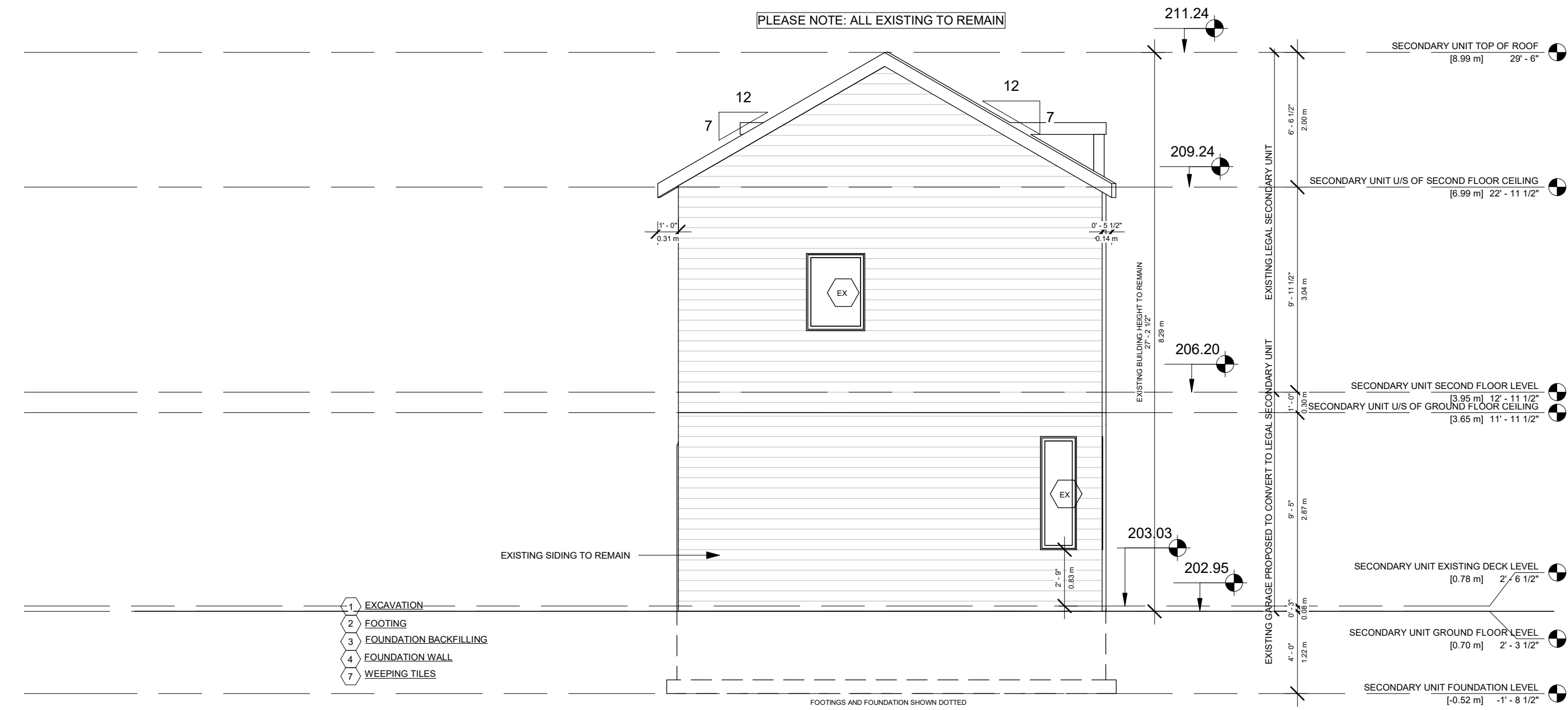
SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/05/23
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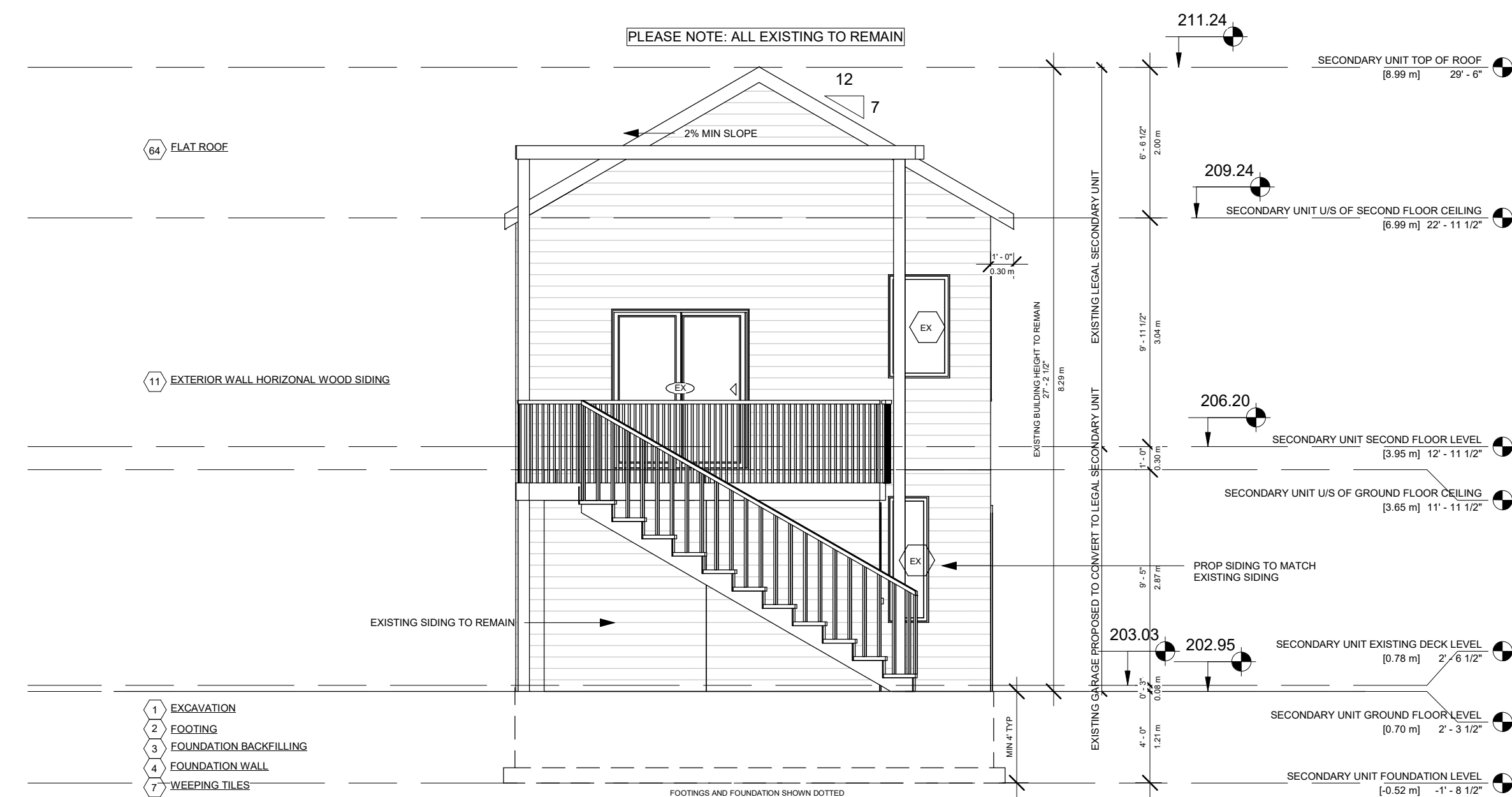
PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-08**

LOCATION HALTON HILLS REVISION **018**



1 SECONDARY UNIT - FRONT ELEVATION  
3/16" = 1'-0"



2 SECONDARY UNIT - REAR ELEVATION  
3/16" = 1'-0"

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT  
**Owner**

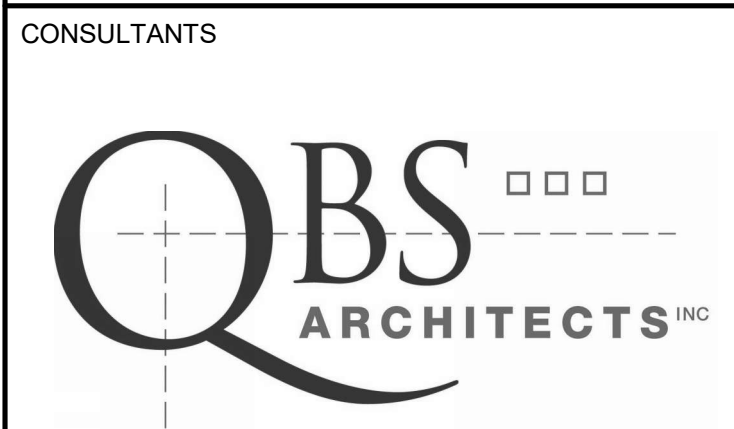


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DRAWING TITLE  
**PROP SECONDARY UNIT FRONT AND REAR ELEVATION**

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/21/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A2-03**

LOCATION HALTON HILLS REVISION **018**



PROJECT

**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT

**Owner**



REVISIONS

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07	ISSUED FOR CLIENT	07/20/2023
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CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE  
**PROP. SECONDARY UNIT RIGHT AND LEFT ELEVATION**

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/21/23

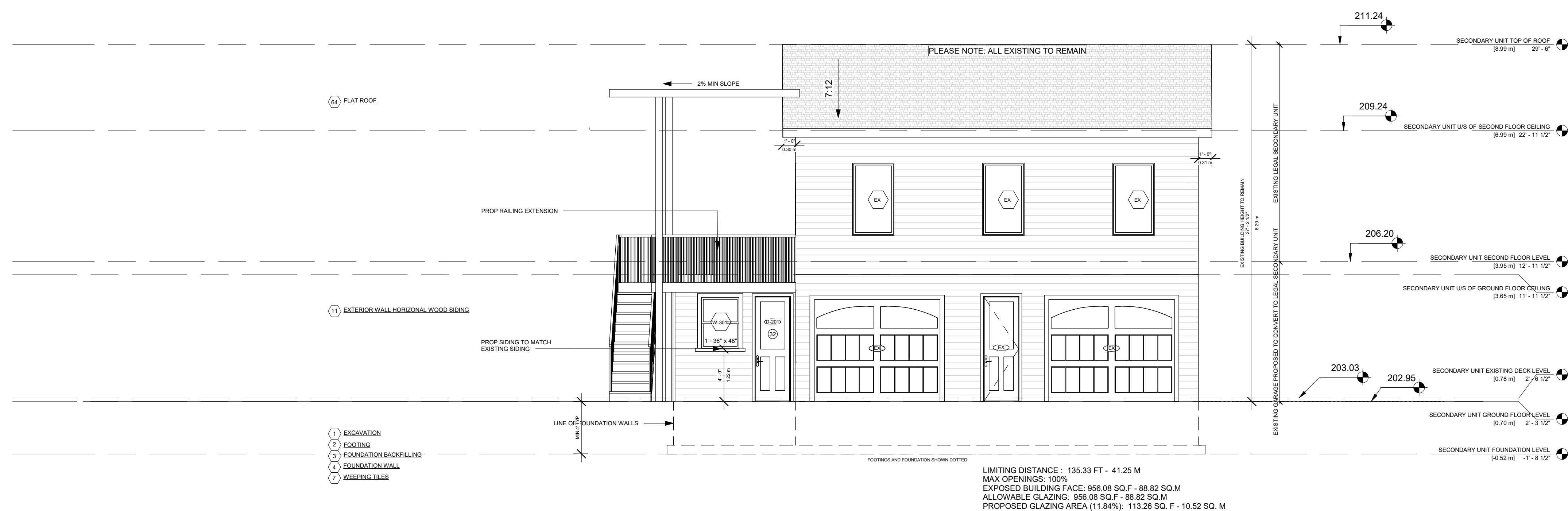
GRAPHIC SCALE

PROJECT NO.  
200155

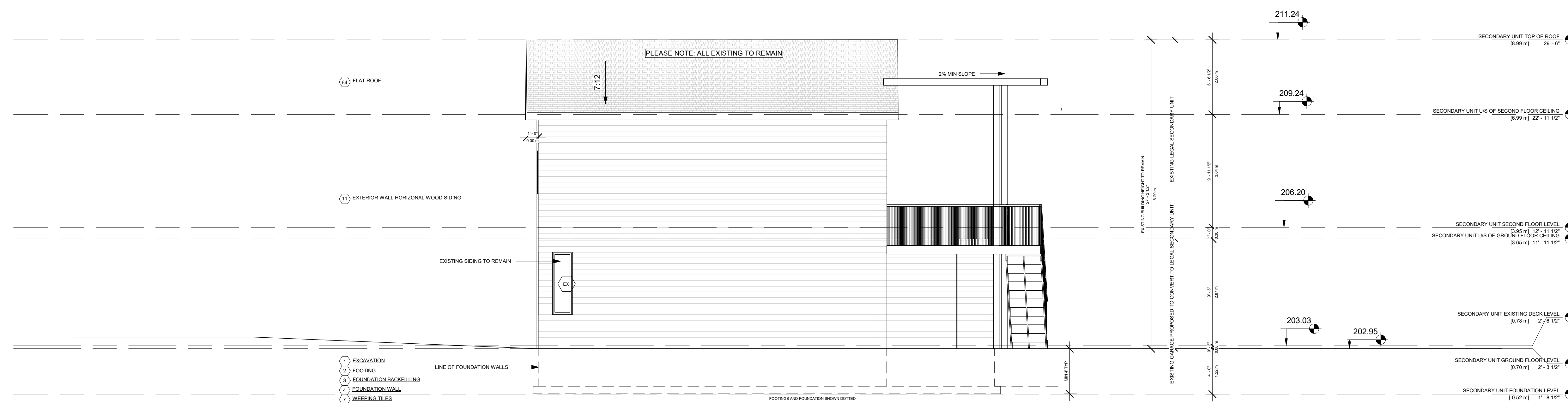
STAGE  
**COFA A2-04**

LOCATION  
HALTON HILLS

REVISION  
**018**



**1 SECONDARY UNIT - RIGHT SIDE ELEVATION**  
3/16" = 1'-0"



**2 SECONDARY UNIT - LEFT SIDE ELEVATION**  
3/16" = 1'-0"

PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE  
**PROP. SECONDARY UNIT SECTION**

DRAWN PP CHECKED JB

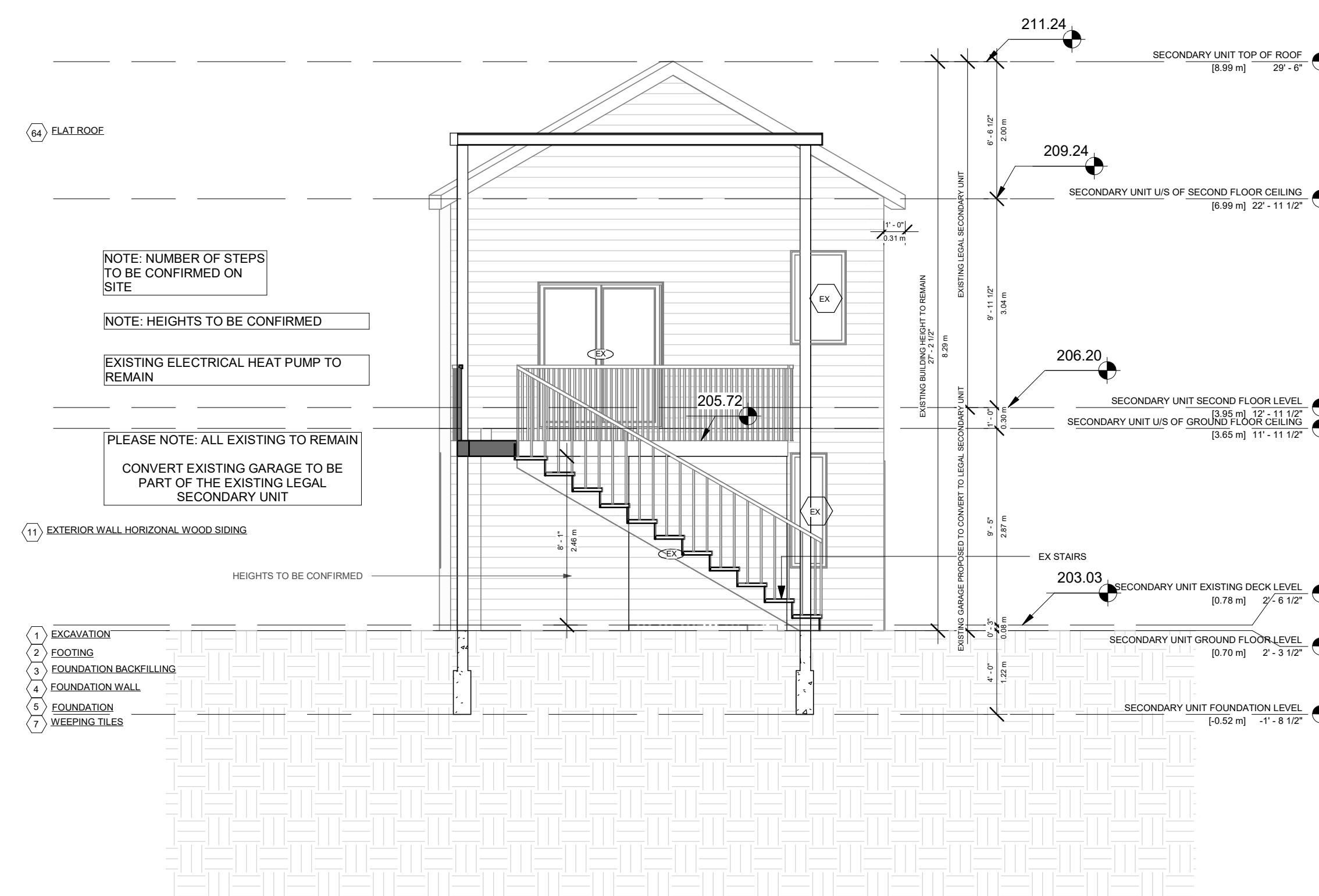
SCALE @ ARCH D DATE 07/19/23  
3/16" = 1'-0"

GRAPHIC SCALE

PROJECT NO. 200155

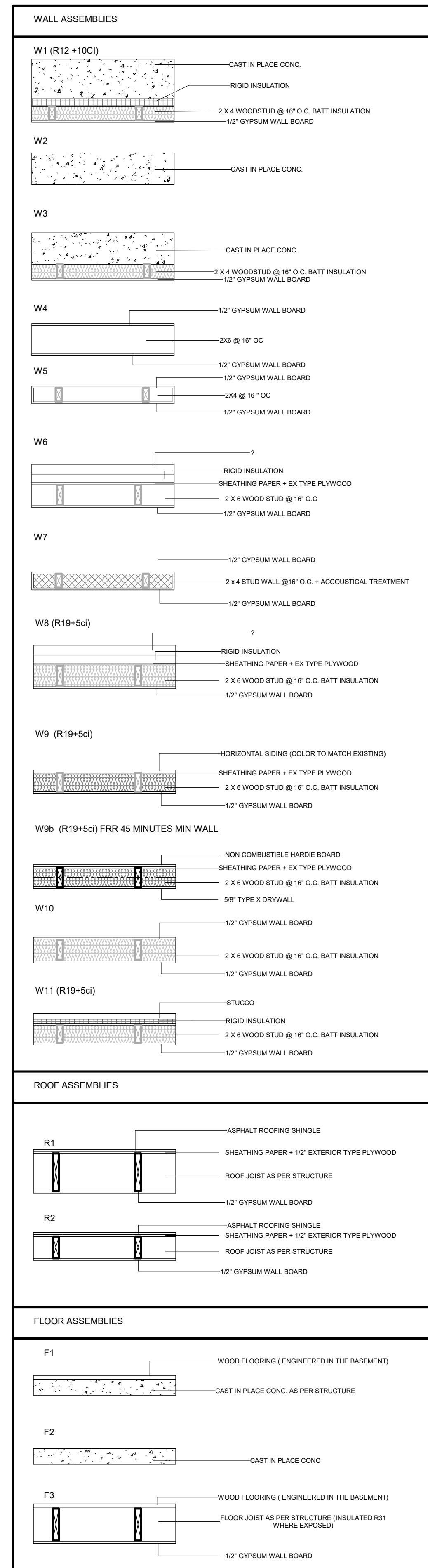
STAGE DRAWING NO.  
**COFA A3-02**

LOCATION HALTON HILLS REVISION **018**



DOOR SCHEDULE						
Mark	Level	Width	Height	From Room	To Room	Operation
D-001	BASEMENT	5' - 0"	7' - 0"		PROP. REC ROOM	DOUBLE DOOR
D-002	BASEMENT	2' - 6"	6' - 8"	PROP. BATH	EXISTING GYM	SINGLE SWING
D-003	BASEMENT	4' - 8"	7' - 0"		EXISTING GYM	SLIDING DOOR
D-004	BASEMENT	2' - 8"	6' - 8"	COLD ROOM	PROP. REC ROOM	SINGLE SWING
D-005	BASEMENT	2' - 8"	6' - 8"	PROP. REC ROOM	GUEST BEDROOM	SINGLE SWING
D-006	BASEMENT	3' - 4"	7' - 0"	PROP CL	GUEST BEDROOM	DOUBLE DOOR
D-007	BASEMENT	3' - 4"	7' - 0"	PROP CL	GUEST BEDROOM	DOUBLE DOOR
D-008	BASEMENT	3' - 0"	6' - 8"	PROP. REC ROOM	EXISTING GYM	OPENING
D-101	GROUND FLOOR - EXISTING	6' - 0"	8' - 0"	PROP FOYER		DOUBLE DOOR
D-102	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP FOYER	PROP MUDROOM	SINGLE SWING
D-103	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP FOYER	PROP BEDROOM	SINGLE SWING
D-104	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP 2 CAR GARAGE	PROP MUDROOM	SINGLE SWING
D-105	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP BEDROOM	EX BATH TO REMAIN	SINGLE SWING
D-106	GROUND FLOOR - EXISTING	1' - 9"	6' - 8"	PROP CL	PROP BEDROOM	DOUBLE DOOR
D-107	GROUND FLOOR - EXISTING	5' - 0"	7' - 6"		PROP BEDROOM	SLIDING DOOR
D-108	GROUND FLOOR - EXISTING	2' - 8"	8' - 0"		PROP 2 CAR GARAGE	SINGLE SWING
D-109	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP FOYER	PROP POWDER	SINGLE SWING
D-110	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CL	PROP FOYER	DOUBLE DOOR
D-111	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CL	PROP FOYER	DOUBLE DOOR
D-112	GROUND FLOOR - EXISTING	3' - 0"	6' - 8"	PROP FOYER	PROP KITCHEN	OPENING
D-113	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP LIVING AND DINING	PROP KITCHEN	SINGLE SWING
D-114	GROUND FLOOR - EXISTING	3' - 6"	8' - 0"		PROP KITCHEN	SINGLE SWING
D-115	PROPOSED GARAGE	8' - 0"	8' - 0"		PROP 2 CAR GARAGE	ROLL UP
D-116	PROPOSED GARAGE	8' - 0"	8' - 0"		PROP 2 CAR GARAGE	ROLL UP
D-201	SECONDARY UNIT GROUND FLOOR LEVEL	2' - 8"	8' - 0"		PROP LAUNDRY	
D-202	SECOND FLOOR - EXISTING	2' - 10"	6' - 8"	PROP CL	EX BEDROOM TO BE ENLARGED	DOUBLE DOOR
D-203	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CORRIDOR	EX BEDROOM TO BE ENLARGED	SINGLE SWING
D-204	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	PROPOSED BEDROOM #3	SINGLE SWING
D-205	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #3	W.I.C #3	SINGLE SWING
D-206	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #3	PROPOSED BEDROOM #3	SINGLE SWING
D-207	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	LAUNDRY	SINGLE SWING
D-208	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	PROPOSED BEDROOM #2	SINGLE SWING
D-209	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #2	W.I.C #2	POCKET
D-210	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	BATH #2	PROPOSED BEDROOM #2	POCKET
D-211	SECOND FLOOR - EXISTING	2' - 8"	7' - 6"		PROPOSED BEDROOM #2	SINGLE SWING
D-212	SECOND FLOOR - EXISTING	5' - 0"	7' - 6"		PROPOSED BEDROOM #3	SLIDING DOOR

Window Schedule 2						
Mark	Level	Sill Height	Height	Width	From Room: Name	
W-001	BASEMENT	2' - 0"	5' - 0"	4' - 0"	PROP. REC ROOM	
W-002	BASEMENT	5' - 6"	2' - 0"	4' - 0"	GUEST BEDROOM	
W-101	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	4' - 0"	PROP LIVING AND DINING	
W-102	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-103	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-104	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-105	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-106	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-107	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-108	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	6' - 0"	PROP LIVING AND DINING	
W-109	GROUND FLOOR - EXISTING	7' - 5 1/2"	5' - 0"	3' - 0"	PROP FOYER	
W-110	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP 2 CAR GARAGE	
W-111	GROUND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROP BEDROOM	
W-112	GROUND FLOOR - EXISTING	0' - 0"	8' - 0"	2' - 0"	PROP KITCHEN	
W-113	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	6' - 0"	PROP 2 CAR GARAGE	
W-114	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	10' - 0"	PROP LIVING AND DINING	
W-115	GROUND FLOOR - EXISTING	2' - 4 1/2"	5' - 0"	3' - 0"	PROP FOYER	
W-116	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	10' - 0"	PROP 2 CAR GARAGE	
W-117	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-118	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-119	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-120	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-121	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-122	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-123	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	4' - 0"	EX BEDROOM TO BE ENLARGED	
W-124	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP 2 CAR GARAGE	
W-125	GROUND FLOOR - EXISTING	0' - 8"	5' - 0"	3' - 11"	EX DINING	
W-126	GROUND FLOOR - EXISTING	0' - 8"	5' - 0"	3' - 11"	EX DINING	
W-201	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	4' - 0"	EX BEDROOM TO BE ENLARGED	
W-202	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-203	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-204	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-205	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-206	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-207	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-208	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	EX BEDROOM TO BE ENLARGED	
W-209	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	3' - 0"	PROP HALL	
W-210	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	OPEN TO BELOW -PROP FOYER	
W-211	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2	
W-212	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	PROPOSED BEDROOM #2	
W-213	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	W.I.C #2	
W-214	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	BATH #2	
W-215	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	BATH #2	
W-216	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	PROPOSED BEDROOM #2	
W-217	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2	
W-218	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2	
W-219	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"		
W-220	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"		
W-221	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #3	
W-222	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #3	
W-301	SECONDARY UNIT GROUND FLOOR LEVEL	4' - 0"	4' - 0"	3' - 0"	PROP LAUNDRY	



**ASSEMBLIES**  
1 : 20

PROJECT

**14 RIVER ROAD**  
**BRAMPTON, ON**  
**L6X 0A6**

CLIENT

**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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DRAWING TITLE  
**DOOR WINDOW SCHEDULE & WALL ASSEMBLIES**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 1 : 20	DATE 11/23/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.

**COFA A4-01**

LOCATION HALTON HILLS REVISION **018**

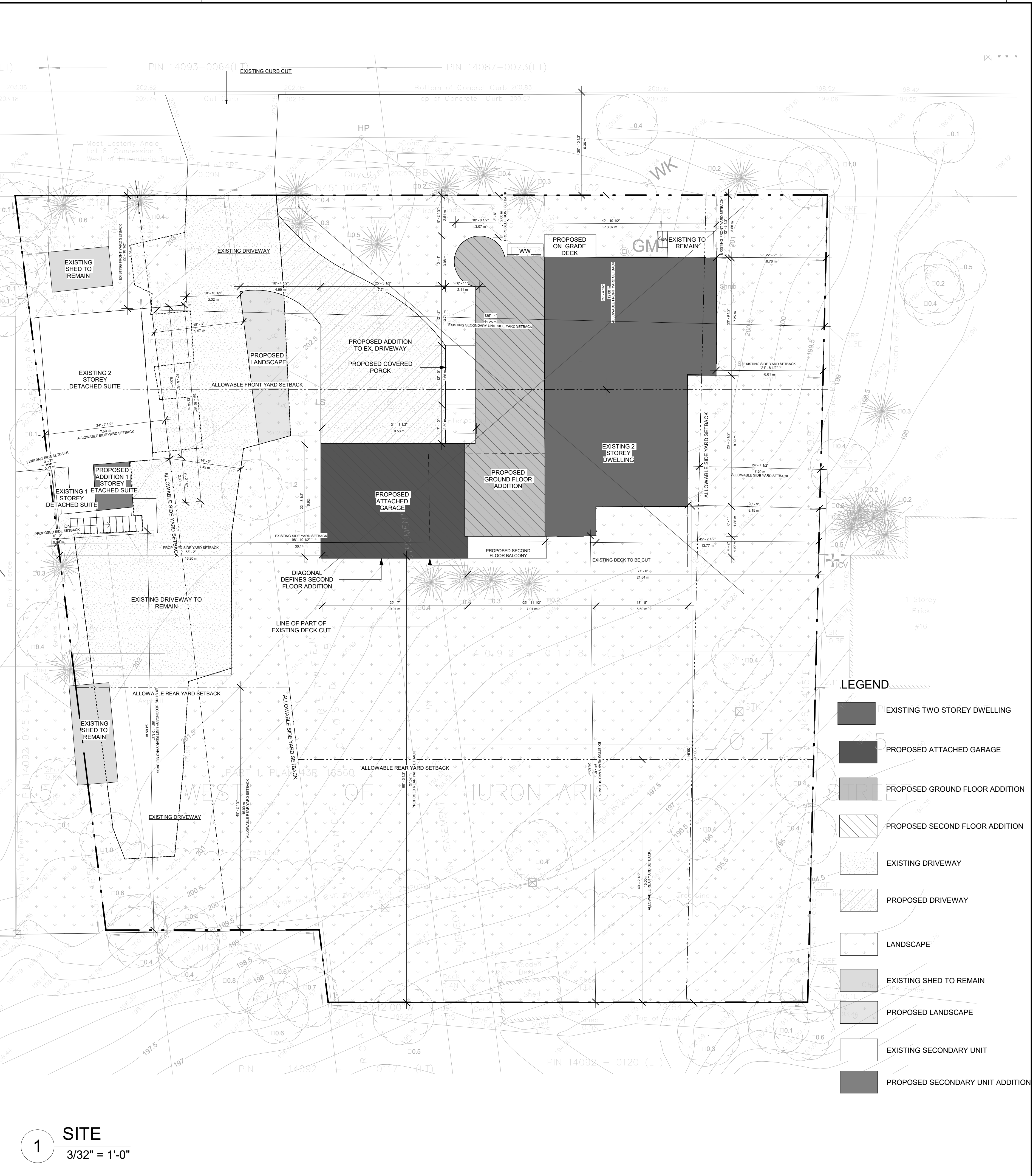
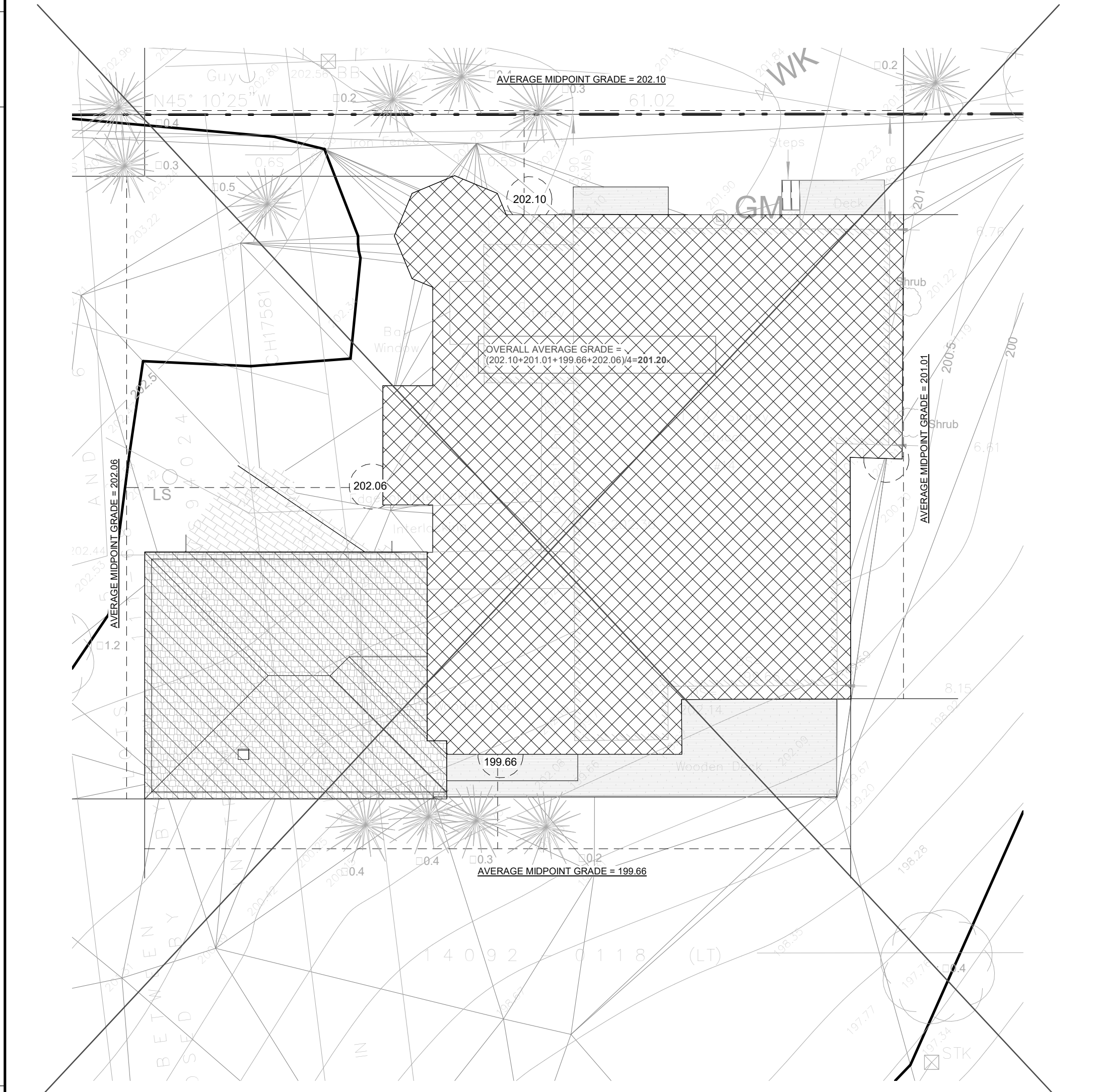
**ZONING INFO.**

ZONING INFORMATION FOR (14 RIVER ROAD) BY LAW 204-2010			
ZONING: RHM1 (RESIDENTIAL HAMLET ONE)	MIN LOT AREA 4200 m <sup>2</sup> 147 638 FT <sup>2</sup>	MIN LOT WIDTH 45 m 147 638 FT	MIN LOT DEPTH 43055.64 SF 147 638 FT
LOT AREA	2259.38 m <sup>2</sup>	44320 SF	
PROPOSED DWELLING INFORMATION			
EX GROUND FLOOR	154.81 m <sup>2</sup>	1664.20 SF	
EX SECOND FLOOR	82.62 m <sup>2</sup>	889.32 SF	
EX SECOND FLOOR ADDITION	63.98 m <sup>2</sup>	691.43 SF	
PROPOSED ADDITION	116.56 m <sup>2</sup>	1254.60 SF	
PROPOSED G.F.A.	417.85 m <sup>2</sup>	4485.54 SF	
PROPOSED DWELLING UNIT COVERAGE	300.59/2259.38 = 13.30%	300.59 m <sup>2</sup>	3236 SF
SETBACKS			
	EXISTING (m)	ALLOWABLE (m)	PROPOSED (m)
FRONT:	3.88	12.72	12.00
REAR:	28.90	94.48	15.00
SIDE (RIGHT):	6.81	7.50	49.21
SIDE (LEFT):	30.14	98.88	7.50
BUILDING HEIGHT:	7.21	23.65	10.60

**EXISTING SECONDARY UNIT INFORMATION**

PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA	70.36 m <sup>2</sup>	757.38 SF	
PROP. LEGAL SECONDARY UNIT SECOND FLOOR AREA	58.92 m <sup>2</sup>	634.22 SF	
TOTAL 2	129.28 m <sup>2</sup>	1391.60 SF	
PROP. SECONDARY UNIT COVERAGE	74.50/2259.38 = 3.30%	70.36 m <sup>2</sup>	757 SF
SETBACKS			
	EXISTING (m)	PROPOSED (m)	
FRONT:	6.98	22.90	
REAR:	24.65	80.67	
SIDE (RIGHT):	0.17	0.55	
SIDE (LEFT):	41.25	135.33	
BUILDING HEIGHT:			

FIRM NAME QBS ARCHITECTS INC. 14 CROFTON ROAD TORONTO, ON M4G 2B4 CERTIFICATE OF PRACTICE NUMBER: 5235 PROPOSED ADDITION AND ALTERATION TO EXISTING DWELLING LOCATION: 14 RIVER RD BRAMPTON ON, L6X 0A6		UNIVERSITY ASSOCIATION OF ARCHITECTS OF CANADA MEMBER SINCE 1983																																																			
No. ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL																																																					
1 PROJECT DESCRIPTION:		<input type="checkbox"/> NEW ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9																																																			
2 MAJOR OCCUPANCY(S)		<input type="checkbox"/> GROUP C RESIDENTIAL OCCUPANCY EXISTING: 155.62 NEW: 300.59 EXISTING: 218.47 NEW: 417.85 1.4.1.2 (A) 1.4.1.2 (A)																																																			
3 BUILDING AREA (m <sup>2</sup> )		3.1.2.1 (1) 9.10.2																																																			
4 GROSS AREA (m <sup>2</sup> )		1.4.1.2 (A) 1.4.1.2 (A)																																																			
5 NUMBER OF STOREYS		1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4																																																			
6 NUMBER OF STREET FIRE FIGHTER ACCESS		3.2.2.16 & 3.2.5 9.10.20																																																			
7 BUILDING CLASSIFICATION GROUP C		3.2.2.20-43 9.10.2																																																			
8 SPRINKLER SYSTEM PROPOSED:		3.2.2.20-43 9.10.2																																																			
9 STANDPIPE REQUIRED:		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> NOT REQUIRED <input type="checkbox"/> IN LIEU OF ROOF RATINGS																																																			
10 FIRE ALARM REQUIRED:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.9 N/A																																																			
11 WATER SERVICE/SUPPLY IS ADEQUATE		<input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> NO 3.2.5.7 N/A																																																			
12 HIGH BUILDING:		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO 3.2.6 N/A																																																			
13 CONSTRUCTION RESTRICTIONS		<input checked="" type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE 3.2.2.20-83 9.10.6																																																			
14 MEZZANINE(S) AREA (m <sup>2</sup> )		3.2.1.1 (3)(B) 9.10.4.1																																																			
15 OCCUPANT LOAD BASES ON:		3.1.17 9.9.1.3																																																			
BASEMENT:		<input type="checkbox"/> PERSON <input checked="" type="checkbox"/> OCCUPANCY C LOAD 2 PERSONS																																																			
1st FLOOR:		<input type="checkbox"/> PERSON <input checked="" type="checkbox"/> OCCUPANCY C LOAD 2 PERSONS																																																			
2nd FLOOR:		<input type="checkbox"/> PERSON <input checked="" type="checkbox"/> OCCUPANCY C LOAD 3 PERSONS																																																			
ROOF:		<input type="checkbox"/> PERSON <input checked="" type="checkbox"/> OCCUPANCY C LOAD 0 PERSONS																																																			
16 BARRIER-FREE DESIGN		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN BUILDING IS A HOUSE (EXEMPT)) 3.8 9.5.2																																																			
17 HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.3.1.2 & 3.3.1.19 9.10.1.3(4)																																																			
18 REQUIRED FIRE RESISTANCE RATINGS (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2) FLOORS 0 HOURS 3.2.2.20-83 9.10.8 ROOF 0 HOURS 3.2.1.4 9.10.9																																																			
MEZZANINE		FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2) FLOORS 0 HOURS ROOF 0 HOURS																																																			
19 SPATIAL SEPARATION CONSTRUCTION OF EXTERIOR WALLS		<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF E.F. (m<sup>2</sup>)</th> <th>L.D. (m)</th> <th>PERMITTED LH OR HL OPENINGS</th> <th>PROPOSED MAX % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN OR DESCRIPTION</th> <th>COMB. CONST.</th> <th>COMB. CONST. NON-COMB. CLADDING</th> <th>NON-COMB. CONSTR.</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>134.81</td> <td>2.52</td> <td>100%</td> <td>12.45%(16.84)</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>REAR</td> <td>181.58</td> <td>27.44</td> <td>100%</td> <td>15.68%(28.48)</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>RIGHT</td> <td>144.23</td> <td>6.82</td> <td>22%</td> <td>13.00%(18.83)</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>LEFT</td> <td>117.86</td> <td>16.12</td> <td>100%</td> <td>15.63%(18.43)</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		WALL	AREA OF E.F. (m <sup>2</sup> )	L.D. (m)	PERMITTED LH OR HL OPENINGS	PROPOSED MAX % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONSTR.	FRONT	134.81	2.52	100%	12.45%(16.84)						REAR	181.58	27.44	100%	15.68%(28.48)						RIGHT	144.23	6.82	22%	13.00%(18.83)						LEFT	117.86	16.12	100%	15.63%(18.43)					
WALL	AREA OF E.F. (m <sup>2</sup> )	L.D. (m)	PERMITTED LH OR HL OPENINGS	PROPOSED MAX % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONSTR.																																												
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RIGHT	144.23	6.82	22%	13.00%(18.83)																																																	
LEFT	117.86	16.12	100%	15.63%(18.43)																																																	



**LEGEND**

- EXISTING TWO STOREY DWELLING
- PROPOSED ATTACHED GARAGE
- PROPOSED GROUND FLOOR ADDITION
- PROPOSED SECOND FLOOR ADDITION
- EXISTING DRIVEWAY
- PROPOSED DRIVEWAY
- LANDSCAPE
- EXISTING SHED TO REMAIN
- PROPOSED LANDSCAPE
- EXISTING SECONDARY UNIT
- PROPOSED SECONDARY UNIT ADDITION

**PROJECT**  
14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

**CLIENT**  
Owner

**REVISIONS**

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/06/2023

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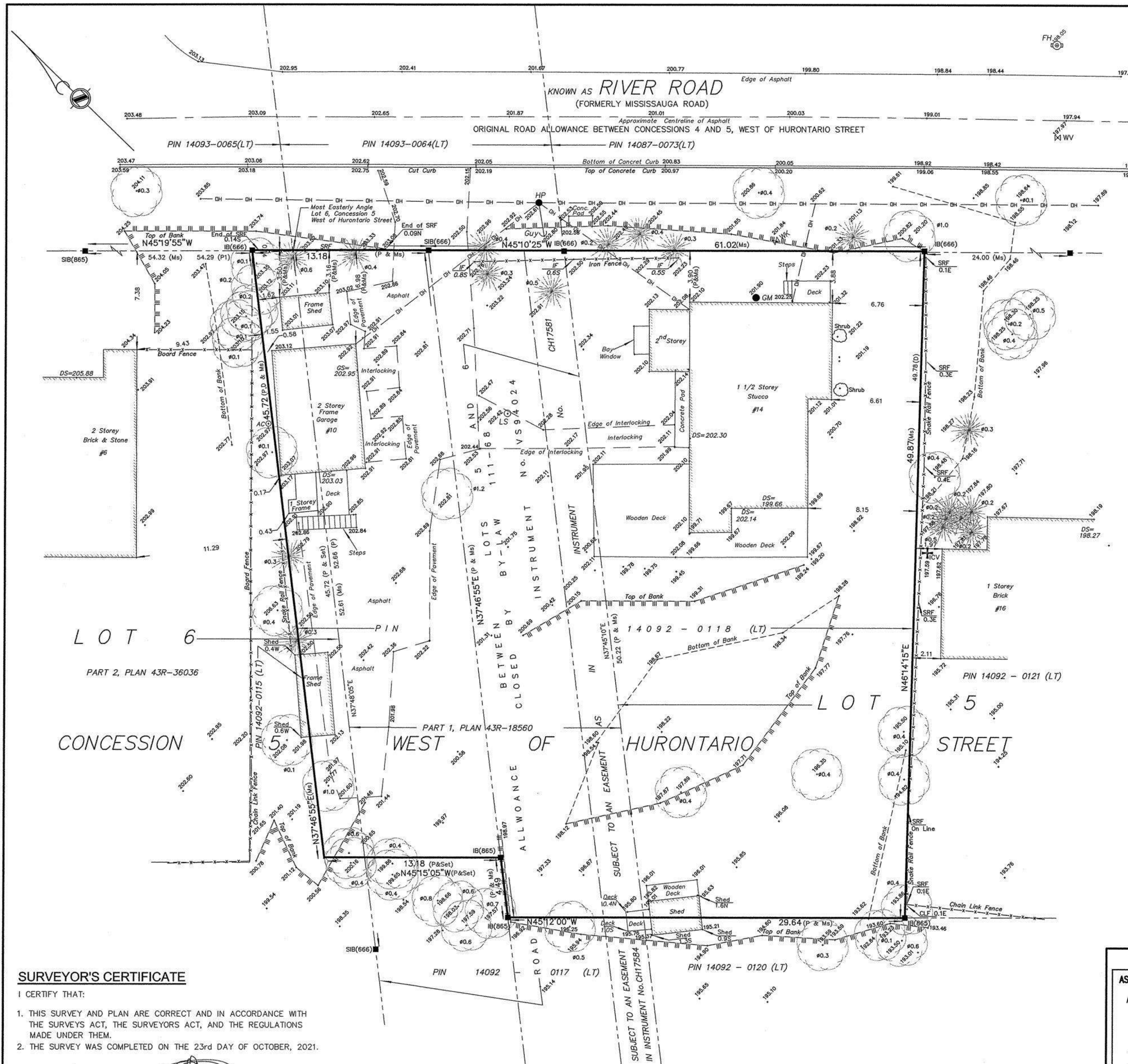
ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

**CONSULTANTS**

**QBS ARCHITECTS INC.**  
TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

**DRAWING TITLE**  
SITE PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D As indicated	DATE 11/03/23
GRAPHIC SCALE	
PROJECT NO. 200155	
STAGE COFA A0-02	DRAWING NO.
LOCATION HALTON HILLS	REVISION 018



**SURVEYOR'S REAL PROPERTY REPORT**  
 SHOWING TOPOGRAPHIC FEATURES OF  
**THE ROAD ALLOWANCE BETWEEN LOTS 5 AND 6**  
 (CLOSED BY CHINGUACOUSY BY-LAW 111-68)  
 AND  
**PART OF LOTS 5 AND 6, CONCESSION 5**  
**WEST OF HURONTARIO STREET**  
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1:200  
 5 4 3 2 1 0 5 10 Metres

YOUNG & YOUNG SURVEYING INC.  
 ONTARIO LAND SURVEYORS  
 © 2021

**METRIC**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

<b>PART 2</b>
<b>DESCRIPTION OF LAND</b>
THE ROAD ALLOWANCE BETWEEN LOTS 5 AND 6 (CLOSED BY CHINGUACOUSY BY-LAW 111-68) AND PART OF LOTS 5 AND 6, CONCESSION 5 WEST OF HURONTARIO STREET (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL
COMPLIANCE WITH MUNICIPAL ZONING
NOT CERTIFIED BY THIS REPORT
<b>REGISTERED EASEMENTS</b>
SUBJECT TO AN EASEMENT AS IN INSTRUMENT No.CH17581
<b>ADDITIONAL REMARKS</b>
NOTE THE LOCATION OF THE FENCES, DRIVEWAY, SHED, OVERHEAD WIRE AND TREES IN RELATION TO THE BOUNDARY LIMITS.

**BEARING NOTE**  
 BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS 2010).

**DISTANCE NOTE**  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999688.

**LEGEND**

■	DENOTES FOUND BAR
□	DENOTES PLANTED BAR
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
Ms	DENOTES MEASURED
P	DENOTES PLAN 43R-18560
P1	DENOTES PLAN 43R-36036
D	DENOTES INSTRUMENT No.R0952965
(666)	DENOTES A, DEATH, O.L.S.
(665)	DENOTES D.P. McLEAN, O.L.S.
WHS	DENOTES WEST OF HURONTARIO STREET
HP	DENOTES HYDRO POLE
LS	DENOTES LIGHT STANDARD
MV	DENOTES WATER VALVE
WK	DENOTES WATER KEY
FH	DENOTES FIRE HYDRANT
BF	DENOTES BOARD FENCE
CLF	DENOTES CHAIN LINK FENCE
DS	DENOTES DOOR SILL
GS	DENOTES GARAGE SILL
SRF	DENOTES SNAKE RAIL FENCE
IF	DENOTES IRON FENCE
N	DENOTES NORTH
E	DENOTES EAST
W	DENOTES WEST
S	DENOTES SOUTH
C	DENOTES CENTRE LINE
○	DENOTES DECIDUOUS TREE WITH DIAMETER
○	DENOTES CONIFEROUS TREE WITH DIAMETER
DH	DENOTES OVERHEAD HYDRO LINES
ICV	DENOTES IRRIGATION CONTROL VALVE
ACO	DENOTES AIR CONDITIONER
○	DENOTES BELL BOX
GM	DENOTES GAS METER

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF OCTOBER, 2021.

Nov 12/21  
 DATE

JAMES A. AGEMANG B.Eng.  
 ONTARIO LAND SURVEYOR

**BENCHMARK NOTE**  
 ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE CITY OF BRAMPTON, MONUMENT #042200354 (ONT.78 ADJUSTMENT) HAVING AN ELEVATION 205.88 METRES.

**BEARING ROTATION NOTE**  
 FOR BEARING COMPARISONS, A ROTATION OF 0°54'05" COUNTER CLOCKWISE WAS APPLIED TO PLAN P TO CONVERT TO GRID BEARINGS

**ASSOCIATION OF ONTARIO LAND SURVEYORS**  
 PLAN SUBMISSION FORM  
 V-20341

**YOUNG & YOUNG SURVEYING INC.**  
 A Subsidiary of Mauro Group Inc.

2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1  
 PHONE 905.951.6000 - FAX 905.857.4811  
 www.youngsurveying.ca - info@youngsurveying.ca

PARTY CHIEF: DEV DRAWN BY: LV CHECKED BY: JA  
 CLIENT: MATTHEW, ABRAHAM  
 PATH: F:\PROJECTS\2021\B7778\MSCAD\B7778\_SRPR\_TOPO.DWG

**PROJECT No. 21-B7778**

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**

REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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CONSULTANTS

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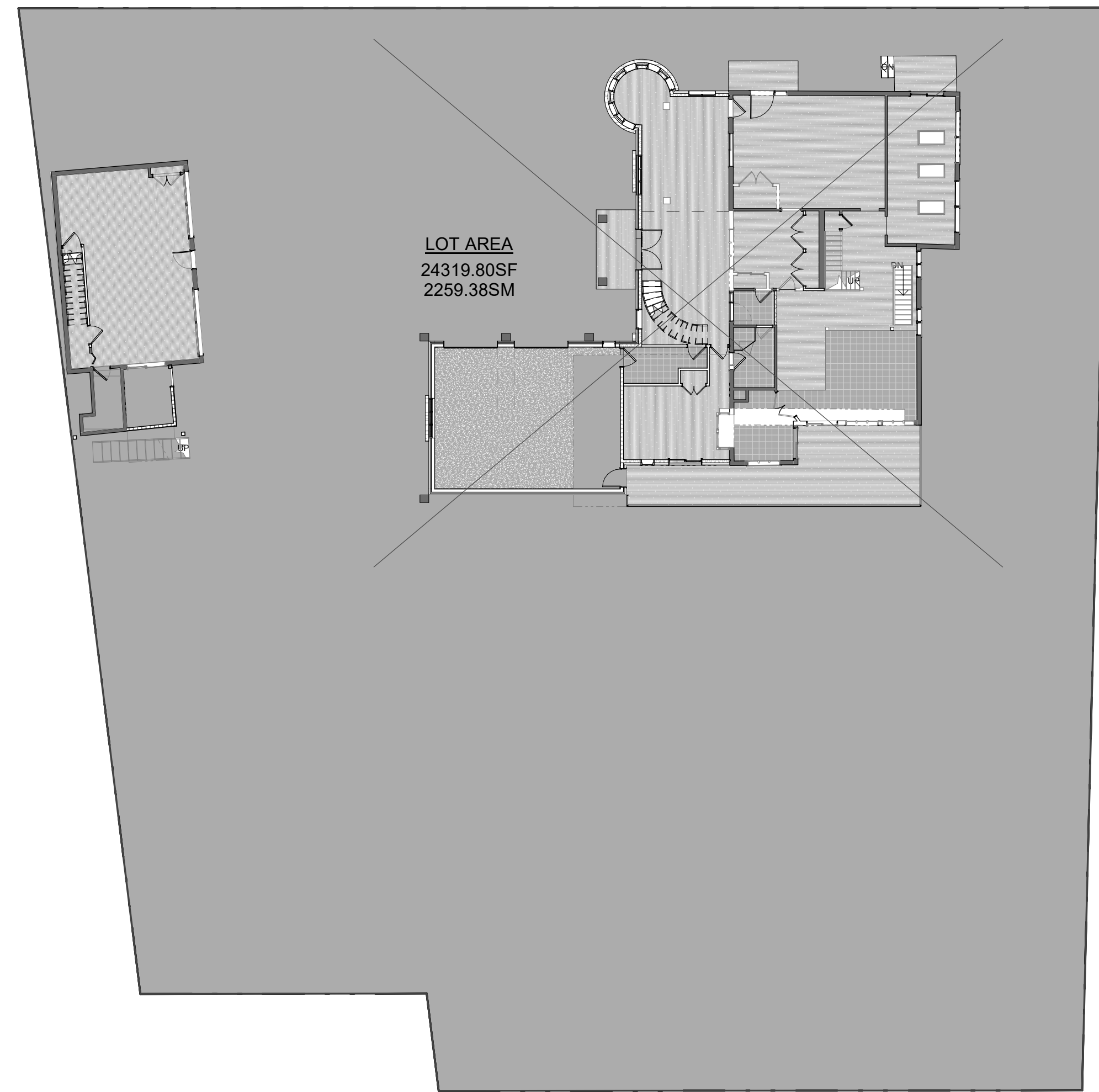
DRAWING TITLE  
**SURVEY**

DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	10/20/22
GRAPHIC SCALE			

PROJECT NO. 200155

STAGE	DRAWING NO.
<b>COFA A0-05</b>	

LOCATION HALTON HILLS REVISION **018**



LOT AREA  
24319.80SF  
2259.38SM

1 LOT AREA  
1/16" = 1'-0"

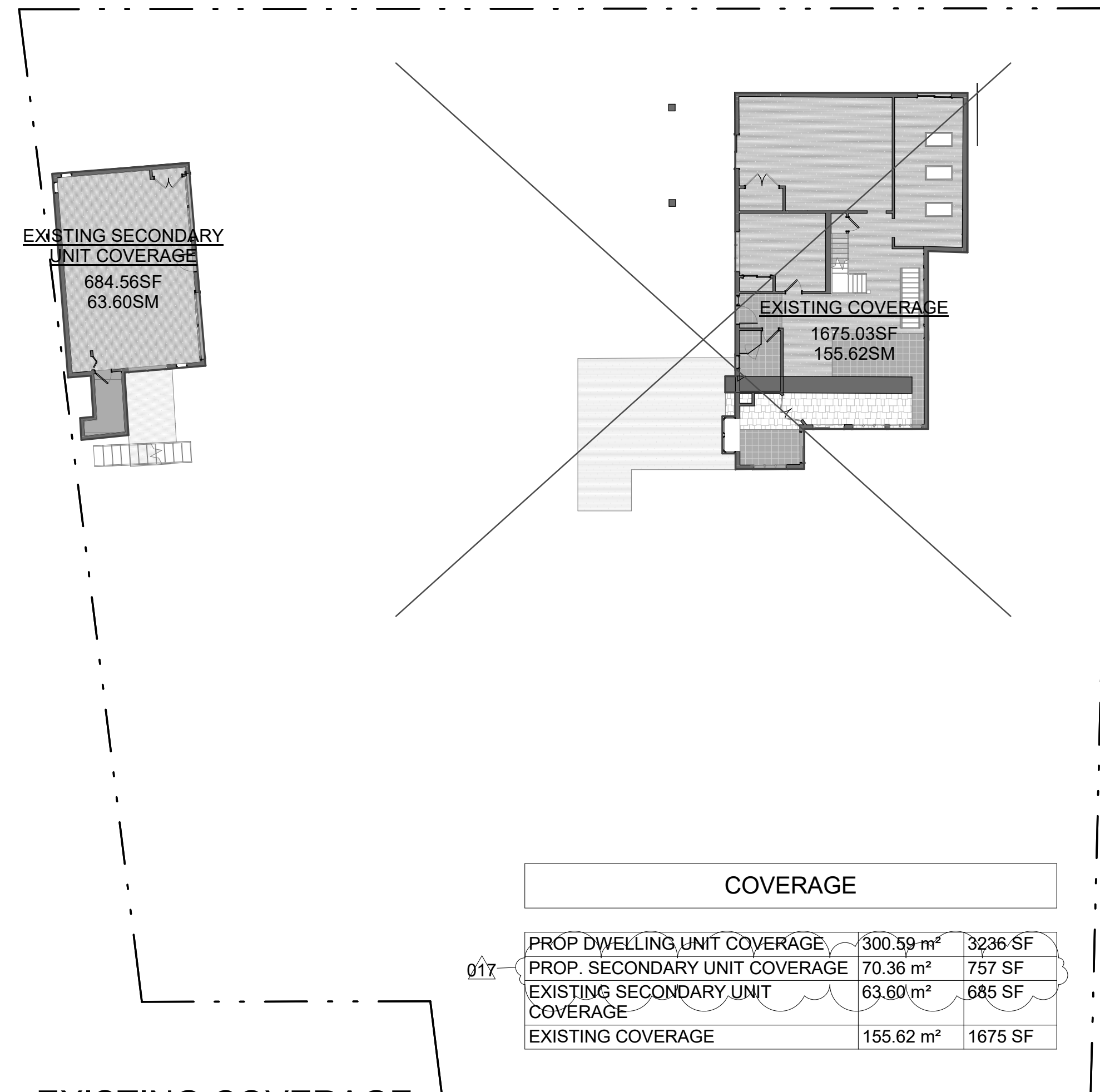
LOT AREA		
LOT AREA	2259.38 m <sup>2</sup>	24320 SF



PROP. SECONDARY UNIT COVERAGE  
757.38SF  
70.36SM

PROP DWELLING UNIT COVERAGE  
3235.52SF  
300.59SM

2 PROP. COVERAGE  
1/16" = 1'-0"



EXISTING SECONDARY UNIT COVERAGE  
684.56SF  
63.60SM

EXISTING COVERAGE  
1675.03SF  
155.62SM

3 EXISTING COVERAGE  
1/16" = 1'-0"

COVERAGE		
PROP DWELLING UNIT COVERAGE	300.59 m <sup>2</sup>	3236 SF
PROP. SECONDARY UNIT COVERAGE	70.36 m <sup>2</sup>	757 SF
EXISTING SECONDARY UNIT COVERAGE	63.60 m <sup>2</sup>	685 SF
EXISTING COVERAGE	155.62 m <sup>2</sup>	1675 SF

PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
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DRAWING TITLE


LOT AREA AND COVERAGE

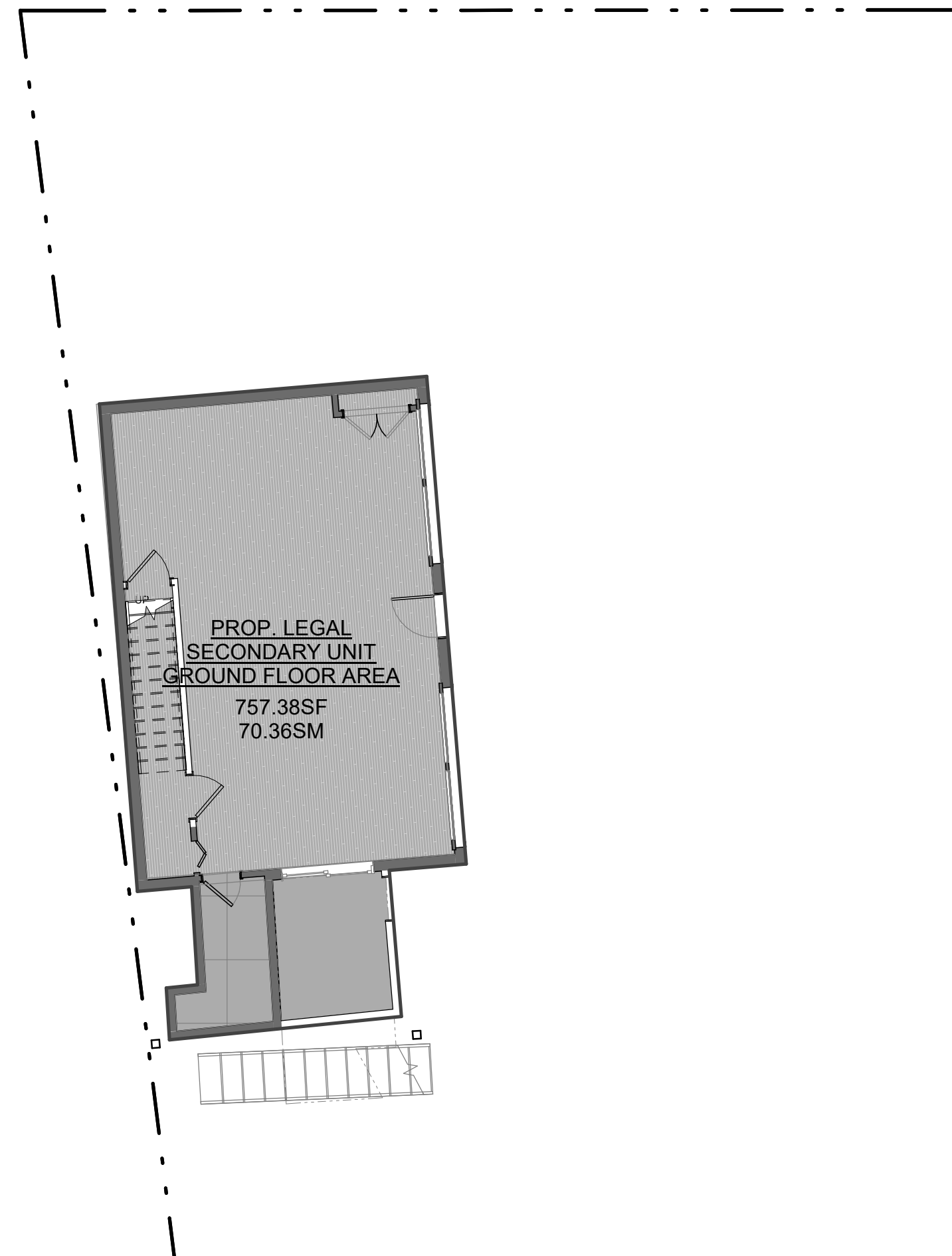
DRAWN	PP	CHECKED	SA
SCALE @ ARCH D	1/16" = 1'-0"	DATE	02/09/23

PROJECT NO.	200155
STAGE	DRAWING NO.

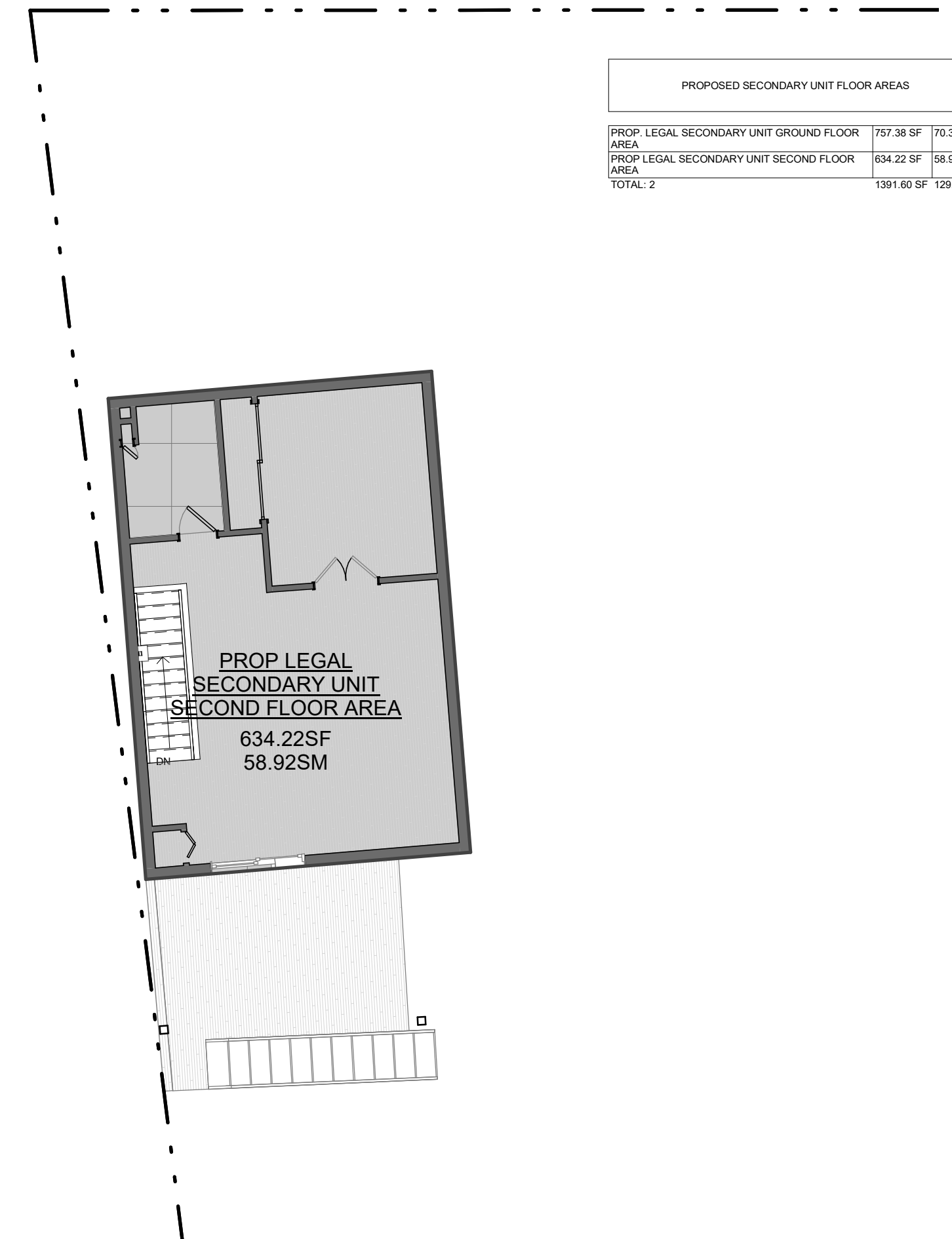
**COFA A0-06**

LOCATION	HALTON HILLS	REVISION	018
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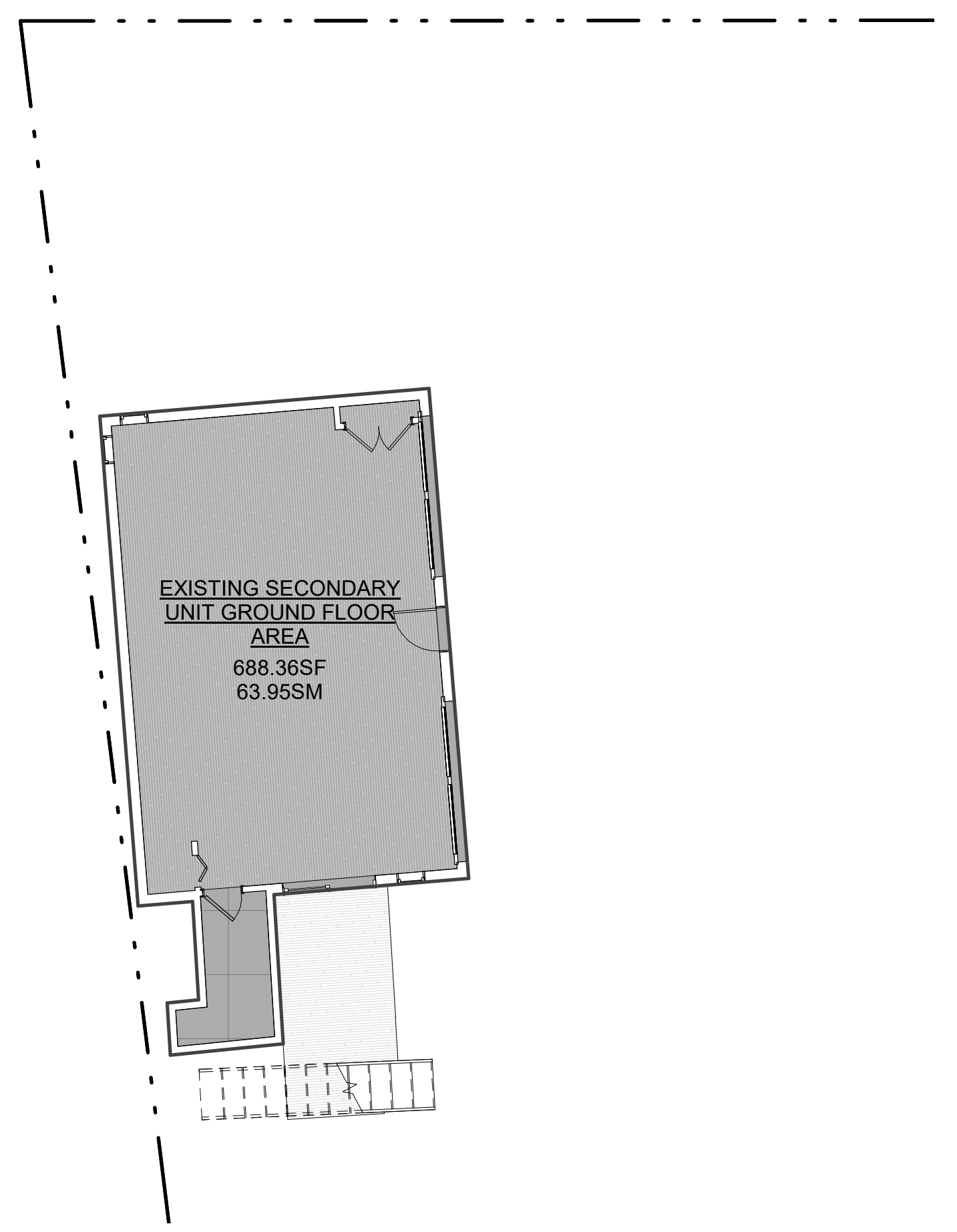
FIRM NAME: QBS ARCHITECTS INC. 14 CROFTON ROAD TORONTO, ON M4G 2B4 CERTIFICATE OF PRACTICE NUMBER: 5235 TO CONVERT EXISTING GARAGE TO BE PART OF EXISTING LEGAL SECONDARY UNIT LOCATION: 14 RIVER RD, BRAMPTON ON, L6X 0A6		 <p>The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's licence number.</p>																																																								
No. ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL		CBC REFERENCE: References are to Division B unless noted (A) for Division A or (C) for Division C.																																																								
1 PROJECT DESCRIPTION:		<input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION																																																								
2 MAJOR OCCUPANCY(S):		<input type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9																																																								
3 BUILDING AREA (m <sup>2</sup> ):		11.1 TO 11.4 2.1.1 (A) 2.1.1 (A)																																																								
4 GROSS AREA (m <sup>2</sup> ):		3.1.2.1 (1) 1.4.1.2 (A) 1.4.1.2 (A)																																																								
5 NUMBER OF STOREYS:		1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4																																																								
6 NUMBER OF STREET/FIRE FIGHTER ACCESS:		3.2.2.10 & 3.2.5 9.10.20																																																								
7 BUILDING CLASSIFICATION: GROUP C		3.2.2.20-83 9.10.2																																																								
8 SPRINKLER SYSTEM PROPOSED:		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT ONLY <input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> INDEX																																																								
9 STANDPIPE REQUIRED:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.9 N/A																																																								
10 FIRE ALARM REQUIRED:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.4 9.10.18																																																								
11 WATER SERVICE/SUPPLY IS ADEQUATE:		<input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> NO 3.2.5.7 N/A																																																								
12 HIGH-BUILDING:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.6 N/A																																																								
13 CONSTRUCTION RESTRICTIONS:		<input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> BOTH <input checked="" type="checkbox"/> BOTH																																																								
14 MEZZANINE(S) AREA (m <sup>2</sup> ):		3.2.1.1 (3)-(8) 9.10.4.1																																																								
15 OCCUPANT LOAD BASES ON:		<input type="checkbox"/> PERSON <input checked="" type="checkbox"/> DESIGN OR BUILDING 14 FLOOR: OCCUPANCY_C LOAD_0 PERSONS 2nd FLOOR: OCCUPANCY_C LOAD_2 PERSONS ROOF: OCCUPANCY_C LOAD_0 PERSONS																																																								
16 BARRIER-FREE DESIGN:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) BUILDING IS A HOUSE (EXEMPT) 3.8 9.5.2																																																								
17 HAZARDOUS SUBSTANCES:		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.3.1.2 & 3.3.1.19 9.10.1.3(a)																																																								
18 REQUIRED FIRE RESISTANCE RATING (FRR):		<table border="1"> <thead> <tr> <th>HORIZONTAL ASSEMBLIES FRR (HOURS)</th> <th>LISTED DESIGN No. OR DESCRIPTION (S0-2)</th> <th>FRR (HOURS)</th> </tr> </thead> <tbody> <tr> <td>FLOORS</td> <td>0 HOURS</td> <td>3.2.20-43</td> </tr> <tr> <td>ROOF</td> <td>0 HOURS</td> <td>3.2.1.4</td> </tr> <tr> <td>MEZZANINE</td> <td>N/A HOURS</td> <td></td> </tr> <tr> <th>FRR OF SUPPORTING MEMBERS</th> <th>LISTED DESIGN No. OR DESCRIPTION (S0-2)</th> <th>FRR (HOURS)</th> </tr> <tr> <td>FLOORS</td> <td>0 HOURS</td> <td>9.10.9</td> </tr> <tr> <td>ROOF</td> <td>0 HOURS</td> <td>9.10.9</td> </tr> <tr> <td>MEZZANINE</td> <td>N/A HOURS</td> <td></td> </tr> </tbody> </table>		HORIZONTAL ASSEMBLIES FRR (HOURS)	LISTED DESIGN No. OR DESCRIPTION (S0-2)	FRR (HOURS)	FLOORS	0 HOURS	3.2.20-43	ROOF	0 HOURS	3.2.1.4	MEZZANINE	N/A HOURS		FRR OF SUPPORTING MEMBERS	LISTED DESIGN No. OR DESCRIPTION (S0-2)	FRR (HOURS)	FLOORS	0 HOURS	9.10.9	ROOF	0 HOURS	9.10.9	MEZZANINE	N/A HOURS																																
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19 SPATIAL SEPERATION - CONSTRUCTION OF EXTERIOR WALLS		<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF E.B.F. (sq.m)</th> <th>L.D. (m)</th> <th>L.H. OR H.L.</th> <th>PERMITTED MAX % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN OR DESCRIPTION</th> <th>COMB. CONST.</th> <th>COMB. CONST. NON-COMB. CLADDING</th> <th>NON-COMB. CONSTR.</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>EXISTING TO REMAIN</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>REAR</td> <td>EXISTING TO REMAIN</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>RIGHT</td> <td>88.83</td> <td>41.25</td> <td></td> <td>100%</td> <td>11.84%(10.63)</td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>LEFT</td> <td>EXISTING TO REMAIN</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> </tr> </tbody> </table>		WALL	AREA OF E.B.F. (sq.m)	L.D. (m)	L.H. OR H.L.	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONSTR.	FRONT	EXISTING TO REMAIN							<input checked="" type="checkbox"/>			REAR	EXISTING TO REMAIN							<input checked="" type="checkbox"/>			RIGHT	88.83	41.25		100%	11.84%(10.63)			<input checked="" type="checkbox"/>			LEFT	EXISTING TO REMAIN							<input checked="" type="checkbox"/>		
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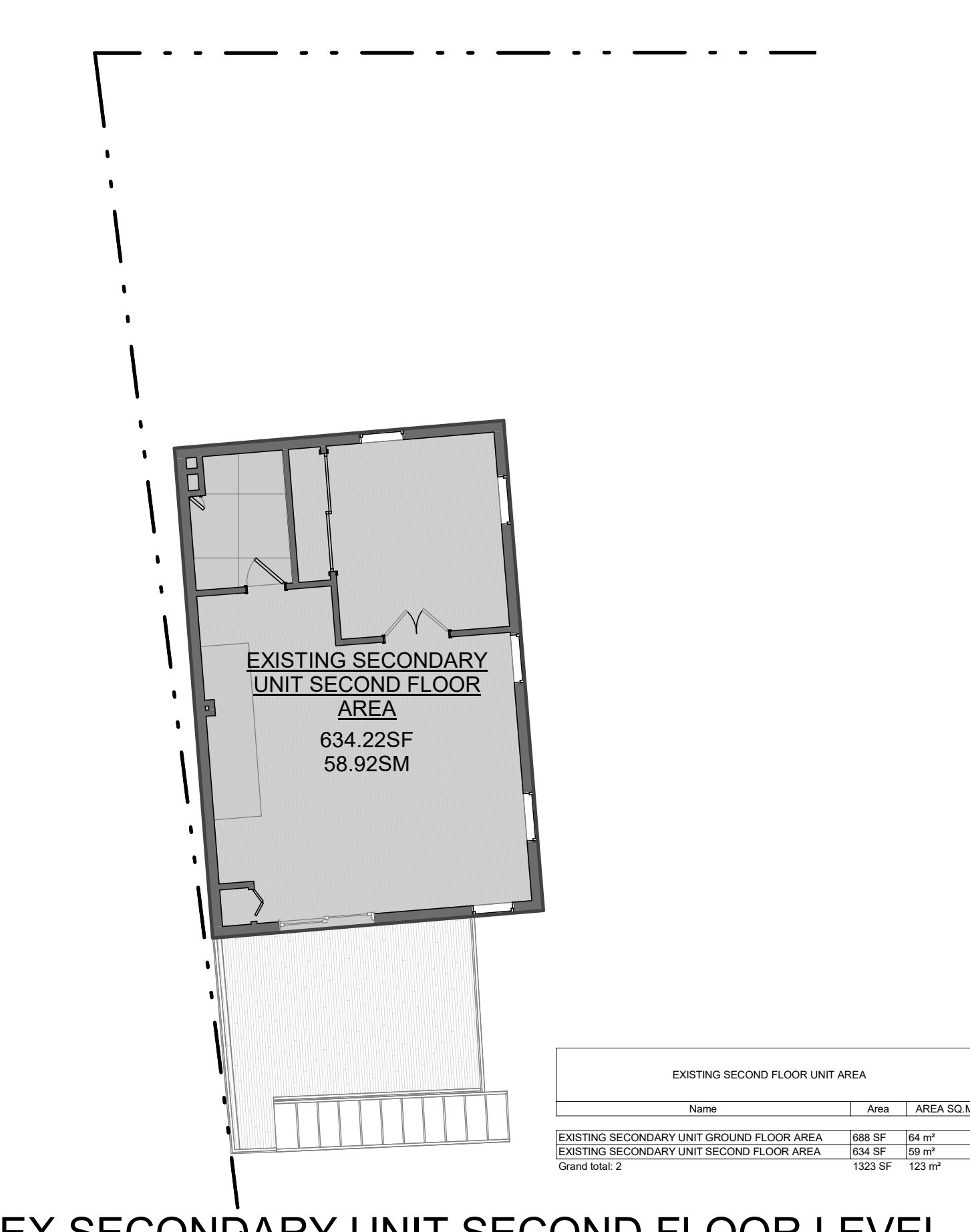
1 PROPOSED SECONDARY UNIT GROUND FLOOR - EXISTING GARAGE  
1/8" = 1'-0"



2 PROPOSED SECONDARY UNIT SECOND FLOOR  
1/8" = 1'-0"



3 EX SECONDARY UNIT GROUND FLOOR LEVEL  
1/8" = 1'-0"



4 EX SECONDARY UNIT SECOND FLOOR LEVEL  
1/8" = 1'-0"

PROPOSED SECONDARY UNIT FLOOR AREAS		
PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA	757.38 SF	70.36 m <sup>2</sup>
PROP. LEGAL SECONDARY UNIT SECOND FLOOR AREA	634.22 SF	58.92 m <sup>2</sup>
TOTAL 2	1391.60 SF	129.28 m <sup>2</sup>

EXISTING SECOND FLOOR UNIT AREA		
Name	Area	AREA SQ.M.
EXISTING SECONDARY UNIT GROUND FLOOR AREA	688 SF	64 m <sup>2</sup>
EXISTING SECONDARY UNIT SECOND FLOOR AREA	634 SF	59 m <sup>2</sup>
Grand total 2	1322 SF	123 m <sup>2</sup>

PROJECT  
**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6





REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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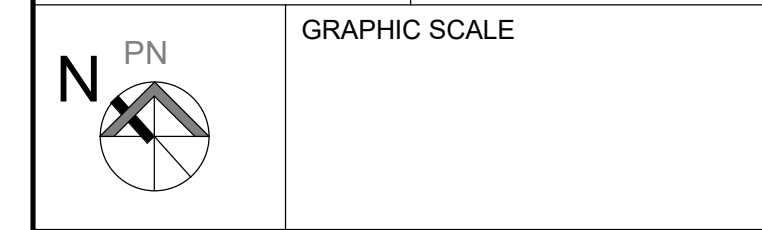
CONSULTANTS

TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE  
**SECONDARY UNIT FLOOR AREA PLAN**

DRAWN PP	CHECKED SA
SCALE @ ARCH D As indicated	DATE 06/21/23



PROJECT NO. 200155

STAGE  
**COFA A0-09**

LOCATION  
HALTON HILLS

REVISION  
**018**

**CONSTRUCTION NOTES**

- 1) EXCAVATION**  
 EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY. EXISTING STRUCTURES, UTILITIES, ROADS, AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.  
 WHERE THE DEPTH OF EXCAVATION EXCEEDS 4'-0" EXCAVATE AT A 4:1 MAX ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DETAILS. STRUCTURE IS NOT TO BE LOCATED ON GROUNDS HAVING A SLOPE STEEPER THAN ONE VERTICAL TO TWO HORIZONTAL.
- 2) FOOTING**  
 - 2" MIN. PROTECTION X 8" DEEP POURED CONCRETE  
 - 2 - 15M HORIZONTAL BARS CONTINUOUS KEY FOOTING TO FOUNDATION WALL W/ 10 M REBAR DOWELS @ 32" O.C.  
 - FOOTINGS (MINIMUM 28 DAYS CONCRETE) MUST BE UNDISTURBED SOIL CAPABLE OF 3,000 PSF (LOADING BOTTOM OF FOOTING TO BE MIN. 4" BELOW LOWEST GRADE ON UNDISTURBED SOIL)  
 - NOTE: CONTRACTOR RESPONSIBLE FOR DETERMINING SHORING METHOD AND / OR THE EXTENT OF UNDERPINNING IF REQUIRED AT NEIGHBOURING PROPERTIES STRUCTURE. NOTE ANGLE OF REPOSE BETWEEN FOOTINGS NOT TO EXCEED 7:1 VERT. HORIZ. ALL FOOTINGS TO BE HAND CLEANED AND CONCRETE MATCHED AT AFTER LOCATION. POUR A 30MM COAT OF CONCRETE ON THE BEARING SURFACES OF ALL FOOTING EXCAVATIONS IMMEDIATELY AFTER THE FOOTINGS HAVE BEEN CLEANED, INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER  
 - IF VARIABLE SUBSOIL CONDITIONS OCCUR, A GEOTECHNICAL ENGINEER SHOULD INSPECT ALL FOOTING FOUNDING LEVELS IMMEDIATELY PRIOR TO PLACING OF EITHER REINFORCING BARS OR CONCRETE TO ENSURE COMPLIANCE WITH THE ALLOWABLE SOIL BEARING PRESSURE
- 3) FOUNDATION BACKFILLING**  
 - APPLY 12" CLEAR STONE COVER OVER WEeping TILES  
 - BACKFILL WITH GRANULAR MATERIAL AS PER PLAN APPLIED IN 2" LIFTS  
 - PROVIDE 12" LAYER OF COMPACTED TOP SOIL SLOPED AWAY FROM FOUNDATION WALL
- 4) FOUNDATION WALL**  
 - MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, AND A B.M.E.C. APPROVED DRAINAGE LAYER SUCH AS TIE IN MAT  
 - 2 COATS ASPHALT EMULSION  
 - 12" CEMENT PAVING COVER OVER FOOTING AND TO 8" ABOVE GRADE EXCEPT AS OTHERWISE NOTED  
 - FURNISH CONCRETE SPEC'S AS NOTED ON DRAWINGS
- 5) FOUNDATION**  
 FOOTINGS TO BE FOUNDED ON NATIVE, INORGANIC, UNDISTURBED SOIL CAPABLE OF SUSTAINING MINIMUM 3000 PSF OF ALLOWABLE BEARING PRESSURE.  
 SLOPE BETWEEN STEPPED OR ADJACENT FOOTINGS SHALL HAVE A MAXIMUM OF 7 VERTICAL AND 10 HORIZONTAL AND STEPS SHALL NOT EXCEED 2'-0" VERTICALLY  
 EXTERIOR FOOTINGS WILL BE FOUNDED AT A LEVEL AT LEAST 4'-0" BELOW FINISHED GRADE
- 6) CONCRETE SLAB ON GRADE**  
 - MACHINE TROWELLED 4" POURED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AND 0 - 1% AIR ENTRAINMENT  
 - 6 MIL VAPOUR / MOISTURE BARRIER "SUPER SIX" TURNED AT INSIDE FACE OF FOUNDATION WALL  
 - 2" MIN. COMPACTED CRUSHED CLEAR LIMESTONE ON UNDISTURBED SOIL  
 - NOTE: USE 50MPa AND 5-8% AIR ENTRAINMENT MIN. COMPRESSIVE STRENGTH CONCRETE IN ALL GARAGE (INCLUDING INTERIOR GARAGES) AND EXTERIOR SLABS  
 - SLOPE TO DRAIN @ MINIMUM 1% SLOPE AS APPLICABLE
- 7) WEeping TILES**  
 - 4" DIA. CORRUGATED PLASTIC WEeping TILE W/ FILTER "SOCK" (TERAFLEX 270R OR SIMILAR POROUS FIBRE GEXTEXILE) SET AT BOTTOM OF FOOTING  
 - SURROUND WEeping TILE WITH 12" MIN. LAYER OF 3/4" SIZE CLEAR LIMESTONE AND SUBSEQUENTLY WRAPPED IN A SECOND LAYER OF NON CLOGGING GEXTEXILE FILTER CLOTH  
 - SLOPE WEeping TILE TO FROST FREE SUMP PIT & RUN TO DRAIN. NOTE: PROVIDE ACCESS FOR WEeping TILE CLEAN OUT AT NUMEROUS LOCATIONS.
- 8) CONCRETE SLAB ON GRADE - PATIO**  
 - "CREDIT VALLEY" FLAGSTONE OR APPROVED EQUAL, RANDOM SQUARE CUT PATTERN OR AS PER PLAN  
 - MACHINE TROWELLED 4" POURED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AND 0 - 1% AIR ENTRAINMENT  
 - 6 MIL VAPOUR / MOISTURE BARRIER "SUPER SIX"  
 - 2" MIN. COMPACTED CRUSHED CLEAR LIMESTONE ON UNDISTURBED SOIL FOUNDATION AS PER PLAN  
 - NOTE: CONTRACTOR TO SUPPORT LARGE SLAB AREA WITH 6" DIA. SONO TUBE FOUNDATIONS CW REBAR TYING SLAB TO SONO TUBE  
 - SLOPE TO DRAIN @ MINIMUM 1% SLOPE AS APPLICABLE
- 9) EXPOSED FOUNDATION WALL**  
 - 4" STONE VENEER BONDED SOLID TO 2" CONCRETE BLOCK (MORTAR FILL SPACE BETWEEN STONE AND FOUNDATION WALL) WITH 2" HOOK AT EACH END @ 8" VERTICALLY, 36" HORIZONTALLY  
 - 3/16" BLACK LOCK @ 16" O.C. VERTICALLY, ALLOW FOR FULL CONTACT WITH STONE VENEER
- 10) INSULATED FOUNDATION WALL**  
 - MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, AND A B.M.E.C. APPROVED DRAINAGE LAYER SUCH AS TIE IN MAT  
 - 2 COATS ASPHALT EMULSION  
 - 12" CEMENT PAVING COVER OVER FOOTING AND TO 8" ABOVE GRADE EXCEPT AS OTHERWISE NOTED  
 - CONCRETE BLOCK (THICKNESS AND REINFORCEMENT AS NOTED IN PLANS) CW HIGH GAUGE BLACK LOCK (HORIZONTAL) EVERY SECOND COURSE  
 - 2 X STUDS AT 16" O.C. DAMPPROOFING LAYER (POLY) BELOW STUD PLATE TO GROUND LEVEL  
 - 5"12" HIGH DENSITY BATT INSULATION  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL
- 11) EXTERIOR WALL HORIZONTAL WOOD SIDING**  
 - 1" X 6" SOLID WOOD SIDING BY "MAIBEC" RABBIT BEVEL PROFILE, STAINED (COLOUR TO BE DECIDED)  
 - "TYPAR" HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS, LAP & TAPE ALL JOINTS  
 - 1/2" ORIENTED STRAND BOARD (OSB)  
 - 1" AIR SPACE  
 - "TYPAR" HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS, LAP & TAPE ALL JOINTS  
 - 1/2" ORIENTED STRAND BOARD (OSB)  
 - 2" X 6" STUDS AT 16" O.C., DOUBLE PLATE AT TOP  
 - 6" BATT INSULATION (R-19-50)  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL, WHERE SETBACK IS LESS THAN 4" AWAY FROM PROPERTY LINE
- 12) STUCCO EXTERIOR WALL**  
 - 1/2" PREFAB STONE (CONTRACTOR TO CONFIRM STONE SELECTION W/ ARCHITECT PRIOR TO ORDERING)  
 - NON-CORROSIVE METAL TIE @ 32" O.C. HORIZONTAL, 16" O.C. VERTICAL  
 - MASONRY VENTS AT 24" O.C. TOP & BOTTOM OF CAVITY WALL CW INSECT SCREENS, COLOUR TO MATCH STONE  
 - PROVIDE THROUGH-WALL FLASHING AT BOTTOM OF CAVITY TO MINIMUM 6" UP BEHIND TYPAR  
 - 1" AIR SPACE  
 - "TYPAR" HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS, LAP & TAPE ALL JOINTS  
 - 1/2" ORIENTED STRAND BOARD (OSB)  
 - 2" X 6" STUDS AT 16" O.C., DOUBLE PLATE AT TOP  
 - 6" BATT INSULATION (R-19-50)  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL, WHERE SETBACK IS LESS THAN 4" AWAY FROM PROPERTY LINE
- 13) STUCCO EXTERIOR WALL**  
 - JOINTS AS PER INDUSTRY STANDARD AND AS PER ELEVATIONS (SEE ELEVATIONS / DETAILS FOR STANDARD DECORATIVE WINDOW AND DOOR CASINGS, BELLS, CROWN MOULDING AND BANDING) POURED CONCRETE THRESHOLD OR 6" CUT LIMESTONE SILL AT ALL DOORS-SEE ELEVATIONS  
 - FINISH COAT ACROSS STUCCO, COLOUR AND FINISH TO BE SELECTED BY ARCHITECT  
 - NOTE: MAINTAIN 8" MIN. BETWEEN STUCCO AND GRADE  
 - 3 UNDERCOATS OF CGC CEMENT BASED STUCCO  
 - 2" FORMALIN CORROSION CONTAINING INSULATION (R-19), LAP & TAPE ALL JOINTS  
 - 1/2" EXTERIOR GRADE FIR FLYWOOD  
 - 2" X 6" STUDS AT 16" O.C.  
 - 6" BATT INSULATION (R-19-50)  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL  
 - 5/8" "TYPER" DRYWALL, WHERE SETBACK IS LESS THAN 4" AWAY FROM PROPERTY LINE  
 - NOTE: CONTRACTOR RESPONSIBLE FOR LAYING MINIMUM 12" WIDE WASHED IRONSTONE STRIP OVER FILTER CLOTH AROUND ENTIRE PERIMETER TO PREVENT BACKSPASH DURING RAINFALL
- 14) FLASHING**  
 - PROVIDE PREFINISHED ALUMINUM / COPPER FLASHING IN ALL THE FOLLOWING LOCATIONS  
 - BENEATH JOINTED MASONRY BELLS  
 - OVER BACKS AND TOPS OF PARAPET WALLS  
 - OVER HEADS OF WINDOWS AND DOORS SET FURTHER THAN 14 THE EAVES OVERHANG BELOW THE SOFFIT  
 - AROUND CHIMNEYS, OR ANY ELEMENTS CROSSING ROOF SURFACES THAT ARE NOT SUPPLIED WITH MANUFACTURERS FLASHING  
 - AT INTERSECTION OF ROOF SURFACES WITH EXTERIOR WALLS  
 - AT ALL ROOF VALLEYS
- 15) CURVED CORNER BEAD**  
 - FLEXIBLE CORNER BEAD AT RADUSED DRYWALL EDGES MUST BE USED
- 16) HARDWOOD FLOORING**  
 - 3/4" X 2 1/4" SELECT RED OAK T & G STRIP FLOORING  
 - BLIND NAIL TO EXISTING / NEW SUBFLOOR, INSTALL WAXED BUILDING PAPER OVER SUBFLOOR PRIOR (USE PREFINISHED HARDWOOD FLOORING - CONFIRM W/ OWNER / ARCHITECT)  
 - FINISH  
 - SAND STRIP FLOORING TO EXPOSE NATURAL WOOD USING THREE (3) STAGE SANDING PROCESS  
 - FINISH WITH 100 GRIT PAPER  
 - STAIN COLOUR TO BE DETERMINED (IF APPLICABLE)  
 - APPLY THREE (3) COATS HIGH QUALITY URETHANE, SANDING LIGHTLY BETWEEN COATS  
 - NOTE: NO SEALER TO BE USED!
- 17) EXISTING HARDWOOD FLOORING (RENOVATION)**  
 - SAND EXISTING STRIP FLOORING AND IN FILL TO EXPOSE NATURAL WOOD USING THREE (3) STAGE PROCESS  
 - FINISH WITH 100 GRIT PAPER (MINIMUM)  
 - APPLY THREE (3) COATS HIGH QUALITY URETHANE, SANDING LIGHTLY BETWEEN COATS  
 - NOTE: NO SEALER TO BE USED!
- 18) FLOOR TILING**  
 - LAY ASPHALT SHEATHING PAPER, FELT OR POLYETHYLENE FILM  
 - GALVANIZED WIRE MESH (2" X 2"), SPACING 18" ON CENTER AT 1/4" MIN. THICK  
 - TILING (COLOUR TO BE DETERMINED)  
 - NOTE: APPLY 2 COATS OF SEALER FOR FLOOR FLOORING (AS PER SUPPLIERS' / MANUFACTURERS SPECIFICATIONS)
- 19) LEDGER BOARDS**  
 - CONTINUOUS 2 - 1 X 10 OR AS PER PLANS GLUED LEDGER BOLTED WITH STAGGERED 3/4" DIA. RAM SET RED HEAD DYNA BOLTS @ 16" O.C. - MIN. 2"12" EMBEDMENT IN EXISTING SOLID MASONRY WALL.
- 20) ENGINEERED HARDWOOD FLOORING**  
 - CONCRETE SUBFLOORS MUST BE DRY, SMOOTH LEVEL, WITH 3/16" IN A 10' RADIUS 1/8" IN 6' AND FREE OF STRUCTURAL DEFECTS. HAND SCRAPE OR SAND WITH A 20-GRIT 45-60° OPEN FACE PAPER TO REMOVE LOOSE FLAY CONCRETE. GRIND HIGH SPOTS IN CONCRETE AND FILL LOW SPOTS WITH A PORTLAND BASED LEVELING COMPOUND (MIN. 1000 PSI).  
 - GREASE, DIRT AND CURING COMPOUNDS, THESE MAY BE REMOVED MECHANICALLY BUT DO NOT USE SOLVENT BASED STRIPPERS UNLESS AN EXPERT ADVISES. THE USE OF RESOLU SOLVENTS CAN PROHIBIT THE SATISFACTORY BOND OF FLOORING ADHESIVES.  
 - IT IS IMPORTANT TO ENSURE A BARRIER BETWEEN THE ADHESIVE AND THE CONCRETE, AND PLANKS OR STRIPS, ENGINEERED HARDWOOD FLOORING MAY BE INSTALLED ON-GRADE ABOVE GRADE, AS WELL AS BELOW GRADE WHERE MOISTURE CONDITIONS ARE ACCEPTABLE  
 - LIGHTWEIGHT CONCRETE (LIGHTWEIGHT CONCRETE WITH A DRY DENSITY OF 100 POUNDS OR LESS PER CU. YD) IS ONLY SUITABLE FOR ENGINEERED WOOD FLOORS WHEN USING THE FLOATING INSTALLATION METHOD. MANY PRODUCTS HAVE BEEN DEVELOPED AS SELF-LEVELING TOPPINGS OR FLOOR UNDERLAYMENTS, THESE INCLUDE CELLULAR OR CONCRETE FLOORS, POLYURETHANE OR POLYURETHANE AND OTHER COMPRIANED MATERIALS. ALTHOUGH SOME OF THESE PRODUCTS MAY HAVE THE NECESSARY QUALIFICATIONS FOR UNDERLAYMENT FOR WOOD FLOORING, INSTALLATIONS, OTHERS DO NOT  
 - TO THE SURFACE OF THE CONCRETE, SCRAPE A COIN OR KEY ACROSS THE SURFACE OF THE SUBFLOOR  
 - IF THE SURFACE FINISHES SMOOTH HAS A DRY DENSITY OF 100 POUNDS OR LESS PER CU. YD, USE ONLY THE FLOATING INSTALLATION METHOD.  
 - TO ENSURE A LONG LASTING BOND, MAKE SURE THAT THE PERIMETER OF THE FOUNDATION HAS ADEQUATE DRAINAGE AND VAPOR BARRIER.  
 - WOOD SUBFLOORS: WOOD SUBFLOORS NEED TO BE WELL NAILED OR SECURED WITH SCREWS. NAILS SHOULD BE KING SHANKS AND SCREWS NEED TO BE COUNTER SUNK  
 - THE WOOD SUBFLOOR NEEDS TO BE STRUCTURALLY SOUND AND DRY, IT SHOULD NOT EXCEED 1% MOISTURE PRIOR TO INSTALLATION  
 - IF THE SUBFLOOR IS SINGLE LAYER, LESS THAN 3/4" THICK, ADD A SINGLE CROSS LAYER FOR STRENGTH AND STABILITY (MINIMUM 5/8" THICK FOR A TOTAL 1" THICKNESS)  
 - THIS IS TO REDUCE THE POSSIBILITY OF SQUEAKING  
 - UNDERLAMENT GRADE OSB (NOT THE WAX SIDE) IS ALSO A SUITABLE SUBFLOOR PARTICLEBOARD IS NOT AN ACCEPTABLE SUBFLOOR FOR STAPLE OR NAIL DOWN INSTALLATIONS BUT CAN BE USED AS A SUBFLOOR IF GLUE DOWN INSTALLATIONS  
 - WHEN INSTALLING OVER EXISTING WOOD FLOORING, INSTALL AT RIGHT ANGLES TO THE EXISTING FLOOR  
 - USE TIE-BACKER WATER-RESISTANT  
 - 1/2" "DENS-SHIELD" TIE-BACKER BY GEORGIA-PACIFIC AT ALL SURROUNDING WALLS. TAPE WITH 2" WIDE 10 X 10 GLASS MESH SELF ADHESIVE TAPE AND SPACKLE  
 - USE BLUEBOARD AT REMAINING BATHROOM WALLS
- 21) GUARD DESIGN LOADS**  
 - MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:  
 1) A UNIFORM LOAD OF 50 LB/FT OR A CONCENTRATED LOAD OF 225 LBS  
 2) A VERTICAL LOAD OF 100 LB/FT, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD  
 3) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 LBS AT ANY POINT OPENING THROUGH ANY GUARD SHALL BE OF SIZE, WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4 IN.  
 GUARDS SHALL BE DESIGNED/INSTALLED SO THAT NO MEMBER ATTACHED OR WALKING SURFACE WILL FACILITATE CLIMBING  
 OR OPENING LOCATED BETWEEN 4 IN. AND 35 IN. ABOVE THE FLOOR
- 22) ROOF CONSTRUCTION**  
 - ASPHALT SHINGLES (25 YEARS) - COLOUR TO MATCH EXIST  
 - 12" X 4" WOOD SHEATHING (WITH JOISTS IF USING TRUSSES)  
 - ROOF STRUCTURE AS SPECIFIED IN PLAN  
 - PROVIDE ICE AND WATER BARRIER PROTECTION TO EXTEND 36" MIN. BEYOND INTERIOR FACE OF EXTERIOR WALL, MIN. 3" LAP AND 6" END LAP (AS PER 9.26.5 OBC)  
 - PREFINISHED ALUMINUM DRAINAGE BELT/STRIPLES  
 - PREFIN. ALUMINUM EAVESTRICH ON WOOD FASCIA AND VENTED SOFFIT WITH INSECT SCREEN TO MATCH EXISTING  
 - 2" X 6" CEILING JOISTS @ 16" O.C. (OR AS NOTED IN PLANS)  
 - 1/2" (R-19) BATT INSULATION / BATTLE AS REQUIRED FOR VENTILATION  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX" LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL
- 23) SOFFIT**  
 - PREFINISHED ALUMINUM SOFFIT WITH INSECT SCREENING  
 - LAY ALUMINUM PANELS WITH CORRUGATIONS PERPENDICULAR TO FASCIA  
 - USE PLANS FOR OVERHANG DIMENSION
- 24) EAVESTRICH/DRAINAGES**  
 - 5" - 6" MAX WIDE PREFINISHED ALUMINUM EAVESTRICH (COLOUR TO BE DETERMINED)  
 - 2" X 4" PREFINISHED ALUMINUM DOWNPIPES (COLOUR TO BE DETERMINED) CW CONCRETE SPILL PADS AWAY FROM BUILDING  
 - NOTE: DOWNPIPES ROUTING TO BE DISCUSSED W/ ARCHITECT PRIOR TO INSTALLATION
- 25) DESIGN LOADS**  
 - DEAD LOAD AT TOP CHORD 8 LBS / SQFT  
 - LIVE LOAD STANDARD AS PER LOCAL MUNICIPAL REQUIREMENTS (UNLESS NOTED OTHERWISE)  
 - 1/2" EXTERIOR GRADE FLYWOOD SHEATHING W/ 1" CLIPS
- 26) CEILING VENTILATION**  
 - CONTRACTOR TO PROVIDE ADEQUATE VENTILATION. MIN. VENT AREA: 1/150 FOR FLAT ROOFS OF INSULATED CEILING AREA, ENSURE INSECT SCREEN  
 - INSTALL "LEXICO" ROOF STACK VENTS TO BE UNIFORMLY DISTRIBUTED AND INSTALLED AS PER MANUFACTURERS SPEC'S. SIZE AND NUMBER TO BE DECIDED ON SITE  
 - SOFFIT VENTS TO BE INSECT SCREENED  
 - COLOUR OF ROOF VENTS TO BE DECIDED
- 27) ROOF/ATIC VENTILATION**  
 - CONTRACTOR TO PROVIDE ADEQUATE VENTILATION AT BOTH NEW AND EXISTING STRUCTURE. MIN. VENT AREA: 1/150 (1/150 FOR FLAT ROOFS) OF INSULATED CEILING AREA, ENSURE INSECT SCREEN  
 - VENTS TO BE UNIFORMLY DISTRIBUTED  
 - NOTE: ROOF / ATIC VENTS MUST NOT BE PLACED AT FRONT ELEVATION / ROOF LINE  
 - CHECK ELEVATION DRAWINGS FOR ANY SPECIFIC ROOF VENT LOCATIONS  
 - SOFFIT VENTS TO BE INSECT SCREENED  
 - COLOUR OF ROOF VENTS TO MATCH SHINGLES
- 28) INSULATED INTERIOR WALL**  
 - 1/2" DRYWALL  
 - 2" X 6" STUDS  
 - 4" R22 BATT INSULATION  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX" WITH ALL JOINTS SEALED W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL
- 29) INSULATION ON EXISTING WALL**  
 - NO. 15 ASPHALT FELT TO GRADE  
 - 2" X 4" STUDS AT 16" O.C.  
 - DAMPPROOFING LAYER (BLACK POLY) BELOW STUD PLATE  
 - 12" (R-19) BATT INSULATION  
 - 6 MIL VAPOUR / AIR BARRIER "SUPER SIX" WITH ALL JOINTS SEALED W/ ACOUSTIC TYPE SEALANT  
 - 1/2" DRYWALL
- 30) ACOUSTICAL TREATMENT**  
 - 4" SOUND ATTENUATION BLANKET INSTALLED BETWEEN STUDS  
 - TYPICAL BETWEEN BEDROOMS AND BATHS
- 31) BEARING STUD WALL**  
 - 2 X 4 STUDS AT 16" O.C. (W/ DOUBLE PLATES)  
 - 1/2" DRYWALL ON ONE SIDE
- 32) DRYWALL INSTALLATION**  
 - ALL DRYWALL TO BE INSTALLED WITH BEVELLED EDGE JOINTS FACING EACH OTHER  
 - ONLY ONE HORIZONTAL JOINT WILL BE ALLOWED. IF AN ADDITIONAL HORIZONTAL JOINT IS REQUIRED DUE TO WALL HEIGHTS, THE JOINTS MUST BE PLACED AT THE BOTTOM OF THE WALL IN THE BASEBOARD AREA.  
 - USE 4'-6" WIDE BOARDS FOR 9'-0" HIGH CEILINGS.
- 33) DRYWALL ON EXISTING WALL (RENOVATION)**  
 - 1/2" DRYWALL GLUED DIRECTLY ON EXIST. MASONRY WALL / OR USE STRAPPING AS REQUIRED  
 - USE 2 X STRAPPING, 1/2" DOW "SIF" SOUD INSULATION AND "SUPER SIX" VAPOUR / AIR BARRIER ON EXTERIOR MASONRY WALLS
- 34) MASONRY NELL**  
 - BRICK FACE TO MATCH EXISTING. NOTE: MASONRY MUST BE TOOTHED IN AT PERIMETER OF OPENING (UNTIL MORTAR TO MATCH EXISTING)  
 - NON CORROSIVE METAL TIES @ 24" O.C. VERTICAL  
 - 4" BRICK / CONCRETE BLOCK BACKUP OR 2" 6 STUDS AND 5/8" EXTERIOR GRADE FIR FLYWOOD IF VENEER TYPE CONSTRUCTION
- 35) SILL PLATE**  
 - 2 X 6 PRESSURE TREATED SILL PLATE SET ON CONTINUOUS MORTAR BED W/ 1/2" DIA. 12" LONG MIN. 4" IN CONCRETE. ANCHOR BOLTS AT 7'-0" MAX. O.C. INTO CONCRETE. SILLER TOP COURSE  
 - ROLL TYPE FOAM GASKET BETWEEN PLATE AND BEDDING & 6 MIL POLY VAPOUR / AIR BARRIER (BLACK)
- 36) TYPICAL INTERIOR PARTITION**  
 - 1/2" DRYWALL BOTH SIDES  
 - 2" X 4" STUDS AT 16" O.C.  
 - 2" X 6" STUDS WHERE NOTED.
- 37) PAINTING**  
 - ALL INTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, TWO (2) COATS SEMI-GLOSS  
 - ALL DRYWALL SURFACES: ONE COAT LATEX SEALER, TWO (2) COATS SATIN / EGG SHELL FINISH  
 - ALL EXTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, 2 COATS FINISH - ENAMEL GLOSS  
 - ALL COLOURS TO BE SELECTED BY ARCHITECT / CLIENT  
 - NOTE: REPAIR ALL WOOD DOORS AND WINDOWS PRIME PLUS ONE FINISH COAT PRIOR TO INSTALLATION.
- 38) EXTERIOR WINDOWS / DOORS**  
 - ALL WINDOWS ARE TO BE WOOD FRAMED CASEMENTS SEALED CLEAR WOOD INTERIOR AND "FLEXACRON" FACTORY PREFINISHED EXTERIOR SURFACES W/ FOLDING TYPE CRANK HANDLE  
 - ALL GLAZING TO BE CLEAR LOW "E" SEALED THERMOPLANE UNITS. ARGON GAS FILLER, 77" OVERALL THICKNESS  
 - CONTRACTOR TO SUBMIT NAME AND TYPICAL DETAILS OF PROPOSED MANUFACTURER TO THE ARCHITECT FOR APPROVAL  
 - NOTE: CONTRACTOR TO SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD AT ALL EXTERIOR DOORS AND 6" AT ALL WINDOWS (UNLESS OTHERWISE NOTED)  
 - WINDOW AND DOOR FRAMING  
 - WINDOW/DOOR HEADERS TO BE AT ALL W/ JOISTS DIRECTLY ABOVE SWIMMING POOLS. WHERE A WALL OF A BUILDING FORMS PART OF THE SWIMMING POOL ENCLOSURE, ANY GROUND FLOOR WINDOWS IN THE SAID WALLS ARE TO HAVE A SILL HEIGHT OF 4'11 1/2" MIN. OR A GUARD TO BE PERMANENTLY INSTALLED ON THE WINDOW TO PREVENT THE PASSAGE OF A 4" DIA. SPHERICAL OBJECT  
 - TO COMPLY WITH OBC 9.7
- 39) SILL**  
 - 6" HEIGHT SMOOTH CUT PUFF INDIANA LIMESTONE SILL
- 40) WINDOW WELL**  
 - 6" GRANULAR "A" GRAVEL COMPACTED  
 - 6" LEACHY RETAINING WALL BY "TERRA-CO" OR SIMILAR CW CAPS AND CORNER UNITS INSTALLED AS PER MANUFACTURERS SPECIFICATION  
 - FILL AREA DRAIN WITH GRAVEL AND TERMINATE AT WEeping TILE  
 - NOTE: ENSURE 6" CLEARANCE FROM WINDOW SILL TO TOP OF GRAVEL FILL  
 - INSTALL CLOSED CELL EXPANSION JOINT BETWEEN WINDOW WELL AND FOUNDATION WALL.

- 41) DOORS**  
 - SOLID WOOD (UNLESS NOTED OTHERWISE) 1 3/4" THICK WITH TWO REGESSED RASD OR RECESSED FLAT WOOD PANELS AS PER DETAIL SKETCH PROVIDED BY THE ARCHITECT  
 - DOOR HEIGHTS: GROUND FLOOR - 80" DOORS  
 SECOND FLOOR - 80" DOORS  
 BASEMENT - 80" DOORS  
 NOTE: BUILDER/OWNER TO CONTACT ARCHITECT FOR FINAL DECISION REGARDING DOOR & FLAT ARCH HEIGHTS / WIDTHS  
 NOTE: STRUCTURAL FRAMING AT DOORS / WINDOWS / FLAT ARCHES TO BE KEPT AS HIGH AS POSSIBLE TO ALLOW FOR FUTURE DISCUSSION HEIGHT ADJUSTMENT
- 42) SPOCKET DOOR ENCLOSURE WALL**  
 - MINIMUM WIDTH REQUIRED  
 - MINIMUM REQUIRED METAL STUDS - BOTH SIDES (UNLESS OTHERWISE NOTED)  
 - REFER TO DRAWINGS FOR DIMENSIONS  
 - INSTALL "N.C. CROWFOOT" C-60 SINGLE SPOCKET DOOR TRACK, NYLON WHEELS W/ BEARING FOR 100 LB. LOAD
- 43) SHOWER DOOR**  
 - 2'-0" X 6'-0" (OR AS PER PLAN) TEMPERED GLASS DOOR  
 - PROVIDE MIN. 1/2" CLEAR ABOVE DOOR  
 - HARDWARE FINISH TO BE POLISHED CHROME UNLESS NOTED OTHERWISE  
 - INSTALL GRANITE / MARBLE SUPROOD AROUND SHOWER OPENING
- 44) SHOWER / LAUNDRY MACHINE FLOOR PAN**  
 - SHOWER LINER BY "AQUA-PROOF" 40 530 (OR EQUAL) RETURN UP PAN CURB AND ALL SURROUNDING WALLS  
 - ADHERE LINER TO DRAIN  
 - SLOPE LINER TO DRAIN  
 - USE BRAIDED HOSES FOR WASHING MACHINE
- 45) BATH TUB AND SHOWER WALL**  
 - USE TIE-BACKER WATER-RESISTANT  
 - 1/2" "DENS-SHIELD" TIE-BACKER BY GEORGIA-PACIFIC AT ALL SURROUNDING WALLS. TAPE WITH 2" WIDE 10 X 10 GLASS MESH SELF ADHESIVE TAPE AND SPACKLE  
 - USE BLUEBOARD AT REMAINING BATHROOM WALLS
- 46) HANG ROD & SHELF**  
 - 1 1/4" DIA. HANG ROD W/ BRACKETS - ALL CHROME FINISH INSTALL @ 8'-6" O.C. A.F.F.  
 - 3/4" MELAMINE BOARD WHITE, FINISH EDGES, 1"-0" DEPTH, ON LEDGER BOARDS @ 2" OVER HANG ROD
- 47) CASING** # 106 / # 110  
 BACKBAND # 63 / # 24  
 APRON # 106 / # 110 (CUT DOWN TO 37")  
 STOCK # 50 / # 75  
 MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:  
 1) A UNIFORM LOAD OF 50 LB/FT OR A CONCENTRATED LOAD OF 225 LBS  
 2) A VERTICAL LOAD OF 100 LB/FT, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD  
 3) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 LBS AT ANY POINT OPENING THROUGH ANY GUARD SHALL BE OF SIZE, WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4 IN.  
 GUARDS SHALL BE DESIGNED/INSTALLED SO THAT NO MEMBER ATTACHED OR WALKING SURFACE WILL FACILITATE CLIMBING  
 OR OPENING LOCATED BETWEEN 4 IN. AND 35 IN. ABOVE THE FLOOR
- 48) SHELVING**  
 - PROVIDE (6) 16" DEEP ADJUSTABLE SHELVES.
- 49) WOOD STRUCTURE INSTALLATION**  
 - ALL DESIGN DETAILS, HANDLING AND INSTALLATION OF PROPRIETARY WOOD PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS  
 - PROVIDE POSTS UNDER ALL BEAMS/ROOF TRUSSES ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT
- 50) STAIRS**  
 - MAX. RISE: 7 7/8"  
 - MIN. RUN: 11"  
 - MIN. TREAD: 9 1/4"  
 - MIN. HEADROOM: 8' 0"  
 - MIN. WIDTH: 2'-10" BETWEEN WALL FACES  
 - MIN. HEADROOM @ 8"  
 - MIN. HANDRAIL HEIGHT: 2'-6"  
 - MAX. HANDRAIL HEIGHT: 2'-2"
- 51) BALCONY**  
 - SLATE TILES (CONFIRM WITH OWNER)  
 - 2" LIGHT CONCRETE BEDDING W/ GALVANIZED WIRE MESH (2"x2") ISOLATION MEMBRANE  
 - SLOPE TO SCUPPER DRAIN  
 - TILING (COLOUR TO BE DETERMINED)  
 - NOTE: APPLY 2 COATS OF SEALER FOR STONE FLOORING (AS PER SUPPLIERS' / MANUFACTURERS SPECIFICATIONS)  
 - REFER TO SPEC. # FOR ROOF CONSTRUCTION
- 52) WOOD DECK AND STEPS**  
 - USE PRESSURE TREATED WOOD  
 - 2" X 4" X 16' (OR AS PER PLANS) (18" SPACING BETWEEN BOARDS)  
 - 2" X 6" @ 16" O.C. JOISTS  
 - PROVIDE SOLID GROSS BRIDGING AT MAX. 6' - 0" O.C.
- 53) RESIDENTIAL - GUARD DESIGN LOADS**  
 - MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:  
 1) A UNIFORM LOAD OF 50 LB/FT OR A CONCENTRATED LOAD OF 225 LBS WITH THE HORIZONTAL LOAD  
 2) A VERTICAL LOAD OF 100 LB/FT, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD  
 3) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 LBS AT ANY POINT  
 OPENING THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4 IN.  
 GUARDS SHALL BE DESIGNED/INSTALLED SO THAT NO MEMBER ATTACHED OR WALKING SURFACE WILL FACILITATE CLIMBING AS PER 9.8.6. (2)
- 54) EXHAUST DUCT**  
 - 4" RIGID METAL DRYER EXHAUST DUCT  
 - PLASTIC EXHAUST GRILLE COMPLETE WITH INSECT SCREEN SECURELY FASTENED TO EXTERIOR WALL FACE AND CALKED
- 55) EXHAUST GRILL**  
 - METAL GRILLE WITH INSECT SCREEN  
 - DIMENSION TO SUIT EXHAUST REQUIREMENTS  
 - NOTE: CONTRACTOR TO COORDINATE DUCT RUN WITH OTHER MECHANICAL RUNS, PLUMBING RUNS AND STRUCTURE TO ELIMINATE NEED FOR BULKHEADS.
- 56) GAS & EXHAUST FLAMES PROTECTION**  
 - 1/2" PL WOOD BEHIND  
 - 5/8" "TYPER" DRYWALL FOR FIRE PROTECTION, TAPE AND SEAL. ALL JOINTS TO INTERIOR WALLS AND CEILING
- 57) MECHANICAL DUCTS**  
 - ALL MECHANICAL EXHAUST SYSTEMS, EXHAUST AND INTAKES, TO BE INSTALLED AS PER PERTINENT CODE REQUIREMENTS AND MANUFACTURERS INSTRUCTIONS
- 58) VENT GRILL**  
 - METAL GRILLE WITH INSECT SCREEN  
 - DIMENSION TO SUIT EXHAUST REQUIREMENTS  
 - NOTE: CONTRACTOR TO COORDINATE DUCT RUN WITH OTHER MECHANICAL RUNS, PLUMBING RUNS AND STRUCTURE TO ELIMINATE NEED FOR BULKHEADS.
- 59) CARBON MONOXIDE DETECTOR**  
 - INSTALL CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CSA-6-19 OR UL/C 2034  
 - MUST COMPLY TO OBC 9.23.4
- 60) SMOKE ALARM**  
 - INSTALL SMOKE ALARM, HARDWIRED WITH BATTERY BACKUP IN EACH FLOOR AND IN EACH SLEEPING ROOM  
 - ALL SMOKE ALARMS TO CONFORM TO CANULC-S531 AND S553  
 - MUST COMPLY TO OBC 9.3.10.19  
 - SHALL HAVE A SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN 6.8.5.3 - LIGHT, COLOUR, AND PULSE CHARACTERISTICS OF NFPA 72 (NATIONAL FIRE ALARM & SIGNALING CODE)
- 61) ZERO-CLEARANCE GAS FIREPLACE**  
 - DIRECT VENT  
 - PROVIDE GAS OUTLET AND TYPE "B" VENT TO ROOF OR DIRECT VENT TO OUTSIDE WALL AS PER MANUFACTURERS SPECIFICATION  
 - DIAMETER OF FUE AND VENT AS PER OBC 9.21.2.5
- 62) STORAGE**  
 - CONTRACTOR TO INSTALL ARCHITECT'S SIGN AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION AT AGREED UPON LOCATION ON SITE
- 63) STEP FOOTINGS**  
 - VERTICAL STEP 23 5/8" MAX. FOR FIRM SOIL, 15 3/4" MAX. FOR SAND OR GRAVEL, 23 5/8" MIN. HORIZONTAL RUN
- 64) FLAT ROOF**  
 - 1/4" TYPICAL TORCH ON ROOFING MEMBRANE  
 - 5/8" WOOD SHEATHING WITH H-CLIPS ON 2 X 4 OR AS REQUIRED SLEEPERS TO MAINTAIN POSITIVE DRAIN TO GUTTER / DRAIN  
 - ROOF JOISTS AS NOTED ON PLANS, CROSS BRIDGING @ 6'-0" MAX.

PROJECT


**14 RIVER ROAD**

**BRAMPTON, ON**

**L6X 0A6**

CLIENT

**Owner**




REVISIONS

No.	Description	Date
01	ISSUED FOR COFA	03/14/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
07	ISSUED FOR CLIENT	07/20/2023

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DRAWING TITLE

**CONSTRUCTION NOTES**

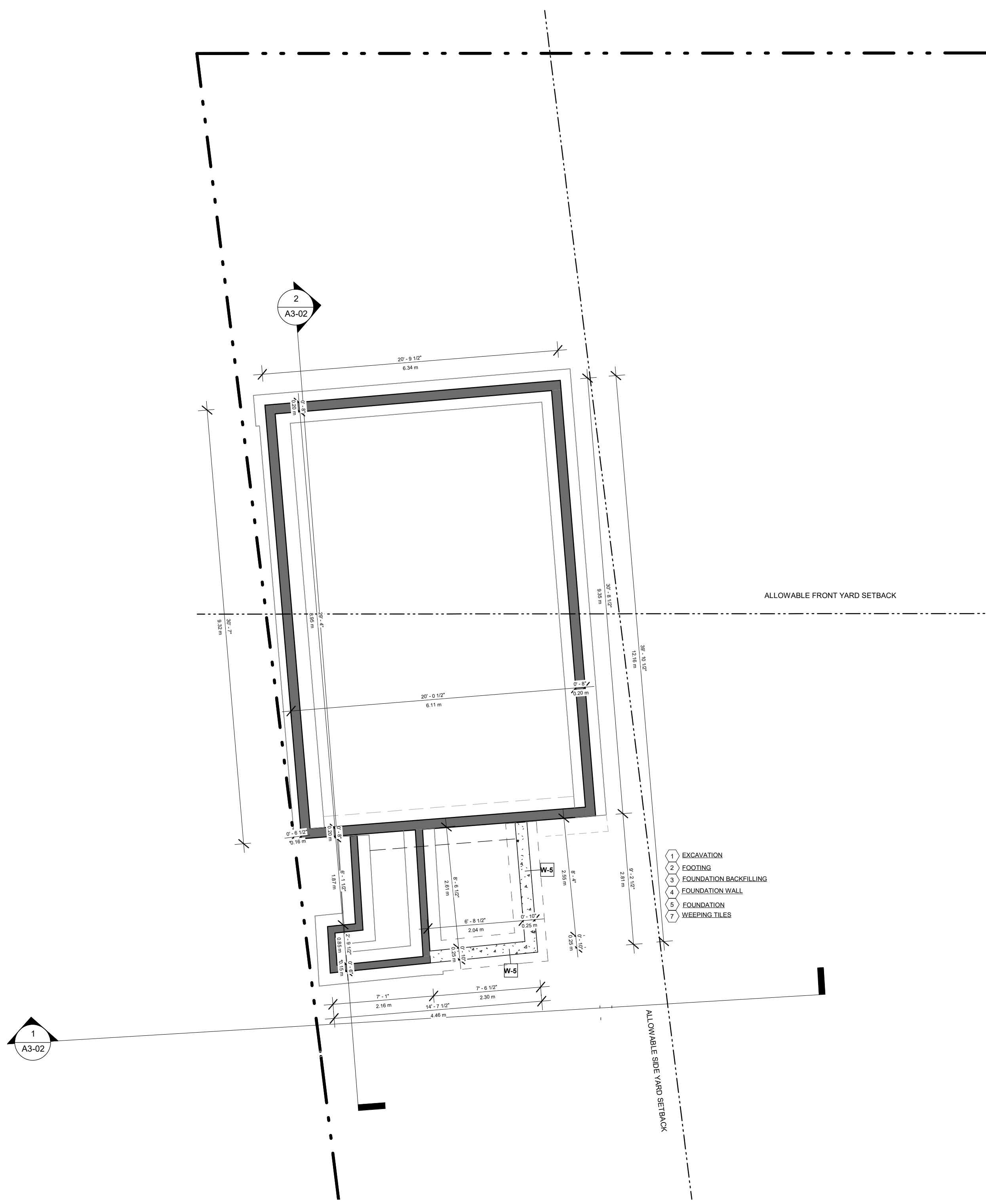
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SCALE @ ARCH D		DATE	07/19/23
GRAPHIC SCALE			

PROJECT NO. 200155

STAGE	DRAWING NO.
	<b>COFA A0-10</b>

LOCATION	REVISION
HALTON HILLS	<b>018</b>





WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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ONTARIO ASSOCIATION OF ARCHITECTS  
 2024  
 2024  
 2024

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DRAWING TITLE  
**PROP. SECONDARY UNIT  
 FOUNDATION PLAN**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/28/23

GRAPHIC SCALE

PROJECT NO.  
200155

STAGE  
DRAWING NO.  
**COFA A1-05**

LOCATION  
HALTON HILLS

REVISION  
**018**



PROJECT  
**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT  
**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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DRAWING TITLE  
**PROP. SECONDARY UNIT  
 GROUND FLOOR PLAN**

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/02/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-06**

LOCATION HALTON HILLS REVISION **018**

PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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DRAWING TITLE  
**PROP. SECONDARY UNIT  
SECOND FLOOR**

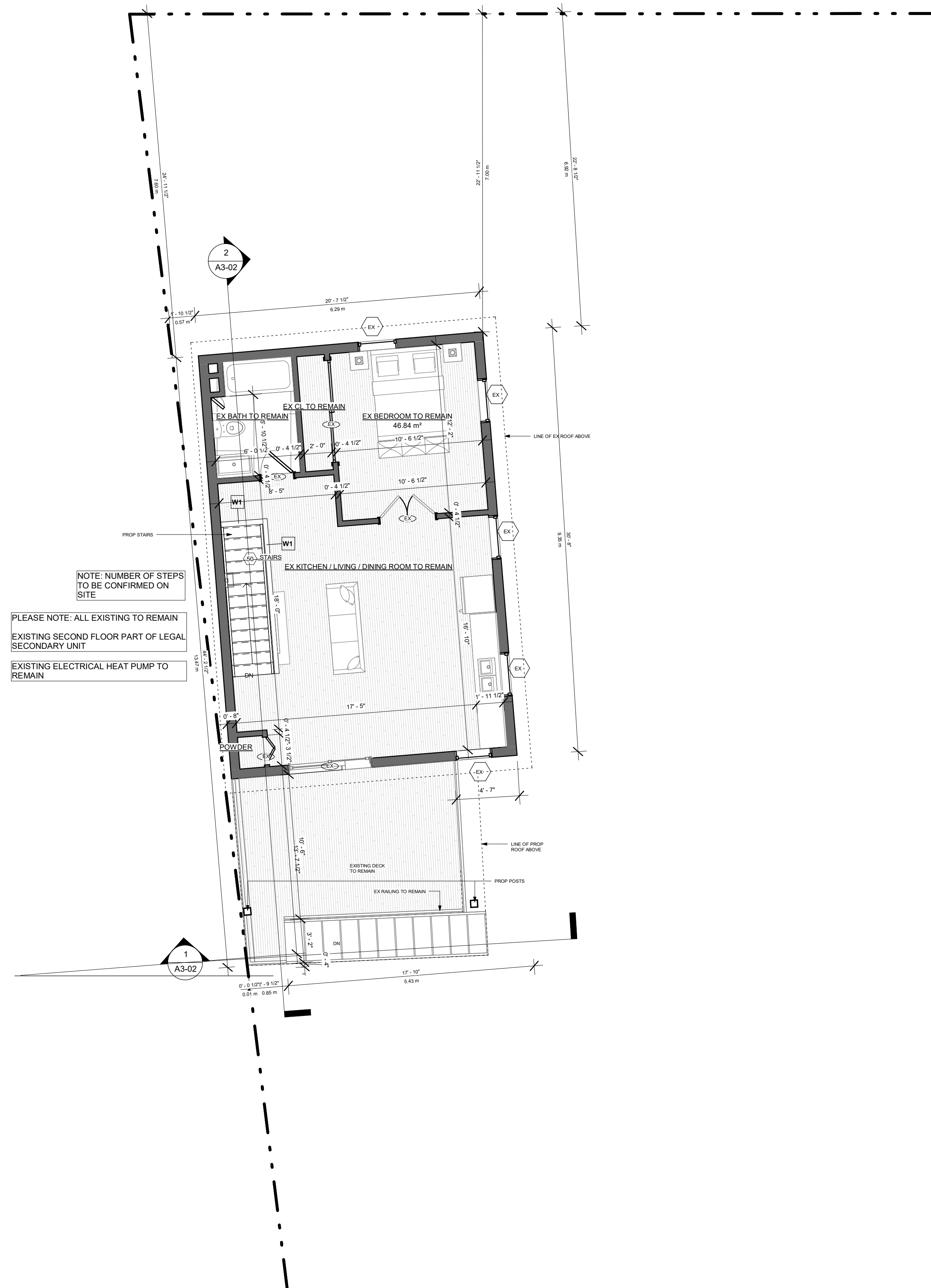
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SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/02/23

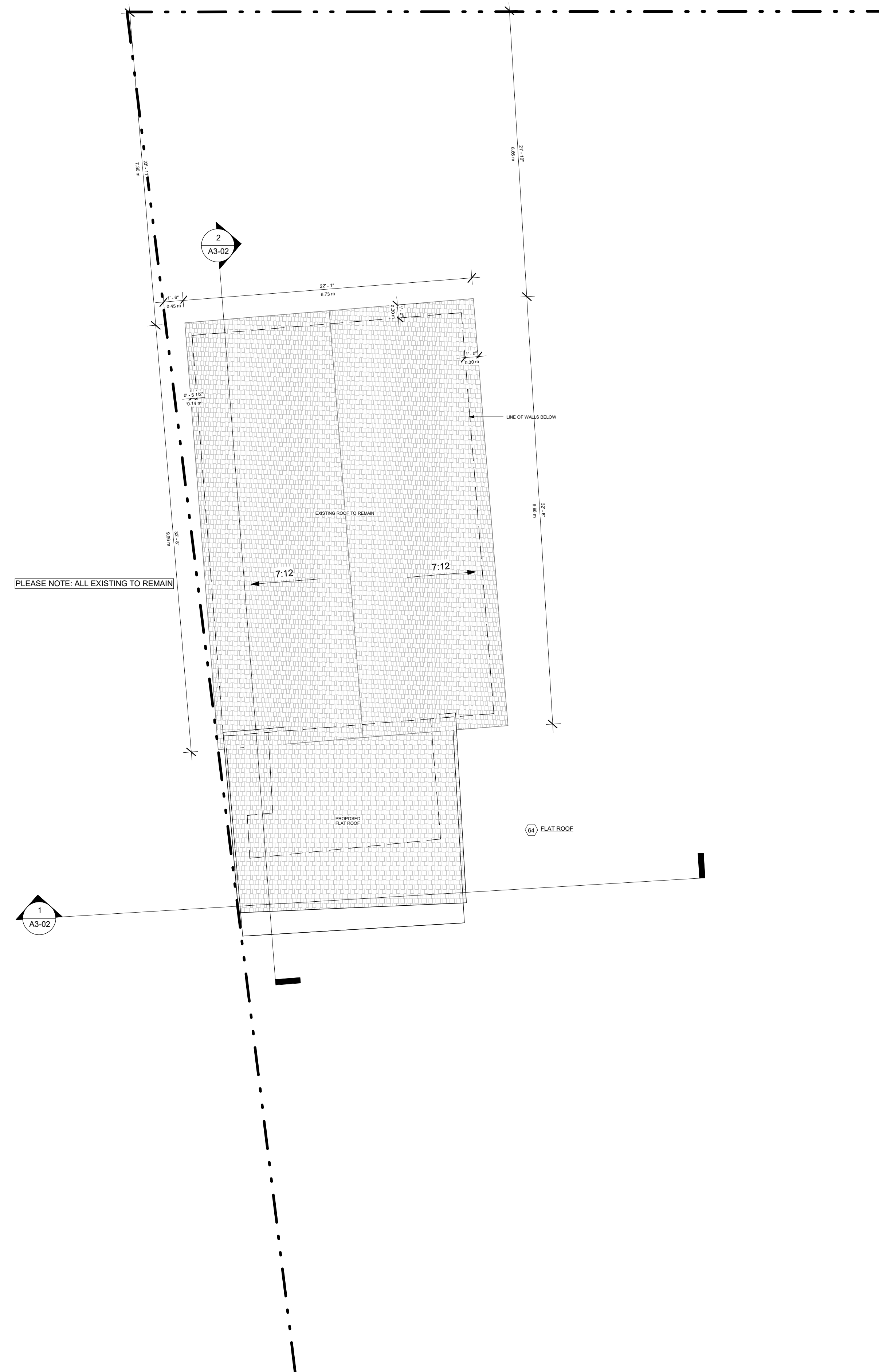
GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A1-07**

LOCATION HALTON HILLS REVISION **018**





PLEASE NOTE: ALL EXISTING TO REMAIN

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

PROJECT

**14 RIVER ROAD**  
BRAMPTON, ON  
L6X 0A6

CLIENT

**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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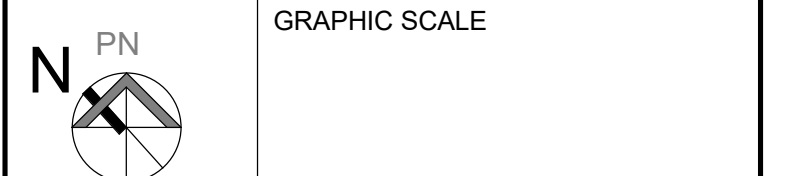
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DRAWING TITLE

**PROP. SECONDARY UNIT ROOF PLAN**

DRAWN PP	CHECKED JB
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SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/05/23
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PROJECT NO. 200155

STAGE DRAWING NO.

**COFA A1-08**

LOCATION HALTON HILLS REVISION **018**

PROJECT

**14 RIVER ROAD**  
**BRAMPTON, ON**  
**L6X 0A6**

CLIENT

**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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DRAWING TITLE  
**PROP SECONDARY UNIT FRONT AND REAR ELEVATION**

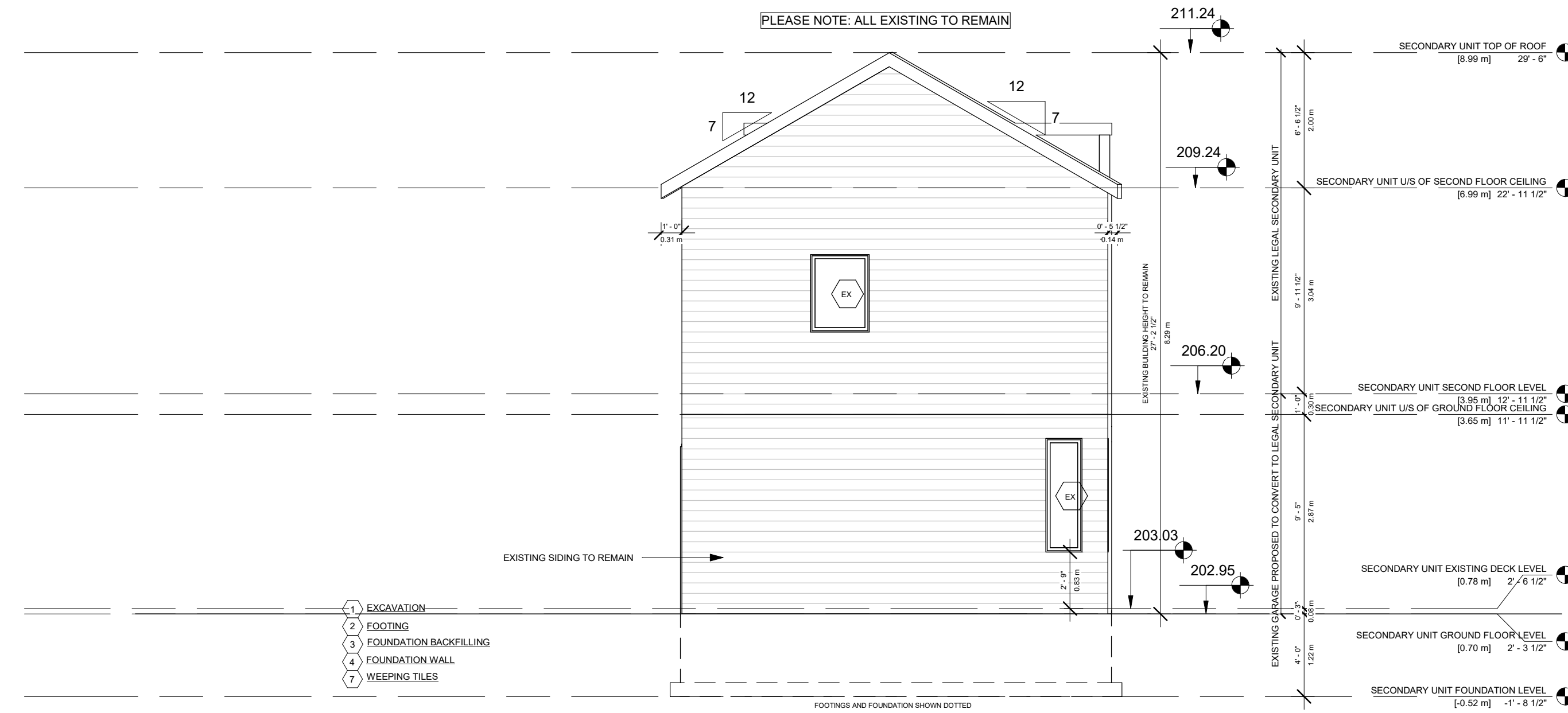
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SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/21/23

GRAPHIC SCALE

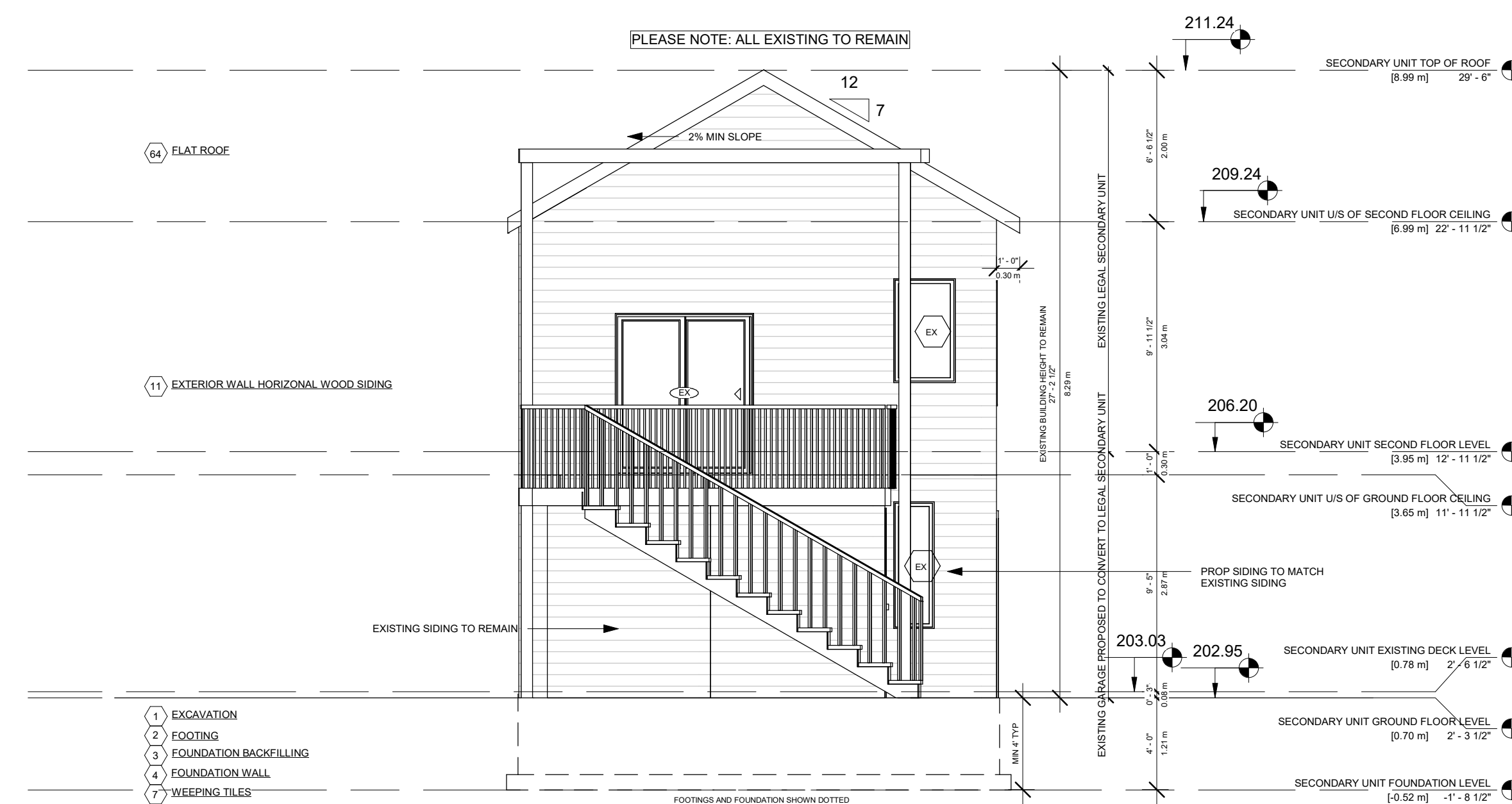
PROJECT NO. 200155

STAGE DRAWING NO.  
**COFA A2-03**

LOCATION HALTON HILLS REVISION **018**



**1 SECONDARY UNIT - FRONT ELEVATION**  
 3/16" = 1'-0"



**2 SECONDARY UNIT - REAR ELEVATION**  
 3/16" = 1'-0"

PROJECT

**14 RIVER ROAD**  
 BRAMPTON, ON  
 L6X 0A6

CLIENT

**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023

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DRAWING TITLE  
**PROP. SECONDARY UNIT RIGHT AND LEFT ELEVATION**

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 06/21/23

GRAPHIC SCALE

PROJECT NO. 200155

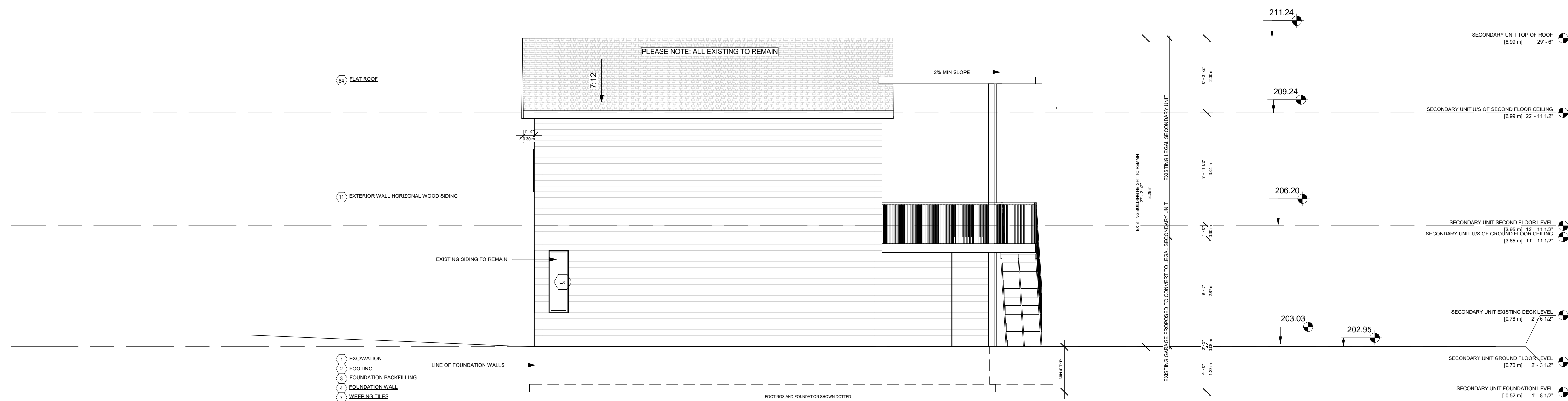
STAGE DRAWING NO.

**COFA A2-04**

LOCATION HALTON HILLS REVISION **018**



**1 SECONDARY UNIT - RIGHT SIDE ELEVATION**  
 3/16" = 1'-0"



**2 SECONDARY UNIT - LEFT SIDE ELEVATION**  
 3/16" = 1'-0"

PROJECT

14 RIVER ROAD  
BRAMPTON, ON  
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPG CONSULTANT	11/22/2023
07	ISSUED FOR CLIENT	07/20/2023

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DRAWING TITLE  
**PROP. SECONDARY UNIT SECTION**

DRAWN PP CHECKED JB

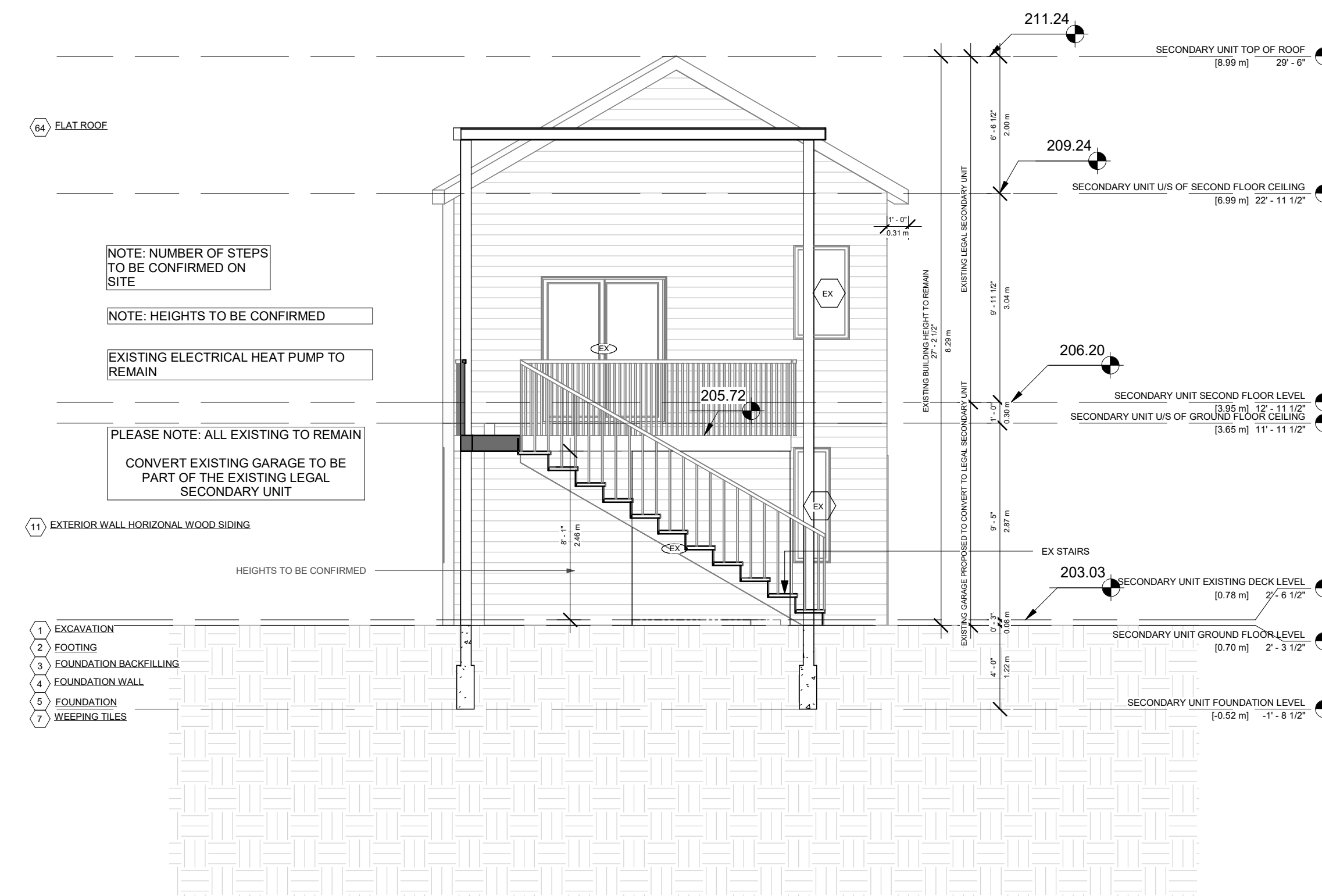
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3/16" = 1'-0"

GRAPHIC SCALE

PROJECT NO. 200155

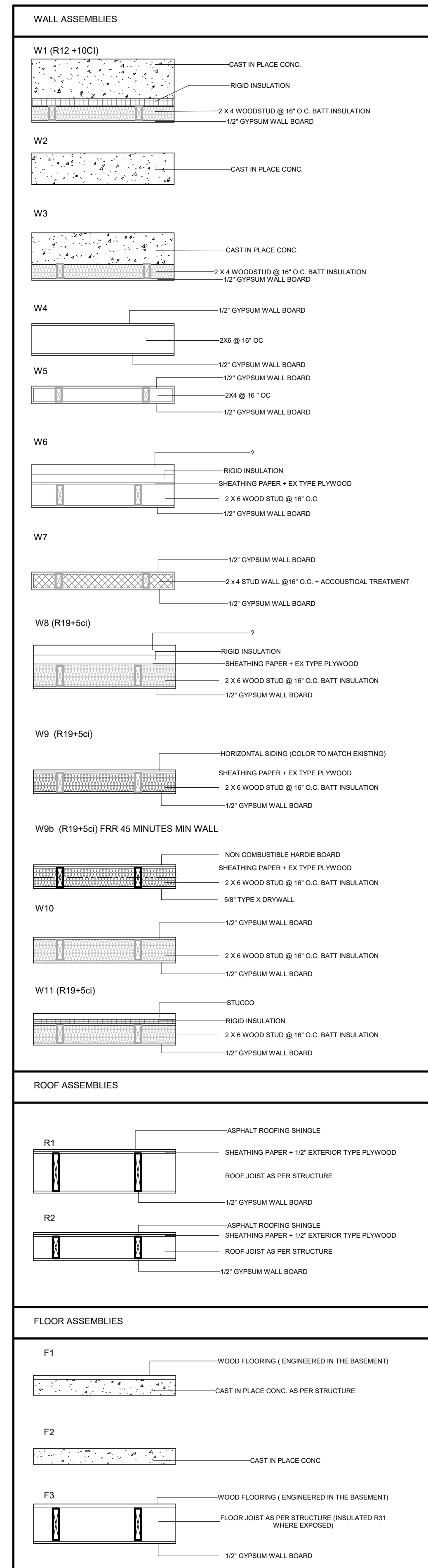
STAGE DRAWING NO.  
**COFA A3-02**

LOCATION HALTON HILLS REVISION **018**



DOOR SCHEDULE						
Mark	Level	Width	Height	From Room	To Room	Operation
D-001	BASEMENT	5' - 0"	7' - 0"		PROP. REC ROOM	DOUBLE DOOR
D-002	BASEMENT	2' - 6"	6' - 8"	PROP. BATH	EXISTING GYM	SINGLE SWING
D-003	BASEMENT	4' - 8"	7' - 0"		EXISTING GYM	SLIDING DOOR
D-004	BASEMENT	2' - 8"	6' - 8"	COLD ROOM	PROP. REC ROOM	SINGLE SWING
D-005	BASEMENT	2' - 8"	6' - 8"	PROP. REC ROOM	GUEST BEDROOM	SINGLE SWING
D-006	BASEMENT	3' - 4"	7' - 0"	PROP CL	GUEST BEDROOM	DOUBLE DOOR
D-007	BASEMENT	3' - 4"	7' - 0"	PROP CL	GUEST BEDROOM	DOUBLE DOOR
D-008	BASEMENT	3' - 0"	6' - 8"	PROP. REC ROOM	EXISTING GYM	OPENING
D-101	GROUND FLOOR - EXISTING	6' - 0"	8' - 0"	PROP FOYER		DOUBLE DOOR
D-102	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP FOYER	PROP MUDROOM	SINGLE SWING
D-103	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP FOYER	PROP BEDROOM	SINGLE SWING
D-104	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP 2 CAR GARAGE	PROP MUDROOM	SINGLE SWING
D-105	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP BEDROOM	EX BATH TO REMAIN	SINGLE SWING
D-106	GROUND FLOOR - EXISTING	1' - 9"	6' - 8"	PROP CL	PROP BEDROOM	DOUBLE DOOR
D-107	GROUND FLOOR - EXISTING	5' - 0"	7' - 6"		PROP BEDROOM	SLIDING DOOR
D-108	GROUND FLOOR - EXISTING	2' - 8"	8' - 0"		PROP 2 CAR GARAGE	SINGLE SWING
D-109	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP FOYER	PROP POWDER	SINGLE SWING
D-110	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CL	PROP FOYER	DOUBLE DOOR
D-111	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CL	PROP FOYER	DOUBLE DOOR
D-112	GROUND FLOOR - EXISTING	3' - 0"	6' - 8"	PROP FOYER	PROP KITCHEN	OPENING
D-113	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP LIVING AND DINING	PROP KITCHEN	SINGLE SWING
D-114	GROUND FLOOR - EXISTING	3' - 6"	8' - 0"		PROP KITCHEN	SINGLE SWING
D-115	PROPOSED GARAGE	8' - 0"	8' - 0"		PROP 2 CAR GARAGE	ROLL UP
D-116	PROPOSED GARAGE	8' - 0"	8' - 0"		PROP 2 CAR GARAGE	ROLL UP
D-201	SECONDARY UNIT GROUND FLOOR LEVEL	2' - 8"	8' - 0"		PROP LAUNDRY	
D-202	SECOND FLOOR - EXISTING	2' - 10"	6' - 8"	PROP CL	EX BEDROOM TO BE ENLARGED	DOUBLE DOOR
D-203	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CORRIDOR	EX BEDROOM TO BE ENLARGED	SINGLE SWING
D-204	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	PROPOSED BEDROOM #3	SINGLE SWING
D-205	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #3	W.I.C #3	SINGLE SWING
D-206	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #3	PROPOSED BEDROOM #3	SINGLE SWING
D-207	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	LAUNDRY	SINGLE SWING
D-208	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	PROPOSED BEDROOM #2	SINGLE SWING
D-209	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #2	W.I.C #2	POCKET
D-210	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	BATH #2	PROPOSED BEDROOM #2	POCKET
D-211	SECOND FLOOR - EXISTING	2' - 8"	7' - 6"		PROPOSED BEDROOM #2	SINGLE SWING
D-212	SECOND FLOOR - EXISTING	5' - 0"	7' - 6"		PROPOSED BEDROOM #3	SLIDING DOOR

Window Schedule 2						
Mark	Level	Sill Height	Height	Width	From Room: Name	
W-001	BASEMENT	2' - 0"	5' - 0"	4' - 0"	PROP. REC ROOM	
W-002	BASEMENT	5' - 6"	2' - 0"	4' - 0"	GUEST BEDROOM	
W-101	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	4' - 0"	PROP LIVING AND DINING	
W-102	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-103	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-104	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-105	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-106	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-107	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING	
W-108	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	6' - 0"	PROP LIVING AND DINING	
W-109	GROUND FLOOR - EXISTING	7' - 5 1/2"	5' - 0"	3' - 0"	PROP FOYER	
W-110	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP 2 CAR GARAGE	
W-111	GROUND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROP BEDROOM	
W-112	GROUND FLOOR - EXISTING	0' - 0"	8' - 0"	2' - 0"	PROP KITCHEN	
W-113	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	6' - 0"	PROP 2 CAR GARAGE	
W-114	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	10' - 0"	PROP LIVING AND DINING	
W-115	GROUND FLOOR - EXISTING	2' - 4 1/2"	5' - 0"	3' - 0"	PROP FOYER	
W-116	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	10' - 0"	PROP 2 CAR GARAGE	
W-117	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-118	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-119	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-120	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-121	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-122	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING	
W-123	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	4' - 0"	EX BEDROOM TO BE ENLARGED	
W-124	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP 2 CAR GARAGE	
W-125	GROUND FLOOR - EXISTING	0' - 8"	5' - 0"	3' - 11"	EX DINING	
W-126	GROUND FLOOR - EXISTING	0' - 8"	5' - 0"	3' - 11"	EX DINING	
W-201	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	4' - 0"	EX BEDROOM TO BE ENLARGED	
W-202	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-203	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-204	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-205	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-206	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-207	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED	
W-208	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	EX BEDROOM TO BE ENLARGED	
W-209	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	3' - 0"	PROP HALL	
W-210	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	OPEN TO BELOW -PROP FOYER	
W-211	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2	
W-212	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	PROPOSED BEDROOM #2	
W-213	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	W.I.C #2	
W-214	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	BATH #2	
W-215	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	BATH #2	
W-216	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	PROPOSED BEDROOM #2	
W-217	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2	
W-218	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2	
W-219	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"		
W-220	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"		
W-221	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #3	
W-222	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #3	
W-301	SECONDARY UNIT GROUND FLOOR LEVEL	4' - 0"	4' - 0"	3' - 0"	PROP LAUNDRY	



**ASSEMBLIES**  
1 : 20

PROJECT

**14 RIVER ROAD**  
**BRAMPTON, ON**  
**L6X 0A6**

CLIENT

**Owner**



REVISIONS

No.	Description	Date
018	ISSUED FOR COFA	03/14/2024
017	REISSUED FOR BUILDING PERMIT	03/07/2024
016	ISSUED FOR COFA	02/14/2024
015	REISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE  
**DOOR WINDOW SCHEDULE & WALL ASSEMBLIES**

DRAWN PP	CHECKED SA
SCALE @ ARCH D 1 : 20	DATE 11/23/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO.

**COFA A4-01**

LOCATION HALTON HILLS REVISION **018**