



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0202

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**. *Norm 7/24*

1. **Name of Owner(s)** ~~Limani Albana Limani~~ VILAZNIM LIMANI  
**Address** 21 Hodgson St., Brampton On L6Y 3G8

**Phone #** 4168252082 **Fax #** \_\_\_\_\_  
**Email** limanialbana@gmail.com

2. **Name of Agent** Wassay Gulrez  
**Address** 3487 Bala Drive, Mississauga, ON L5M 0G6

**Phone #** 437-684-5252 **Fax #** \_\_\_\_\_  
**Email** alphhomes@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

The property is situated as a corner house on a dead-end road (Hodgson St.). There is neither a side walk nor a front-line walkway on the premises, and that side of the street is not a right of way to any other property or street. Due to its layout and the presence of a pool in the backyard, it is constrained a viable option for an entrance from the side-yard, between the main wall of the dwelling and flankage lot line.

4. **Why is it not possible to comply with the provisions of the by-law?**

Below grade exterior stairs are not permitted in a yard located between the main wall of a dwelling and a flankage lot line.

5. **Legal Description of the subject land:**

**Lot Number** 179  
**Plan Number/Concession Number** 43M-518  
**Municipal Address** 21 Hodgson St., Brampton ON L6Y 3G8

6. **Dimension of subject land (in metric units)**

**Frontage** 7.2 m & R= 8 m  
**Depth** 30.5 m  
**Area** 449.49 sq.m

7. **Access to the subject land is by:**

- |                                    |                                     |                   |                          |
|------------------------------------|-------------------------------------|-------------------|--------------------------|
| Provincial Highway                 | <input type="checkbox"/>            | Seasonal Road     | <input type="checkbox"/> |
| Municipal Road Maintained All Year | <input checked="" type="checkbox"/> | Other Public Road | <input type="checkbox"/> |
| Private Right-of-Way               | <input type="checkbox"/>            | Water             | <input type="checkbox"/> |

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Single family dwelling  
 GFA = 206.51 sq.m.  
 Ground Floor Area = 109.4 sq.m.  
 Second Floor Area = 97.11 sq.m.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

2nd dwelling basement apartment  
 2nd Dwelling Area = 82.45 sq.m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 6.14 m  
 Rear yard setback 8.18 m  
 Side yard setback 1.65 m  
 Side yard setback 3.8 m

**PROPOSED**

Front yard setback 6.14 m  
 Rear yard setback 8.18 m  
 Side yard setback 1.65 m  
 Side yard setback 3.8 m

10. Date of Acquisition of subject land: 1987
11. Existing uses of subject property: Single family house
12. Proposed uses of subject property: 2 dwellings house
13. Existing uses of abutting properties: Single family house
14. Date of construction of all buildings & structures on subject land: 1987
15. Length of time the existing uses of the subject property have been continued: 36 years

16. (a) What water supply is existing/proposed?  
 Municipal  Other (specify) \_\_\_\_\_  
 Well
- (b) What sewage disposal is/will be provided?  
 Municipal  Other (specify) \_\_\_\_\_  
 Septic
- (c) What storm drainage system is existing/proposed?  
 Sewers  Other (specify) \_\_\_\_\_  
 Ditches   
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

|              |                |              |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

*Wassay*

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY \_\_\_\_\_ OF MISSISSAUGA

THIS 19th DAY OF APRIL, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, WASSAY GULREZ, OF THE CITY OF MISSISSAUGA

IN THE CITY OF MISSISSAUGA SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF MISSISSAUGA

IN THE Region of Peel OF

THIS 30th DAY OF

APRIL, 2024

*Wassay*

Signature of Applicant or Authorized Agent

**CHAUDHRY MUHAMMAD ISMAIL**  
A Commissioner & Solicitor  
Commissioner of Oaths & Notary Public

222-3465 Platinum Drive Mississauga, ON L4X 1L3  
Canada 905.617.2762 [chaudhry@ismaillaw.ca](mailto:chaudhry@ismaillaw.ca)  
Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer \_\_\_\_\_

Date \_\_\_\_\_

DATE RECEIVED

JUNE 6, 2023

VL

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 21 Hodgson St.

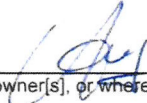
I/We, Limani Albana  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Wassay Gulrez  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 18th day of April, 2024.

  
\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Albano Limani  
\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

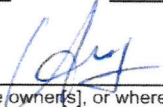
To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 21 Hodgson St.

I/We, Limani Albana  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 18th day of April, 20<sup>24</sup>.

  
\_\_\_\_\_  
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

Albana Limani  
\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

**PROJECT BRIEF:**

**PROJECT OBJECTIVE AND PROPOSED CHANGE:**

- 1) Objective of the project is to have second unit approval.
- 2) All changes and design solutions have been proposed aligned with building code and concerned city requirements
- 3) Design meets all safety requirements and conforms Ontario building code (OBC).

**IMPORTANT NOTES AND CODE**

**COMPLIANCE:**

**GENERAL NOTES:**

- 1) All work shall conform the requirements of OBC, O.Reg. 332/12.
- 2) All dimensions to be verified by the contractor on site and discuss in case of any discrepancy before construction.
- 3) Shop drawings to be prepared for approval if required.
- 4) All materials and construction methods must comply with building codes, CMHC (Canada Mortgage and Housing Corporation) and CSA (Canadian Standards Association) and the authorities having jurisdiction.
- 5) All construction activities to be supervised by a qualified engineer/supervisor. Contractor is responsible for the construction of the project, not the designer.
- 6) All drawings to be read with notes, specifications and code references.

**DESIGN NOTES AND CODE COMPLIANCE:**

- 4) Bottom rail of the framing shall be separated by concrete with 0.6mm thick polyethylene sheet or equivalent to avoid moisture.
- 5) FRR Doors: All doors in FRR (Fire Resistance Rated) walls shall have 20 minutes fire rating and shall be equipped with self-closing device.
- 6) Except for bathrooms, corridors and exits, interior walls and ceiling finishes shall have surface flame spread rating of not more than 150.
- 7) All doors for the spaces where return register is not there, will have 1" undercut to allow air passing. Return grill shall be near the floor.

- 8) All supply registers shall comply with OBC – [9.33.3.1(1)]
- 9) Handrail for stairs shall be provided on one side of the stairs conforming to OBC – [9.8.7]
- 10) Egress window shall be provided with minimum 22" clear dimension outside and openable from the inside without the use of tools, to comply with OBC [9.9.10]
- 11) All exhaust fans shall have discharge directly outside in open area as per OBC 9.32.1.3(3).
- 12) Lights with switches shall be provided in all areas – living room, bed rooms, kitchen, bathroom hallway, utility, garage and storage. Receptacles operated by switch may be provided in living and bed rooms and 3-way switch for stairs.
- 13) Battery powered emergency lighting equipment shall be provided conforming to CSA 22.2 – no. 141.
- 14) Sprinkler system shall be provided for the furnace room incase fire resistant rated ceiling is not provided. Sprinkler system shall be connected with ¾" copper water supply pipes and fittings. (If Applicable)
- 15) Max. Hot water temp. Shall not exceed 49OC (120OF) as per OBC 7.6.5.1. Dishwashers and cloth washers are exempted.
- 16) All thermostatic mixing valves shall conform to CAN/CSA-b125, "Plumbing Fixtures" and shall be labelled accordingly.
- 17) All intakes from building envelope penetrations that are potential sources of contaminants (gas, vents etc.) shall be separated by min. 900mm as per OBC 9.32.3.12
- 18) New electrical work shall conform Code requirement and inspected by the ESA (Electrical Safety Authority).
- 19) **Smoke Alarms [9.10.19]**  
Compliant to OBC 9.10.19 – Smoke Alarms, "Smoke Alarms (W/ Strobe light)", shall be installed in each dwelling unit and in each sleeping room, shall be installed on or near the ceiling, and all have to be interconnected.
- 20) **Carbon Monoxide Alarms [9.33.4]**  
Compliant to OBC 9.33.4 – A carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite where a fuel-burning appliance is installed in a suite of residential occupancy. (if applicable for the project)  
Install carbon monoxide detector conforming to CAN/CGA-6.19 OR UL 2034

- 21) Mechanical ventilation to be provided min. 5.0 l/s in kitchens and bathrooms, 37.5 l/s for principal exhaust fan
- 22) **STAIRS DIMENSIONS:**  
Risers =125mm - 200mm,  
Treads=210mm - 355mm,
- 23) All steps to be uniform through flight (Conforming to obc-9.8.4, Table - 9.8.4.1)
- 24) Handrail for stairs shall be provided for the stairs conforming to obc-9.8.7
- 25) Guards are required around conc. slab if more than 600mm above grade, on both sides of the stairs minimum 900mm high for stairs and minimum 900mm high for porches upto 1800mm above grade.
- 26) Minimum 1070mm high for greater heights.
- 27) Max. 100mm between pickets and no member designed to facilitate climbing between 140mm and 900mm.

**OBC PART 11- COMPLIANCE ALTERNATIVES REFERENCE**

**Part 9 Requirement - 9.10.9.14.(1) and (3); 9.10.9.15.(1) PART 11- COMPLIANCE ALTERNATIVE- C152:**

- (a) Except as provided in (b) and (c), 30 min fire separation is acceptable.
- (b) In a house, 15 min horizontal fire separation is acceptable where,
  - (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
  - (ii) smoke alarms are interconnected.
- (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

**Part 6 Requirement - 6.2.4.7 (10) PART 11- COMPLIANCE ALTERNATIVE- C95:**

In a building containing not more than four dwelling units or residential suites, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite, provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

**Part 9 Requirement - 9.5.3.1. PART 11- COMPLIANCE ALTERNATIVE- C102:**

In a house,  
(a) Minimum room height shall not be less than 1 950 mm over the required floor area and in any location that would normally be used as a means of egress, or  
(b) Minimum room height shall not be less than 2030 mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1400 mm shall not be considered in computing the required floor area.

**Part 9 Requirement - 9.9.9**

**PART 11- COMPLIANCE ALTERNATIVE- C136:**  
In a house, exit requirements are acceptable if at least one of the following conditions exists:

- (a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,
- (b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit, service room or other occupancy, and both dwelling units and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19. and are interconnected, or
- (c) access to an exit from one dwelling unit which leads through another dwelling unit where,
  - (i) an additional means of escape is provided through a window that conforms to the following:
    - (A) the sill height is not more than 1 000 mm above or below adjacent ground level,
    - (B) the window can be opened from the inside without the use of tools,
    - (C) the window has an individual unobstructed open portion having a minimum area of 0.38 m<sup>2</sup> with no dimension less than 460 mm,
    - (D) the sill height does not exceed 900 mm above the floor or fixed steps,
    - (E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and
    - (F) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected,
  - (ii) an additional means of escape is provided through a window that conforms to the following:
    - (A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor,
    - (B) the sill height of the window is not more than 5 m above adjacent ground level, and
    - (C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected, or
  - (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.



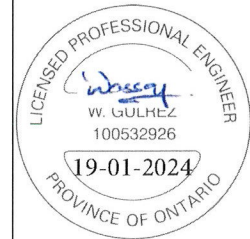
**ALPH HOMES**

3487 BALA DR. MISSISSAUGA, ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

NOTES

ADDRESS:

21 HODGSON ST, BRAMPTON

NOTES:

- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS.
- 2- CONTRACTOR TO REPORT TO THE DESIGNER FOR ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS.

DRAWN BY: A.M

DATE: 18-01-24 SCALE: NTS


























REVISED DWG:

DRAWING NO:








**A-01**

SHEET SIZE 16.5"X11.7"








## LEGEND

|   |  |
|---|--|
|    | WALL TYPE                                      |
|    | CEILING TYPE                                   |
|    | CEILING HEIGHT (CH)                            |
|    | FLOOR TYPE                                     |
|    | FLOOR LEVEL                                    |
|    | DRAIN PIPE                                     |
|    | FLOOR DRAIN                                    |
|    | RETURN AIR REGISTER                            |
|    | SUPPLY AIR REGISTER (CEILING MOUNTED)          |
|    | SUPPLY AIR REGISTER (WALL MOUNTED)             |
|    | SUPPLY AIR REGISTER (FLOOR MOUNTED)            |
|    | MIN. 50 CFM EXHAUST FAN DUCTED OUTSIDE (5"DIA) |
|    | DUCT-WORK                                      |
|    | BULKHEAD                                       |
|    | ACCESS PANEL                                   |
|    | SPRINKLER                                      |
|    | POT LIGHT FIX. (CEILING)                       |
|    | LIGHT FIXTURE (CEILING)                        |
|    | LIGHT FIXTURE (WALL)                           |
|    | EXT. LIGHT FIX. (WALL)                         |
|    | EMERGENCY LIGHTING                             |
|    | SWITCH   |
|  | 3 WAY SWITCH                                   |
|  | INTERCONNECTED SMOKE ALARM                     |
|  | CARBON MONOXIDE DETECTOR                       |

## WALL LEGEND

|  |   |
|--|---|
|    | <u>EXTERIOR WALLS</u><br>(ABOVE GRADE)  |
| -  | BRICK VINEER/SIDING WITH WEEPHOLES  |
| -  | ±1½" CAVITY BTW SHEATHING AND FACING  |
| -  | 2"x6" WOODEN STUDS @ 16" O/C  |
| -  | R-20 BATT INSULATION  |
| -  | 6 MIL POLYETHYLENE VAPOUR BARRIER   |
| -  | ½" THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                             |
|    | <u>EXTERIOR WALLS (BELOW GRADE)</u><br>(FIRE RESISTANCE RATING-30 MIN.)           |
| -  | CONCRETE WALL   |
| -  | MOISTURE BARRIER  |
| -  | 2"x4" WOODEN STUDS @ 16" O/C  |
| -  | 6 MIL POLYETHYLENE UNDER BOTTOM PLATE   |
| -  | R12 BATT INSULATION   |
| -  | 6 MIL POLYETHYLENE VAPOUR BARRIER   |
| -  | ½" THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                             |
|    | <u>INTERIOR CONCRETE WALL</u>   |
| -  | ½" THICK GYPSUM BOARD   |
| -  | CONCRETE IN-FILL  |
| -  | ½" THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                             |
|    | <u>INTERIOR WALL</u>  |
| -  | ½" THICK GYPSUM BOARD   |
| -  | 2"x4"/2"x6" WOODEN STUD @ 16" O/C   |
| -  | 6 MIL POLYETHYLENE UNDER BOTTOM PLATE   |
| -  | ½" THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                             |
|    | <u>INTERIOR WALL</u><br>(FRR-30 MIN. & 32 STC- W1c)                               |
| -  | ½" (12.7MM) THICK GYPSUM BOARD  |
| -  | 2"x4"/2"x6" WOODEN STUD @ 16" OR 24" O/C  |
| -  | 89MM THICK ABSORPTIVE MATERIAL  |
| -  | 6 MIL POLYETHYLENE UNDER BOTTOM PLATE   |
| -  | ½" (12.7MM) THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                    |
|  | <u>INTERIOR WALL</u><br>(FRR-45 MIN. & 32 STC- W1e)                               |
| -  | ½" (12.7MM) THICK TYPE "X" GYPSUM BOARD   |
| -  | 2"x4"/2"x6" WOODEN STUD @ 16" OR 24" O/C  |
| -  | 6 MIL POLYETHYLENE UNDER BOTTOM PLATE   |
| -  | ½" THICK TYPE "X" GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                    |
|  | <u>INTERIOR WALL</u><br>(FRR-45 MIN. & 51 STC- W5a)                               |
| -  | ½" (15.9MM) THICK TYPE "X" GYPSUM BOARD OVER RESILIENT METAL CHANNELS ON ONE SIDE |
| -  | W/ 89MM THICK ABSORPTIVE MATERIAL   |
| -  | 2"x4"/2"x6" WOODEN STUD @ 16" (406MM) O/C   |
| -  | 6 MIL POLYETHYLENE UNDER BOTTOM PLATE   |
| -  | ½" (12.7MM) THICK GYPSUM BOARD (2-LAYERS) (WATER RESISTANT FOR WET AREAS)         |

## CEILING LEGEND

|   |  |
|---|--|
|    | <u>REGULAR CEILING</u>   |
| -   | SUB-FLOOR LAYER 11MM SANDED PLYWOOD, OR OSB OR WAFER BOARD                       |
| -   | SUB-FLOOR LAYER 15.5MM PLYWOOD, OSB OR WAFER BOARD OR 17MM TONGUE & GROVE LUMBER |
| -   | EXISTING WOOD I-JOISTS @ MAX 610MM O/C   |
| -   | 12.7MM THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                        |
|    | <u>FIRE RATED CEILING</u><br>(FRR-15 MIN.)                                       |
| -   | SUB-FLOOR LAYER 11MM SANDED PLYWOOD, OR OSB OR WAFER BOARD                       |
| -   | SUB-FLOOR LAYER 15.5MM PLYWOOD, OSB OR WAFER BOARD OR 17MM TONGUE & GROVE LUMBER |
| -   | EXISTING WOOD I-JOISTS @ MAX 610MM O/C   |
| -   | 12.7MM THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                        |
|    | <u>FIRE RATED CEILING</u><br>(FRR-30 MIN. & 46 STC)                              |
| -   | SUB-FLOOR LAYER 11MM SANDED PLYWOOD, OR OSB OR WAFER BOARD                       |
| -   | SUB-FLOOR LAYER 15.5MM PLYWOOD, OSB OR WAFER BOARD OR 17MM TONGUE & GROVE LUMBER |
| -   | EXISTING WOOD I-JOISTS @ MAX 610MM O/C   |
| -   | 15.9MM TYPE-X GYPSUM BOARD   |
| -   | OR 12.7MM GYP. BD @ CHANNELS @ 406 O/C (WATER RESISTANT FOR WET AREAS)           |
|    | <u>FIRE RATED CEILING</u><br>(FRR-45 MIN. & 51 STC- F10c)                        |
| -   | SUB-FLOOR LAYER 11MM SANDED PLYWOOD, OR OSB OR WAFER BOARD                       |
| -   | SUB-FLOOR LAYER 15.5MM PLYWOOD, OSB OR WAFER BOARD OR 17MM TONGUE & GROVE LUMBER |
| -   | EXISTING WOOD I-JOISTS @ MAX 610MM O/C   |
| -   | ABSORPTIVE* MATERIAL IN CAVITY   |
| -   | 15.9MM TYPE-X GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                       |
|  | <u>CEILING UNDER STAIRS</u><br>(FIRE RESISTANCE RATING-15 MIN.)                  |
| -   | WOOD FRAME OR STAIR STRUCTURE  |
| -   | 12.7MM THICK GYPSUM BOARD (WATER RESISTANT FOR WET AREAS)                        |
|  | <u>UNFINISHED CEILING</u>  |
| -   | EXISTING WOOD I-JOISTS   |
| -   | SPRINKLER SYSTEM (IF APPLICABLE)   |
|  | <u>INSULATED CEILING</u><br>(FIRE RESISTANCE RATING-15 MIN.)                     |
| -   | EXISTING WOOD I-JOISTS   |
| -   | R31 BATT INSULATION  |

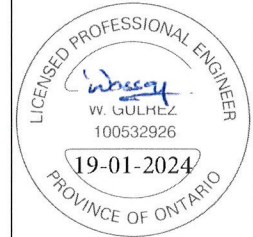


**ALPH HOMES**

3487 BALA DR. MISSISSAUGA, ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:  
WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

LEGENDS

ADDRESS:

21 HODGSON ST, BRAMPTON

NOTES:

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2- CONTRACTOR TO REPORT TO THE DESIGNER FOR ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS.

DRAWN BY: A.M

DATE: 18-01-24 SCALE: NTS

REVISED DWG:

DRAWING NO:

**A-02**

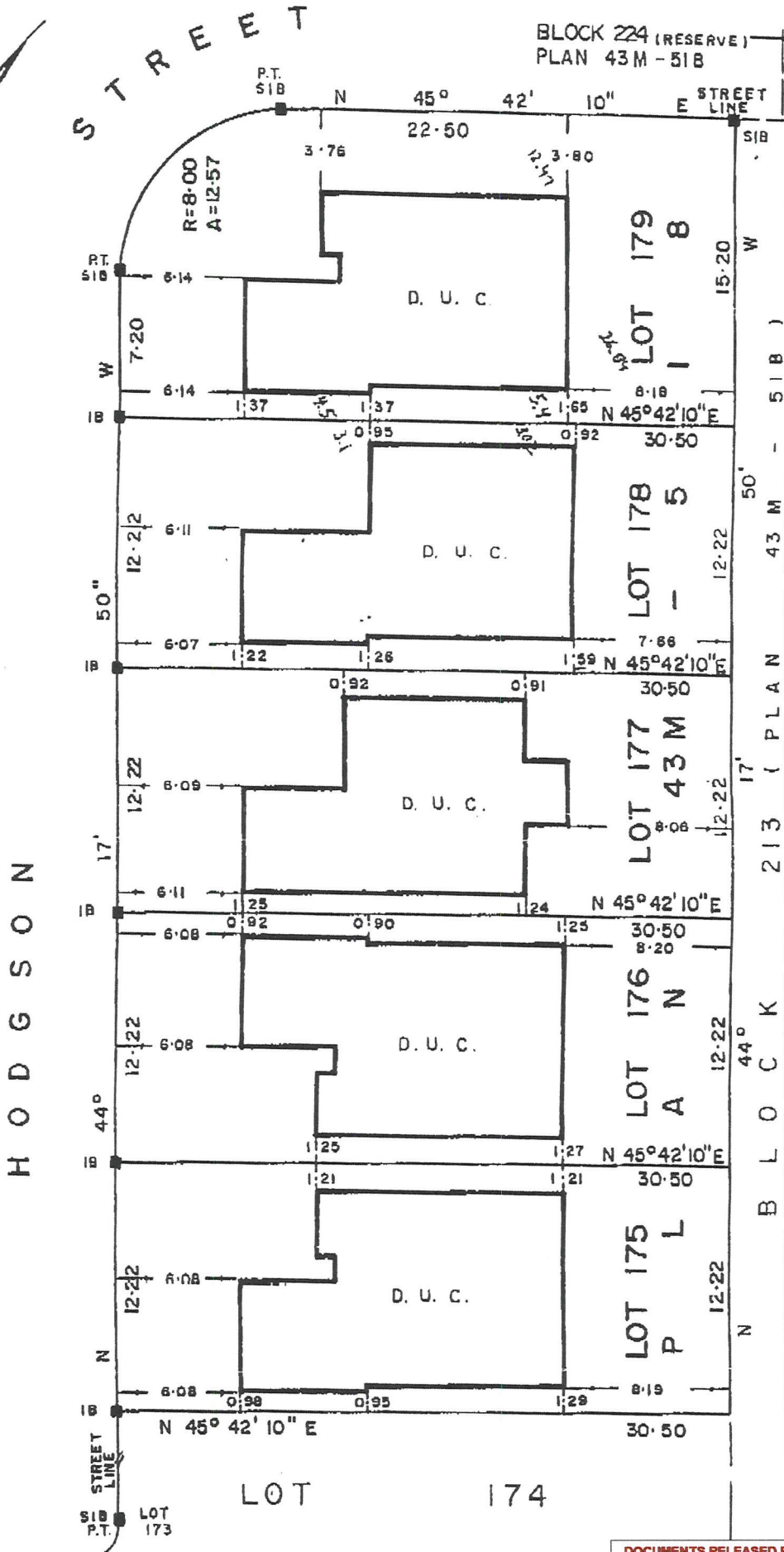
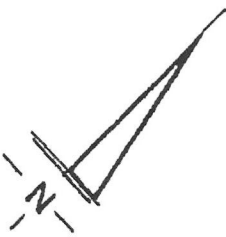
SHEET SIZE 16.5"X11.7"

PLAN SHOWING BUILDING LOCATION SURVEY OF  
 LOTS 175, 176, 177, 178 AND 179, PLAN 43M-518  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL

METRIC: DISTANCES SHOWN ON THIS PLAN  
 ARE IN METRES AND CAN BE CONVERTED  
 TO FEET BY DIVIDING BY 0.3048

NOTE:

BEARINGS ARE ASTRONOMIC AND ARE REFERRED  
 TO THE NORTHEASTERLY LIMIT OF HODGSON  
 STREET AS SHOWN ON PLAN 43M-518 HAVING  
 A BEARING OF N 44° 17' 50" W



HODGSON

BLOCK 224 (RESERVE)  
 PLAN 43M-518

DOCUMENTS RELEASED PURSUANT TO A REQUEST  
 UNDER THE  
 MUNICIPAL FREEDOM OF INFORMATION AND  
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56  
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
 USE AND REPRODUCTION OF THESE DOCUMENTS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
 COMPLETED ON THE 19<sup>th</sup> DAY OF Dec., 1983

D.U.C. DENOTES DWELLING UNDER CONSTRUCTION  
 TIES ARE TAKEN TO CONCRETE FOUNDATION

DATE: Dec. 22, 1983

W. J. Burg  
 W. JOHN BURG  
 ONTARIO LAND SURVEYOR

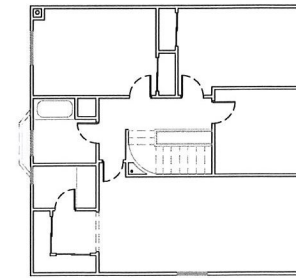
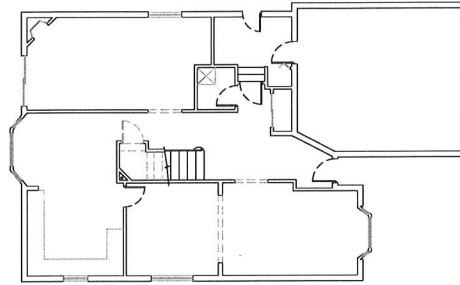
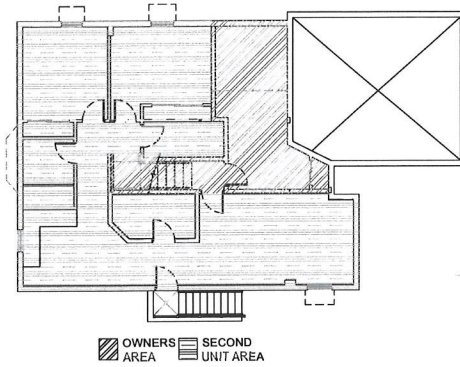


Anton Kikas Limited  
 Consulting Engineers  
 Ontario Land Surveyors—Planners  
 2028 Avenue Road, Toronto M5M 4A4 Tel. 489-1991



Total GFA area: 2572.07 SFT / 238.95 m<sup>2</sup>  
 Basement covered area excluding furnace :  
 1,111.78 sft / 103.28 m<sup>2</sup>  
 Ground floor covered area excluding garage:  
 1177.63 SFT / 109.40 m<sup>2</sup>  
 Second floor covered area:  
 1045.33 SFT / 97.11 m<sup>2</sup>  
 Parking required : 03  
 Parking provided : 03  
 Located 1 in garage

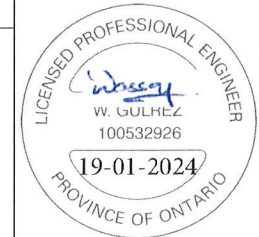
Primary Dwelling Area: 231.95 m<sup>2</sup>(DUFA)  
 (GROUND FLOOR + SECOND FLOOR+BASEMENT-OWNER'S AREA)  
 Secondary Dwelling Area : 82.45 m<sup>2</sup>(DUFA)  
 (BASEMENT)  
 FRONT LANDSCAPING AREA =  
 724.05 sft (67.26 m<sup>2</sup>) = 60.63 %



**ALPH HOMES**  
 3487 BALA DR. MISSISSAUGA,  
 ON L5M0G6. TEL: +1 (437) 604-5252

DESIGNED BY:  
 WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE  
 SITE PLAN

ADDRESS:  
 21 HODGSON ST, BRAMPTON

NOTES:  
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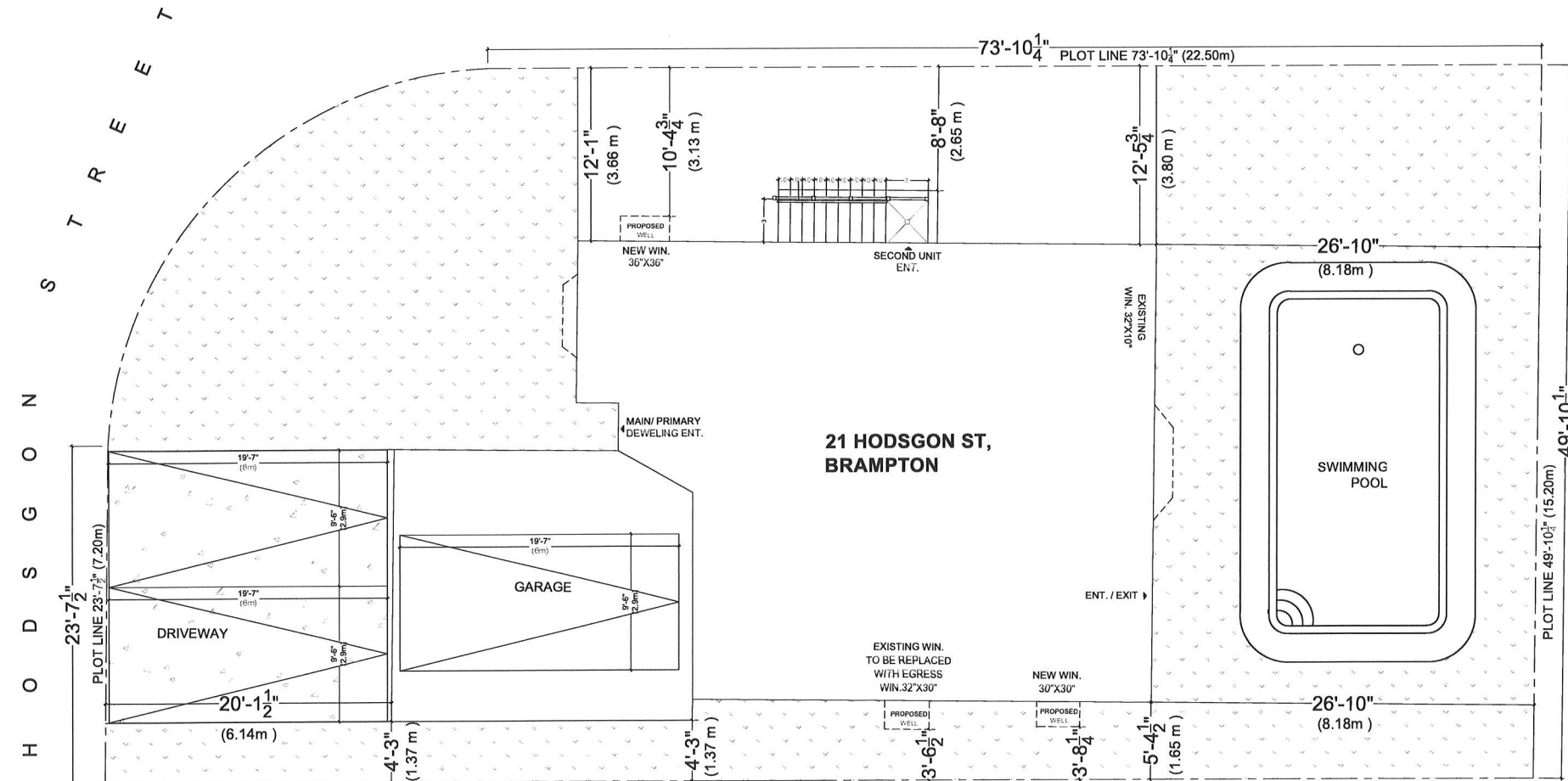
DRAWN BY: A.M.  
 DATE: 18-01-24 SCALE: 1/8"=1'-0"

REVISED DWG:

DRAWING NO:

**A-03**

SHEET SIZE 16.5"X11.7"





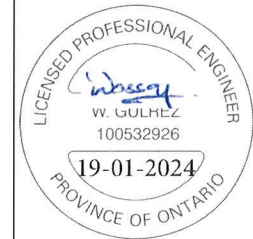
**ALPH HOMES**

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ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

EXISTING BASEMENT PLAN

ADDRESS:

21 HODGSON ST, BRAMPTON

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DRAWN BY: A.M

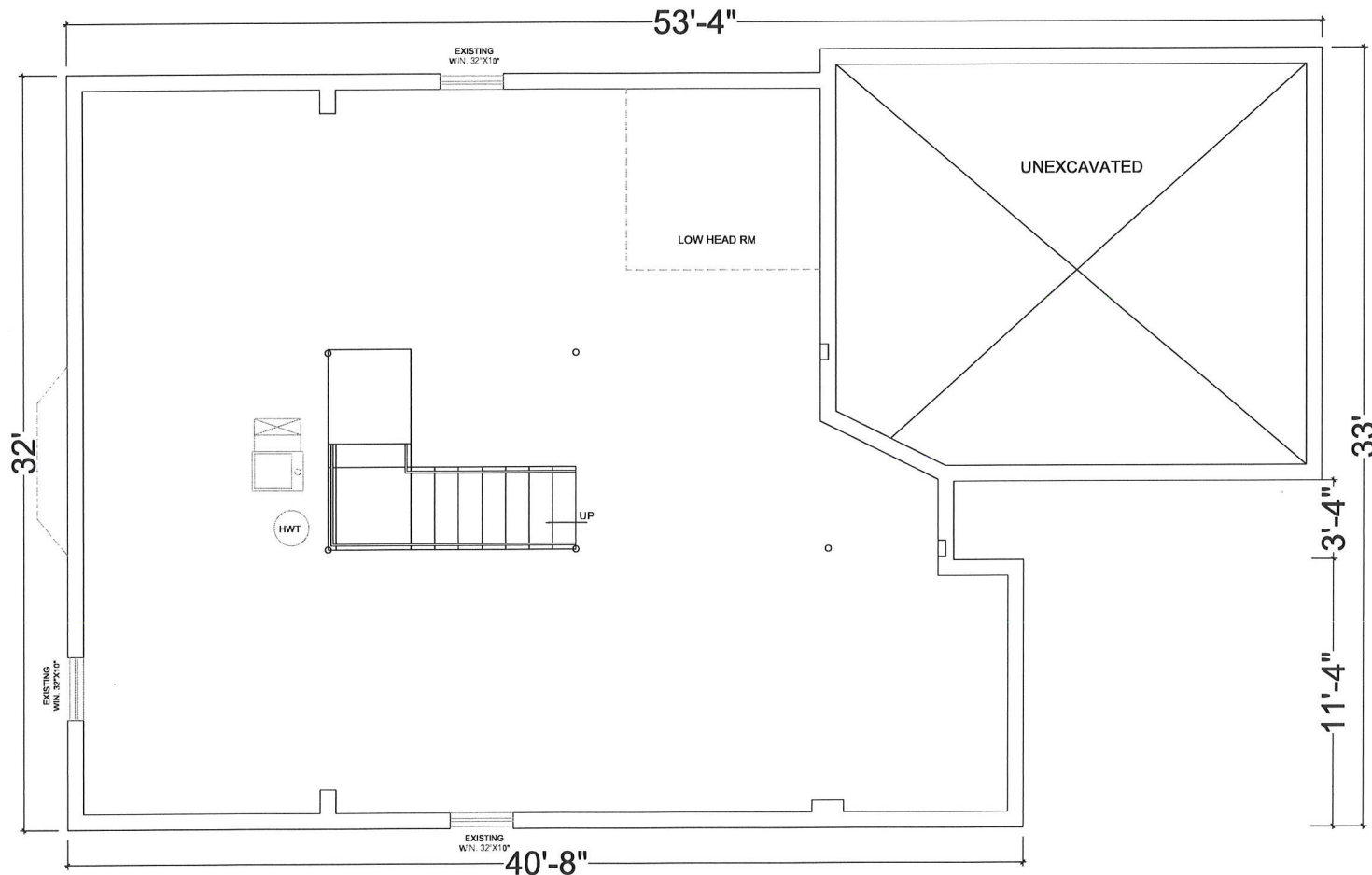
DATE: 18-01-24 SCALE: 1/16"=1'-0"

REVISED DWG:

DRAWING NO:

**A-04**

SHEET SIZE 16.5"X11.7"



**EXISTING BASEMENT PLAN**



**ALPH HOMES**  
 3487 BALA DR. MISSISSAUGA,  
 ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:  
 WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE  
 PROPOSED BASEMENT PLAN

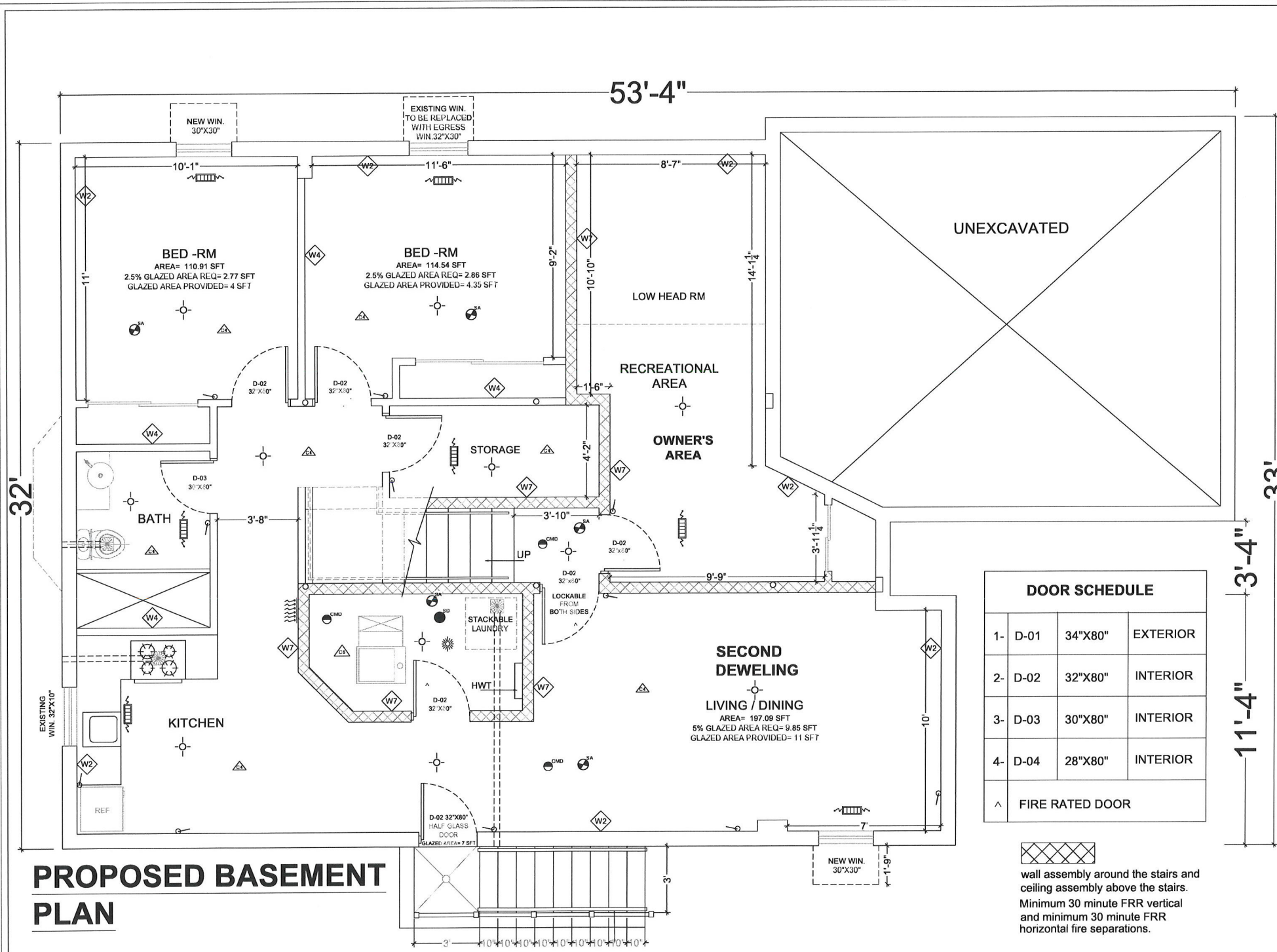
ADDRESS:  
 21 HODGSON ST, BRAMPTON

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DRAWN BY: A.M.  
 DATE: 18-01-24 SCALE: 1/4"=1'-0"  
 REVISED DWG:

DRAWING NO:  
**A-05**

SHEET SIZE 16.5"X11.7"



| DOOR SCHEDULE     |      |         |          |
|-------------------|------|---------|----------|
| 1-                | D-01 | 34"X80" | EXTERIOR |
| 2-                | D-02 | 32"X80" | INTERIOR |
| 3-                | D-03 | 30"X80" | INTERIOR |
| 4-                | D-04 | 28"X80" | INTERIOR |
| ^ FIRE RATED DOOR |      |         |          |

wall assembly around the stairs and ceiling assembly above the stairs.  
 Minimum 30 minute FRR vertical and minimum 30 minute FRR horizontal fire separations.

# PROPOSED BASEMENT PLAN



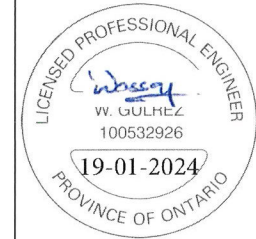
**ALPH HOMES**

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ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

EXISTING GROUND FLOOR PLAN

ADDRESS:

21 HODGSON ST, BRAMPTON

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DRAWN BY: A.M

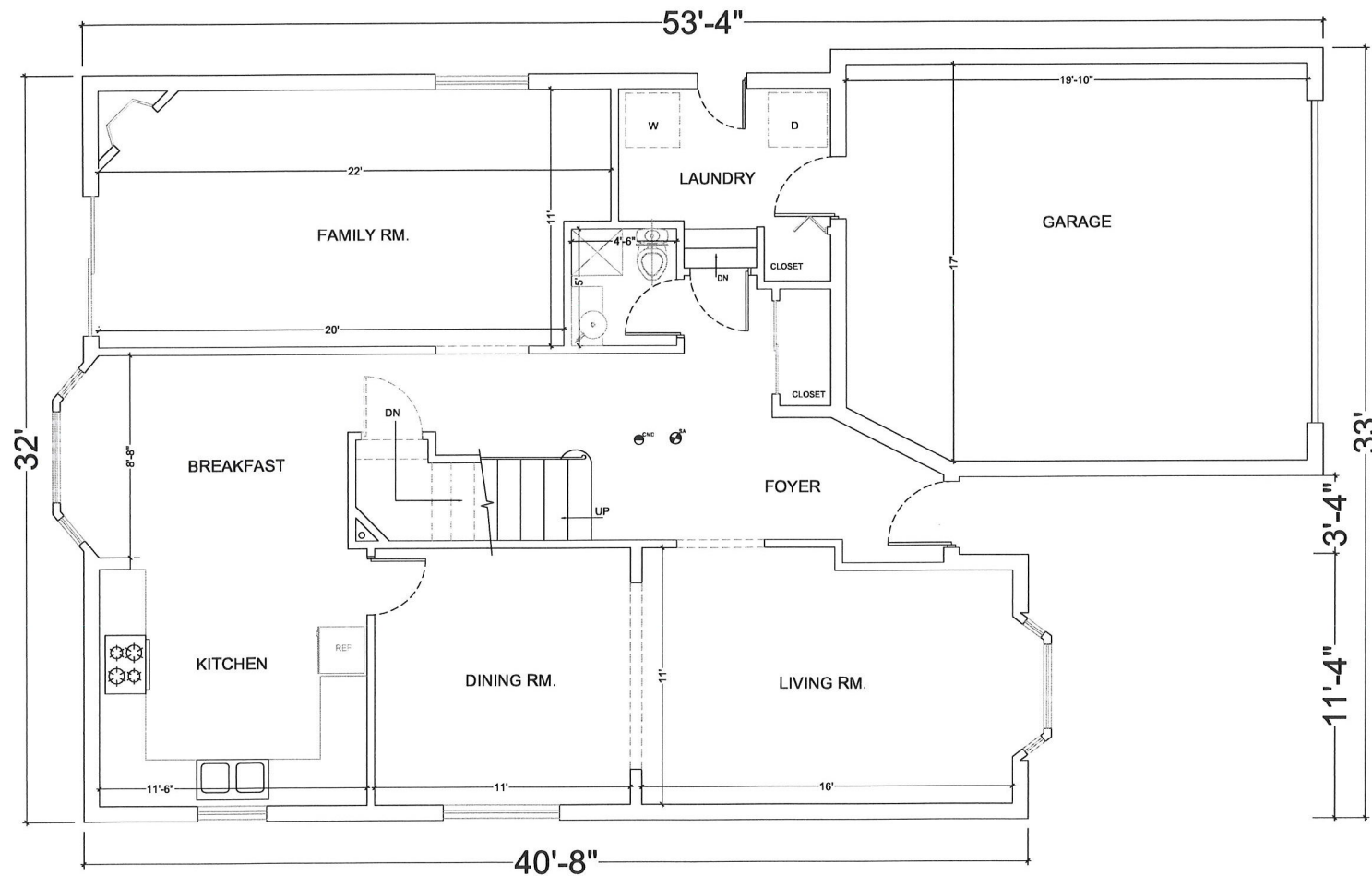
DATE: 18-01-24 SCALE: 1/16"=1'-0"

REVISED DWG:

DRAWING NO:

**A-06**

SHEET SIZE 16.5"X11.7"



**EXISTING GROUND FLOOR PLAN**



**ALPH HOMES**

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ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

EXISTING SECOND FLOOR PLAN

ADDRESS:

21 HODGSON ST, BRAMPTON

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DRAWN BY: A.M

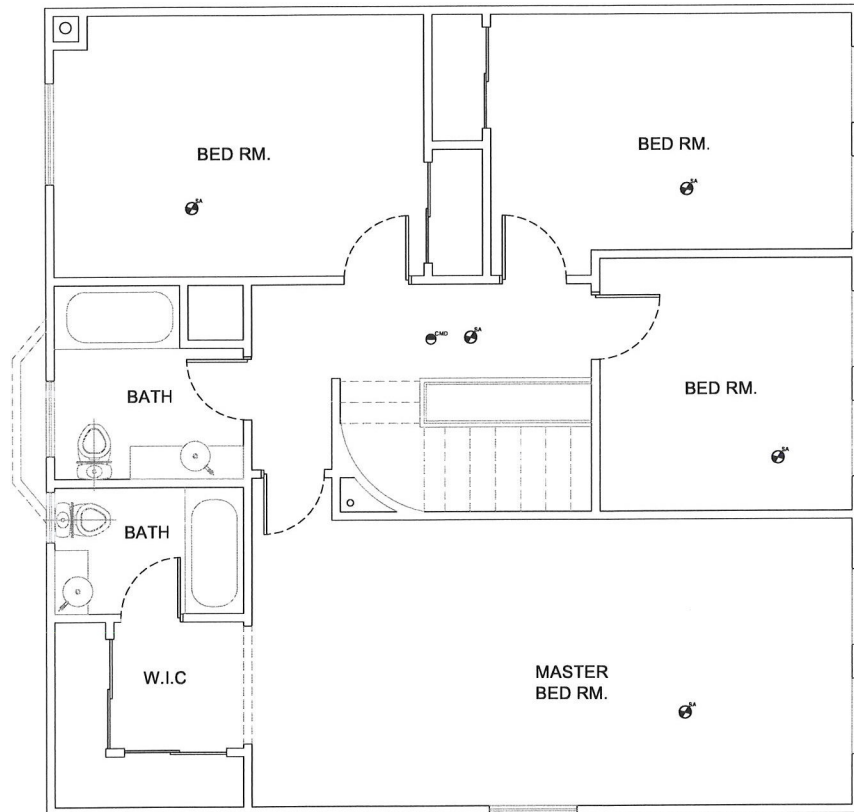
DATE: 18-01-24 SCALE: 1/16" = 1'-0"

REVISED DWG:

DRAWING NO:

**A-07**

SHEET SIZE 16.5"X11.7"



**EXISTING SECOND FLOOR PLAN**



**ALPH HOMES**

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ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

LEFT SIDE ELEVATION

ADDRESS:

21 HODGSON ST, BRAMPTON

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DRAWN BY: A.M

DATE: 18-01-24 SCALE: 1/16" = 1'-0"

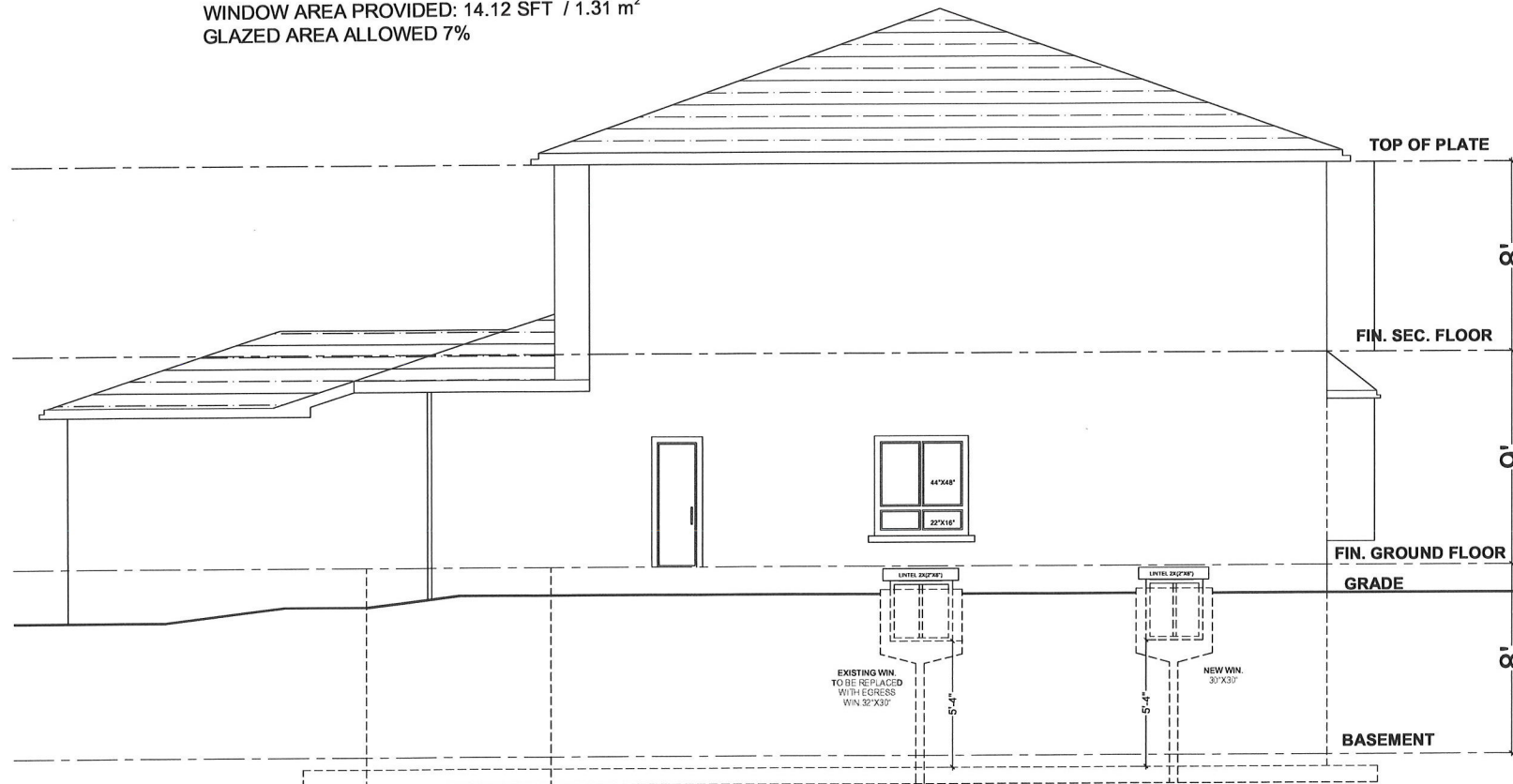
REVISED DWG:

DRAWING NO:

**A-08**

SHEET SIZE 16.5"X11.7"

WALL AREA: = 759.458 SFT / 70.55 m<sup>2</sup>  
LIMITING DISTANCE : 1.2 M  
WINDOW AREA PROVIDED: 14.12 SFT / 1.31 m<sup>2</sup>  
GLAZED AREA ALLOWED 7%



# LEFT SIDE ELEVATION



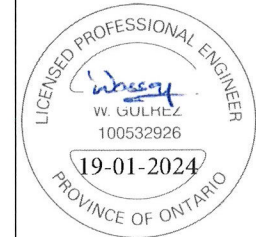
**ALPH HOMES**

3487 BALA DR. MISSISSAUGA,  
ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

RIGHT SIDE ELEVATION

ADDRESS:

21 HODGSON ST, BRAMPTON

NOTES:

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DRAWN BY: A.M

DATE: 18-01-24 SCALE: 1/16" = 1'-0"

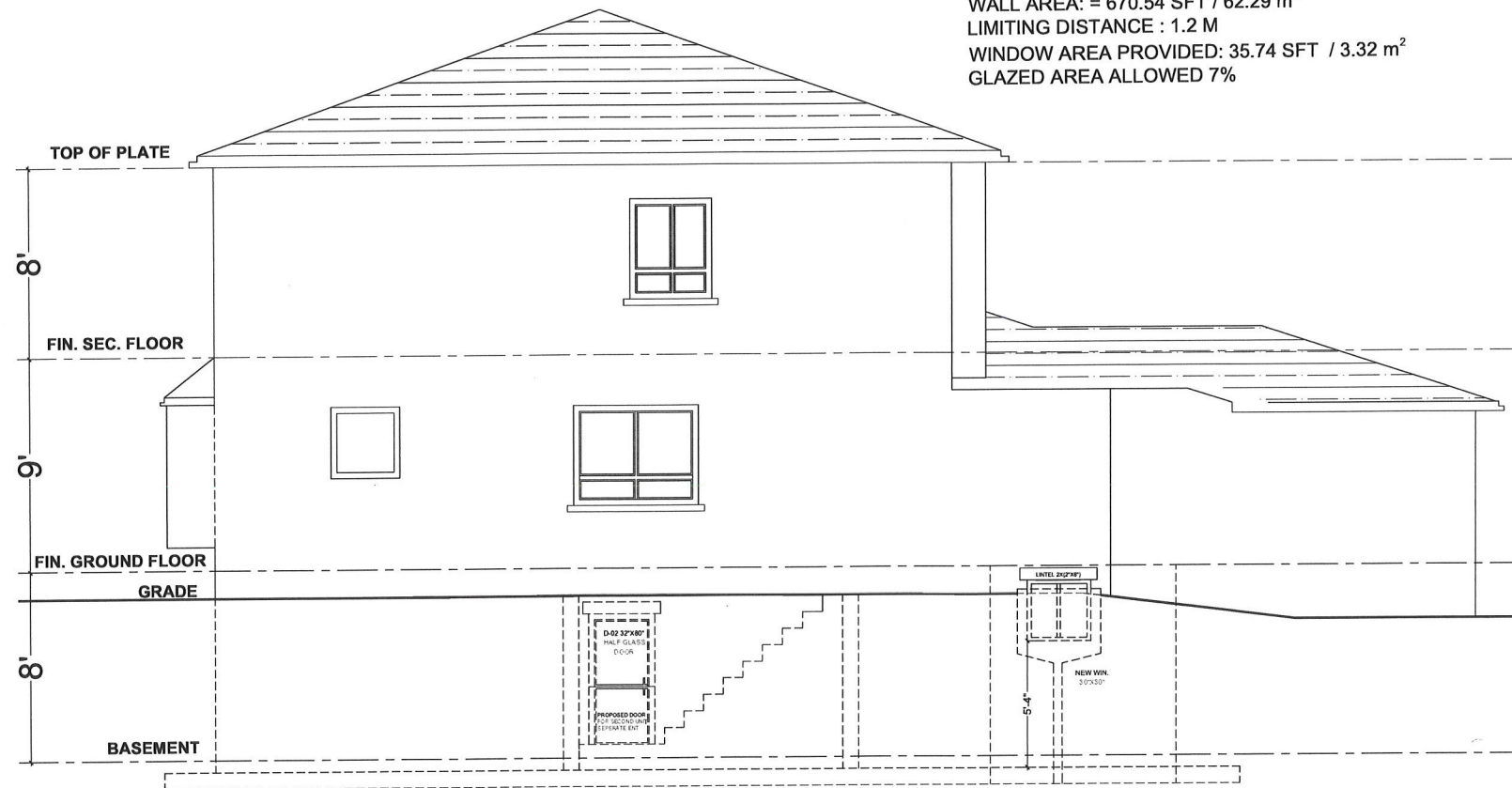
REVISED DWG:

DRAWING NO:

**A-09**

SHEET SIZE 16.5"X11.7"

WALL AREA: = 670.54 SFT / 62.29 m<sup>2</sup>  
LIMITING DISTANCE : 1.2 M  
WINDOW AREA PROVIDED: 35.74 SFT / 3.32 m<sup>2</sup>  
GLAZED AREA ALLOWED 7%



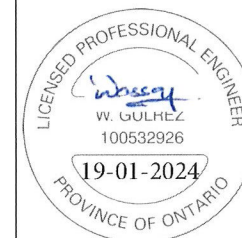
# RIGHT SIDE ELEVATION



**ALPH HOMES**  
 3487 BALA DR. MISSISSAUGA,  
 ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:  
 WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE  
 BELOW GRADE STAIRS DETAIL

ADDRESS:  
 21 HODGSON ST, BRAMPTON

NOTES:  
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DRAWN BY: A.M

DATE: 18-01-24

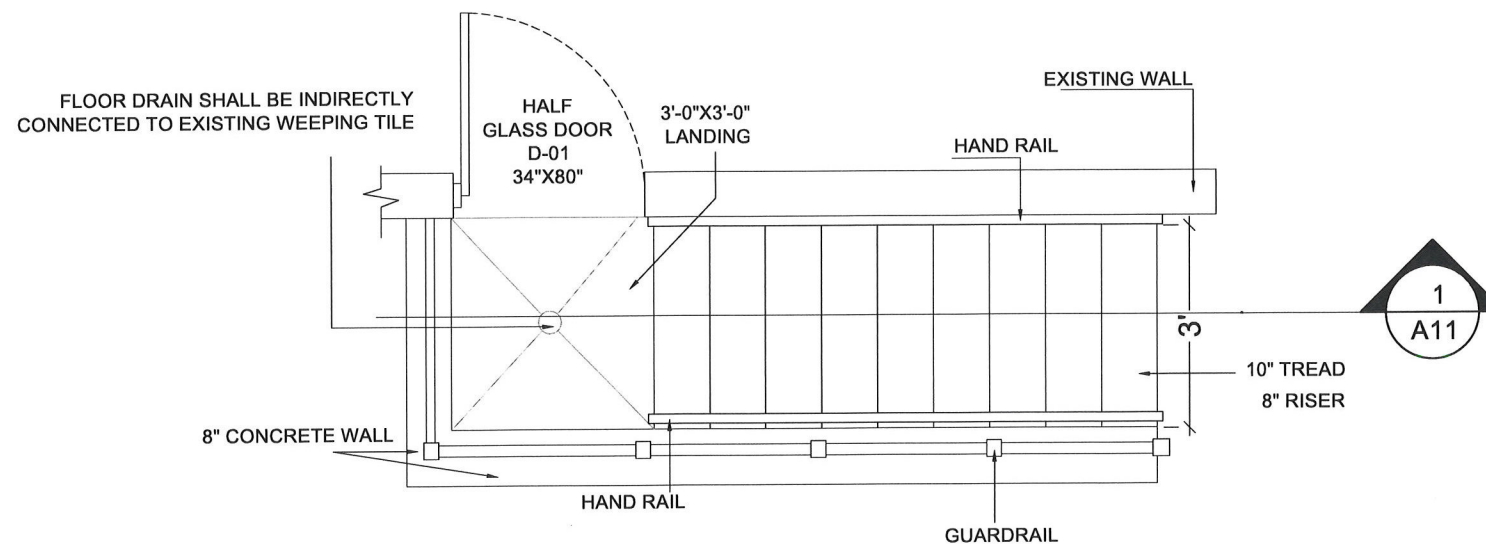
SCALE: 1/4"=1'-0"

REVISED DWG:

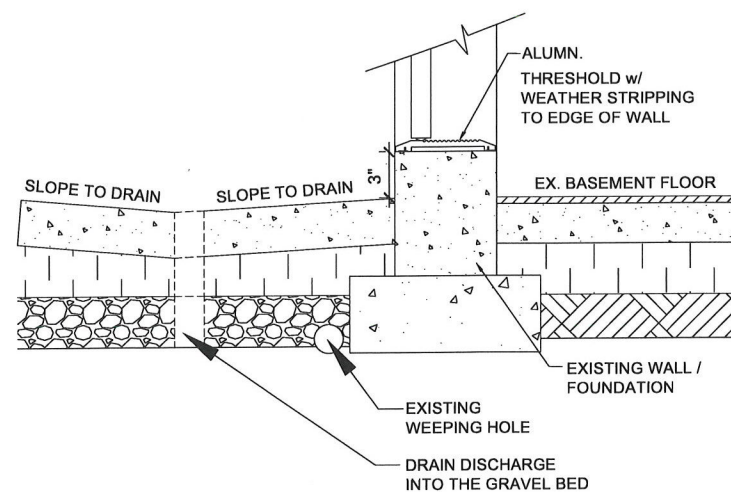
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**A-10**

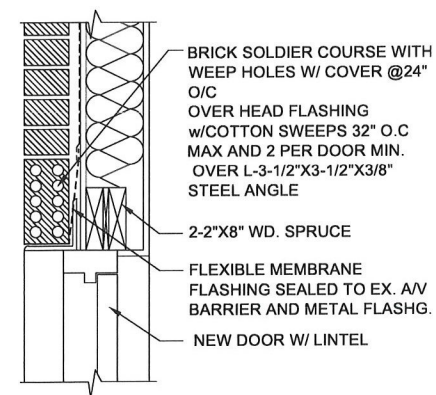
SHEET SIZE 16.5"X11.7"



**BELOW GRADE STAIRS BLOWUP**



**BOTTOM OF DOOR DETAIL**



**TOP OF DOOR DETAIL**

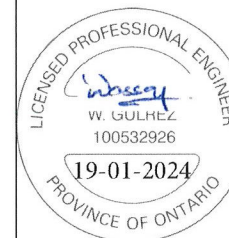




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 ON L5M0G6. TEL: +1 (437) 604-5252

DESIGNED BY:  
 WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE  
 BELOW GRADE STAIRS  
 SECTIONAL DETAILS

ADDRESS:  
 21 HODGSON ST, BRAMPTON

NOTES:  
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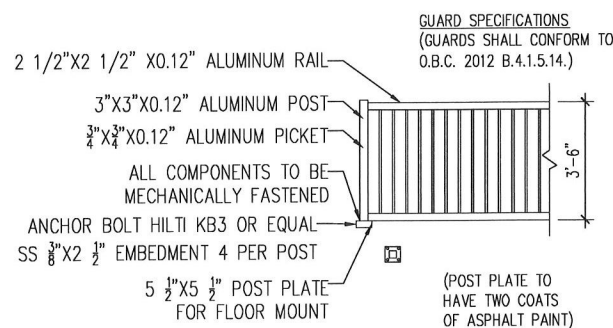
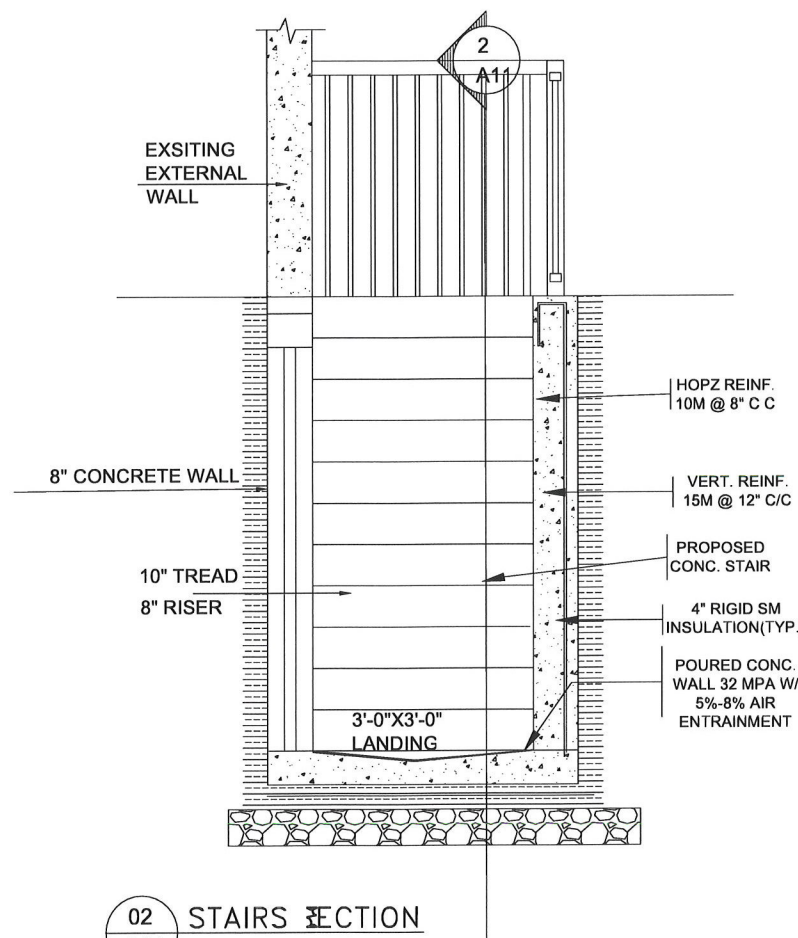
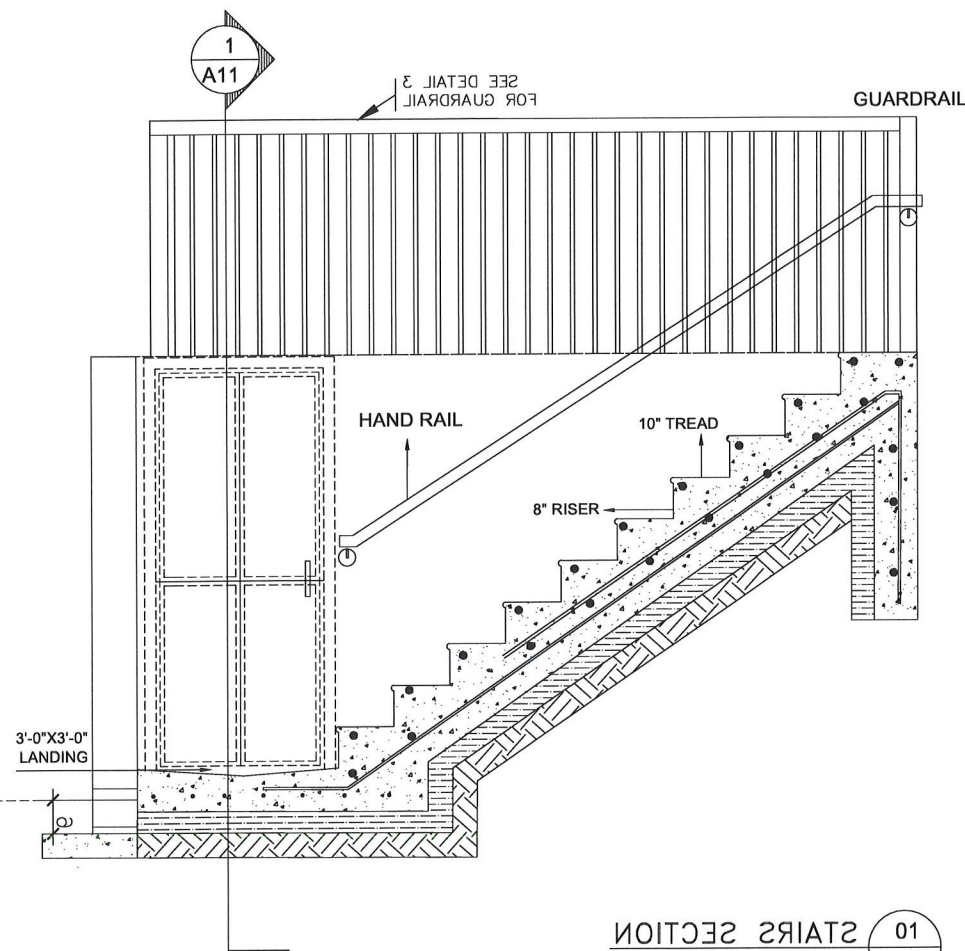
DRAWN BY: A.M  
 DATE: 18-01-24  
 SCALE: 1/16"=1'-0"

REVISED DWG:

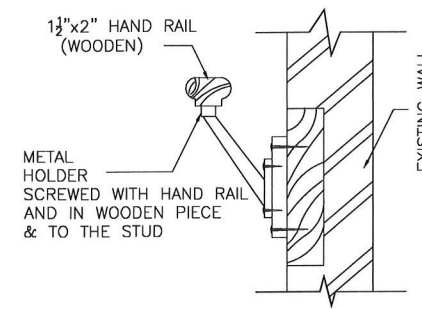
DRAWING NO:

**A-11**

SHEET SIZE 16.5"X11.7"



- GENERAL NOTES:
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH ONTARIO BUILDING CODE AND REGULATIONS.
  - MATERIALS SHALL BE AS FOLLOWS:
    - CONCRETE 32 MPa AT 28 DAYS WITH 5%-8% AIR ENTRAINMENT
    - REINFORCEMENT STEEL, CSA G30, 18M, GRADE 400
    - CONCRETE ANCHORS TAPCON 2 - 3/4" PHILLIPS OR EQUAL
    - 4" & 2" STYROFOAM SM INSULATION MANUFACTURED BY DOW CHEMICALS CANADA W/ THE FOLLOWING PHYSICAL PROPERTIES:
      - THERMAL RESISTANCE PER INCH: R-VALUE 5.0
      - COMPRESSIVE STRENGTH: 30PSI, 210 KPa
    - BACKFILL TO BE OPS GRANULAR B1, OR SUITABLE EXCAVATED MATERIAL
  - ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
  - EXTERIOR DOOR SHALL CONFORM TO STAND AS PER OBC AND RESIST FORCE ENTRY. (OBC. DIV. B.9.7.5.2)



GUARDRAIL DETAIL

HANDRAIL DETAIL



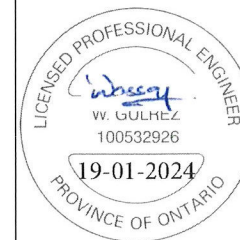
**ALPH HOMES**

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ON L5M0G6. TEL: +1 (437) 604-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.

Seal & SIG:



TITLE

EGRESS WINDOW DETAILS

ADDRESS:

21 HODGSON ST, BRAMPTON

NOTES:

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DRAWN BY: A.M

DATE: 18-01-24

SCALE: 1/4"=1'-0"

REVISED DWG:

DRAWING NO:

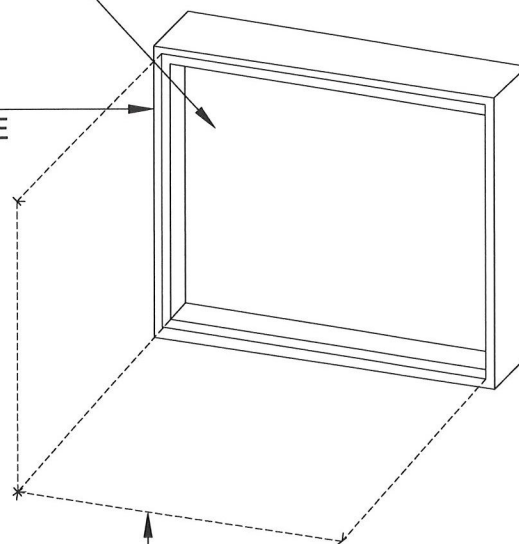
**A-12**

SHEET SIZE 16.5"X11.7"

MIN. CLEAR OPENING  
OF 0.35m<sup>2</sup> (3.8 ft<sup>2</sup>)

RIGIDLY FASTEN  
WINDOW TO FRAME

NO DIMENSION LESS  
THAN 360mm (15")



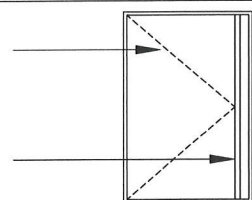
CEILING

MIN. CLEAR OPENING  
OF 0.35m<sup>2</sup> (3.8 ft<sup>2</sup>)

WINDOW IN THE OPEN  
POSITION

NO DIMENSION LESS  
THAN 360mm (15")

FLOOR



NO LIMIT

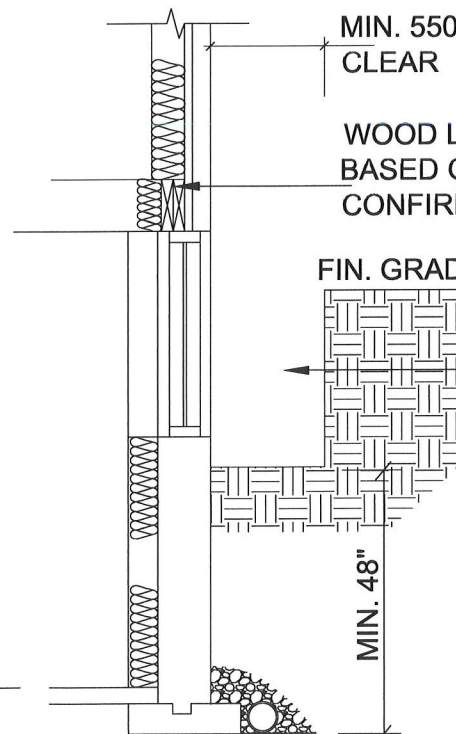
MIN. 550mm (22")  
CLEAR

WOOD LINTEL DETAIL VARIES  
BASED ON SITE CONDITION  
CONFIRM DESIGNER

FIN. GRADE

WINDOW WELL  
DRAIN TO  
WEEPING TILE

MIN. 48"



# Zoning Non-compliance Checklist

|                          |
|--------------------------|
| File No.<br>A-2024- 0202 |
|--------------------------|

Applicant: Limani Albana  
 Address: 21 Hodgson Street  
 Zoning: R1C  
 By-law 270-2004, as amended

| Category                                | Proposal  | By-law Requirement  | Section #  |
|---|---|---|------------|
| USE                                     |   |   |            |
| LOT DIMENSIONS<br>AREA / DEPTH / WIDTH  |   |   |            |
| BUILDING SETBACKS<br>FRONT/ SIDE / REAR | To permit a proposed exterior side yard setback of 2.65 metres to a stairway leading to a below grade entrance. | Whereas the by-law requires a minimum exterior side yard setback of 3 metres. | 13.1.2 (f) |
| BUILDING SIZE                           |   |   |            |
| SIDE DOOR                               |   |   |            |
| COVERAGE                                |   |   |            |
| PARKING                                 |   |   |            |
| DRIVEWAY                                |   |   |            |
| ACCESSORY STRUCTURE                     |   |   |            |
| ACCESSORY STRUCTURE<br>SIZE / HEIGHT    |   |   |            |
| MULTIPLE ACCESSORY<br>STRUCTURES        |   |   |            |
| DRIVEWAY WIDTH                          |   |   |            |
| LANDSCAPE OPEN SPACE                    |   |   |            |
| SCHEDULE 'C'                            |   |   |            |
| FENCE HEIGHT                            |   |   |            |
|   |   |   |            |

Rose Bruno  
 Reviewed by Zoning

May 3 , 2024  
 Date