

Flower City



brampton.ca

FILE NUMBER: A-2024-0247

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Zacharia Jacob Sophy Zacharia JK
Address 16 Pali Drive, Brampton, Ontario L6P 1G3

Phone # 416-720-2629 Fax # _____
Email zacharia.jacob@gmail.com

2. Name of Agent Richard Matejlan
Address 1492 WALLACE ROAD UNIT9,OAKVILLE,ONTARIO L6L 2Y2

Phone # 416-315-4567 Fax # _____
Email hala.koshaji@smda.ca

3. Nature and extent of relief applied for (variances requested):
To allow 6.10 m minimum rear yard depth instead of 10m required on this lot

4. Why is it not possible to comply with the provisions of the by-law?
The proposed addition is similar to what was in the property before the demolition of the house because of the fire. There is no significant impact on the community because of this addition. The proposed addition is replacing the permitted rear yard encroachment (3m and it is no closer than 0.6 m to any lot line)

5. Legal Description of the subject land:
Lot Number Lot 30
Plan Number/Concession Number Concession 7
Municipal Address 16 Pali Drive, Brampton, Ontario L6P 1G3

6. Dimension of subject land (in metric units)
Frontage 18.30m
Depth 29.20m
Area 538.6 sq.m

7. Access to the subject land is by:
Provincial Highway _____
Municipal Road Maintained All Year
Private Right-of-Way _____
Seasonal Road _____
Other Public Road _____
Water _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

single family home two floor with basement / gross floor area 417.5sq m Main floor area 18.9 sq m Second floor area 229.7 sq m

building depth 14.73m Building width 15.82m building height 10.6m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single family home with two story and Basement /gross floor area 436sq m Main floor 26.3sq m Second floor 229.7 sq m

building depth 18.4m building height 10.6m building width 15.82m

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 4.51M WITH 1.54M ENCROACHMENT AS PER 6.13 GENERAL PROVISION & 6.11M TO GARAGE WALL

Rear yard setback 10.11M WITH 2.98M ENCROACHMENT

Side yard setback 1.28 m

Side yard setback 1.25m

PROPOSED

Front yard setback 4.51M WITH 1.54M ENCROACHMENT AS PER 6.13 GENERAL PROVISION & 6.11M TO GARAGE WALL

Rear yard setback 10.11M WITH 3.91M ENCROACHMENT

Side yard setback 1.28

Side yard setback 1.25

- 0. Date of Acquisition of subject land: 2010
- 1. Existing uses of subject property: single family home
- 2. Proposed uses of subject property: single family home
- 3. Existing uses of abutting properties: single family home
- 4. Date of construction of all buildings & structures on subject land: 2024
- 5. Length of time the existing uses of the subject property have been continued: 10

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Hala

Signature of Applicant(s) or Authorized Agent

DATED AT THE Wednesday OF _____
THIS 22 DAY OF May, 20 24

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Hala Koshaji/SMDA Design Ltd. OF THE City OF June Mississauga

IN THE Ontario OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE _____

OF Burlington

IN THE Province OF _____

THIS 4th DAY OF _____

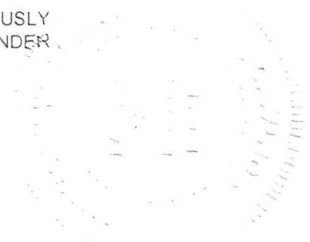
June, 2024

Hala Hala

Signature of Applicant or Authorized Agent

WALK-IN NOTARY
1000-9000
www.walkinnotary.com
info@walkinnotary.com
200-4145 North Service Road,
Burlington, ON, L7R 6A3

ANTHONY VAN PHAM B.A. LL.B.
BARRISTER & SOLICITOR
A Commissioner et al.
Notary Public & Commissioner of Oaths
for the Province of Ontario
My commission is of unlimited duration;
No legal advice given



FOR OFFICE USE ONLY

Present Official Plan Designation: R1A-1716 Residential

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato June 25, 2024
Zoning Officer Date

DATE RECEIVED June 26, 2024
VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 16 Pali Drive, Brampton, Ontario L6P 1G3


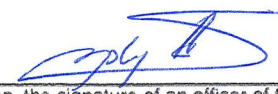
I/We, Zacharia Jacob, SOPHY ZACHARIA
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Rick Mateljan & Hala Koshaji / SMDA DESIGN Ltd.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 26 day of JUNE, 20 24

 
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

ZACHARIA JACOB SOPHY ZACHARIA
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER


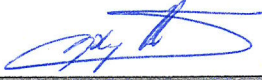
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 16 Pali Drive, Brampton, Ontario L6P 1G3

I/We, Zacharia Jacob , SOPHY ZACHARIA
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 26 day of JUNE, 2024

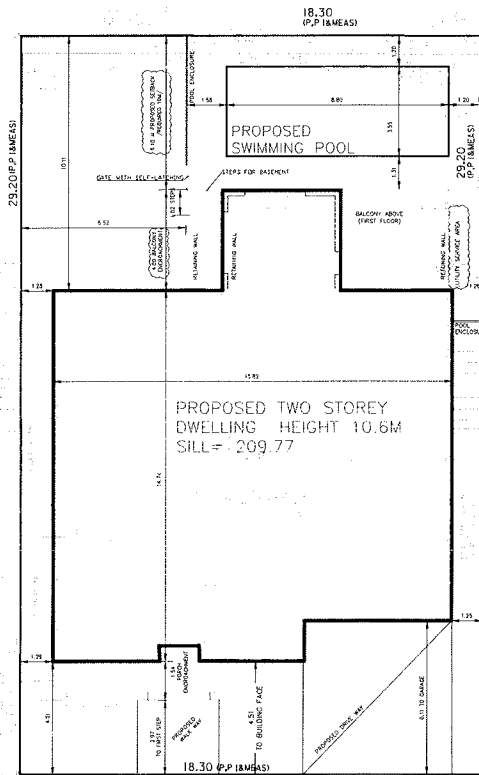
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

ZACHARIA JACOB SOPHY ZACHARIA

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

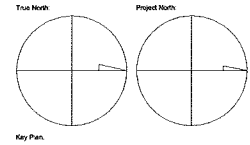
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



PALI DRIVE - N

SITE STATISTICS		
DESCRIPTION	NEW BY-LAW	PROPOSED
ZONING	R1A - RESIDENTIAL	
LOT AREA	538.6m ²	
LOT FRONTAGE	18.30m	
LOT DEPTH	29.20m	
LANDSCAPE FRONT YARD:		
FRONT YARD AREA	88m ²	
LANDSCAPE AREA	MIN 45% m ²	43 m ² = 48% FROM FRONT YARD
HOUSE SETBACKS:		
- Front	8.9m TO THE FRONT OF A GARAGE AND 9.1m TO THE FRONT WALL OF A DWELLING	4.51M WITH 1.54M ENCROACHMENT AS PER 8.13. OTHERS: PROVISION 6.61M TO GARAGE WALL
- Side	min 0.6m	1.25m
- Side	min 1.2m	1.25m
- Rear	min 10m	6.10M WITH 4.00M ENCROACHMENT



Key Plan.

- 20 JUN 9, 2024 EOA APPLICATION
- 19 MAY 31, 2024 STRUCTURAL CHANGES
- 18 MAY 13, 2024 ROOF PLAN CHANGES
- 17 FEB, 2024 STRUCTURAL CHANGE
- 16 NOV 09, 2023 DETAILS
- 15 OCT 13, 2023 FOR PERMIT
- 14 AUG 5, 2023 FOR PERMIT
- 13 JUL 19, 2023 FOR REVIEW
- 12 JULY 12, 2023 FOR SUBMISSION
- 11 JULY 05, 2023 FOR REVIEW
- 10 JUNE 16, 2023 STRUCTURAL
- 9 JUNE 12, 2023 STRUCTURAL
- 8 MAY 18, 2023 For review
- 7 MARCH 16, 2023 For review
- 6 MARCH 10, 2023 For review
- 5 MARCH 8, 2023 For review
- 4 MARCH 8, 2023 For review
- 3 Feb 21, 2023 For review
- 2 JAN 31, 2023 For review

No.	Date	Revised/Revision	By
1	JAN 04, 2023	For review	H.K.



SMDA Design + Architecture

1482 Wallace Rd., Unit 9
Oakville ON L6L 2Y2
Tel: 905 842 2848
smda.ca

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

RICK MATELJAN BCIN 39446

SMDA DESIGN LTD, BCIN 128915

Project:

New Custom

16 Pall Dr.
Brampton, ON

Sheet No:

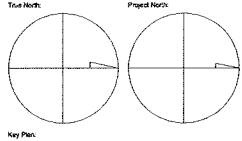
SITE PLAN

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale:	Date:	Project No:
1/100	JAN, 2021	00.00

Drawing No:

A 0.2



Key Plan:

- 20 JUN 6, 2024 CDA APPLICATION
- 19 MAY 31, 2024 STRUCTURAL CHANGES
- 18 MAY 13, 2024 ROOF PLAN CHANGES
- 17 FEB 1, 2024 STRUCTURAL CHANGE
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- 3 Feb 21, 2023 For review
- 2 JAN 31, 2023 For review
- 1 JAN 04, 2023 For review

No.	Date	Issued/Revised	By
			H.K.



SMDA Design + Architecture
 1492 Wallace Rd., unit 9
 Oakville ON L6L 2Y2
 Tel: 905 842 2848
 smda.ca

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QUALIFICATION INFORMATION:

RICK MATELAN BCIN 39448
 SMDA DESIGN LTD. BCIN 128915

Project:

New Custom
 16 PALI DR.
 BRAMPTON, ON

Sheet Title:

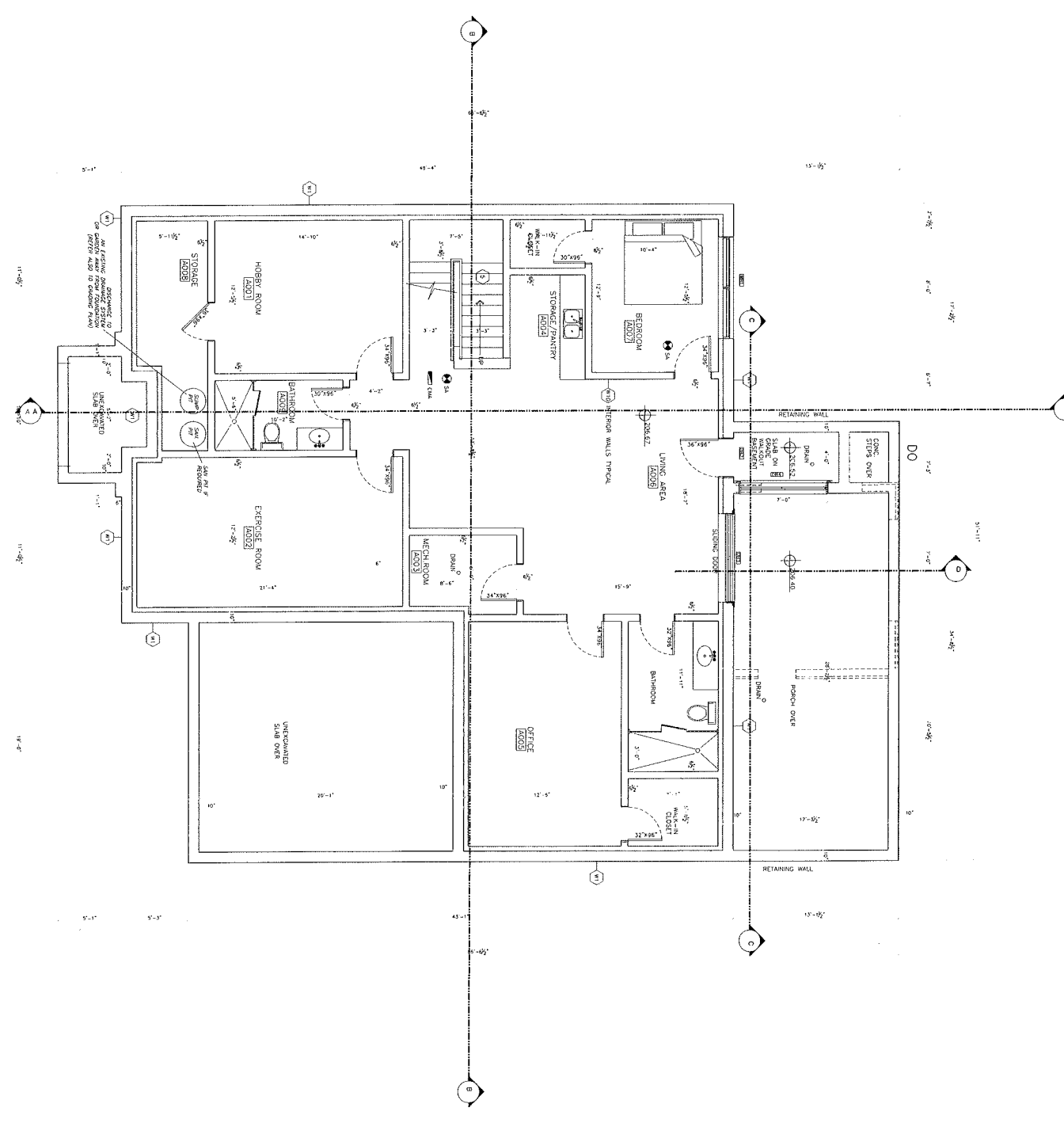
BASEMENT PLAN

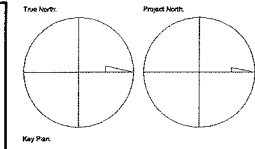
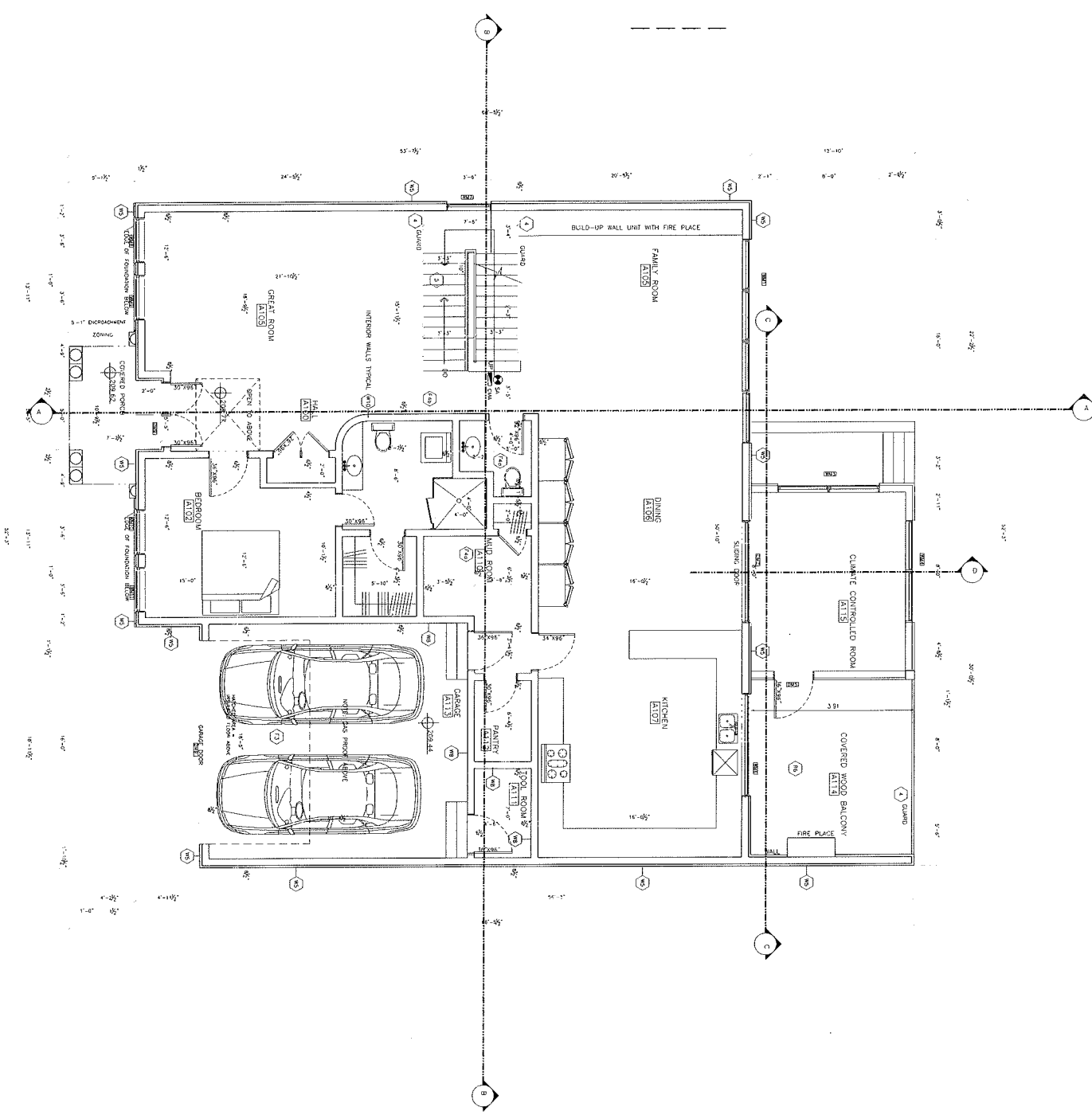
Design By:	Drawn By:	Approved By:
H.K.	H.K.	R.M.

Scale:	Date:	Project No.:
1/4"=1'-0"	JAN, 2022	00.00

Drawing No.:

A1.0





- 20 JUN 8, 2024 GDA APPLICATION
- 18 MAY 31, 2024 STRUCTURAL CHANGES
- 18 MAY 13, 2024 ROOF PLAN CHANGES
- 17 FEB 1, 2024 STRUCTURAL CHANGES
- 18 NOV 28, 2023 DETAILS
- 16 OCT 13, 2023 FOR PERMIT
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- 4 MARCH 6, 2023 For review
- 3 Feb 21, 2023 For review
- 2 JAN 31, 2023 For review
- 1 JAN 04, 2023 For review

No.	Date	Issued/Revision	By
1	JAN 04, 2023	For review	H.K.

SMDA
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 Carleton Place, ON L6L 2Y2
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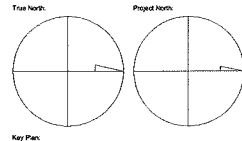
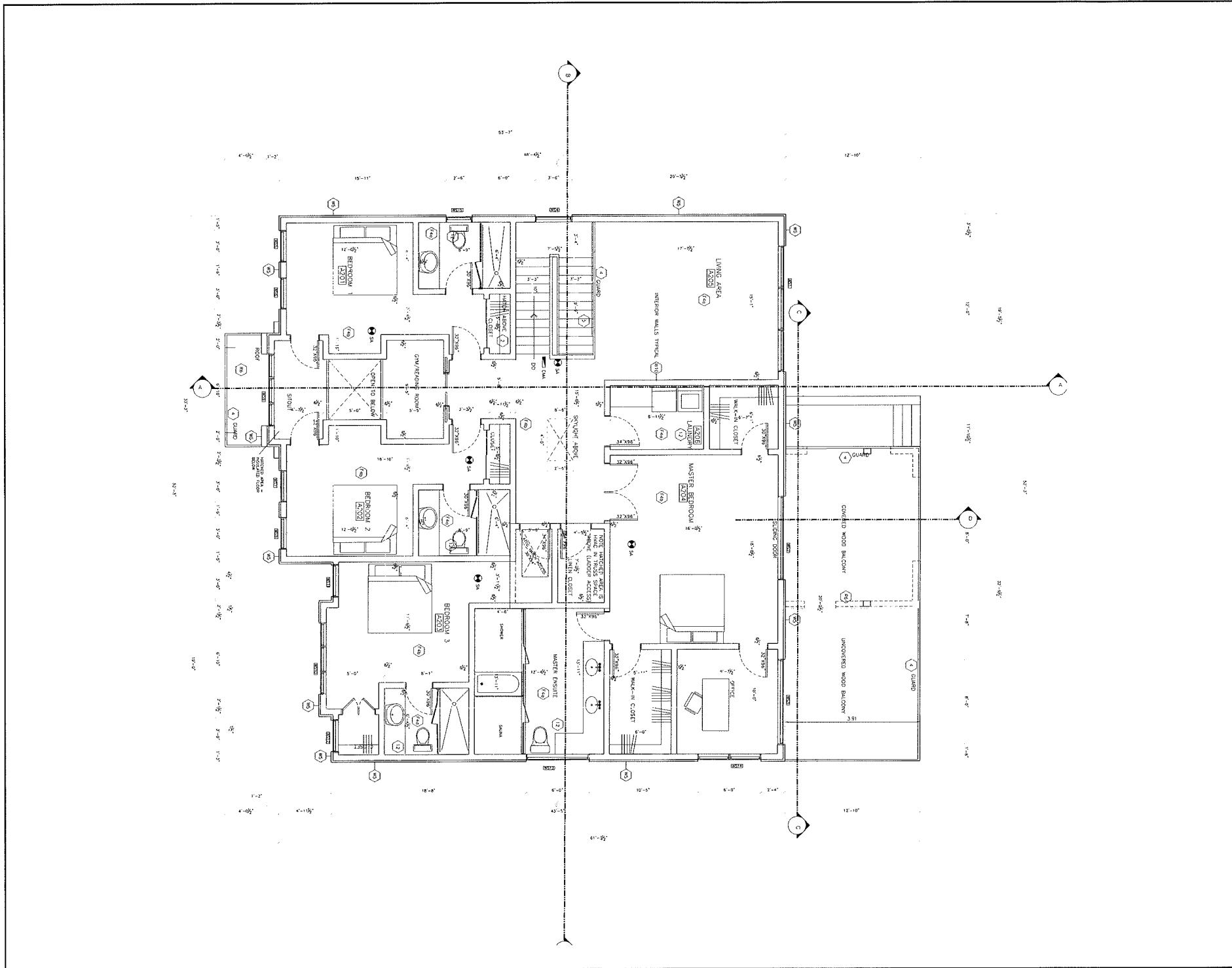
QUALIFICATION INFORMATION:
 RICK MATELJAN BCIN 38448
 SMDA DESIGN LTD. BCIN 128915

Project:
New Custom
 16 PALI DR.
 BRAMPTON, ON

Sheet Title:
FIRST FLOOR PLAN

Design By: H.K.	Drawn By: H.K.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: JAN, 2022	Project No: 00.00

Drawing No:
A1.1



Key Plan:

20	JUN 9, 2024	COA APPLICATION	
19	MAY 31, 2024	STRUCTURAL CHANGES	
18	MAY 13, 2024	ROOF PLAN CHANGES	
17	FEB 1, 2024	STRUCTURAL CHANGE	
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3	FEB 21, 2023	For review	
2	JAN 31, 2023	For review	
1	JAN 04, 2023	For review	H.K.

No.	Date	Issue/Revision	By
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SMDA
SMDA Design + Architecture
 1492 Wallace Rd., Unit 9
 Oakville ON L6L 2Y2
 Tel: 905-842-2848
 smda.ca

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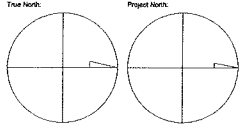
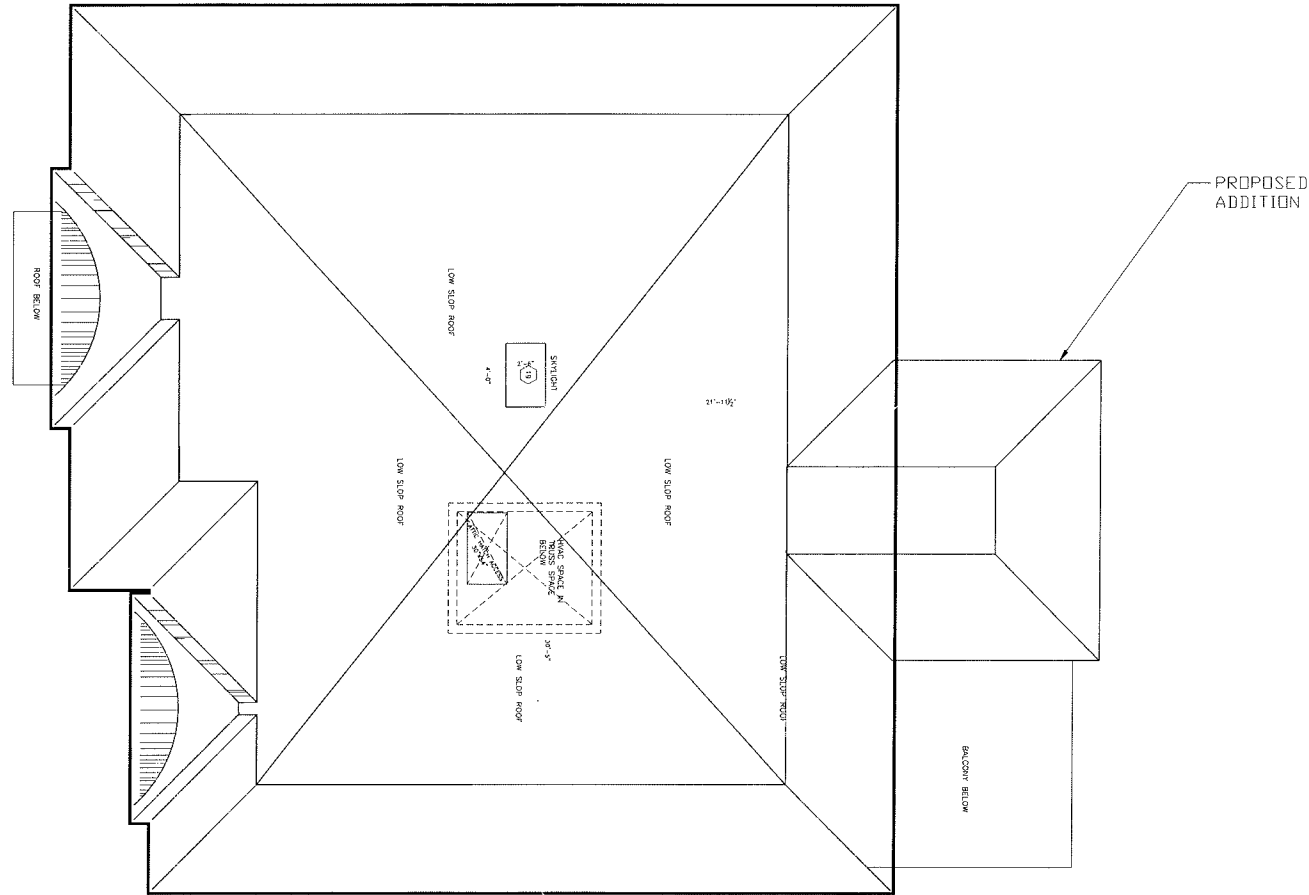
QUALIFICATION INFORMATION:
 RICK WATLJAN BCIN 39448
 SMDA DESIGN LTD. BCIN 128915

Project:
New Custom
 16 PALI DR.
 BRAMPTON, ON

Sheet Title:
SECOND FLOOR PLAN

Design By:	Drawn By:	Approved By:
H.K.	H.K.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	JAN, 2022	00.00

Drawing No:
A1.2



Key Plan:

- 20 JUN 8, 2024 COA APPLICATION
- 19 MAY 31, 2024 STRUCTURAL CHANGES
- 18 MAY 13, 2024 ROOF PLAN CHANGES
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- 4 MARCH 6, 2023 For review
- 3 Feb 21, 2023 For review
- 2 JAN 31, 2023 For review

1 JUN 08, 2023 For review H.K.

No.	Date	Issued/Revision	By
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SMDA Design + Architecture
 1492 Wallace Rd., unit 9
 Oakville ON L6L 2Y2
 Tel: 905-842-2848
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QUALIFICATION INFORMATION:
 RICK HATEL JAN BCIN 39448 *Rick Hate*

SMDA DESIGN LTD BCIN 128915
 Project:

New Custom
 16 PALI DR.
 BRAMPTON, ON

Sheet Title:
ROOF PLAN

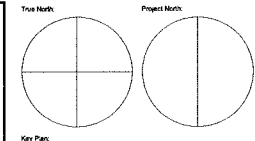
Design By: H.K.	Drawn By: H.K.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: JAN, 2022	Project No: 00.00

Drawing No:
A1.3



NOTE REGARDING SIDING AND WINDOW MATERIALS AND INSTALLATION.

- Exterior above-grade walls or wall assemblies must be designed and constructed according to rainscreen principles that include both Primary and Secondary Planes of Protection (water barriers), provision for drying of the assembly, and an air space no less than 10mm deep behind the cladding with positive drainage to the exterior to protect the interior of the building from precipitation that penetrates the Primary Plane of Protection.
- i) Windows must be designed and constructed according to rainscreen principles, inserted into a wall where they are fully supported at the perimeter, where all the components are specified and used in conformity with the structural and installation parameters of the relevant Canadian Standards Association (CSA) and Canadian Government Specifications Board (CGSB) documents, or other standards referenced in the applicable building code.
- ii) Solid masonry or concrete walls are permitted where drying of the masonry or concrete is not adversely affected by any other exterior building material.
- iii) Precast Concrete walls must be designed and constructed as drained systems utilizing two stage drained joints.
- iv) Glass and metal Curtain Wall systems must incorporate both Primary and Secondary Planes of Protection (water barriers) with provision for positive drainage to the exterior in a rainscreen design.
- v) Window Wall systems may be used on projects classified under Part 9 of the Ontario Building Code that incorporate both Primary and Secondary Planes of Protection (water barriers) and ventilated air spaces with provision for positive drainage to the exterior in a rainscreen design.
- vi) Window Wall systems used on projects other than those classified under Part 9 of the Ontario Building Code must comply with the conditions as provided by the most recently issued Window Wall Endorsement issued by the Pro-Demity Insurance Company
- vii) Pre-Engineered buildings or siding systems incorporating both Primary and Secondary Planes of Protection (water barriers) and provision for drainage to the exterior in a rainscreen design are permitted.



Key Plan:

20	JUN 8, 2024	COA APPLICATION
19	MAY 31, 2024	STRUCTURAL CHANGES
18	MAY 13, 2024	ROOF PLAN CHANGES
17	FEB 1, 2024	STRUCTURAL CHANGE
16	NOV 28, 2023	DETAILS
15	OCT 13, 2023	FOR PERMIT
14	AUG 5, 2023	FOR PROPOS
13	JUL 24, 2023	FOR REVIEW
12	JULY 12, 2023	FOR SUBMISSION
11	JULY 05, 2023	FOR REVIEW
10	JUNE 19, 2023	STRUCTURAL
9	JUNE 12, 2023	STRUCTURAL
8	MAY 18, 2023	For review
7	MARCH 16, 2023	For review
6	MARCH 10, 2023	For review
5	MARCH 8, 2023	For review
4	MARCH 6, 2023	For review
3	Feb 21, 2023	For review
2	JAN 31, 2023	For review
1	JAN 04, 2023	For review

No.	Date	Issued/Revision	By
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SMDA
SMDA Design + Architecture

1492 Wallace Rd., unit 9
Oakville ON L6L 2Y2
Tel: 905 842 2948
smda.ca

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QUALIFICATION INFORMATION:

RICK MATELIAN BCIN 38446

SMDA DESIGN LTD. BCIN 128915

Project:

New Custom

16 PALI DR.
BRAMPTON, ON

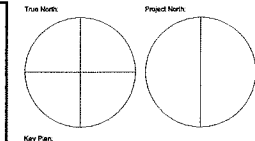
Sheet No:

FRONT ELEVATION

Design By:	H.K.	Drawn By:	H.K.	Approved By:	R.M.
Scale:	1/4"=1'-0"	Date:	JAN, 2022	Project No.:	00.00

Drawing No:

A2.1



Key Plan:

20	JUN 8, 2024	ODA APPLICATION	H.K.
19	MAY 31, 2024	STRUCTURAL CHANGES	
18	MAY 13, 2024	ROOF PLAN CHANGES	
17	FEB 1, 2024	STRUCTURAL CHANGE	
16	NOV 09, 2023	DETAILS	
15	OCT 13, 2023	FOR PERMIT	
14	AUG 5, 2023	FOR PRICING	
13	JUL 19, 2023	FOR REVIEW	
12	JUL 12, 2023	FOR SUBMISSION	
11	JUL 10, 2023	FOR REVIEW	
10	JUNE 14, 2023	STRUCTURAL	
9	JUNE 12, 2023	STRUCTURAL	
8	MAY 18, 2023	For review	
7	MARCH 16, 2023	For review	
6	MARCH 10, 2023	For review	
5	MARCH 8, 2023	For review	
4	MARCH 8, 2023	For review	
3	FEB 21, 2023	For review	
2	JAN 31, 2023	For review	
1	JAN 04, 2023	For review	H.K.

No.	Date	Issued/Revision	By

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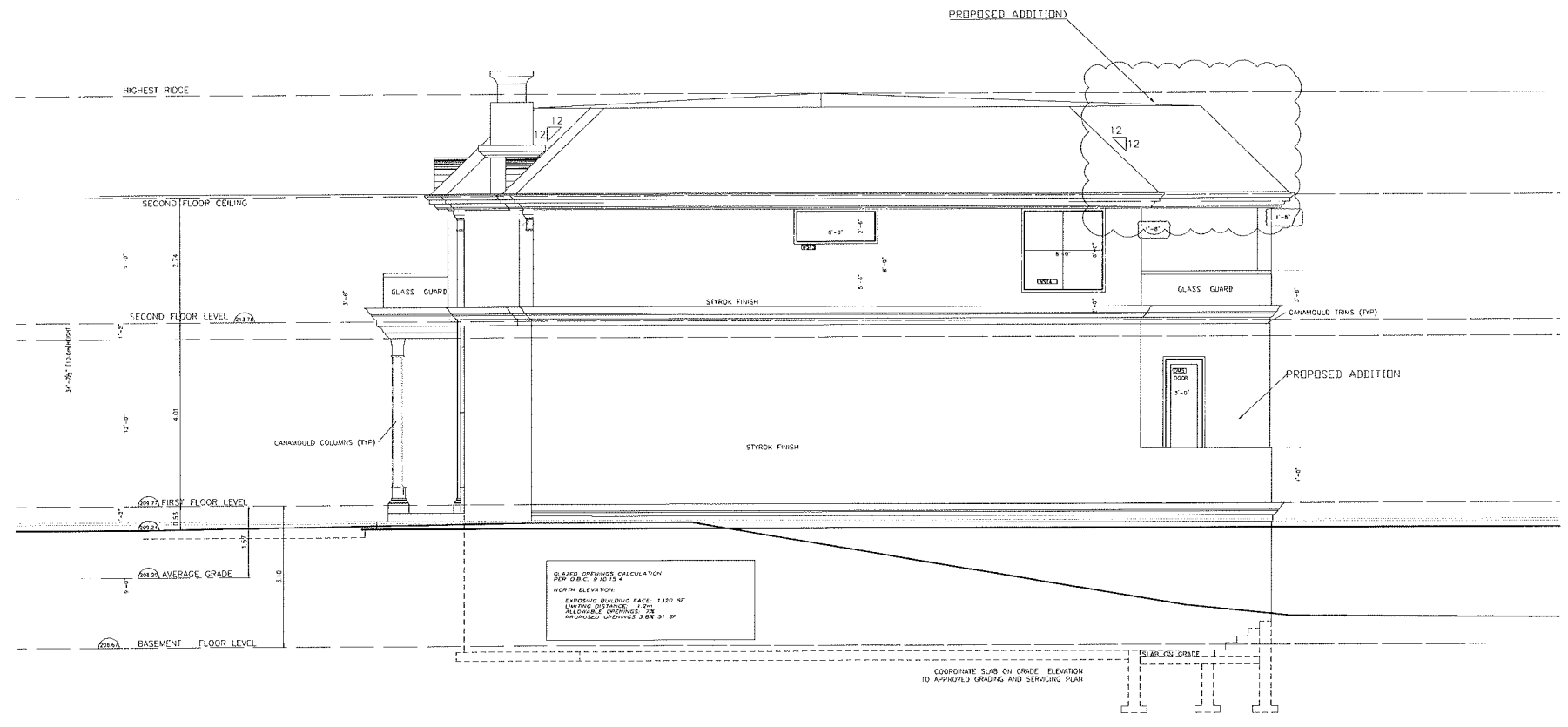
QUALIFICATION INFORMATION:
RICK MATELIAN BCIN 38448
SMDA DESIGN LTD. BCIN 128915

Project:
New Custom
16 PALI DR,
BRAMPTON, ON

Sheet Title:
EAST ELEVATION

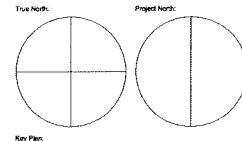
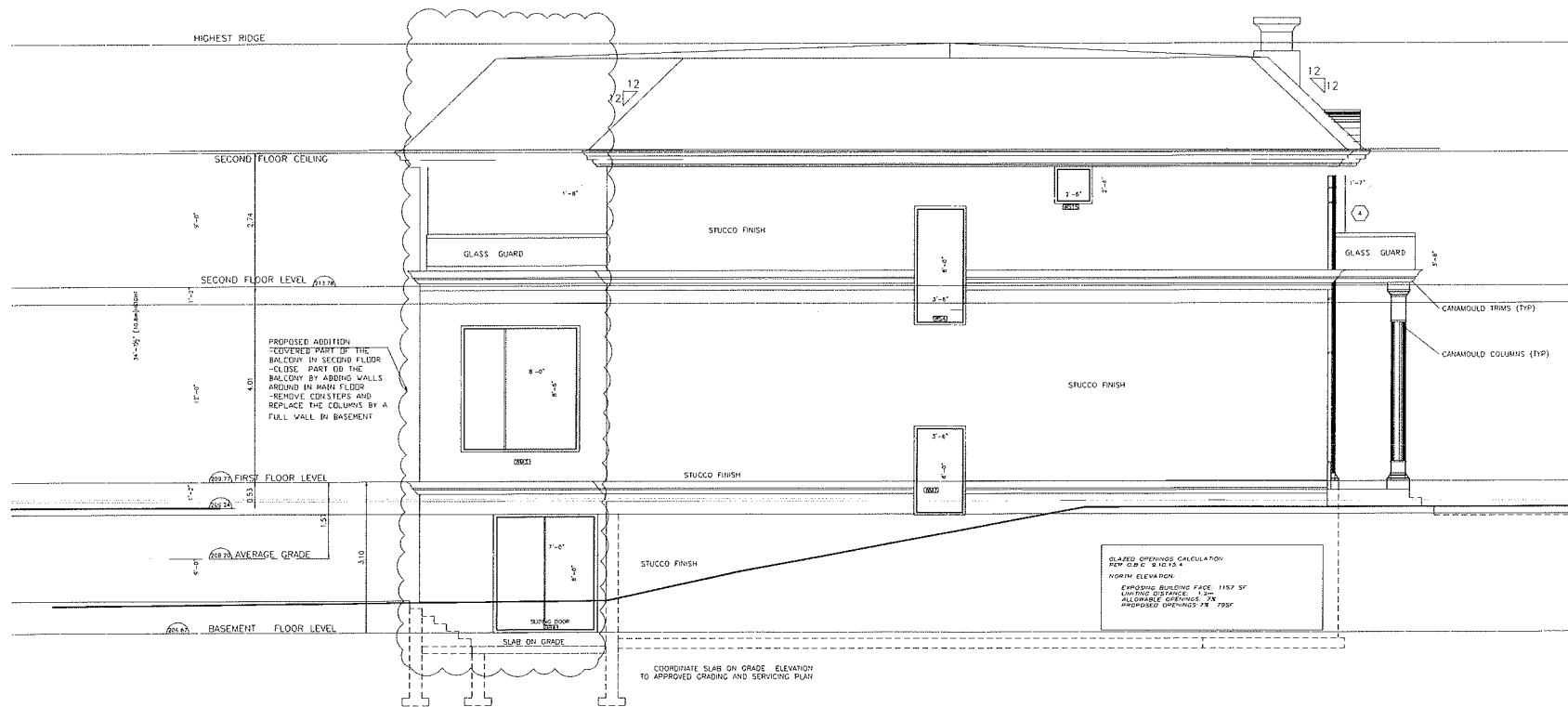
Design By:	Drawn By:	Approved By:
H.K.	H.K.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	JAN, 2022	00.00

Drawing No.
A2.2



GLAZED OPENING CALCULATION
FROM O.B.C. S10.15.4
NORTH ELEVATION:
EXPOSING BUILDING FACE: 1320 SF
LIMITING DISTANCE: 1.2M
ALLOWABLE OPENING: 276
PROPOSED OPENING: 348 SF SF

COORDINATE SLAB ON GRADE ELEVATION
TO APPROVED GRADING AND SERVICING PLAN



Key Plan

20	JUN 9, 2024	DDA APPLICATION	
19	MAY 31, 2024	STRUCTURAL CHANGES	
18	MAY 13, 2024	ROOF PLAN CHANGES	
17	FEB 1, 2024	STRUCTURAL CHANGE	
16	NOV 09, 2023	DETAILS	
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5	MARCH 8, 2023	For review	
4	MARCH 6, 2023	For review	
3	Feb 21, 2023	For review	
2	JAN 31, 2023	For review	
1	JAN 04, 2023	For review	H.K.

No.	Date	Issued/Revised	By
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QUALIFICATION INFORMATION
RICK MATELAN BCIN 38448
SMDA DESIGN LTD. BCIN 128915

Project:
New Custom
16 PALI DR.
BRAMPTON, ON

Sheet Title:
WEST ELEVATIONS

Design By:	H.K.	Drawn By:	H.K.	Approved By:	R.M.
Scale:	1/4"=1'-0"	Date:	JAN, 2022	Project No.:	00.00

Drawing No.
A2.3

Zoning Non-compliance Checklist

File No.

A - 2024 - 6247

Applicant: Richard Mateljan

Address: 16 Pali Drive

Zoning: R1A-1716 Residential

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 6.10m to a proposed two storey single family dwelling	whereas the by-law requires a minimum rear yard setback of 10.0m.	1716.2.f.
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato
Reviewed by Zoning

June 25, 2024
Date