

Flower City



brampton.ca

FILE NUMBER: A-2024-0248

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Devanand Bhagwan & ANUPMA BHAGWAN (10)
Address 15 Gleneaden Court, Brampton L6S 2J7

Phone # 647-529-0558 Fax # _____
Email ~~maps.permit@gmail.com~~ davebhagwan@gmail.com

2. Name of Agent Malav Shah
Address 688 Hespeler Road, Cambridge ON N1R 8N7

Phone # 647-770-2966 / 437-880-8197 Fax # _____
Email info@blueprintspemrit.com

3. Nature and extent of relief applied for (variances requested):
Property is zoned R3(A)(4) - 128 - Schedule C.
The zone does not permit construction of any kind
outside of the building Envelope provided in Schedule
C-128 of zoning by law.

4. Why is it not possible to comply with the provisions of the by-law?
Owner wants to add Sun-room for his leisure
purpose.

5. Legal Description of the subject land:
Lot Number _____
Plan Number/Concession Number 43R-3631
Municipal Address 15 Gleneaden Court Brampton, L6S 2J7

6. Dimension of subject land (in metric units)
Frontage _____ Irregular lot (Property Survey Attached)
Depth _____ & Drawings attached
Area _____ attached

7. Access to the subject land is by:
Provincial Highway _____ Seasonal Road _____
 Municipal Road Maintained All Year _____ Other Public Road _____
Private Right-of-Way _____ Water _____

- 0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Single family dwelling unit.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Addition of Sunroom

- 1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.1m
 Rear yard setback 7.6m
 Side yard setback 3.6m
 Side yard setback -

PROPOSED

Front yard setback 6.1m
 Rear yard setback 7.6m
 Side yard setback 3.6m
 Side yard setback -

- 0. Date of Acquisition of subject land: 1975
- 1. Existing uses of subject property: 1975
- 2. Proposed uses of subject property: Residential
- 3. Existing uses of abutting properties: Residential
- 4. Date of construction of all buildings & structures on subject land: 1975
- 5. Length of time the existing uses of the subject property have been continued: _____

- 16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
 Well

- (b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
 Septic

- (c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

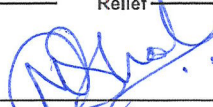
Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____




Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 27 DAY OF JUNE, 2024.


IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MALAV SHAH. OF THE CITY OF CAMBRIDGE
REGION OF WATERLOO
PROV. OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 27 DAY OF
June 2024


A Commissioner etc.



Signature of Applicant or Authorized Agent

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

FOR OFFICE USE ONLY	
Present Official Plan Designation:	<u>R3A(4)-128</u>
Present Zoning By-law Classification:	
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
<u>JOHN C. CABRAL</u> Zoning Officer	<u>2024-06-10</u> Date

DATE RECEIVED June 27, 2024.
VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 15 Gleneaden Crt Brampton On

I/We, Devanand Bhagwan & ANUPMA BHAGWAN
please print/type the full name of the owner(s)

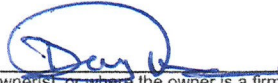


the undersigned, being the registered owner(s) of the subject lands, hereby authorize

BLUE PRINTS PERMIT C/O MALAN SHAH.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 30 day of May, 2024.



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

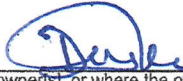
LOCATION OF THE SUBJECT LAND: 15 Gleneaden Crt Brampton On

I/We, Devanand Bhagwan & ANUPMA BHAGWAN
please print/type the full name of the owner(s)



the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 30 day of May, 2024.



(signature of the owner(s); or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

LT-891

PLAN 43R-3631

APPROVED 17 Dec 1975

H. P. Napier
ASST. EXAMINER OF SURVEY

PLAN 43R-3631

RECORDED UNDER NO. 63312

REGISTERED 19th DEC. 1975

[Signature]
DEP. LAND REGISTRAR

PART: 1, 1A, 2, 2A, 2B, 2C, 3, 3A, 3B, 3C, 4, 4A, 4B, 4C, 5, 5A, 6, 6A, 7, 7A, 8,
 8A, 9, 9A, 9B, 9C, 10, 10A, 10B, 10C, 11, 11A, 11B, 11C, 12, 12A, 12B,
 13, 13A, 13B, 13C, 14, 14A, 15, 15A, 16, 16A, 17, 18, 19, 20, 21, 22, 22A, 22B, 22C,
 23, 24, 24A, 25, 25A, 26, 26A, 27, 27A, 28, 28A, 29, 29A, 30, 31, 31A,
 32, 32A, 33, 33A, 34, 34A, 35, 35A, 36, 36A, 37, 37A, 38, 38A, 39, 39A,
 39B, 39C, 40, 40A, 41, 42, 43, 44, 45, 45A, 45B, 45C, 46, 47, 47A, 48, 48A, 49,
 49A, 50, 50A, 51, 51A, 52, 52A, 53, 53A, 53B, 54, 54A, 54B, 55, 55A, 55B, 56, 56A,
 57, 57A, 58, 58A, 59, 59A, 60, 60A, 60B, 60C, 61, 61A, 61B, 61C, 62,
 62A, 62B, 62C, 63, 63A, 63B, 64, 64A, 65, 65A, 66, 67, 68, 69, 70, 71,
 72, 73, 74, 74A, 75, 75A, 75B, 76, 76A, 76B, 76C, 77, 77A, 78, 78A, 79,
 79A, 80, 80A, 81, 81A, 82, 82A, 83, 83A, 84, 84A, 85, 85A, 86, 86A, 86B, 86C.

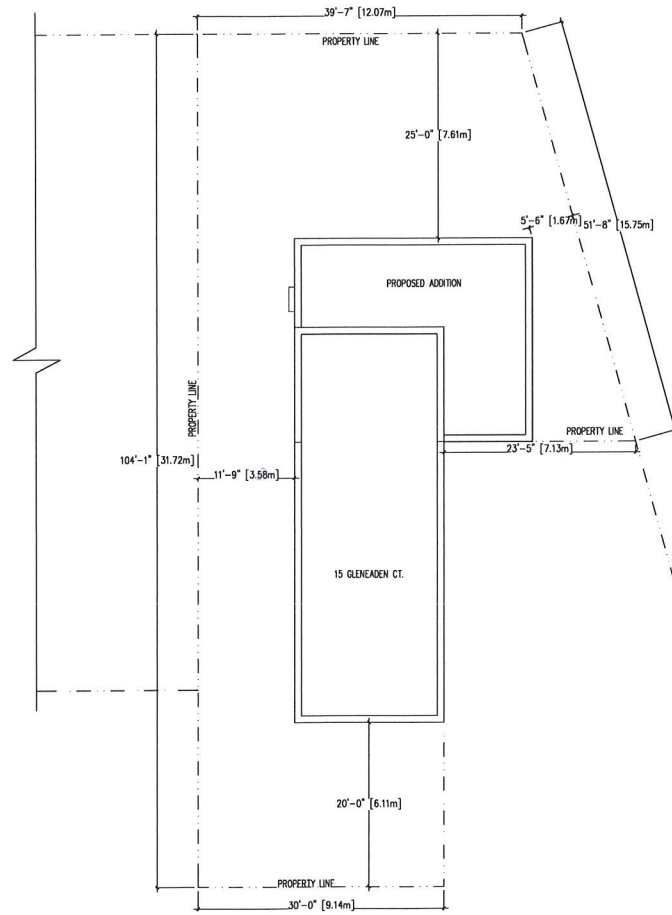
PART OF
 PARCEL PLAN 1
 SECTION M 95 FREE H
 PARCEL A - 1
 SECTION 43 865
 LEASE HOLD

PLAN OF SURVEY OF
 BLOCKS A, F, AND G
 REGISTERED PLAN M-95
 CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL
 (FORMERLY IN THE TOWNSHIP OF CHINGUACOUSY, COUNTY OF PEEL)

SCALE: 1 INCH = 20 FEET.
 W. M. FENTON O.L.S.

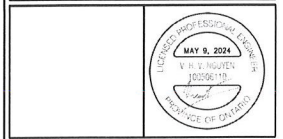
1975



1
AO **SITE PLAN**
Scale: 1"=0" = 1/8"

PROJECT DETAILS			
	REQUIRED/ALLOWED	EXISTING	PROPOSED
ZONE DESIGNATION	N/A	R3A(4)-128	N/A
LOT FRONTAGE (m)	N/A	N/A	N/A
MAXIMUM HEIGHT (m)	7.6	6.2	6.2
MAXIMUM DEPTH (m)	N/A	N/A	N/A
FRONT YARD SETBACK	7.5	6.1	6.1
REAR YARD SETBACK	7.5	7.6	7.6
SIDE YARD SETBACK (E)	7.5	3.6	3.6
SIDE YARD SETBACK (W)	4.5	0	0
GROSS FLOOR AREA	N/A	133	176
LOT AREA	N/A	366	366
FLOOR SPACE INDEX (%)	N/A	N/A	N/A
BUILDING FOOTPRINT	N/A	N/A	N/A
LOT COVERAGE	25%	22%	33%

REVISION	
NO.	DESCRIPTION
00	MAY 9, 2024 ISSUE FOR PERMIT



These drawings prepared for permit application only. Contractors quoting on job must visit site and make allowances where necessary, report any discrepancies to the designer before commencing any work. Do not scale drawings.

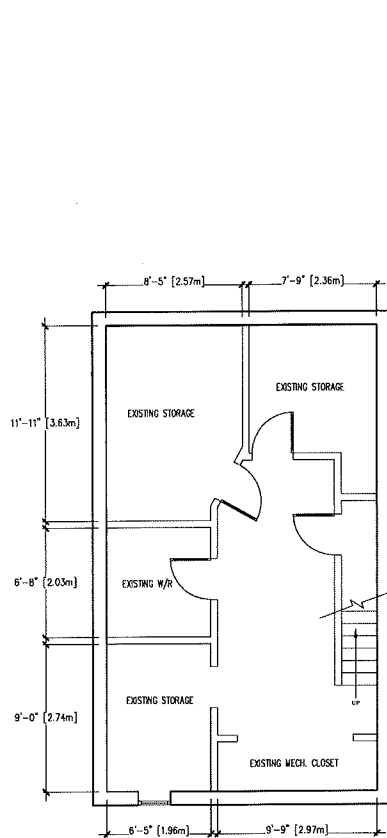
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THE HQ SYSTEM ENGINEERING SERVICES
110 Marine Parade Dr., #601, Toronto, MBV 0B6
Tel: 647-948-5857
Web: hqsystem.com
Email: info@hqsystem.com

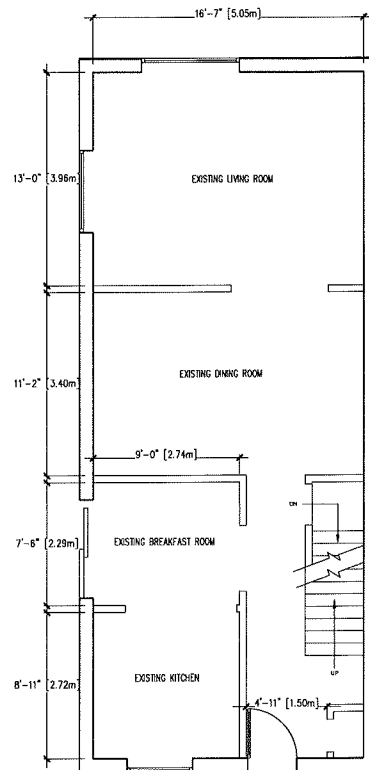
PROJECT NAME
**SUN ROOM ADDITION
15 GLENEADEN CT
BRAMPTON, ONTARIO**

TITLE
**SUN ROOM ADDITION
(SITE PLAN)**

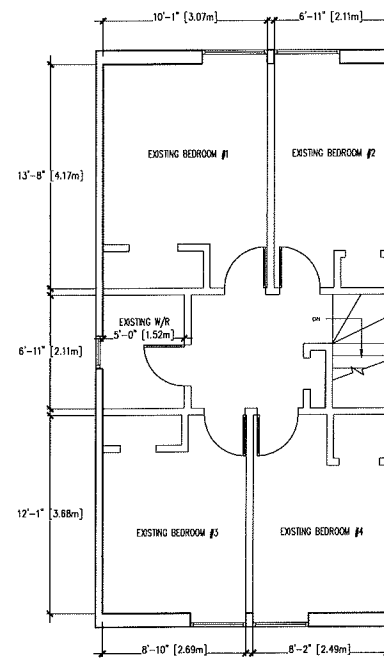
PROJECT NO.	24030	DRAWING NO. A-0
SCALE	see plan	
DRAWN BY	V.V.	
APPROVED BY		
DATE	MAR. 11, 2024	



1
A1
EXISTING BASEMENT PLAN
Scale: 1'-0" = 1/4"



2
A1
EXISTING GROUND FLOOR
Scale: 1'-0" = 1/4"



3
A1
EXISTING SECOND FLOOR
Scale: 1'-0" = 1/4"

REVISION		
NO.	DATE	DESCRIPTION
00	MAY 9, 2024	ISSUE FOR PERMIT

LEGENDS

- EXISTING PARTITION WALL
- PROPOSED PARTITION/FURRING WALL
 - 2x4 WOOD STUD
 - 1/2" GYPSUM BOARD

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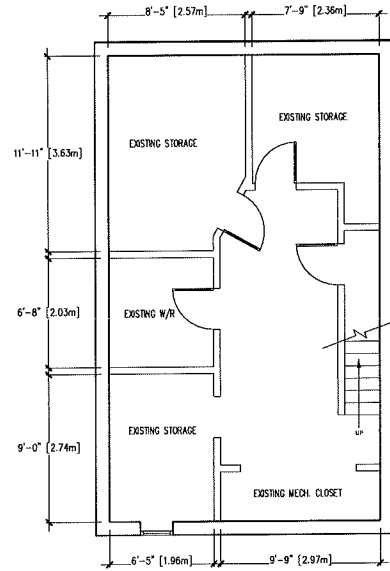
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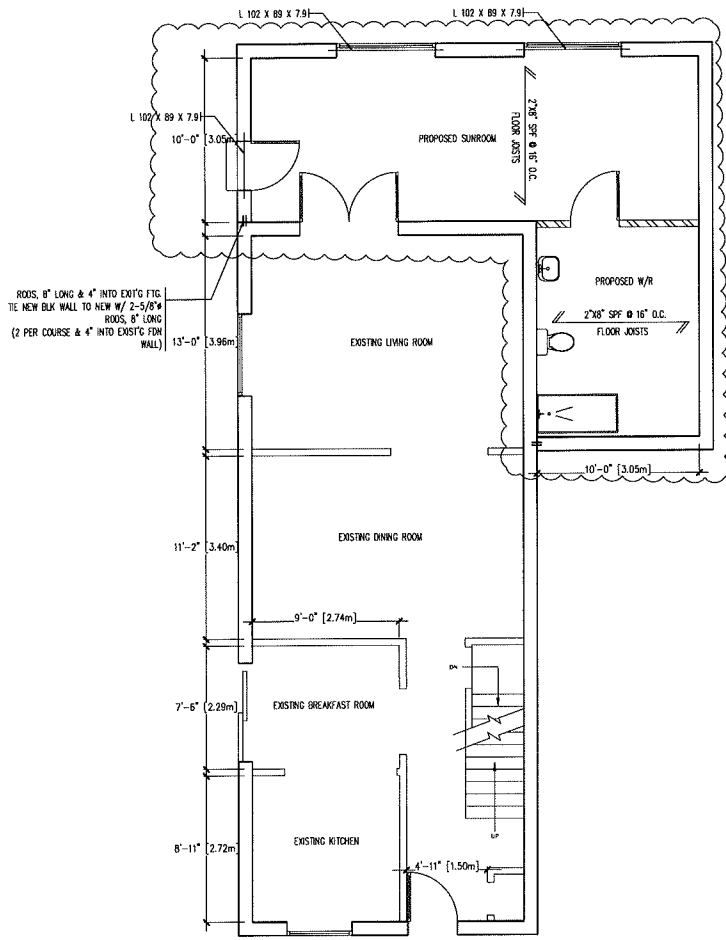
PROJECT NAME
SUN ROOM ADDITION
 15 GLENEADEN CT
 BRAMPTON, ONTARIO

TITLE
SUN ROOM ADDITION
 (EXISTING FLOOR PLAN)

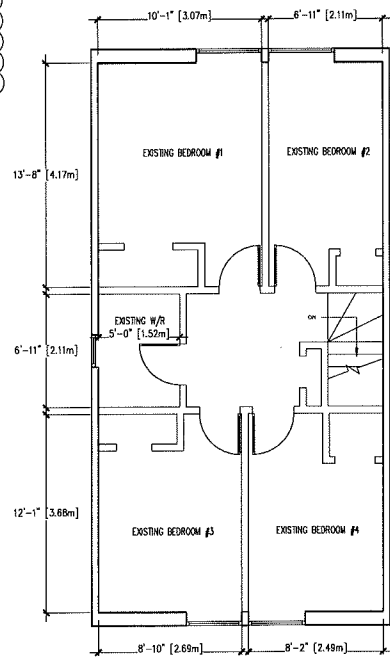
PROJECT NO.	24030
SCALE	see plan
DRAWN BY	V.V.
APPROVED BY	A-1
DATE	MAY 9, 2024



1
A2
EXISTING BASEMENT PLAN
Scale: 1"-0" = 1/4"



2
A2
EXISTING GROUND FLOOR
Scale: 1"-0" = 1/4"



3
A2
EXISTING SECOND FLOOR
Scale: 1"-0" = 1/4"

CONSTRUCTION SPECIFICATIONS

1. GENERAL NOTES:

- CONTRACTOR TO VERIFY AND REPORT ALL ACTUAL DIMENSIONS AND CONDITIONS ON SITE.
- CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING DURING ALL PHASES OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP AND DISPOSAL OF ALL DEBRIS DURING AND ON COMPLETION OF THE CONTRACT.
- CONTRACTOR TO PERFORM WORK IN STRICT ACCORDANCE WITH ONTARIO BUILDING CODE AND ANY OTHER CODES OF LOCAL APPLICATION.

2. INTERIOR STUD PARTITION:

- 1/2" DRYWALL FINISH
- 2"x4" STUDS @ 16" O.C.

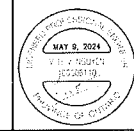
3. WINDOWS & LINTELS:

- STEEL LINTELS SHALL HAVE MIN. 6" BEARING AT END SUPPORTS
- MASONRY OVER OPENINGS SHALL BE SUPPORTED BY STEEL LINTELS
- AS FOLLOWS:
- L1: L-89 X 89 X 6.4 FOR SPANS < 1.2m
- L2: L-89 X 89 X 7.9 FOR SPANS < 1.5m
- L3: L-102 X 89 X 7.9 FOR SPANS < 1.9m
- L4: L-102 X 89 X 7.9 FOR SPANS < 2.1m
- L5: L-127 X 89 X 7.9 FOR SPANS < 2.4m

REVISION	
NO.	DATE
01	MAY 9, 2024
	ISSUE FOR PERMIT

LEGENDS

	EXISTING PARTITION WALL
	PROPOSED PARTITION/FLOORING WALL
	2"x4" WOOD STUD
	1/2" GYPSUM BOARD



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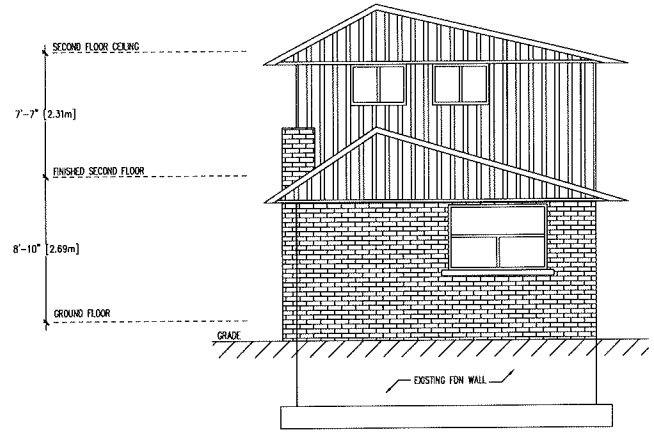
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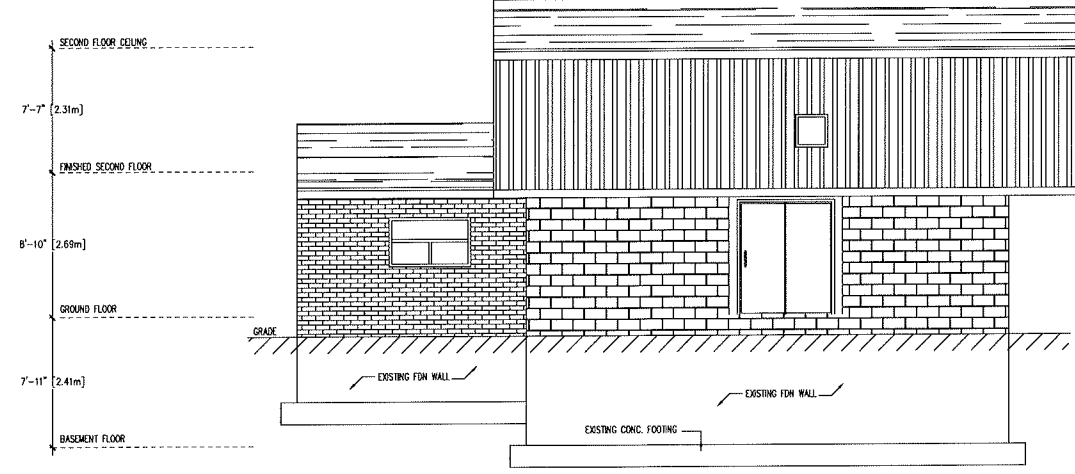
PROJECT NAME
SUN ROOM ADDITION
15 GLENEADEN CT
BRAMPTON, ONTARIO

TITLE
SUN ROOM ADDITION
(PROPOSED FLOOR PLAN)

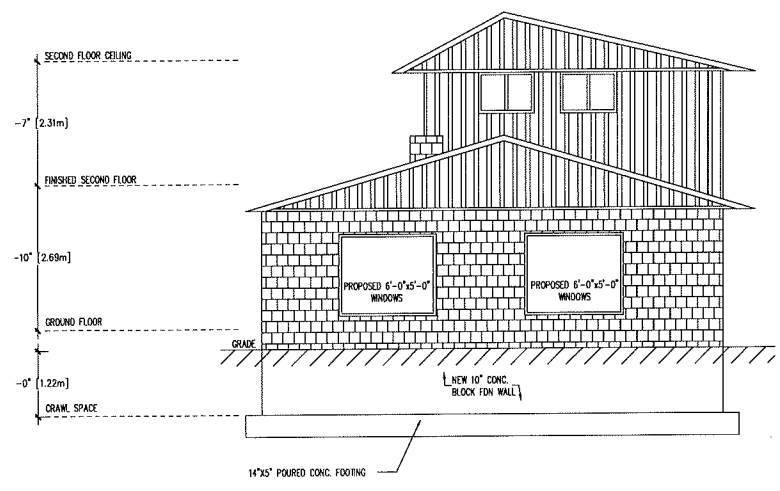
PROJECT NO.	24030	DRAWING NO. A-2
SCALE	see plan	
DRAWN BY	V.V.	
APPROVED BY		
DATE	MAY 9, 2024	



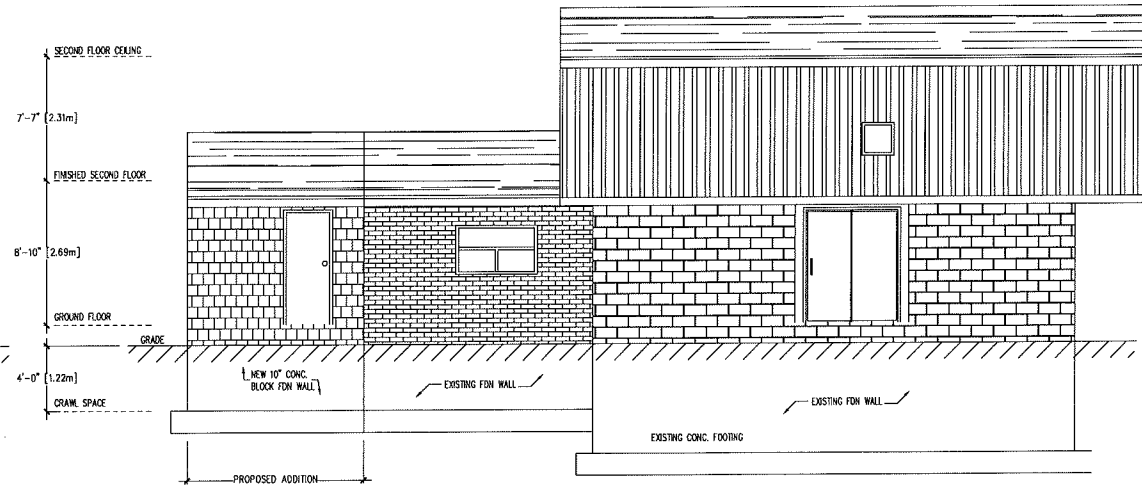
1
A3 SOUTH ELEVATION (EXISTING)
Scale: 1'-0" = 1/4"



2
A3 WEST ELEVATION (EXISTING)
Scale: 1'-0" = 1/4"

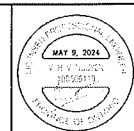


3
A3 SOUTH ELEVATION (PROPOSED)
Scale: 1'-0" = 1/4"



4
A3 WEST ELEVATION (PROPOSED)
Scale: 1'-0" = 1/4"

REVISION		
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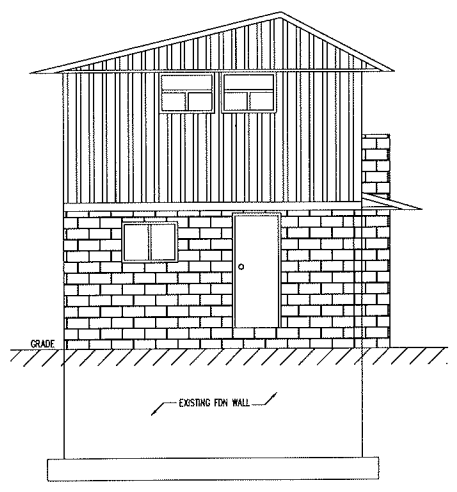
PROJECT NAME
**SUN ROOM ADDITION
15 GLENEADEN CT
BRAMPTON, ONTARIO**

TITLE
**SUN ROOM ADDITION
(SOUTH & WEST ELEVATION)**

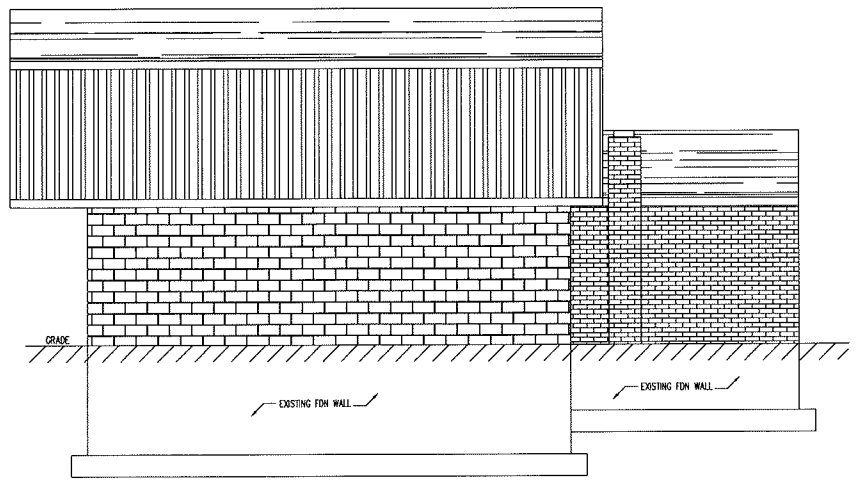
PROJECT NO.	24030	DRAWING NO. A-3
SCALE	see plan	
DRAWN BY	v.v.	
APPROVED BY		
DATE	MAR. 11, 2024	

REVISION		DESCRIPTION
NO.	DATE	
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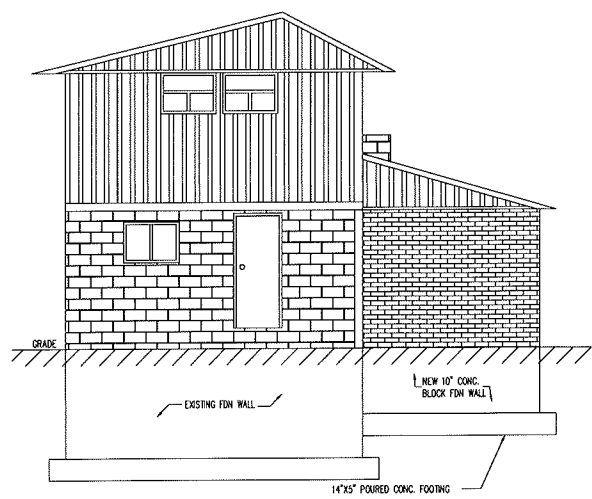
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<p>THE HQ SYSTEM ENGINEERING SERVICES 110 Marine Parade Dr., #601, Toronto, MBV 0B6 Tel: 647-948-5857 Web: hqsystem.com Email: info@hqsystem.com</p>		
<p>PROJECT NAME SUN ROOM ADDITION 15 GLENEADEN CT BRAMPTON, ONTARIO</p>		
<p>TITLE SUN ROOM ADDITION (NORTH & EAST ELEVATIONS)</p>		
PROJECT NO.	24030	A-4
SCALE	see plan	
DRAWN BY	V.V.	
APPROVED BY		
DATE	MAY 9, 2024	



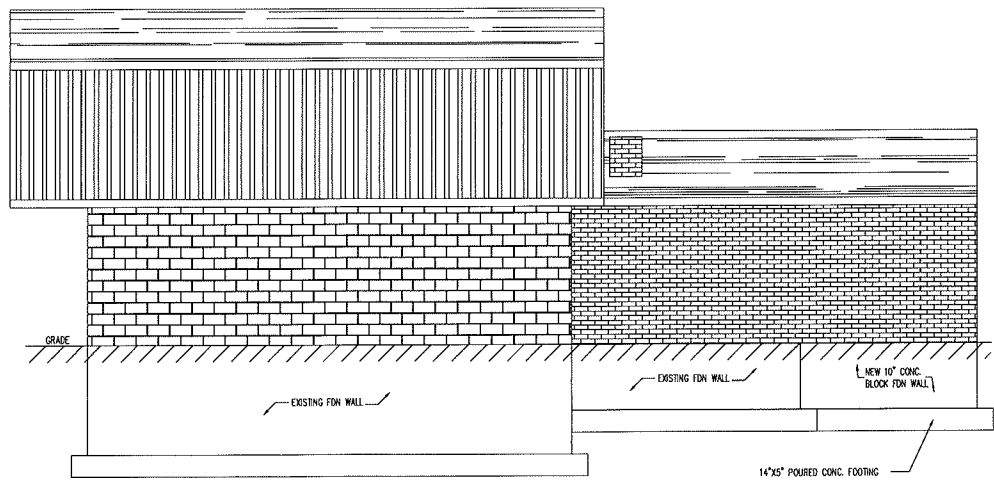
1
A4 NORTH ELEVATION (EXISTING)
Scale: 1'-0" = 1/4"



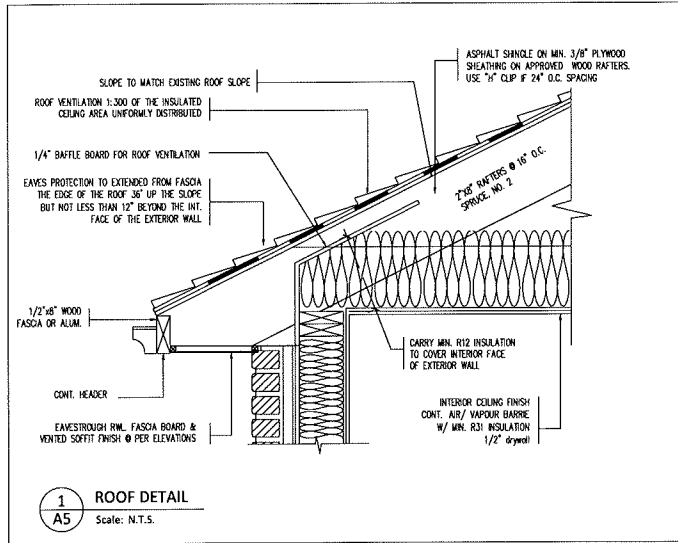
2
A4 EAST ELEVATION (EXISTING)
Scale: 1'-0" = 1/4"



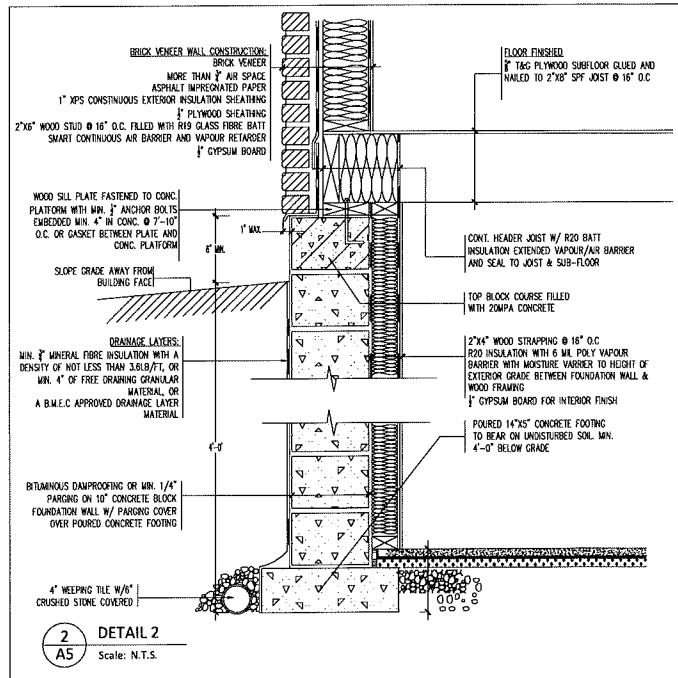
3
A4 NORTH ELEVATION (PROPOSED)
Scale: 1'-0" = 1/4"



4
A4 EAST ELEVATION (PROPOSED)
Scale: 1'-0" = 1/4"



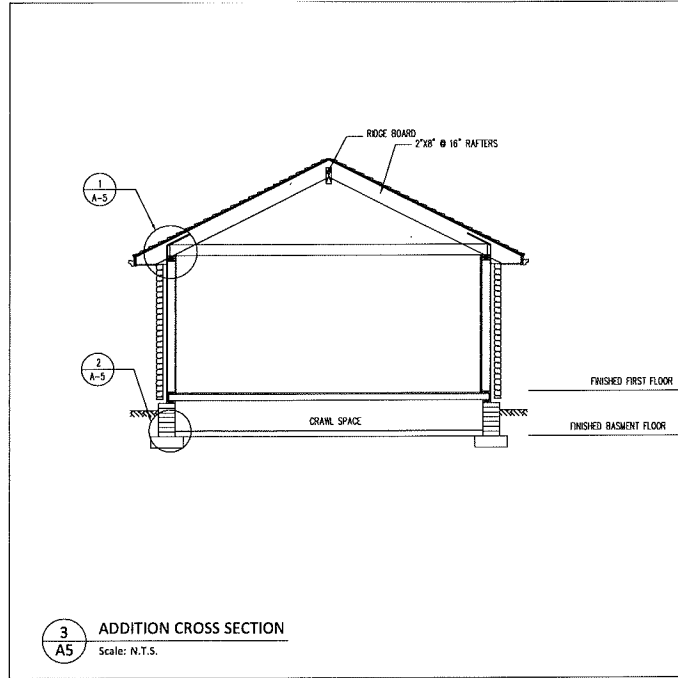
1 ROOF DETAIL
A5 Scale: N.T.S.



2 DETAIL 2
A5 Scale: N.T.S.

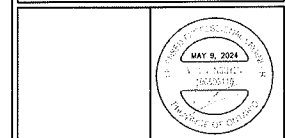
CONSTRUCTION SPECIFICATIONS:

- (01) BASEMENT SLAB
3\"/>
- (02) FOUNDATION WALL
BITUMINOUS DAMPROOFING ON MIN. 1/4\"/>
- (03) FOUNDATION INSULATION
1\"/>
- (04) DRAINAGE
4\"/>
- (05) BRICK VENEER WALL
BRICK VENEER
MORE THAN 3/8\"/>
- (06) GRADE
SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COURSE @ OR BELOW GRADE LEVEL.
- (07) FLOOR INSULATION
CONTINUOUS HEADER JOIST W/ R20 BATT INSULATION, EXTEND VAPOUR/AR BARRIER & SEAL TO JOIST & SUBFLOOR.
- (08) EAVES PROTECTION
EAVES PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF, 36\"/>
- (09) CEILING CONSTRUCTION
1\"/>
- (10) WALL/CEILING INSULATION
CARRY MIN. R19+5ci INSULATION TO COVER THE INTERIOR FACE OF THE EXTERIOR WALL.
- (11) FLOOR CONSTRUCTION
1\"/>
- (12) INTERIOR STUD PARTITION
1\"/>



3 ADDITION CROSS SECTION
A5 Scale: N.T.S.

REVISION		
NO.	DATE	DESCRIPTION
00	MAY 9, 2024	ISSUE FOR PERMIT



These drawings prepared for permit application only. Contractors quoting on job must visit site and make allowances where necessary, report any discrepancies to the designer before commencing any work. Do not scale drawings.

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PROJECT NAME
SUN ROOM ADDITION
15 GLENEADEN CT
BRAMPTON, ONTARIO

TITLE
SUN ROOM ADDITION
(NOTES & DETAILS)

PROJECT NO.	24030	DRAWING NO. A-5
SCALE	see plan	
DRAWN BY	V.V.	
APPROVED BY		
DATE	MAY 9, 2024	

Zoning Non-compliance Checklist

File No.
A-2024-0248

Applicant: Devanand Bhagwan

Address: 15 Gleneaden Ct, Brampton, ON L6S 2J7

Zoning: R3A(4)-128

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
SETBACKS			
BUILDING HEIGHT			
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
ENCROACHMENTS	To vary Schedule C- Section 128(a) of the By- Law to permit a 176m ² residential addition in the interior side yard	Whereas the By-Law requires that all buildings and structures be located in accordance with the building footprint outlined on Schedule C-Section 128(a)	128

John C. Cabral
Reviewed by Zoning

2024-06-10
Date