

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

Application Number: A-2024-0249
Property Address: 1 Larande Court
Legal Description: Plan 43M1721, Lot 15, Ward 4
Agent: Malav Shah
Owner(s): Anila Menon, Sureshkumar Menon
Other applications: nil
under the *Planning Act*

Meeting Date and Time: Tuesday, August 20, 2024, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit a rear yard setback of 4.44 metres to a proposed sunroom addition, whereas the by-law requires a minimum rear yard setback of 7.50 metres.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, August 15, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, August 15, 2024**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

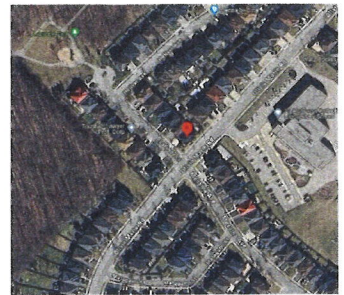
Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

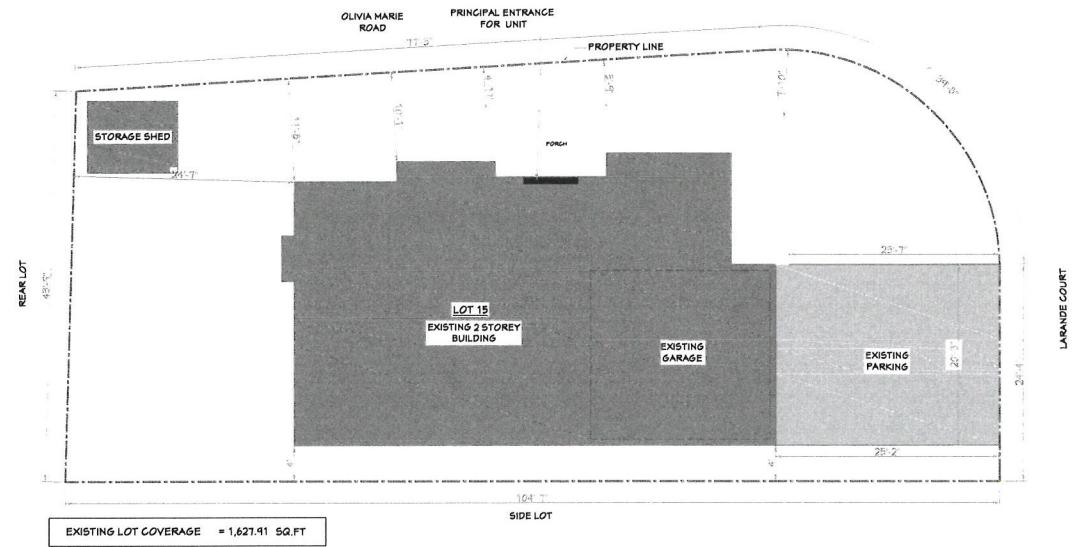
Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 7th day of August 2024

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca

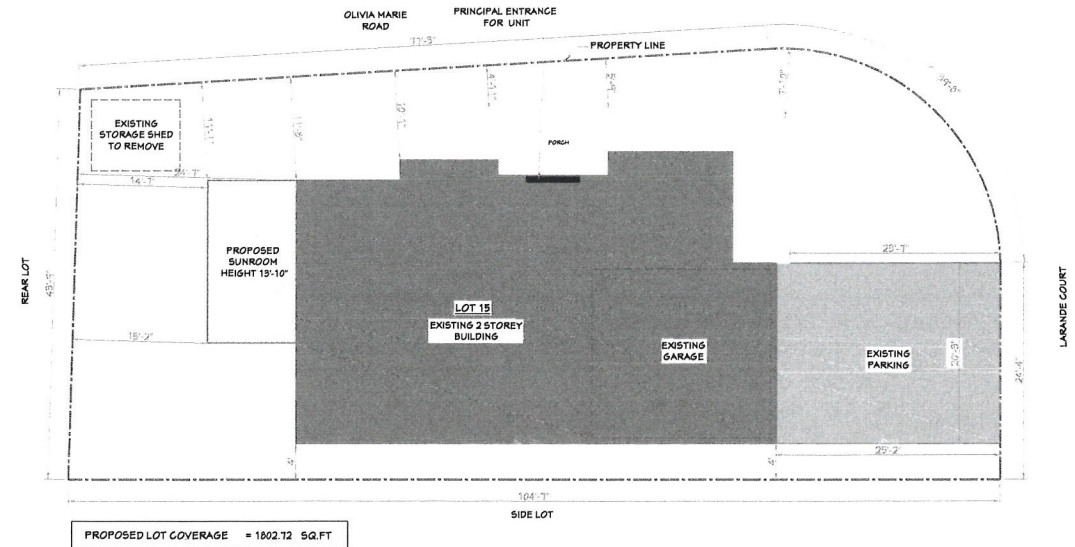


Received / Revised
 AUG 02 2024
 Committee of Adjustment



EXISTING SITE LAYOUT
 (SCALE : 1/16" = 1'-0")

EXISTING LOT COVERAGE = 1,627.91 SQ.FT



PROPOSED SITE LAYOUT
 (SCALE : 1/16" = 1'-0")

PROPOSED LOT COVERAGE = 1802.72 SQ.FT

LOT COVERAGE	
EXCLUDING SUNROOM	= 1620.39 SQ.FT
INCLUDING SUNROOM	= 1802.72 SQ.FT

TITLE
 1 LARANDE COURT,
 BRAMPTON, ON
 SITE PLAN

PROJECT INFORMATION
 PROJECT NO 24-188
 CUSTOMER SAI PERMIT SOLUTION
 PROJECT 1 LARANDE COURT

DESIGNER INFORMATION

BY	BPP
TITLE	
SCALE	3/16" = 1'-0"
REV	DATE
0	2024.09.22
1	
2	
ENGINEER	M5
DRAFTED BY	VV
CHECKED BY	M5

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 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
 UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE

SHEET A103
 REV 00

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