

Flower City



brampton.ca

FILE NUMBER:

A-2024-0249

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Anila Menon / Sureshkumar Menon
Address 1 Laran de Court, Brampton, ON L6Y 0N1

Phone # 647-703-5574 Fax # _____
Email ~~maps.permit@gmail.com~~ menon-anila@yahoo.com

2. Name of Agent Malav Shah
Address 688 Hespeler Road, Cambridge, ON N1T 8N7

Phone # 647-770-2966 / 437-880-8197 Fax # _____
Email info@blueprintspermit.com

3. Nature and extent of relief applied for (variances requested):
PROPERTY IS ZONED RIC-1279.

MINIMUM YARD SET BACK = 7.5m.

PROPOSED SIDE YARD SET BACK = 4.44m.

PROPOSING SUNROOM IN BACK YARD.

4. Why is it not possible to comply with the provisions of the by-law?
OWNERS WILLING TO ADD SUN-ROOM FOR LEISURE PURPOSE.

5. Legal Description of the subject land:
Lot Number 15
Plan Number/Concession Number 48M-121
Municipal Address 1 LARANDE COURT, BRAMPTON.

6. Dimension of subject land (in metric units)
Frontage _____
Depth _____
Area _____

7. Access to the subject land is by:
 Provincial Highway
 Municipal Road Maintained All Year
 Private Right-of-Way
 Seasonal Road
 Other Public Road
 Water

- 0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

SINGLE FAMILY DWELLING UNIT.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ADDITION OF SUN-ROOM ATTACHED TO ~~SUN-ROOM~~ THE EXISTING SINGLE FAMILY DWELLING UNIT.

- 1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.67m / 7.20m.
 Rear yard setback 7.5m.
 Side yard setback 1.22m / 1.23m.
 Side yard setback 2.38m / 1.74m / 1.50m / 3.07m / 3.55m.

PROPOSED

Front yard setback 7.67m / 7.20m
 Rear yard setback 4.44m.
 Side yard setback 1.22m / 1.23m
 Side yard setback 2.38m / 1.74m / 1.50m / 3.07m / 3.55m

- 0. Date of Acquisition of subject land: 2006
- 1. Existing uses of subject property: 2006
- 2. Proposed uses of subject property: RESIDENTIAL.
- 3. Existing uses of abutting properties: RESIDENTIAL.
- 4. Date of construction of all buildings & structures on subject land: 2006
- 5. Length of time the existing uses of the subject property have been continued: 17 YRS.

- 16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
 Well

- (b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
 Septic

- (c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property of an application for minor variance? ever been the subject

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 27 DAY OF JUNE, 20 24

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Malav Shah, OF THE CITY OF Cambridge
REGION WATERLOO
IN THE Prov OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 27th DAY OF
June, 20 24

A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: R1C-1279

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar

Zoning Officer

June 19, 2024

Date

DATE RECEIVED June 27, 2024

VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 1 Lavande Ave Brampton

By: Anita Menon / Suresh Kumar Menon
please print/type the full name of the owner(s)

the undersigned being the registered owner(s) of the subject lands, hereby authorize

BLUE PRINTS PERMIT C/O MALAK SMAIL
please print/type the full name of the agent(s)

to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land

Dated this 11th day of June 2024

[Signature]
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

[Blank line]
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 1 Lavande Ave. Brampton

By: Anita Menon / Subash Kumar Menon
(please print/type the full name of the owner(s))

the undersigned, being the registered owner(s) of the subject land hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12th day of June 2024

[Signature] [Signature]
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 10, 11, 12, 13, 14 AND 15
PLAN 43M-1721
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 43M-1721
- P DENOTES PORCH

ALL FOUND MONUMENTS BY J. D BARNES LIMITED, O.L.S.
 ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEAST LIMB OF LARANDE COURT AS SHOWN ON PLAN 43M-1721 HAVING A BEARING OF N44°12'30"W

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

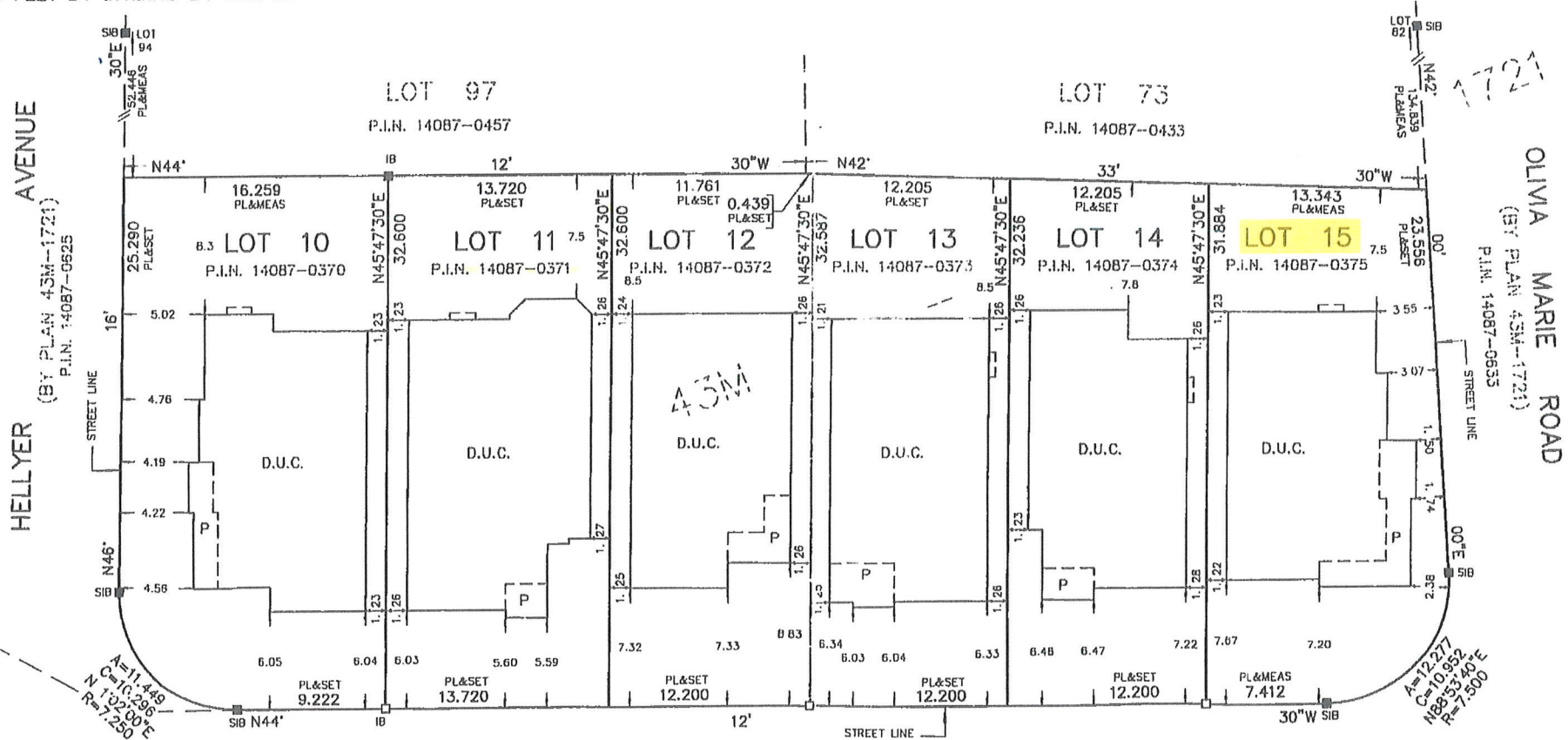
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 20 DAY OF DECEMBER, 2006

DATE Dec. 21st 2006

T. Singh
 T. SINGH

ONTARIO LAND SURVEYOR



ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
1633286

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

THIS REPORT WAS PREPARED FOR H & R DEVELOPMENTS AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

(BY PLAN 43M-1721)
 P.I.N. 14087-0E27

pe RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 CHRISLEA ROAD, SUITE 7, WOODBRIDGE, ONTARIO
 Tel. (416)635-5000 Fax (416)635-5001
 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: T.S.
 CAD FILE No.1721-10 JOB No. 06-263



1 LARANDE COURT, BRAMPTON, ON

ADDITION OF SUN ROOM

DRAWING INDEX

SHEET	DESCRIPTION
A101	COVER PAGE
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A104	EXISTING BASEMENT
A105	EXISTING FIRST FLOOR
A106	PROPOSED FIRST FLOOR
A107	SUN ROOM DETAIL
A108	LEFT SIDE ELEVATION
A109	RIGHT SIDE ELEVATION
A110	LEFTSIDE ELEVATION

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS, SITE CONDITION AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF THE WORK.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE 2012, AND THE CITY BYLAWS AND STANDARDS.
3. IT IS ASSUMED THAT ALL THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCE REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
4. BY COMMENCING THE CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGE THAT THE GENERAL NOTES HAVE BEEN UNDERSTOOD.



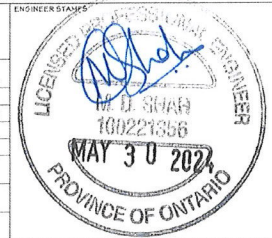
TITLE
1 LARANDE COURT,
BRAMPTON, ON
COVER PAGE

PROJECT INFORMATION

PROJECT NO: 24-188
CUSTOMER: SAI PERMIT SOLUTION
PROJECT: 1 LARANDE COURT

DESIGNER INFORMATION

BY: BPP
TITLE: N.T.S.
SCALE: N.T.S.
REV: 0 DATE: 2024-03-22
1
2
ENGINEER: M5
DRAWN BY: YY
CHECKED BY: M5



ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS PERMIT AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM BLUE PRINTS PERMIT.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE

SHEET
REV
A101
00



688 Hespeler Road, Unit 2B-5
Cambridge, ON, Canada, N1R 8N1
M: 647-770-2466 O: 905-566-4640
Email: info@blueprintspermit.com
Website: www.blueprintspermit.com

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO • BUILDING CODE, O.REG. 332/12; AND ANY CONSTRUCTION CHANGES MADE THAT ARE NOT A PART OF THE ISSUED REVIEWED PERMIT DRAWINGS WILL REQUIRE AN ADDITIONAL REVISION PERMIT.
- 9.174.2 MATERIALS
 - (1) WOOD COLUMNS SHALL BE EITHER SOLID, GLUE-LAMINATED OR BUILT-UP
 - (2) BUILT-UP COLUMNS SHALL CONSIST OF NOT LESS THAN 38mm THICK FULL-LENGTH MEMBERS,
 - (a) BOLTED TOGETHER WITH NOT LESS THAN 9.52mm DIAM BOLTS SPACED NOT MORE THAN 450mm O.C. OR
 - (b) NAILED TOGETHER WITH NOT LESS THAN 76mm NAILS SPACED NOT MORE THAN 300mm O.C.
 - (3) GLUED-LAMINATED COLUMNS SHALL CONFORM TO SECTION 4.3.
- ALL LUMBER TO BE NO.142 SPRUCE OR BETTER
- ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
- MECHANICAL DRAWINGS TO BE COMPLETED BY OTHERS. THIS DRAWINGS REFLECTS ARCHITECTURAL & STRUCTURAL DETAIL ONLY
- PROVIDE CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19,"RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO AN ELECTRICAL OUTLET.
- WHERE NEW CONSTRUCTION COULD RESTRICT THE SUPPLY OF COMBUSTION AIR OF ANY EXISTING FUEL-FIRE APPLIANCE, AN ADEQUATE COMBUSTION AIR SUPPLY SHALL BE PROVIDED TO ENSURE PROPER COMBUSTION AND SAFE OPERATION OF THE FURNACE AND/OR SERVICE WATER SUPPLY.
- PROVISIONS SHALL BE MADE FOR RETURN-AIR FROM ALL ROOMS BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS OR INSTALLING RETURN-AIR INLETS SHALL NOT BE INSTALLED IN AN ENCLOSED ROOM OR CRAWL SPACE THAT PROVIDES COMBUSTION AIR TO THE FURNACE OR SERVICE WATER HEATER.
- NATURAL VENTILATION FOR LIVING ROOM, DINING ROOM, BEDROOMS AND KITCHEN MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.28M2 PER ROOM OR COMBINATION OF ROOMS. NATURAL VENTILATION FOR BATHROOMS OR WATER CLOSET ROOMS MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.09M2. WHERE A ROOM OR SPACE IS NOT PROVIDED WITH NATURAL VENTILATION, MECHANICAL VENTILATION SHALL BE PROVIDED. EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR.
- ELECTRICAL WORK MUST BE INSPECTED BY THE ELCTRICAL SAFETY AUTHORITY.

HELICAL PILES

- TECHNO METAL POST HELIX SYSTEM: PILE WITH ONE OR MORE HELICAL SHAPED STEEL HELIX ATTACHED TO A CENTRAL STEEL SHAFT CONNECTED TO THE STRUCTURE WITH A STEEL BRACKET.
- PROVIDE A CCMC EVALUATION REPORT THAT DEMONSTRATES COMPLIANCE OF THE PRODUCT WITH THE NATIONAL BUILDING CODE 2010.
- THE INSTALLERS MUST BE TRAINED AND CERTIFIED BY THE HELICAL PILE MANUFACTURER EXPERIENCED AND SPECIALIZED IN THE INSTALLATION OF SIMILAR STRUCTURES TO THOSE REQUIRED FOR THIS PROJECT. FOR EACH INSTALLER WHO WILL WORK ON THE JOBSITE, PROVIDE A CERTIFICATE OR A CARD SHOWING THAT THE INSTALLER IS TRAINED AND CERTIFIED BY THE MANUFACTURER.
- PROVIDE INSTALLATION EQUIPMENT CAPABLE OF POSITIONING THE HELICAL PILE TO THE DESIRED RESISTANCE AND ANGLE. THE INSTALLATION EQUIPMENT MUST BE EQUIPPED WITH A DEVICE THAT PROVIDES TORQUE READINGS DURING THE INSTALLATION. ON REQUEST, PROVIDE ACCESS TO THE TORQUE READING DATA TO THE ENGINEER, INSPECTOR OR THE OWNER.
- MONITOR THE TORQUE READINGS DURING THE INSTALLATION AND RECORD THE FINAL TORQUE READING VALUES FOR EACH HELICAL PILE. ENSURE THAT THE TORQUE IS GRADUAL AND CONSTANT IN THE LAST METER OF INSTALLATION. REMOVE ALL OBSTRUCTIONS ENCOUNTERED OR RELOCATE AND ADJUST SCREW PILES AS REQUIRED. THE INSTALLER MUST ENSURE THAT THE HELIX OF THE PILE IS EMBEDDED INTO UNDISTURBED SOIL.

NOTES

- MINIMUM HEADROOM : 6'5" (1950mm)
- SUPPLY VENT DUPLEX RECEPTACLE OUTLET EXISTING WALL DOUBLE DOOR SIZE 24" W X 80" H
- RETURN GRILLE POT LIGHT NEW WALL
- LIGHT FIXTURE SINGLE POLE SWITCH DEMOLISHED WALL

- W1 FRAME WALL CONSTRUCTION FINISH AS PER
- VINYL CLADDING, LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING
 - 2 X 6 WOOD STUD @ 16 O.C.
 - R20 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING & CONTINUOUS VAPOUR BARRIER - DOUBLE PLATE @ TOP
 - SOLE PLATE @ BOTTOM
 - 1/2" DRYWALL

ROOF CONSTRUCTION

SINGLE PLY EPDM RUBBER ROOFING MEMBRANE INTAKED AS/ MANUF.APPROVED WOOD TRUSSED @16" O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'11" FROM EDGE OF OF ROOF AND MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. ALUM. EAVESTROUGH, FASCIA, RVL. CONT. VAPOUR BARRIER W/ R31 INSULATION. IN SIDE 5/8" GYPSUM BOARD CEILING.

NAILING FOR FRAMING (O.B.C 9.23.3.4)		
CONSTRUCTION DETAIL	MIN. LENGTH OF NAILS, IN	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
FLOOR JOISTS TO PLATE-TOE NAIL	3 1/4"	2
WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	2 1/4"	2
CROSS BRIDGING TO JOISTS	2 1/4"	2 AT EACH END
DOUBLE HEADER OR TRIMMER JOISTS	3"	11 3/4" O/C
FLOOR JOISTS TO STUD (BALLOON CONSTRUCTION)	3"	2
LEDGER STRIP TO WOOD BEAM	3 1/4"	2 PER JOIST
JOIST TO JOIST SPLICE (SEE ALSO 9.23.13.8.)	3"	2 AT EACH END
HEADER JOIST NAILED TO JOISTS ALONG PERIMETER	4"	3
TAIL JOIST ADJACENT HEADER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
	4"	3
EACH HEADER JOIST TO ADJACENT TRIMMER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
	4"	3
STUD TO WALL PLATE (EACH END) TOE NAIL OR END NAIL	2 1/2"	4
	3 1/4"	2
DOUBLE STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS & CORNERS	3"	30" O/C
DOUBLE TOP WALL PLATES	3"	23 5/8" O/C
BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)	3 1/4"	15 3/4" O/C
INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4"	23 5/8" O/C
HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS-EACH END	3 1/4"	2
LINTELS TO STUDS	3 1/4"	2 AT EACH END
CEILING JOISTS TO PLATE TOE NAIL AT EACH END	3 1/4"	2
ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE - TOE NAIL	3 1/4"	3
RAFTER PLATE TO EACH CEILING JOIST	4"	2
RAFTER TO JOIST (WITH RIDGE SUPPORTED)	3"	3
RAFTER TO JOIST (WITH RIDGE UNSUPPORTED)	3"	SEE O.B.C. TABLE 9.23.13.8
GUSSET PLATE TO EACH RAFTER AT PEAK	2 1/4"	4
RAFTER AT RIDGE BOARD-TOE NAIL-END NAIL	3 1/4"	3
COLLAR TIE TO RAFTER-EACH END	3"	3
COLLAR TIE TO LATERAL SUPPORT TO EACH COLLAR TIE	2 1/4"	2
JACK RAFTER TO HIP OR VALLEY RAFTER	3 1/4"	2
ROOF STRUT TO RAFTER	3"	3
ROOF STRUT TO LOAD BEARING WALL - TOE NAIL	3 1/4"	2
2" X 6" OR LESS PLANK DECKING TO SUPPORT	3 1/4"	2
PLANK DECKING WIDER THAN 2" X 6" TO SUPPORT	3 1/4"	3
2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
2" EDGE LAID PLANK TO EACH OTHER	3"	11 3/4" O/C



TITLE 1 LARANDE COURT, BRAMPTON, ON
LEGEND & GENERAL NOTES

PROJECT INFORMATION

PROJECT NO 24-188

CUSTOMER SAI PERMIT SOLUTION

PROJECT 1 LARANDE COURT

DESIGNER INFORMATION

BY BPP

ENGINEER STATUS

TITLE N.T.S

SCALE N.T.S

REV 0 3/24/23 22

1

2

ENGINEER MS

DRAWN BY VY

CHECKED BY MS

ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS PERMIT AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM BLUE PRINTS PERMIT.

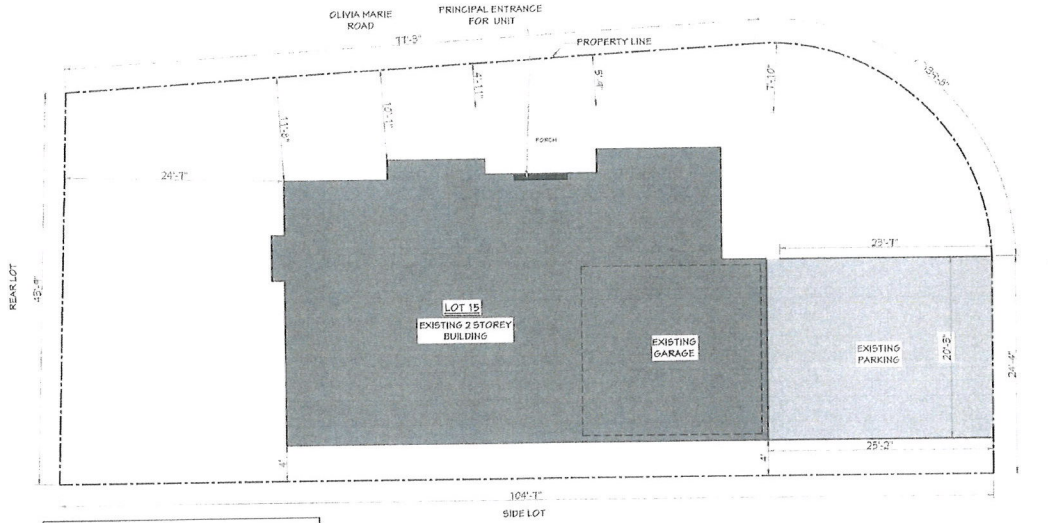
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.

UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE

SHEET A102

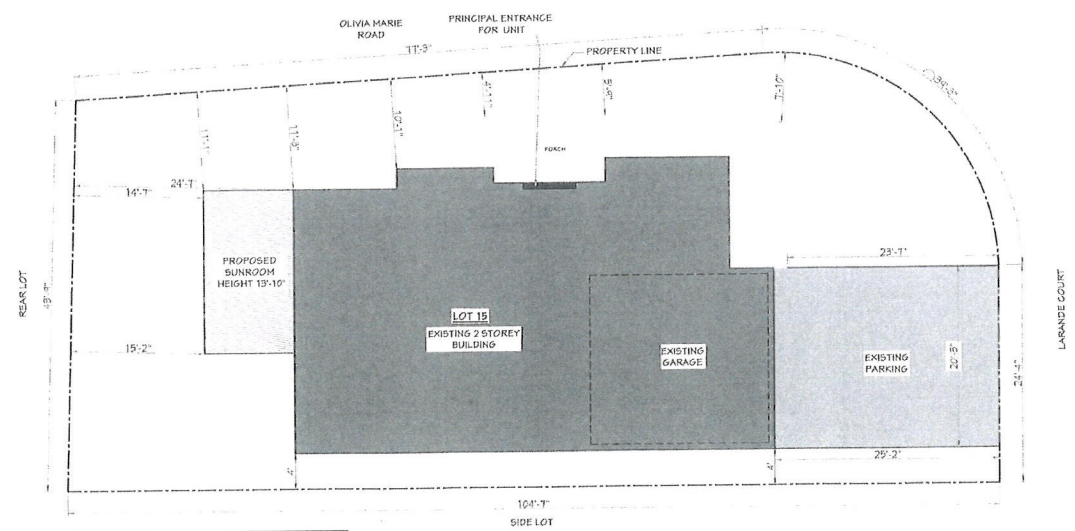
REV 00

688 Hespeler Road, Unit 2B-5
Cambridge, ON, Canada, N1R 6N1
M: 647-710-2166 O: 905-566-9640
Email: info@blueprintspermit.com
Website: www.blueprintspermit.com



EXISTING LOT COVERAGE = 1,621.91 SQ.FT

EXISTING SITE LAYOUT
(SCALE : 1/16" = 1'-0")



PROPOSED LOT COVERAGE = 1802.12 SQ.FT

PROPOSED SITE LAYOUT
(SCALE : 1/16" = 1'-0")

LOT COVERAGE	
EXCLUDING SUNROOM	= 1620.93 SQ.FT
INCLUDING SUNROOM	= 1802.12 SQ.FT



TITLE
1 LARANDE COURT,
BRAMPTON, ON
SITE PLAN

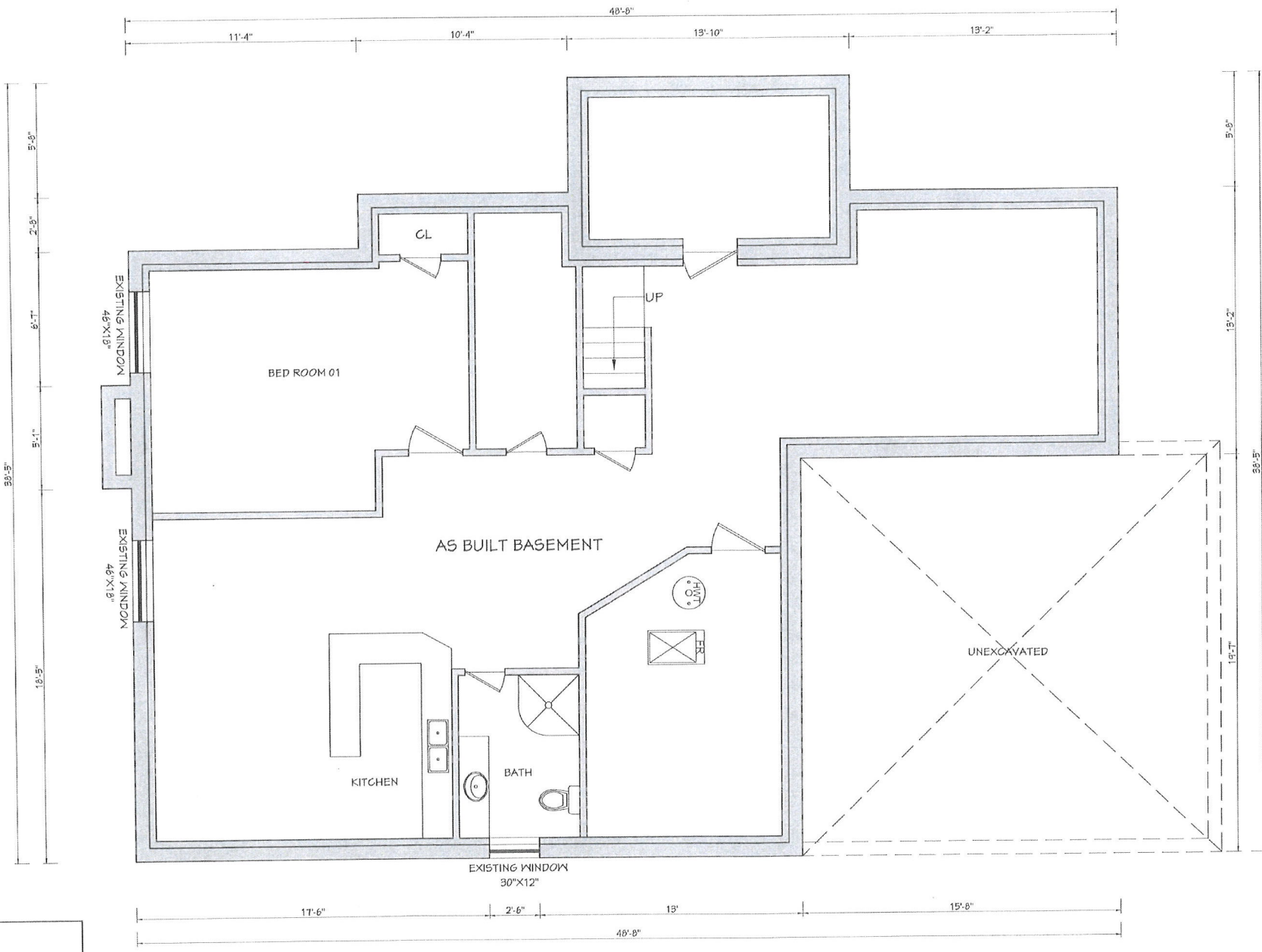
PROJECT INFORMATION
PROJECT NO: 24-188
CUSTOMER: SAI PERMIT SOLUTION
PROJECT: 1 LARANDE COURT

DESIGNER INFORMATION
BY: BPP
TITLE: 1 LARANDE COURT
SCALE: 3/16" = 1'-0"
REV 0 DATE 2024-03-22
1
2
ENGINEER: MS
DRAFTER BY: VV
CHECKED BY: MS

ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS PERMIT AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM BLUE PRINTS PERMIT. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE

SHEET: A103
REV: 00

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Cambridge, ON, Canada, N1R 8N7
M: 647-710-2166 O: 905-566-4640
Email: info@blueprintspermit.com
Website: www.blueprintspermit.com



LEGEND :

	EXISTING WALLS
	FIRE RATED WALLS
	NEW WALLS
	EXISTING TO BE REMOVED
	EXISTING COLUMNS

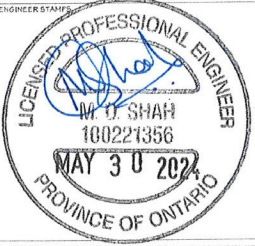
EXISTING BASEMENT
(SCALE : 3/16" = 1'-0")



TITLE
**1 LARANSE COURT,
BRAMPTON, ON
EXISTING BASEMENT**

PROJECT INFORMATION
PROJECT NO: 24-188
CUSTOMER: SAI PERMIT SOLUTION
PROJECT: 1 LARANSE COURT

DESIGNER INFORMATION
BY: BPP
ENGINEER STATUS: MS
TITLE: M.D. SHAH
SCALE: 3/16" = 1'-0"
REV: 0 DATE: 2024.09.22
1
2
ENGINEER: MS
DRAFTED BY: YY
CHECKED BY: MS

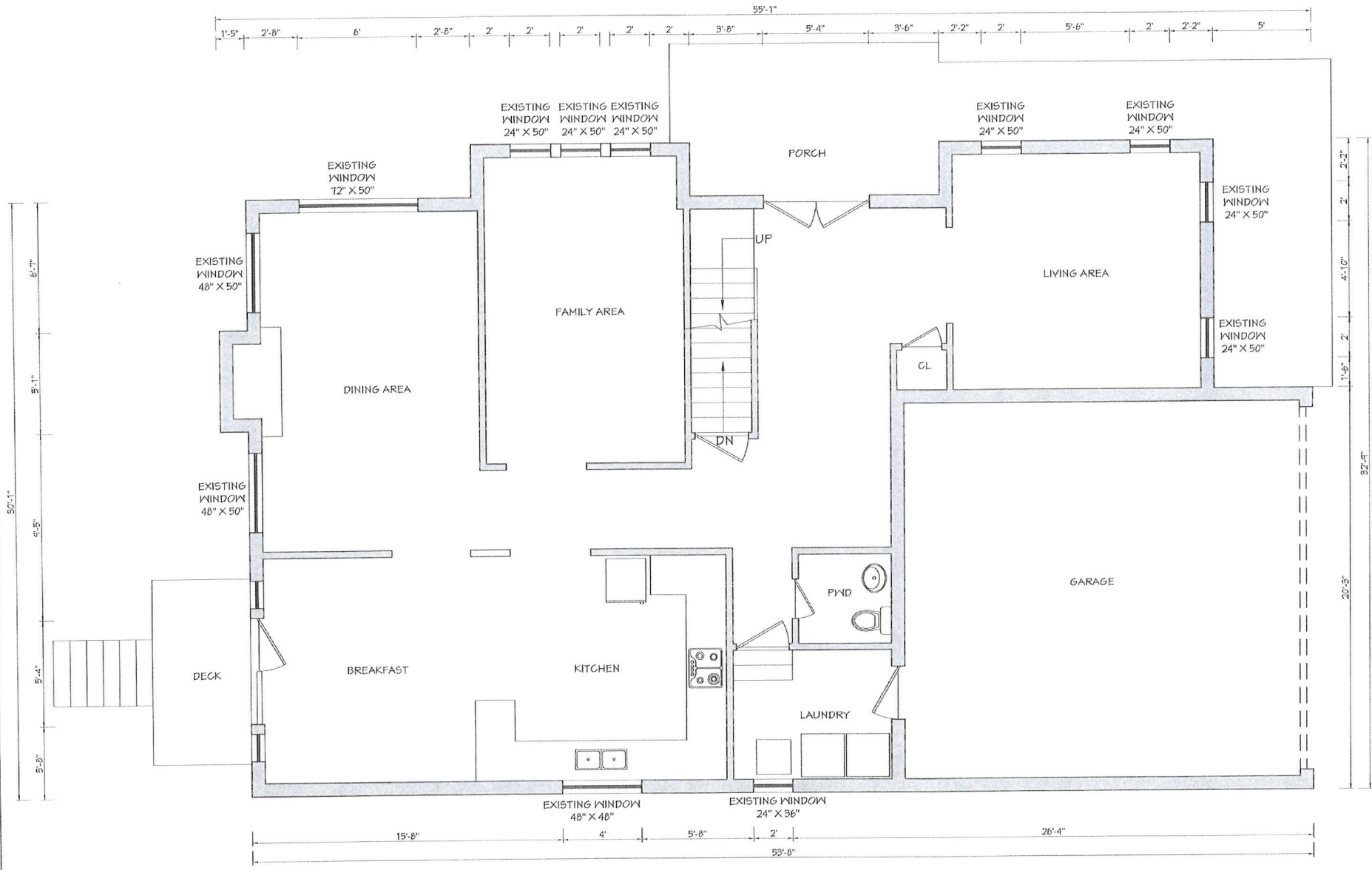


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UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE

SHEET
REV A104
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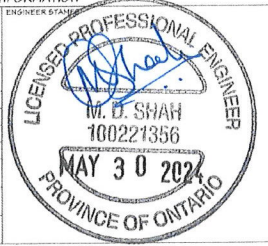
TITLE
**1 LARANSE COURT,
 BRAMPTON, ON
 EXISTING FIRST FLOOR**

PROJECT INFORMATION

PROJECT NO: 24-188
 CUSTOMER: SAI PERMIT SOLUTION
 PROJECT: 1 LARANSE COURT

DESIGNER INFORMATION

BY: BPP
 TITLE: BPP
 SCALE: 3/16" = 1'-0"
 REV: 0 DATE: 2024-05-22
 1
 2
 ENGINEER: MS
 DRAFTED BY: VV
 CHECKED BY: MS



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SHEET

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REV

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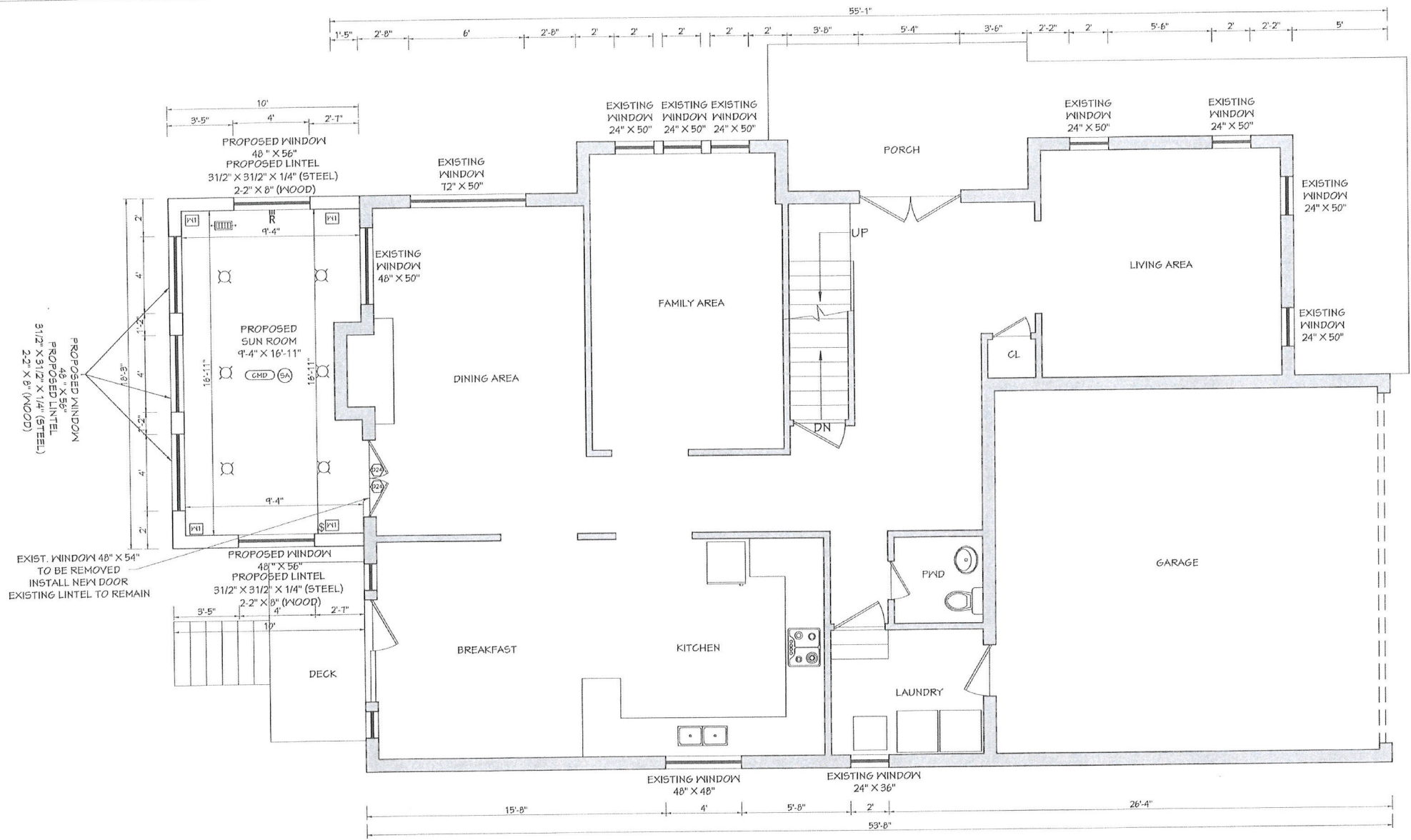


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LEGEND :

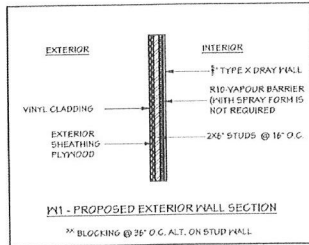
- EXISTING WALLS
- FIRE RATED WALLS
- NEW WALLS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

EXISTING FIRST FLOOR
 (SCALE : 3/16" = 1'-0")



LEGEND :

	EXISTING WALLS
	FIRE RATED WALLS
	NEW WALLS
	EXISTING TO BE REMOVED
	EXISTING COLUMNS



PROPOSED FIRST FLOOR
(SCALE : 3/16" = 1'-0")

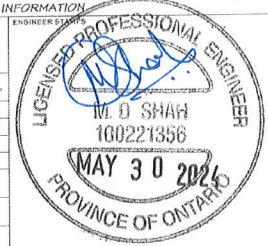
TITLE
**1 LARANDE COURT,
BRAMPTON, ON
PROPOSED FIRST FLOOR**

PROJECT INFORMATION

PROJECT NO	24-188
CUSTOMER	SAI PERMIT SOLUTION
PROJECT	1 LARANDE COURT

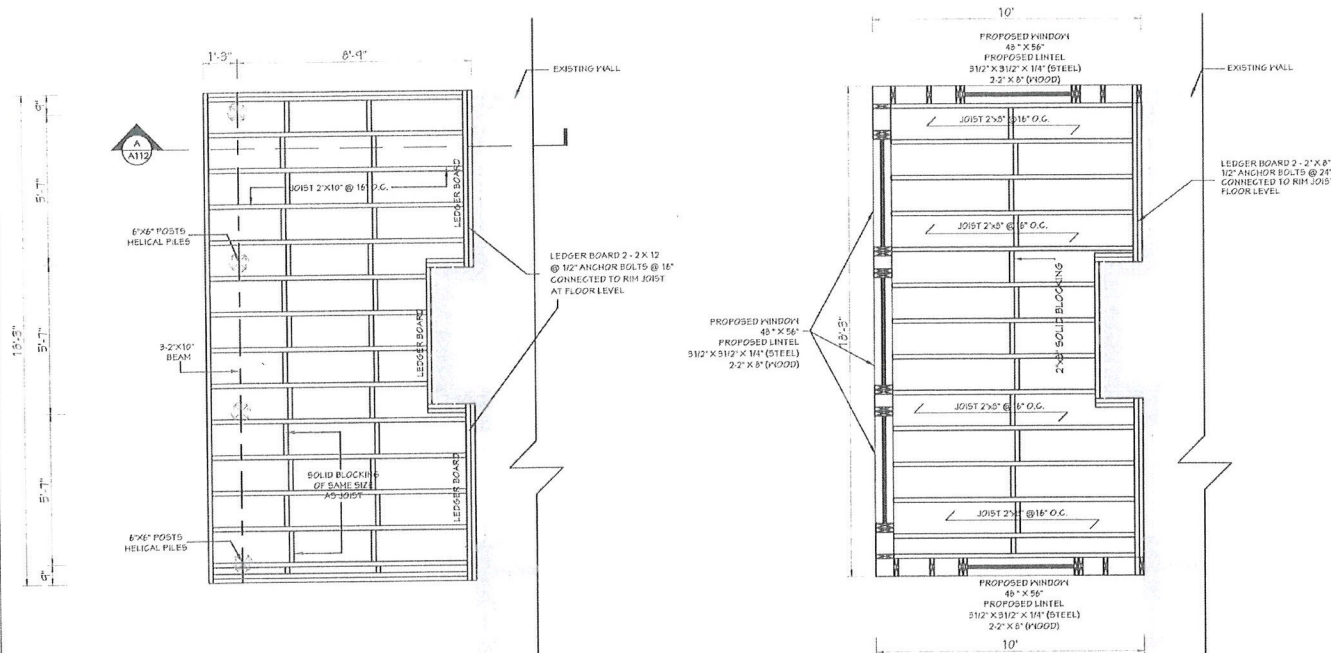
DESIGNER INFORMATION

BY	BPP
TITLE	ENGINEER
SCALE	3/16" = 1'-0"
REV	DATE
0	2024 05 22
1	
2	
ENGINEER	MS
DRAWN BY	VV
CHECKED BY	MS

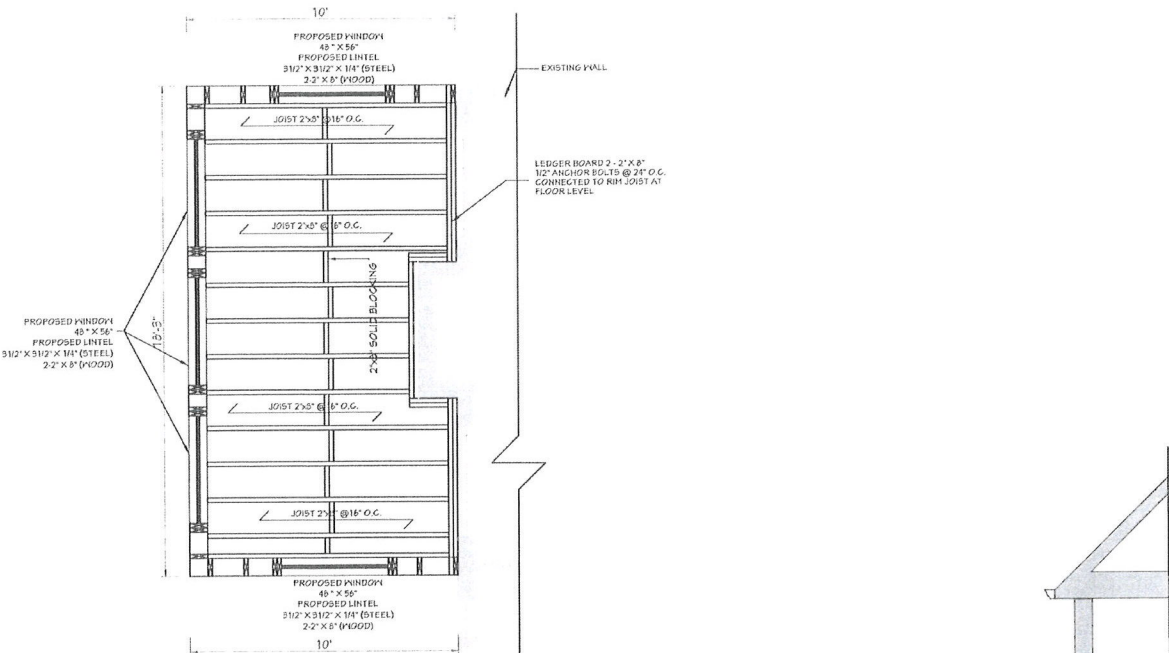


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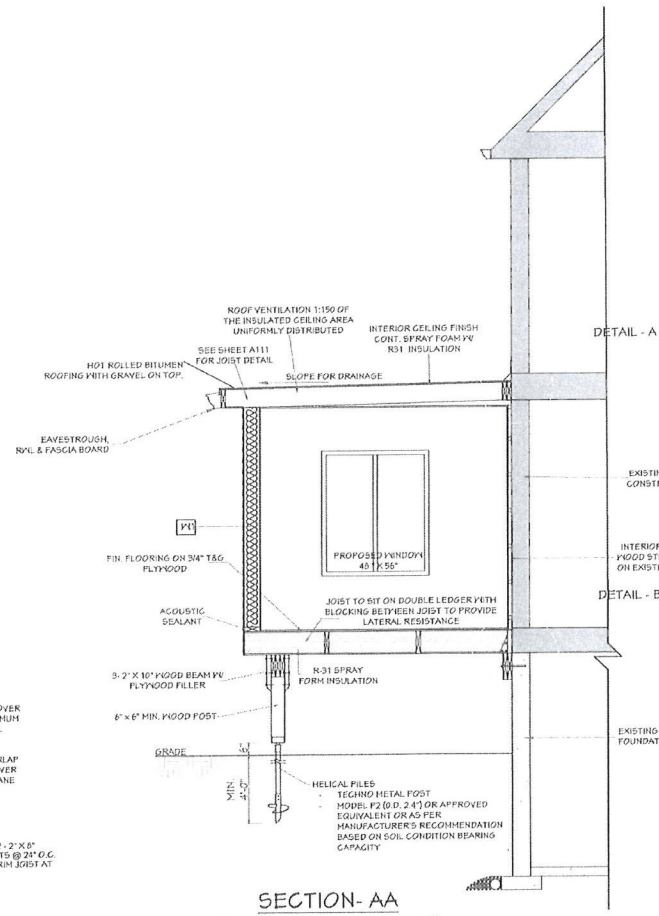
SHEET	A106
REV	00
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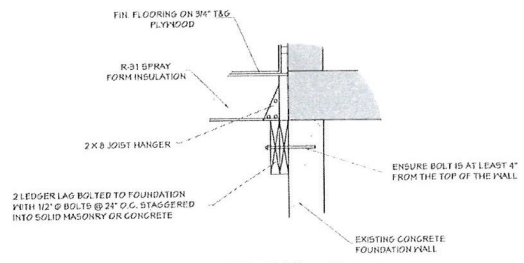
PARTIAL PROPOSED SUN ROOM DECK PLAN
(SCALE: 3/16" = 1'-0")



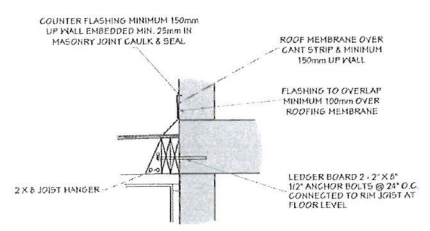
PARTIAL PROPOSED SUN ROOM ROOF PLAN
(SCALE: 3/16" = 1'-0")



SECTION-AA
(SCALE: 3/16" = 1'-0")



DETAIL - B
(SCALE: 3/8" = 1'-0")

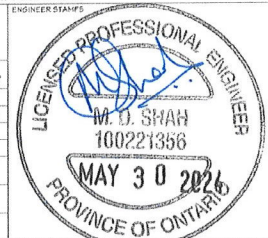


DETAIL - A
(SCALE: 3/8" = 1'-0")

TITLE
**1 LARANDE COURT,
BRAMPTON, ON
SUN ROOM DETAIL**

PROJECT INFORMATION
PROJECT NO: **24-188**
CUSTOMER: **SAI PERMIT SOLUTION**
PROJECT: **1 LARANDE COURT**

DESIGNER INFORMATION
BY: **BPP**
TITLE: **1 LARANDE COURT**
SCALE: **3/16" = 1'-0"**
REV 0 DATE 2024 03 22
1
2
ENGINEER: **MS**
DRAFTED BY: **YY**
CHECKED BY: **MS**

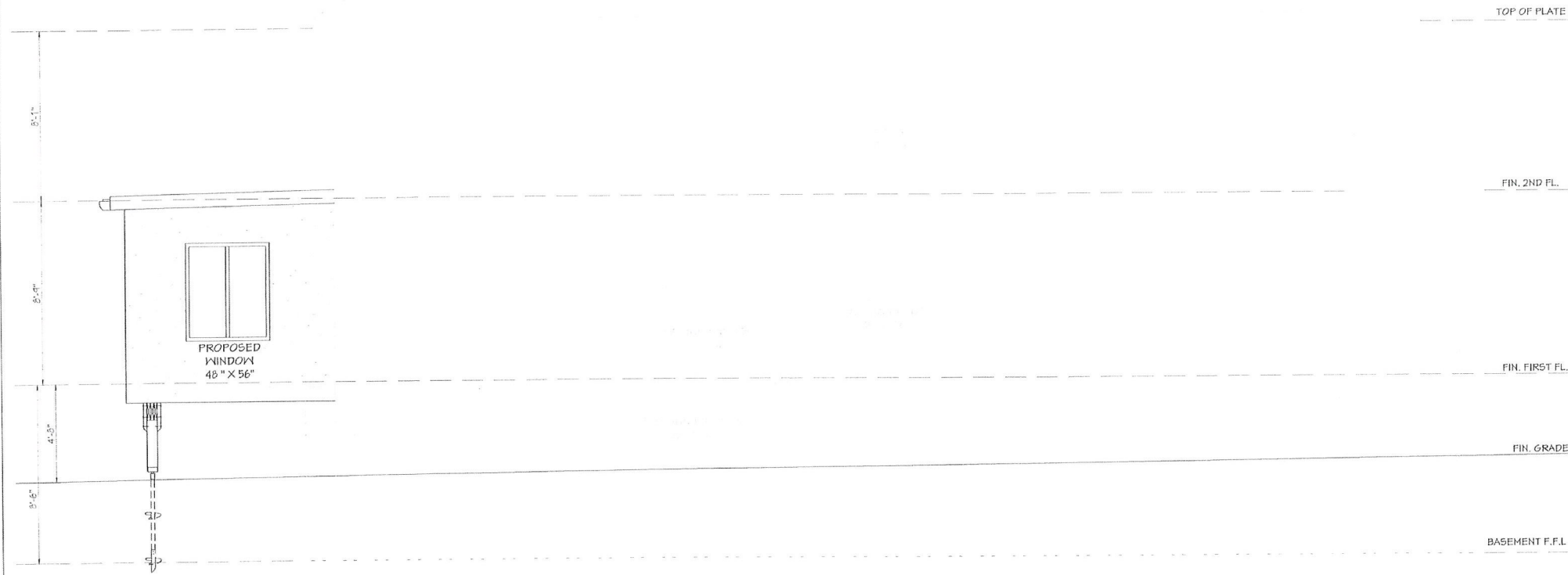


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SHEET **A107**
REV **00**



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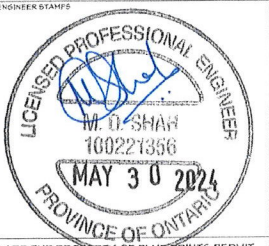


LEFT SIDE ELEVATION
SCALE 3/16"=1'-0"

TITLE
**1 LARANDE COURT,
BRAMPTON, ON
LEFT SIDE ELEVATION**

PROJECT INFORMATION
PROJECT NO: 24-188
CUSTOMER: SAI PERMIT SOLUTION
PROJECT: 1 LARANDE COURT

DESIGNER INFORMATION
BY: BPP
TITLE: BPP
SCALE: 3/16" = 1'-0"
REV. DATE
0 2024.05.22
1
2
ENGINEER: MS
DRAFTED BY: VY
CHECKED BY: MS

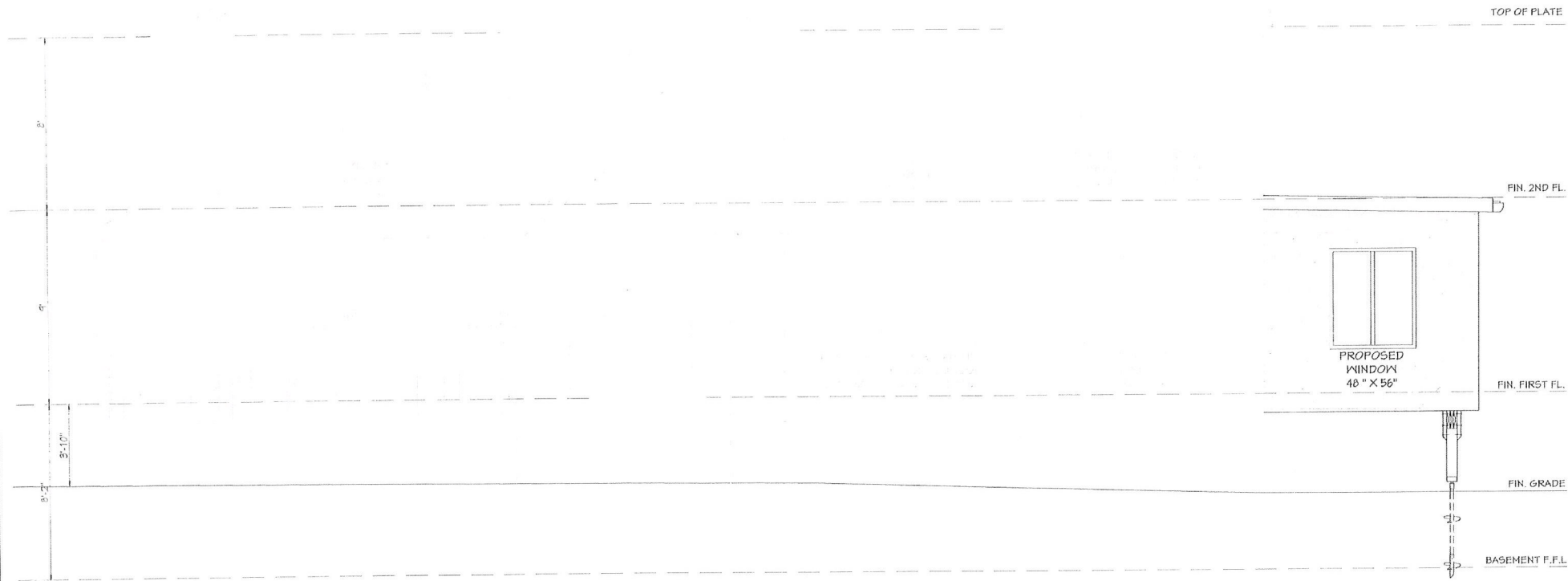


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SHEET
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RIGHT SIDE ELEVATION
SCALE 3/16"=1'-0"

TITLE
**1 LARANDE COURT,
BRAMPTON, ON
RIGHT SIDE ELEVATION**

PROJECT INFORMATION

PROJECT NO. 24-188

CUSTOMER SAI PERMIT SOLUTION

PROJECT 1 LARANDE COURT

DESIGNER INFORMATION

BY BPP

ENGINEER STAR

TITLE

SCALE 3/16" = 1'-0"

REV DATE

0 2024 05 22

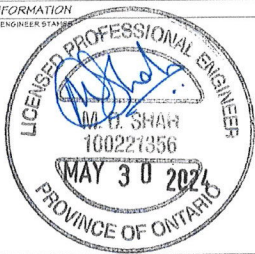
1

2

ENGINEER MS

DRAWN BY VV

CHECKED BY MS



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SHEET

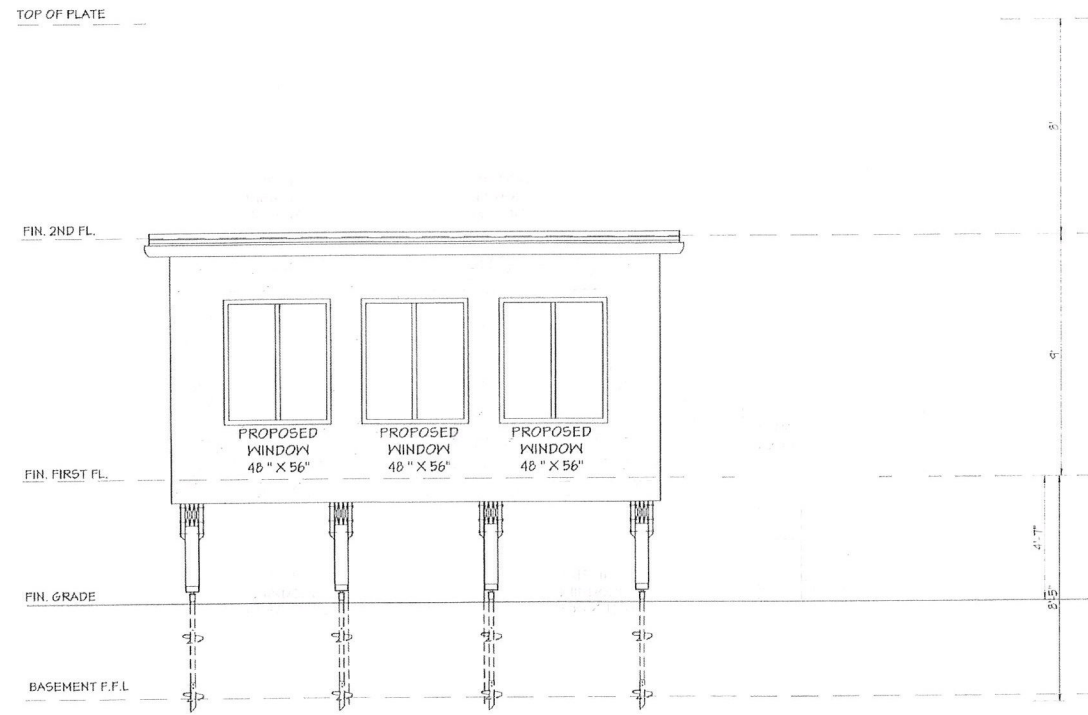
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REAR SIDE ELEVATION
SCALE 3/16"=1'-0"

TITLE
1 LARANSE COURT,
BRAMPTON, ON
LEFTSIDE ELEVATION

PROJECT INFORMATION

PROJECT NO 24-188
CUSTOMER SAI PERMIT SOLUTION
PROJECT 1 LARANSE COURT

DESIGNER INFORMATION

BY BPP
TITLE
SCALE 3/16" = 1'-0"
REV DATE
0 2024-03-22
1
2
ENGINEER MS
DRAFTED BY VV
CHECKED BY MS



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SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 10, 11, 12, 13, 14 AND 15
PLAN 43M-1721
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 43M-1721
- P DENOTES PORCH

ALL FOUND MONUMENTS BY J. D BARNES LIMITED, O.L.S.
 ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEAST LIMB OF LARANDE COURT AS SHOWN ON PLAN 43M-1721 HAVING A BEARING OF N44°12'30"W

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

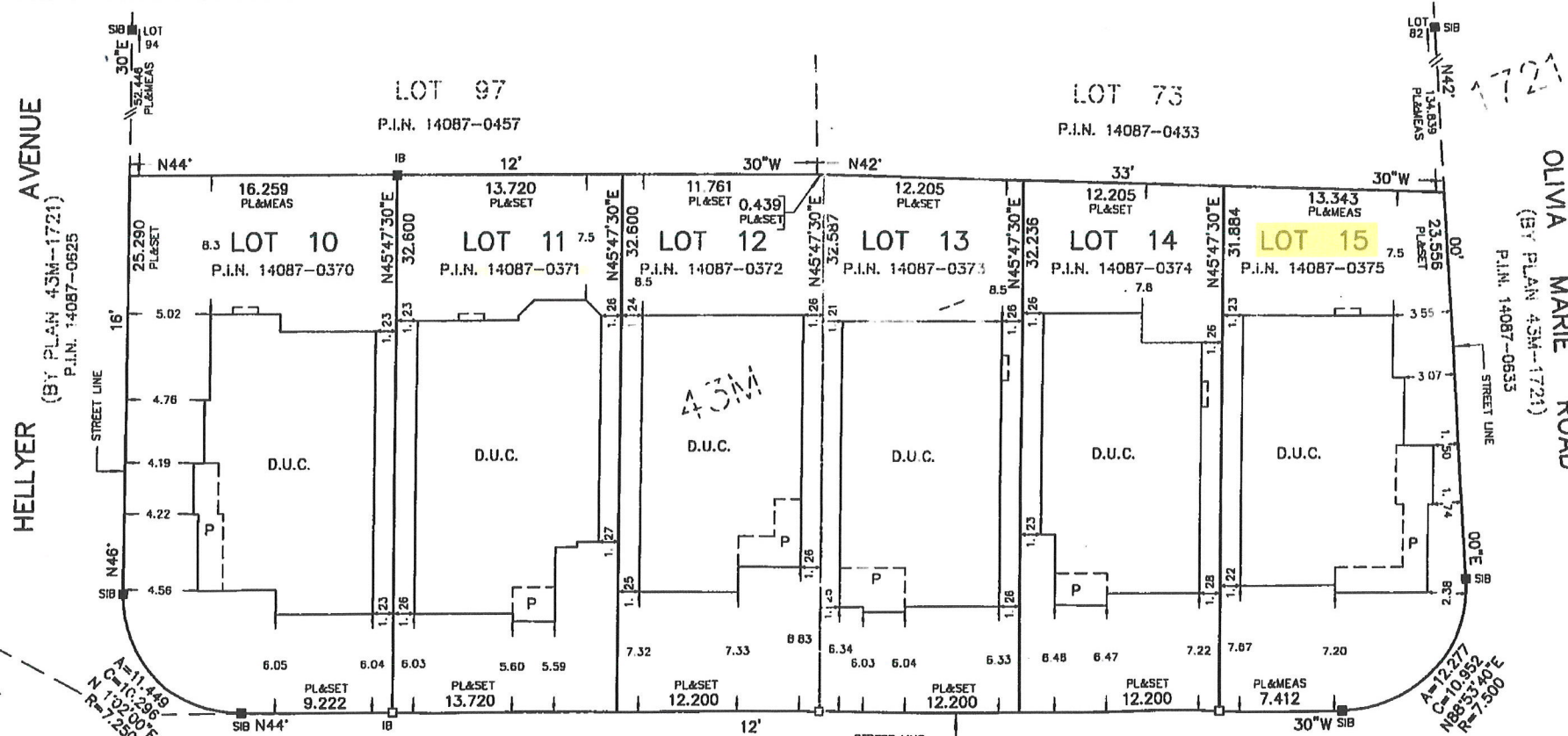
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 20 DAY OF DECEMBER, 2006

DATE Dec. 21st 2006

T. Singh
 T. SINGH

ONTARIO LAND SURVEYOR



ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1633286

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

THIS REPORT WAS PREPARED FOR H & R DEVELOPMENTS AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

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LARANDE COURT
 (BY PLAN 43M-1721)
 P.I.N. 14087-0627

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 ONTARIO LAND SURVEYORS
 643 CHRISLEA ROAD, SUITE 7, WOODBRIDGE, ONTARIO
 Tel. (416)635-5000 Fax (416)635-5001
 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: T.S.
 CAD FILE No.1721-10 JOB No. 06-263

Zoning Non-compliance Checklist

File No.

A-2024-0249

Owner: ANILA MENON & SURESHKUMAR MENON

Address: 1 LARANDE CRT

Zoning: R1C-1279

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 4.44 m to a proposed sunroom addition	whereas the by-law requires a minimum rear yard setback of 7.50m	1279.2 (5)
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

June 19, 2024
Date