



FILE NUMBER: A-2024-0084

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Samir Patel and Nishabel Patel
Address 62 Newington Crescent, Brampton, ON L6P 3G1

Phone # (416) 275 1085 **Fax #** _____
Email smt_5115@yahoo.co.in

2. **Name of Agent** Ketul Shah
Address 501-58 Church St E
Brampton
L6V 4A8
Phone # (226) 972 1267 **Fax #** _____
Email info@ketulshah.ca

3. **Nature and extent of relief applied for (variances requested):**
1. Required Rear Yard Setback is 7.50m and Proposed Rear Yard Setback is 4.05m

4. **Why is it not possible to comply with the provisions of the by-law?**
The deck structure is existing. The proposal is to cover it for the purpose of sunroom.

5. **Legal Description of the subject land:**
Lot Number Part of Block 82 and Block 351
Plan Number/Concession Number PLAN 43M-1803
Municipal Address 62 Newington Crescent, Brampton, Ontario L6P 3E8

6. **Dimension of subject land (in metric units)**
Frontage 6.01 m
Depth 27.50 m and 28.13 m
Area 329.65 sq m

7. **Access to the subject land is by:**
Provincial Highway **Seasonal Road**
Municipal Road Maintained All Year **Other Public Road**
Private Right-of-Way **Water**

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

EXISTING 2 STOREY BRICK DWELLING - GROSS FLOOR AREA = 204.04m2
EXISTING WOOD DECK - AREA = 28.35m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

SUNROOM - AREA (28.35 X 2) = 56.7m2

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.20 m
Rear yard setback	7.50 m
Side yard setback	1.64 m
Side yard setback	0.00 m

PROPOSED

Front yard setback	5.20 m
Rear yard setback	3.55 m
Side yard setback	1.64 m
Side yard setback	0.00 m

- 0. Date of Acquisition of subject land: 2012
- 1. Existing uses of subject property: Single Family Dwelling
- 2. Proposed uses of subject property: Single Family Dwelling
- 3. Existing uses of abutting properties: Single Family Dwelling
- 4. Date of construction of all buildings & structures on subject land: PRIOR TO 2012
- 5. Length of time the existing uses of the subject property have been continued: > 12 Years

16. (a) What water supply is existing/proposed?

Municipal Well Other (specify) _____

(b) What sewage disposal is/will be provided?

Municipal Septic Other (specify) _____

(c) What storm drainage system is existing/proposed?

Sewers Ditches Swales Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF BRAMPTON
THIS 13 DAY OF JULY, 20 24.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, KETUL SHAH, OF THE REGION OF PEEL

IN THE CITY OF BRAMPTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

REGION OF PEEL

IN THE CITY OF

BRAMPTON THIS 13 DAY OF

JULY, 20 24.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

R2E

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar
Zoning Officer

July 19, 2024
Date

DATE RECEIVED July 19, 2024 VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 62 Newington Crescent, Brampton, Ontario L6P 3G1


I/We, Samir Patel and Nishaben Patel
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Ketul Shah
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 14 day of JULY, 2024.

 NS Patel

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

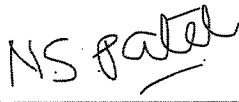
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 62 Newington Crescent, Brampton, Ontario L6P 3G1

I/We, Samir Patel and Nishaben Patel
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 14 day of JULY, 2024.

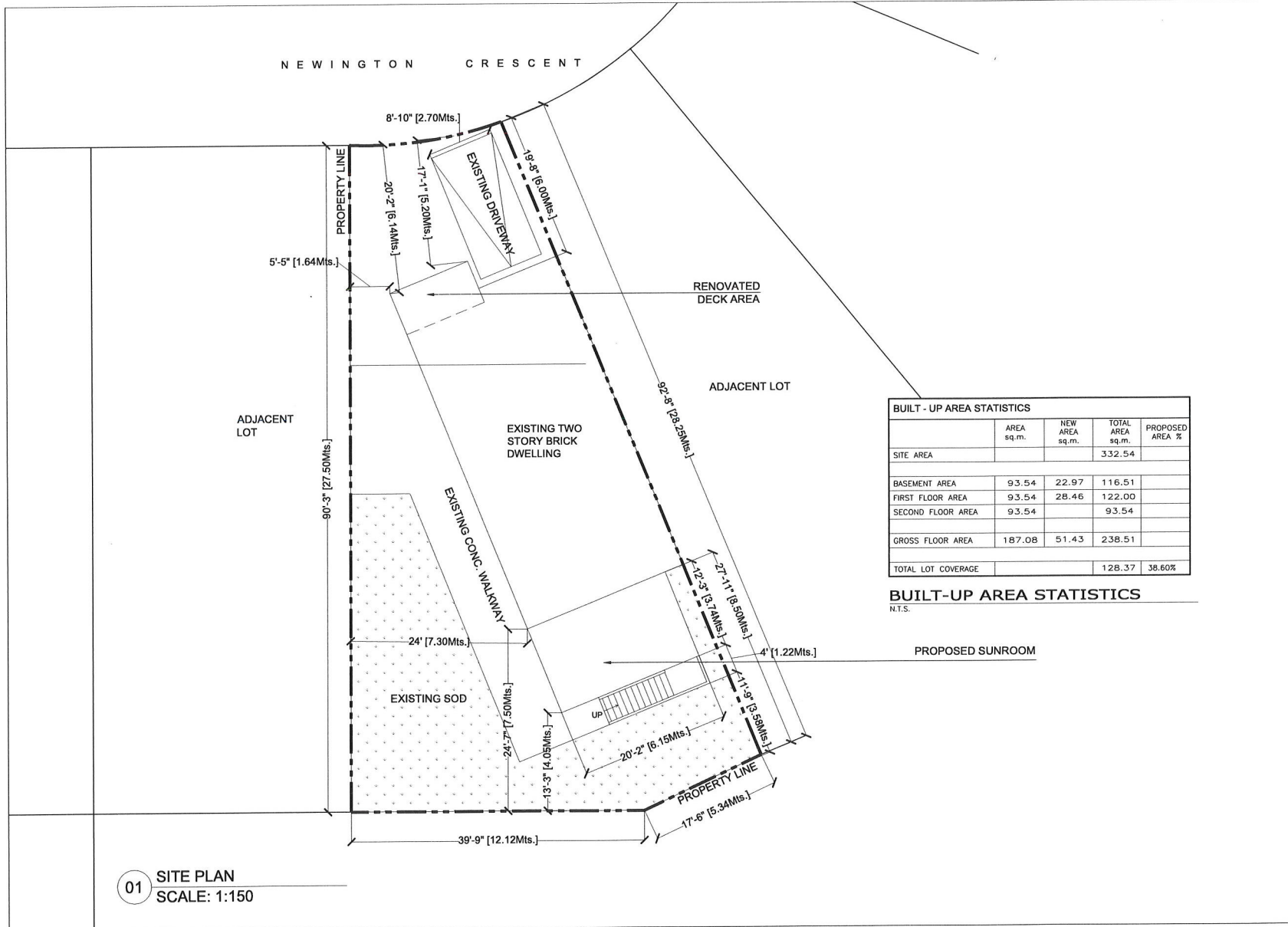


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



BUILT - UP AREA STATISTICS				
	AREA sq.m.	NEW AREA sq.m.	TOTAL AREA sq.m.	PROPOSED AREA %
SITE AREA			332.54	
BASEMENT AREA	93.54	22.97	116.51	
FIRST FLOOR AREA	93.54	28.46	122.00	
SECOND FLOOR AREA	93.54		93.54	
GROSS FLOOR AREA	187.08	51.43	238.51	
TOTAL LOT COVERAGE			128.37	38.60%

BUILT-UP AREA STATISTICS
N.T.S.

01 SITE PLAN
SCALE: 1:150

Ketul Shah ARCHITECTURAL
Design Services

501-58 CHURCH ST E
BRAMPTON ON L6V4A8

(226) 972 1267
info@ketulshah.ca



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

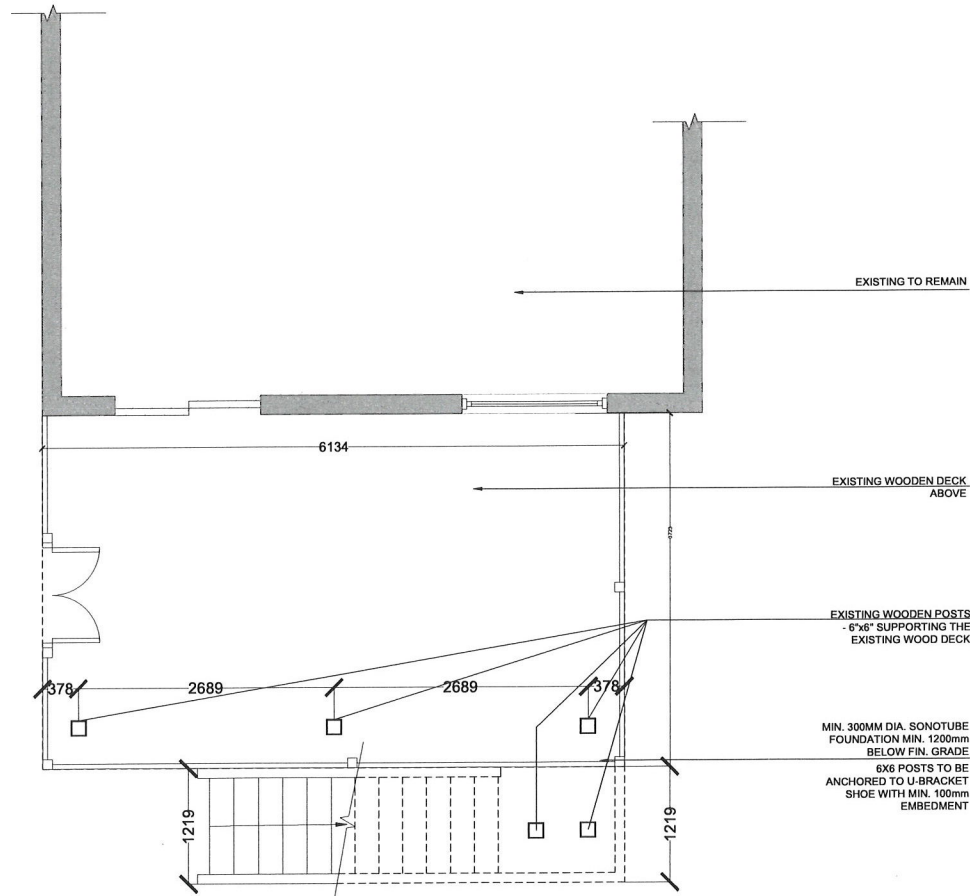
62 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
SITE PLAN

DATE 15-07-2024	DRAWN BY D.S.
SCALE 1:150	CHECKED BY K.S.

DWG NO.
SP-1.1

02 BASEMENT PLAN
SCALE: 1:50



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01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

62 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

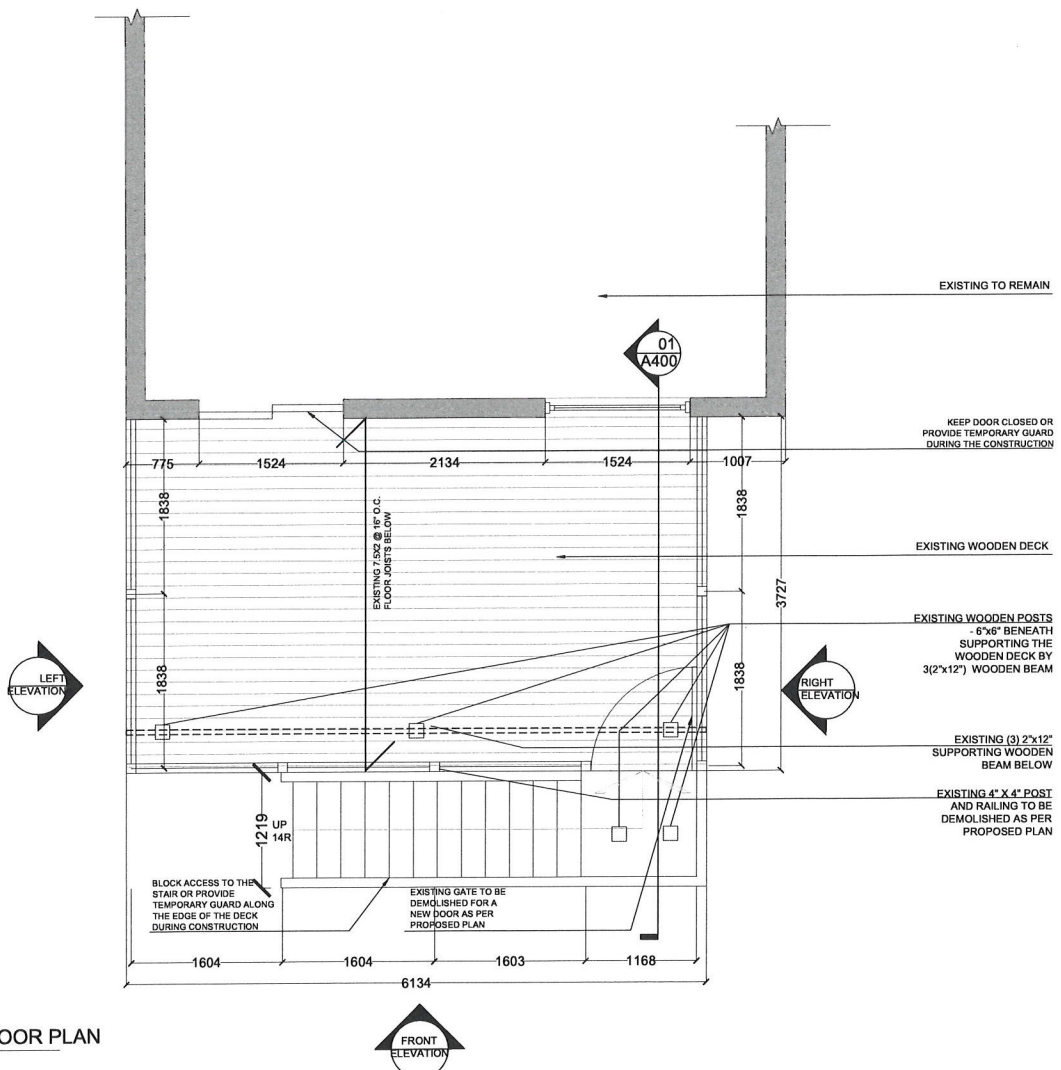
DRAWING TITLE
BASEMENT PLAN



DATE 15-07-2024	DRAWN BY D.S
SCALE 1:50	CHECKED BY K.S.

DWG NO.

A-1.1



03 EXISTING FIRST FLOOR PLAN
SCALE: 1:50

Ketul Shah ARCHITECTURAL
Design Services
501-58 CHURCH ST E (226) 972 1267
BRAMPTON ON L6V4A8 info@ketulshah.ca



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DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

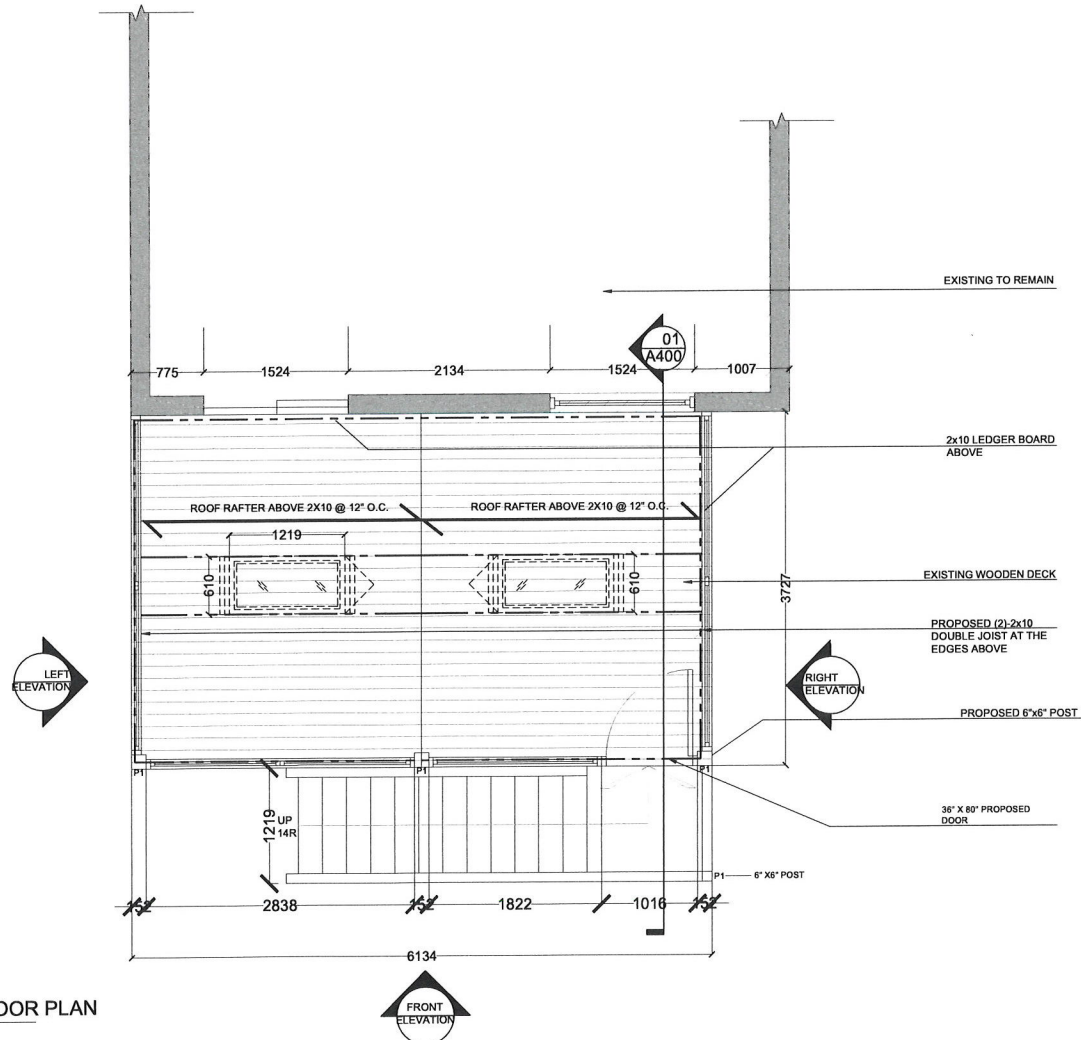
62 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
EXISTING DECK PLAN WITH DEMOLITION WORK

DATE 15-07-2024 DRAWN BY D.S.
SCALE 1:50 CHECKED BY K.S.

DWG NO.
A-1.2

04 PROPOSED FIRST FLOOR PLAN
SCALE: 1:50



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01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

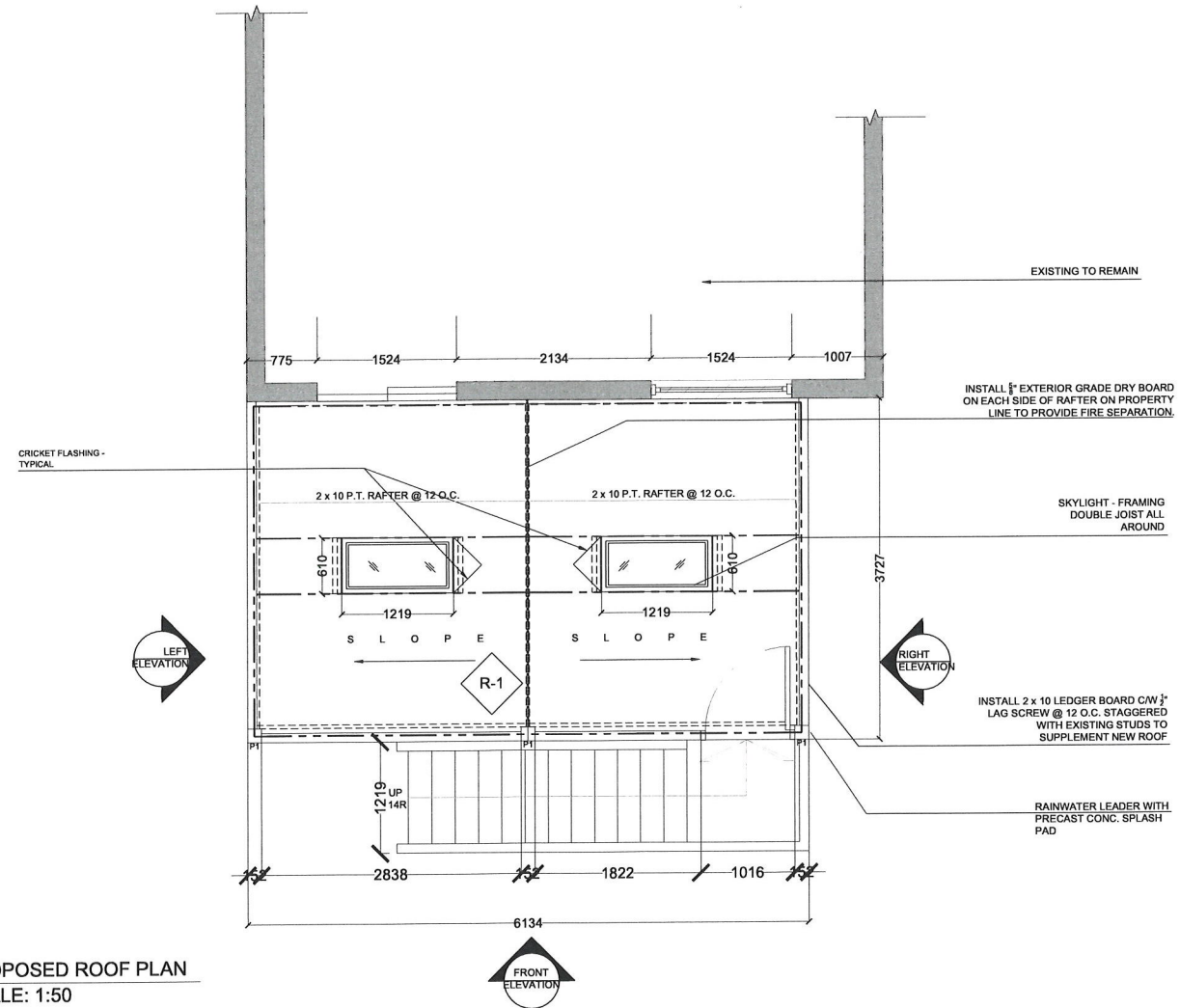
62 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
PROPOSED SUNROOM - FIRST FLOOR

DATE 15-07-2024	DRAWN BY D.S
SCALE 1:50	CHECKED BY K.S.

DWG NO.
A-1.3

05 PROPOSED ROOF PLAN
SCALE: 1:50



Ketul Shah ARCHITECTURAL
Design Services
501-58 CHURCH ST E (226) 972 1287
BRAMPTON ON L6V4A8 info@ketulshah.ca



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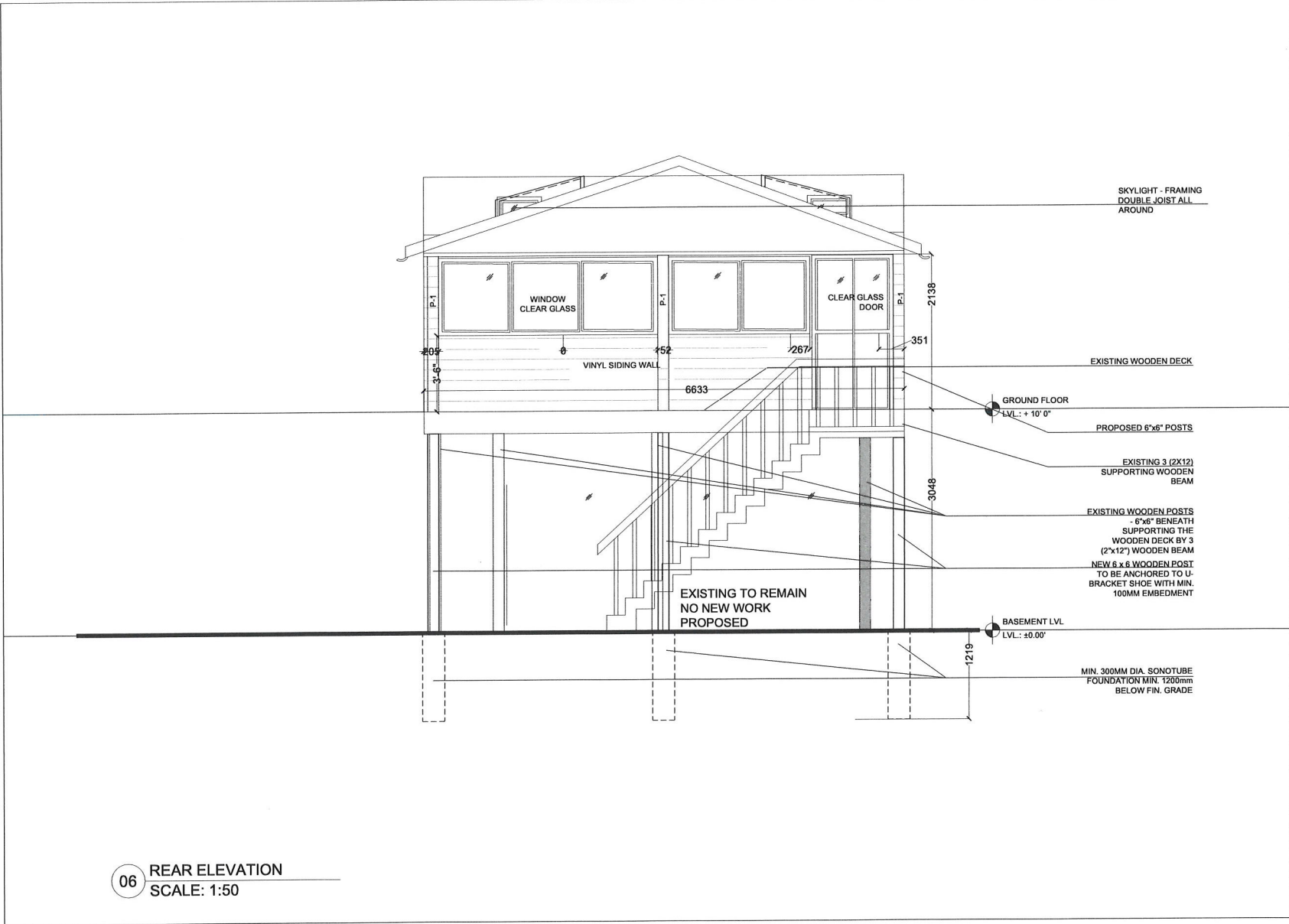
01JAN'24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM
62 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
PROPOSED DECK ROOF PLAN

DATE 15-07-2024	DRAWN BY D.S
SCALE 1:50	CHECKED BY K.S.

DWG NO.
A-1.4



Ketul Shah ARCHITECTURAL
 Design Services
 501-58 CHURCH ST E (226) 972 1267
 BRAMPTON ON L6V4A8 info@ketulshah.ca



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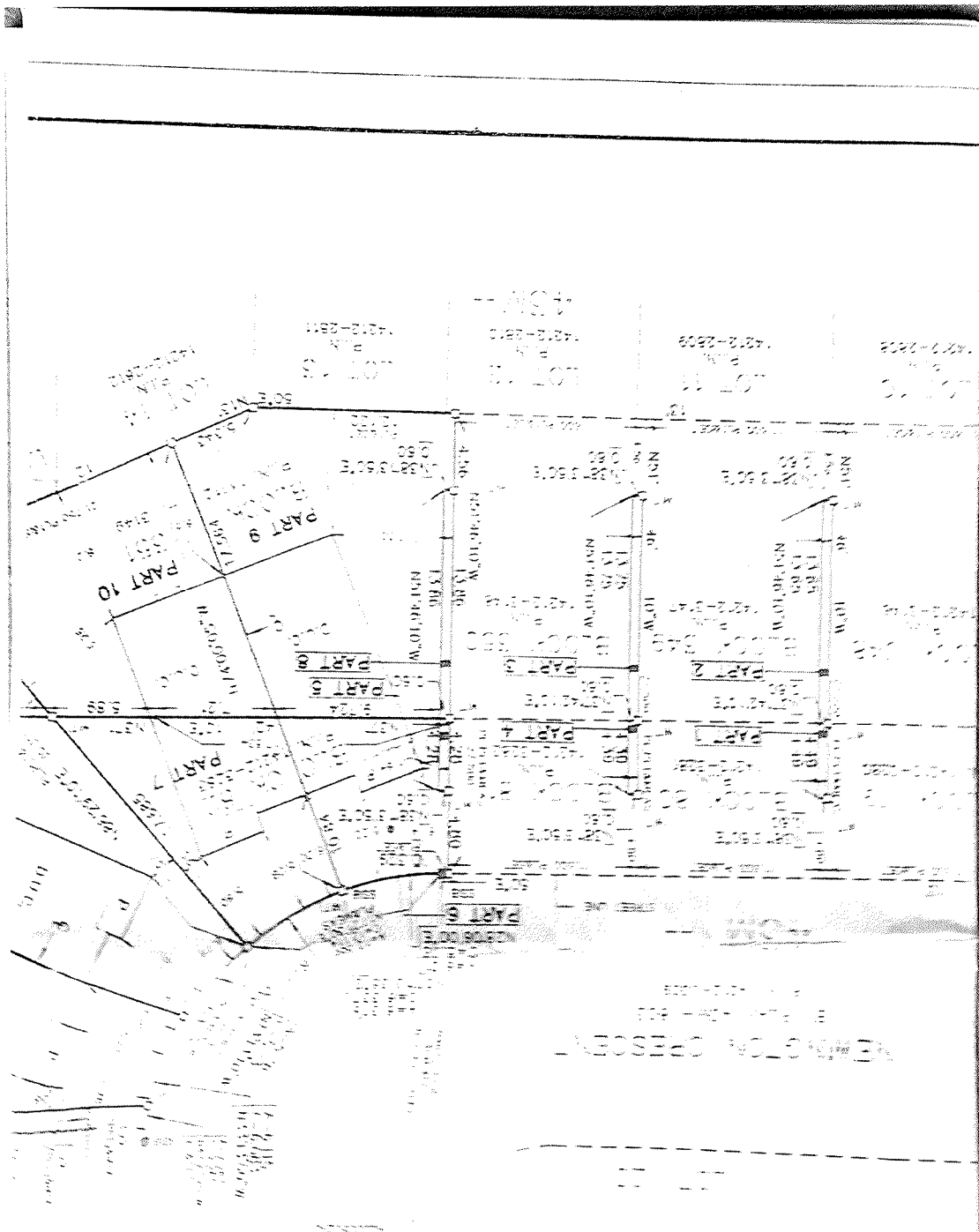
01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM
 62 NEWINGTON CRES.
 BRAMPTON, ON L6P3G1

DRAWING TITLE
REAR ELEVATION

DATE 15-07-2024	DRAWN BY D.S.
SCALE 1:50	CHECKED BY K.S.

DWG NO.
A-3.1



WILSON, JOHN

PLAN 45M-1799
 PART 9 AND PART 10

Handwritten notes and signatures at the bottom left of the page.

Zoning Non-compliance Checklist

File No.
A-2024-0284

Owner: Samir Patel
 Address: 62 NEWINGTON CRES
 Zoning: R2E
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 4.05m to a proposed sunroom addition	whereas the by-law requires a minimum rear yard setback of 7.50m.	15.8.2 (h)
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
 Reviewed by Zoning

July 19, 2024
 Date