



FILE NUMBER: A-2004-0285

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kalpan Patel / Sandhyakumari Patel
Address 66 Newington Crescent, Brampton, ON L6P 3G1

Phone # (416) 432 5641 **Fax #** _____
Email kpuniversal@hotmail.com

2. **Name of Agent** Ketul Shah
Address 501-58 Church St E
Brampton
L6V 4A8
Phone # (226) 972 1267 **Fax #** _____
Email info@ketulshah.ca

3. **Nature and extent of relief applied for (variances requested):**
1. Required Rear Yard Setback is 7.50m and Proposed Rear Yard Setback is 4.29m

4. **Why is it not possible to comply with the provisions of the by-law?**
The deck structure is existing. The proposal is to cover it for the purpose of sunroom.

5. **Legal Description of the subject land:**
Lot Number Block 352 and Part of Block 83
Plan Number/Concession Number PLAN 43M-1799
Municipal Address 66 Newington Crescent, Brampton, Ontario L6P 3G1

6. **Dimension of subject land (in metric units)**
Frontage 5.76 m
Depth 28.16 m and 30.31 m
Area 362.89 m2

7. **Access to the subject land is by:**
Provincial Highway _____ **Seasonal Road** _____
Municipal Road Maintained All Year Yes **Other Public Road** _____
Private Right-of-Way _____ **Water** _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

EXISTING 2 STOREY BRICK DWELLING. GROSS FLOOR AREA = 240.33 m2
EXISTING WOOD DECK AREA = 29.64 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

SUN ROOM AREA [Basement (29.64) + First Floor (34.67)] = 64.33 m2

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.67 m
Rear yard setback	8.20 m
Side yard setback	1.57 m
Side yard setback	0.00 m

PROPOSED

Front yard setback	5.67 m
Rear yard setback	4.29 m
Side yard setback	1.57 m
Side yard setback	0.00 m

0. Date of Acquisition of subject land: 2010

1. Existing uses of subject property: Single Family Dwelling

2. Proposed uses of subject property: Single Family Dwelling

3. Existing uses of abutting properties: Single Family Dwelling

4. Date of construction of all buildings & structures on subject land: PRIOR TO 2010

5. Length of time the existing uses of the subject property have been continued: 14 Years

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
 Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
 Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property of an application for minor variance? ever been the subject

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF BRAMPTON
THIS 15 DAY OF JULY, 20 24.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, KETUL SHAH, OF THE REGION OF PEEL

IN THE CITY OF BRAMPTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE REGION OF PEEL

IN THE CITY OF BRAMPTON THIS 15th DAY OF JULY, 20 24.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer Date

DATE RECEIVED July 19, 2024
VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 66 Newington Crescent, Brampton, Ontario L6P 3G1

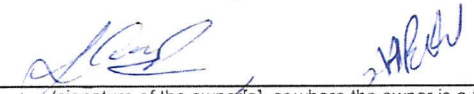
I/We, Kalpan Patel / Sandhyakumari Patel
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Ketul Shah
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 14 day of JULY, 2024.



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

KALPAN PATEL / SANDHYAKUMARI PATEL
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

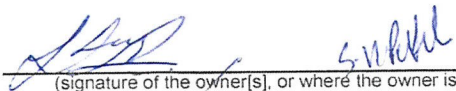
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 66 Newington Crescent, Brampton, Ontario L6P 3G1

I/We, Kalpan Patel / SANDHYAKUMARI PATEL
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

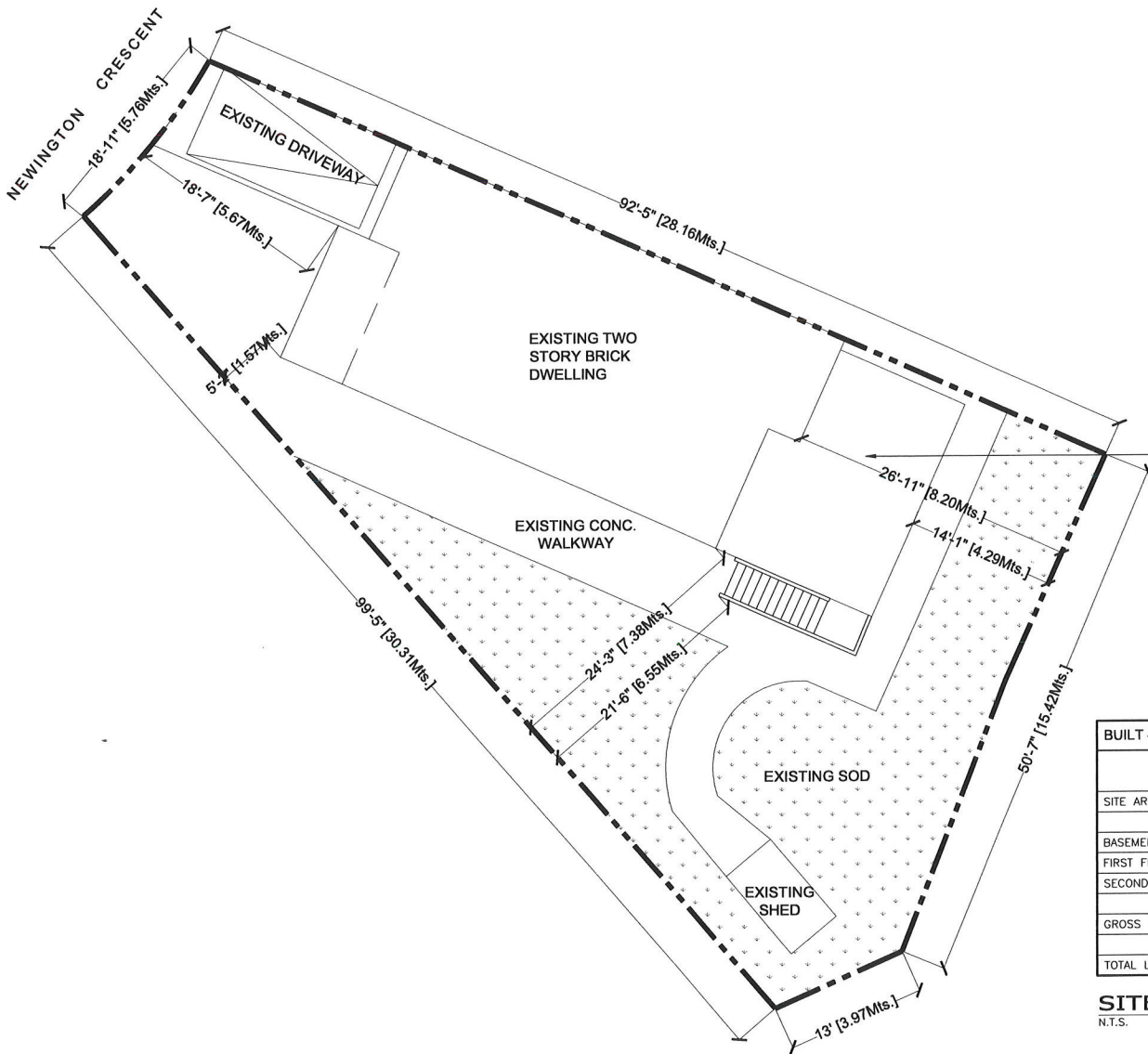
Dated this 14 day of JULY, 2024.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

KALPAN PATEL / SANDHYAKUMARI PATEL
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



BUILT - UP AREA STATISTICS				
	AREA sq.m.	NEW AREA sq.m.	TOTAL AREA sq.m.	PROPOSED AREA %
SITE AREA			362.89	
BASEMENT AREA	88	29.64	117.64	
FIRST FLOOR AREA	88	34.67	122.67	
SECOND FLOOR AREA	88		88	
GROSS FLOOR AREA	176	64.33	240.33	
TOTAL LOT COVERAGE			130.66	36%

SITE STATISTICS
N.T.S.

01 SITE PLAN
SCALE: 1:150



501- 58 CHURCH ST E (226) 972 1267
BRAMPTON ON L6V4A8 info@ketulshah.ca



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01JAN'24 1 XX
DATE NO. ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
SITE PLAN

DATE 15-07-2024 DRAWN BY D.S.
SCALE 1:150 CHECKED BY K.S.

DWG NO.
SP-1.1



Ketul Shah ARCHITECTURAL Design Services

501- 58 CHURCH ST E (226) 972 1267
BRAMPTON ON L6V4A8 info@ketulshah.ca



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01JAN'24 1 XX
DATE NO. ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

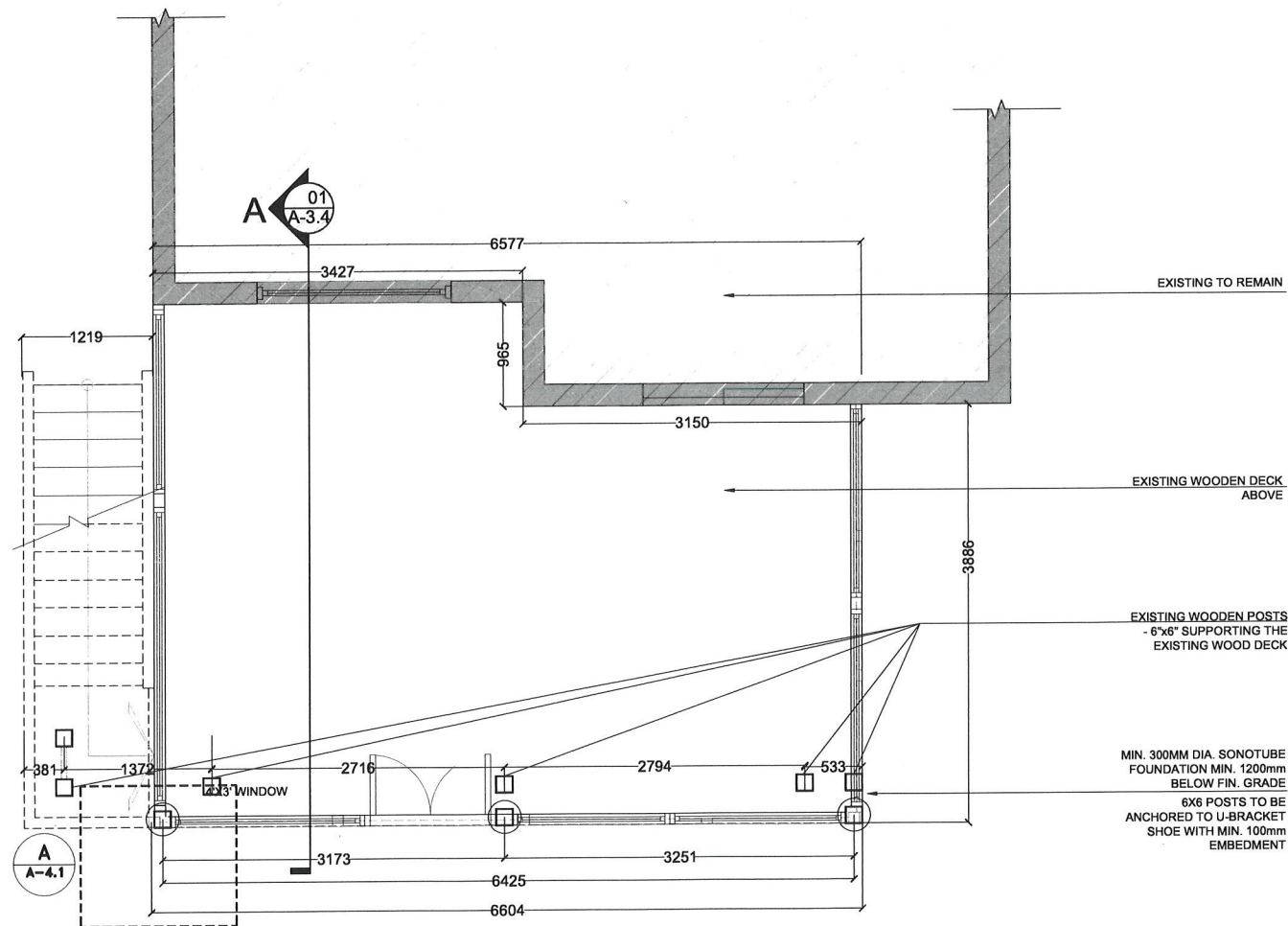
DRAWING TITLE
BASEMENT PLAN

DATE 15-07-2024 DRAWN BY D.S

SCALE 1:50 CHECKED BY K.S.

DWG NO.

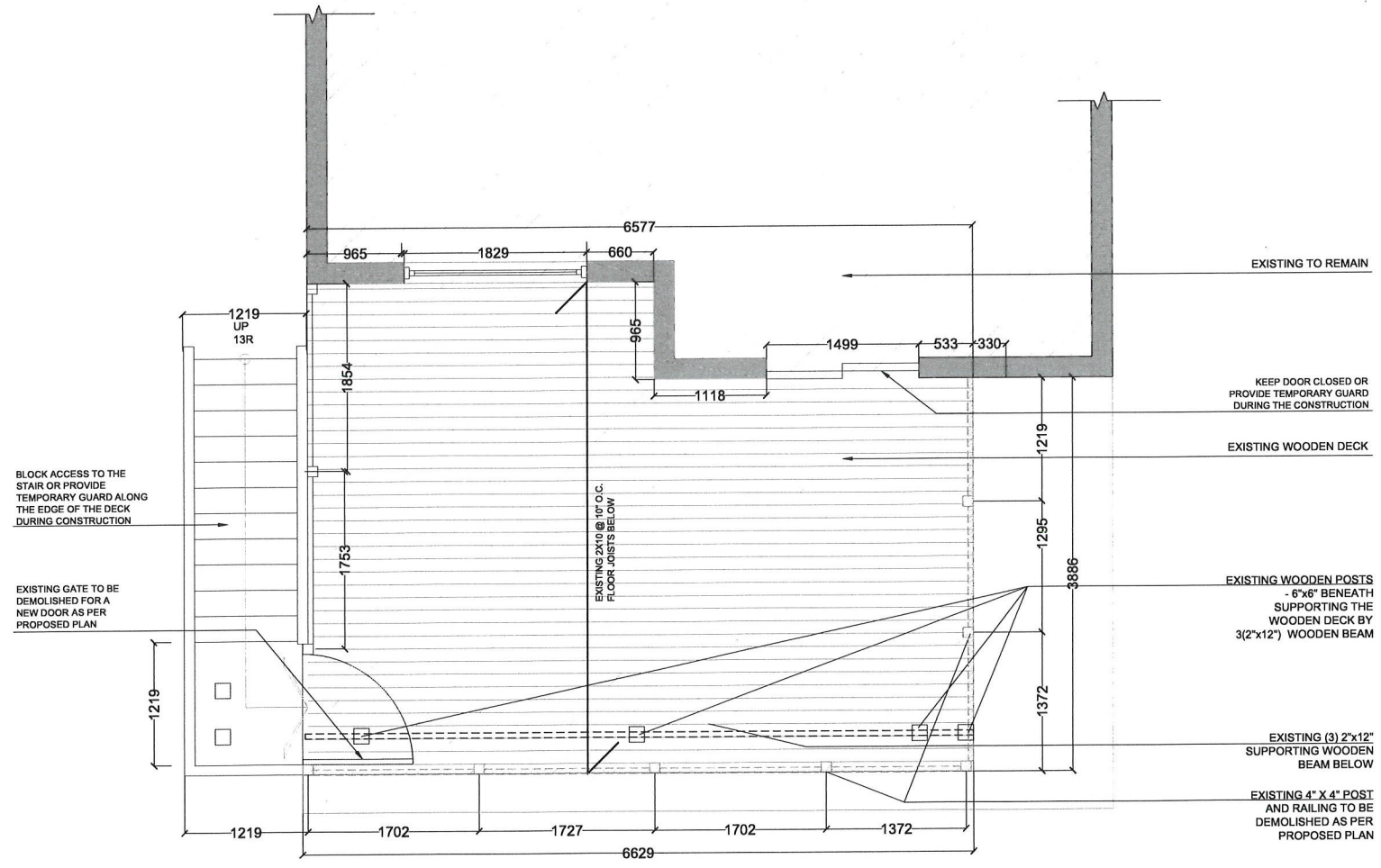
A-1.1



02 BASEMENT PLAN
SCALE: 1:50



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.



03 EXISTING FIRST FLOOR PLAN
SCALE: 1:50

DATE	NO.	ISSUED FOR
01 JAN '24	1	XX

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
**EXISTING DECK PLAN WITH
DEMOLITION WORK**

DATE 15-07-2024	DRAWN BY D.S.
SCALE 1:50	CHECKED BY K.S.

DWG NO.
A-1.2



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

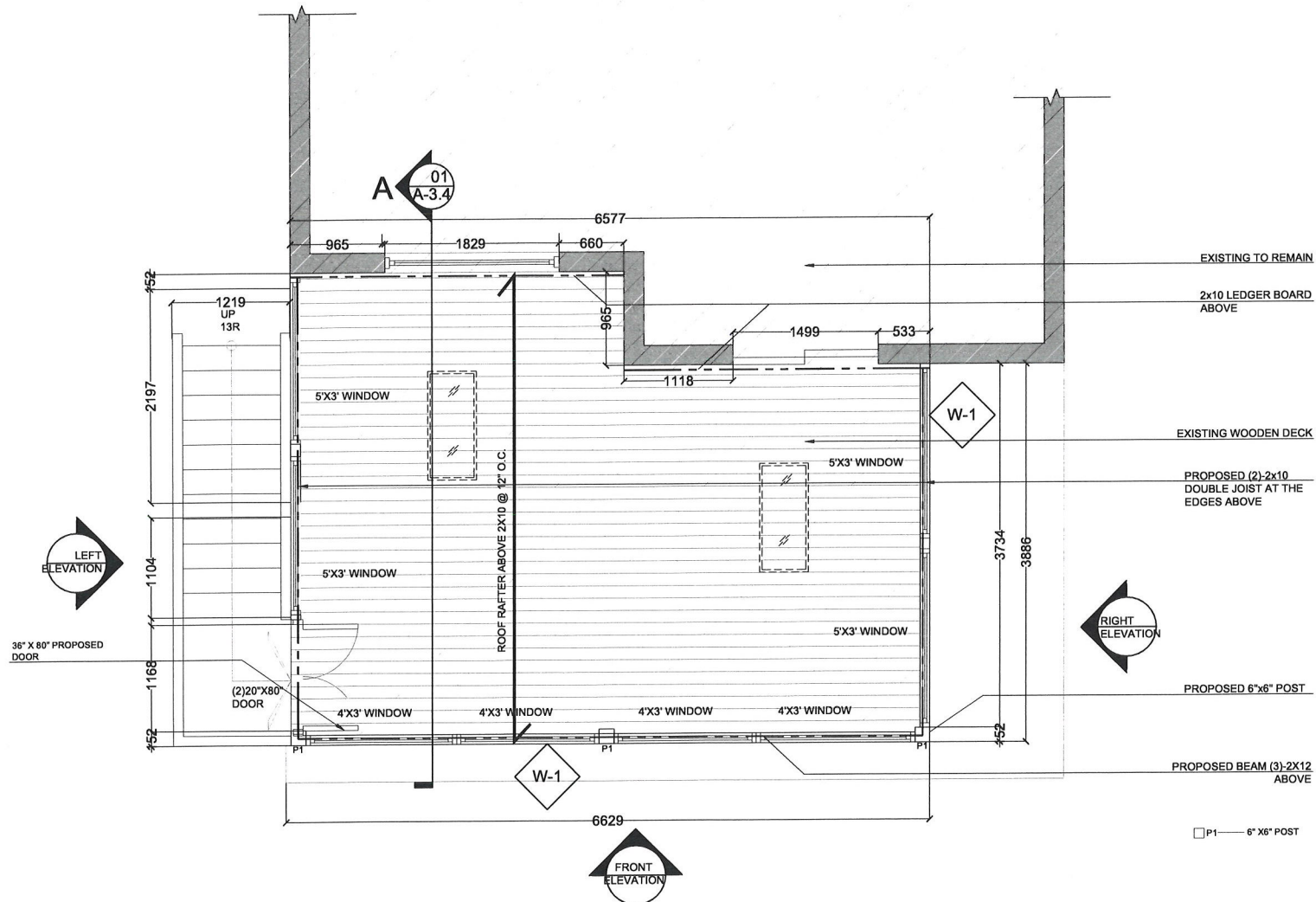
66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
**PROPOSED SUNROOM -
FIRST FLOOR**

DATE 15-07-2024 DRAWN BY D.S.
SCALE 1:50 CHECKED BY K.S.

DWG NO.

A-1.3



04 PROPOSED FIRST FLOOR PLAN
SCALE: 1:50



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

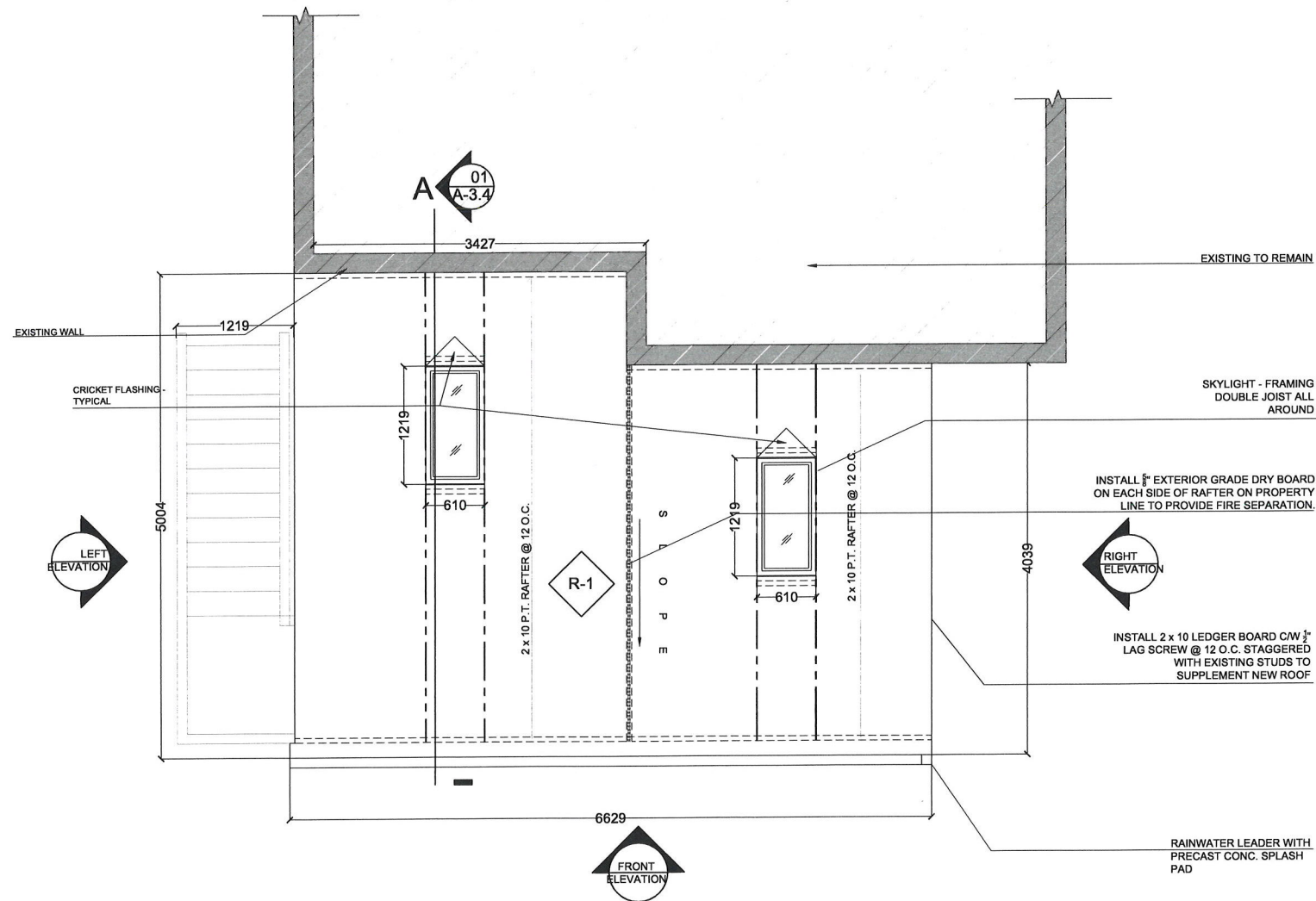
66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
PROPOSED DECK ROOF PLAN

DATE 15-07-2024	DRAWN BY D.S.
SCALE 1:50	CHECKED BY K.S.

DWG NO.

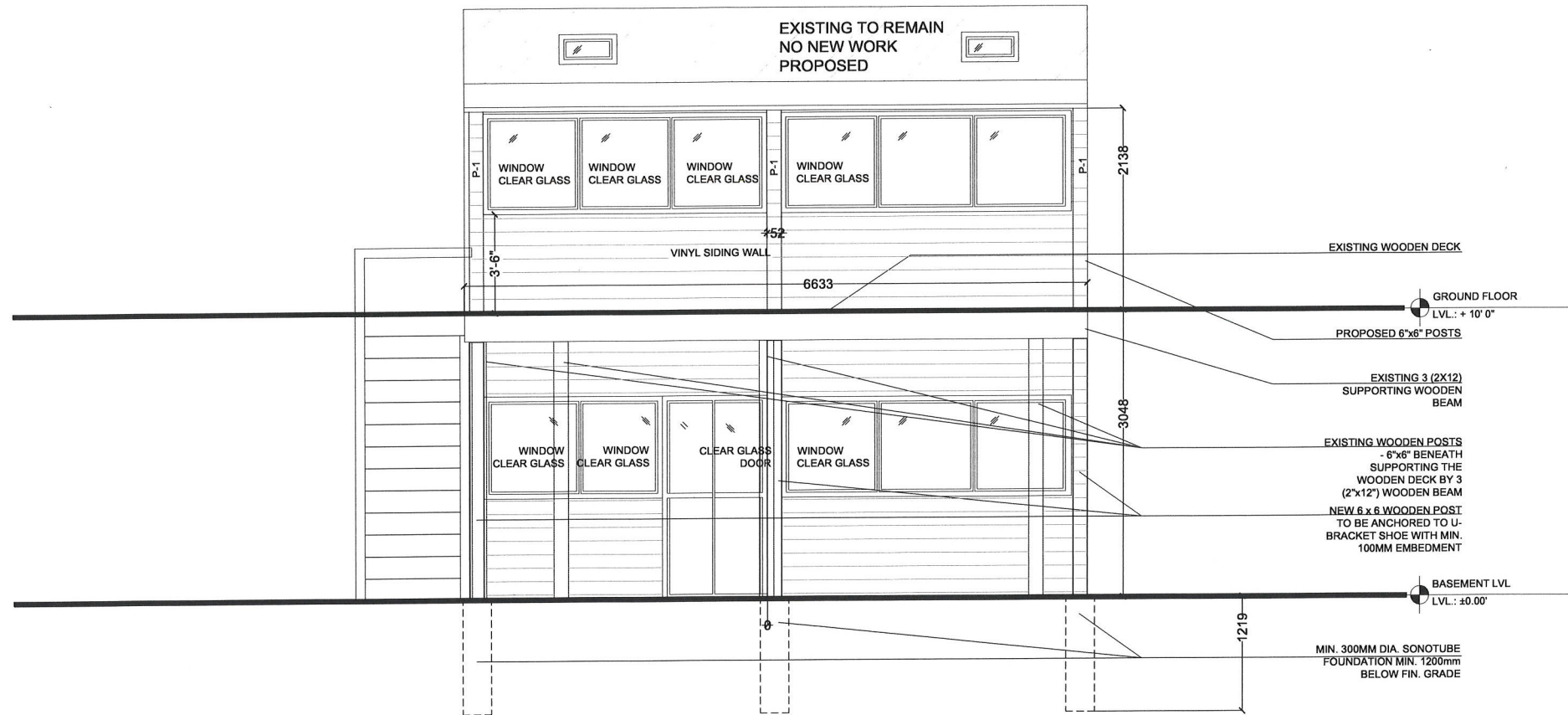
A-1.4



05 PROPOSED ROOF PLAN
SCALE: 1:50



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.



06 REAR ELEVATION
SCALE: 1:50

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
REAR ELEVATION

DATE: 15-07-2024 DRAWN BY: D.S.

SCALE: 1:50 CHECKED BY: K.S.

DWG NO.

A-3.1



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

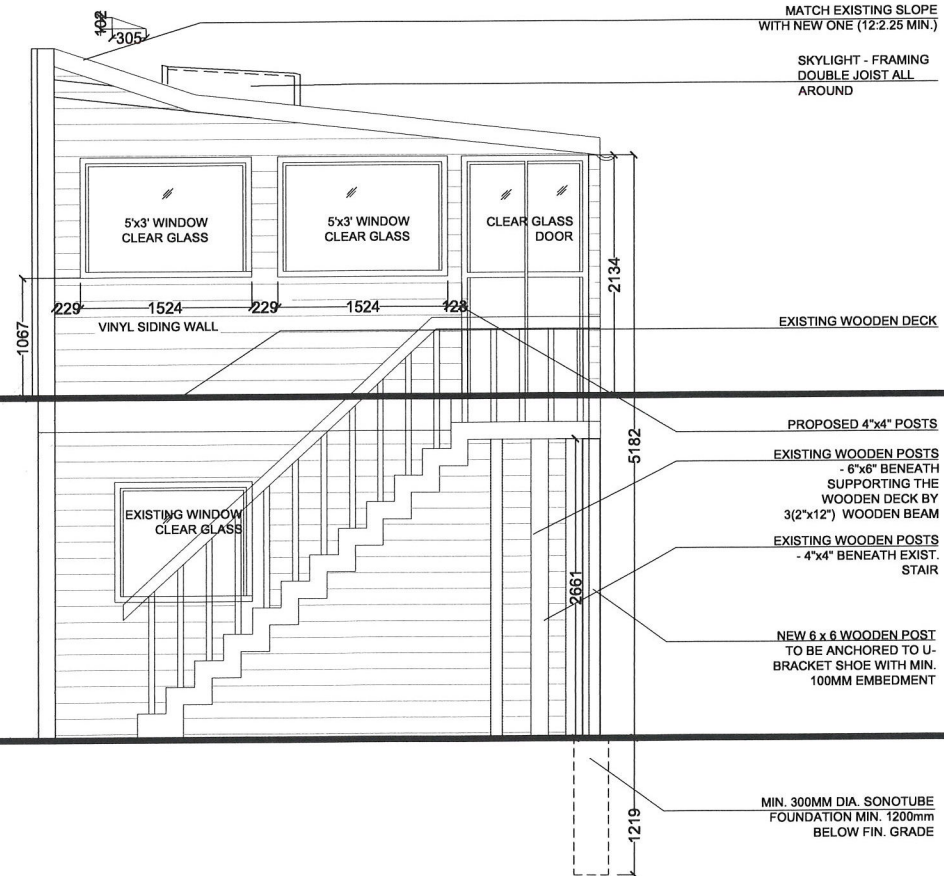
DRAWING TITLE
LEFT ELEVATION

DATE 15-07-2024	DRAWN BY D.S.
SCALE 1:50	CHECKED BY K.S.

DWG NO.

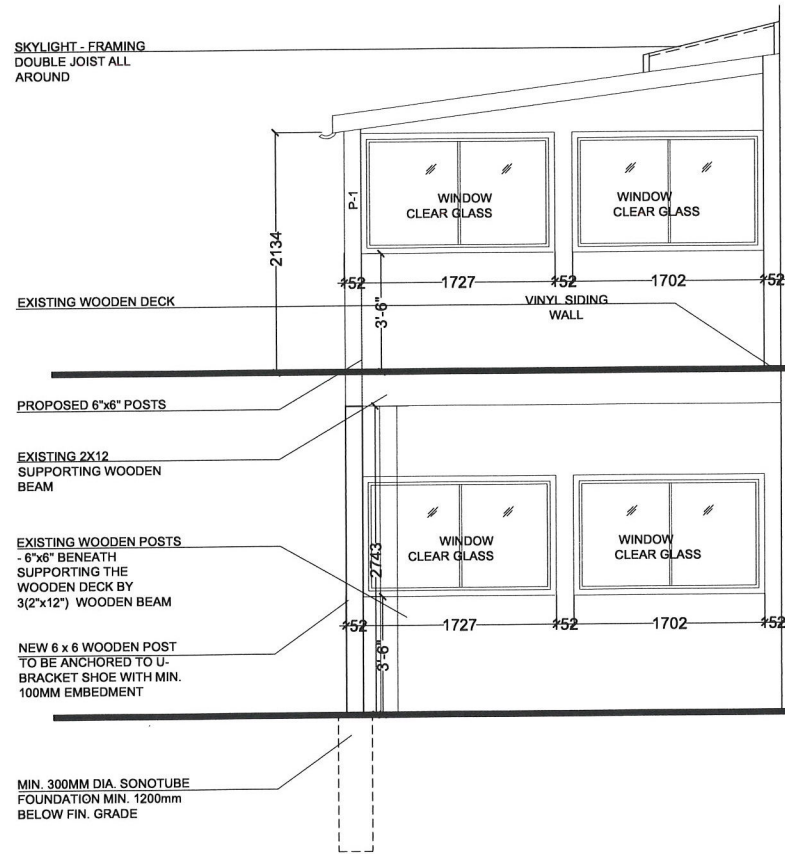
A-3.2

EXISTING TO REMAIN
NO NEW WORK
PROPOSED



07 LEFT ELEVATION
SCALE: 1:50

SKYLIGHT - FRAMING
DOUBLE JOIST ALL
AROUND



EXISTING TO REMAIN
NO NEW WORK
PROPOSED

GROUND FLOOR
LVL.: + 10' 0"

BASEMENT LVL
LVL.: ±0.00'

MIN. 300MM DIA. SONOTUBE
FOUNDATION MIN. 1200mm
BELOW FIN. GRADE

NEW 6 x 6 WOODEN POST
TO BE ANCHORED TO U-
BRACKET SHOE WITH MIN.
100MM EMBEDMENT

EXISTING WOODEN POSTS
- 6"x8" BENEATH
SUPPORTING THE
WOODEN DECK BY
3(2"x12") WOODEN BEAM

EXISTING 2X12
SUPPORTING WOODEN
BEAM

PROPOSED 6"x6" POSTS

EXISTING WOODEN DECK

08 RIGHT ELEVATION
SCALE: 1:50



Ketul Shah ARCHITECTURAL
Design Services
501-58 CHURCH ST E (226) 972 1267
BRAMPTON ON L6V4A8 info@ketulshah.ca



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD
VERIFIED PRIOR TO COMMENCING WORK
- ALL DISCREPANCIES TO BE REPORTED TO THE
ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT
PROPERTY OF THE ARCHITECT.

01JAN'24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
RIGHT ELEVATION

DATE 15-07-2024	DRAWN BY D.S.
SCALE 1:50	CHECKED BY K.S.

DWG NO.

A-3.3



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01 JAN '24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

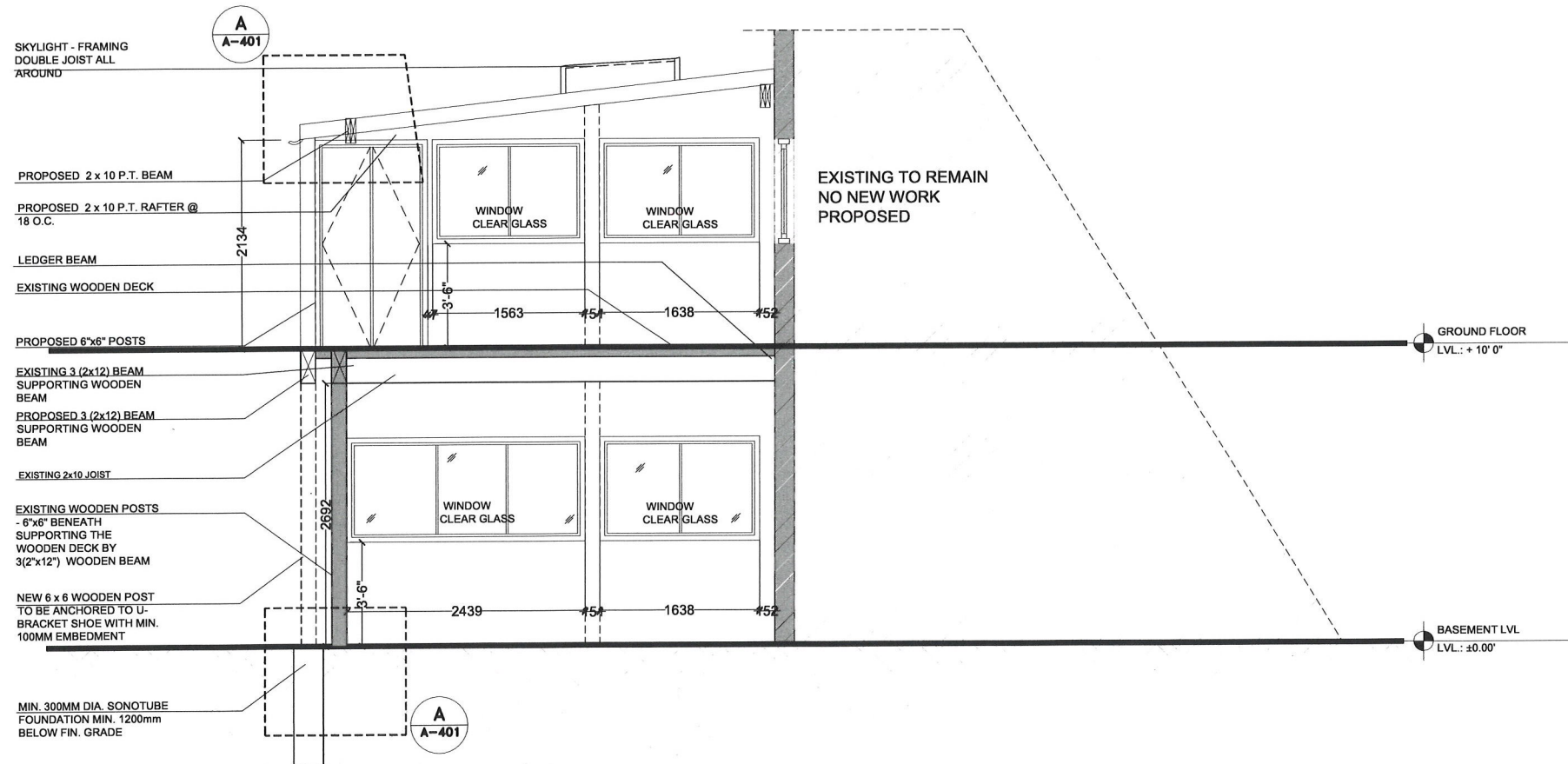
66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
SECTION - AA

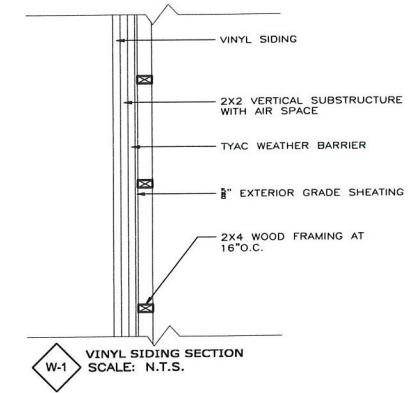
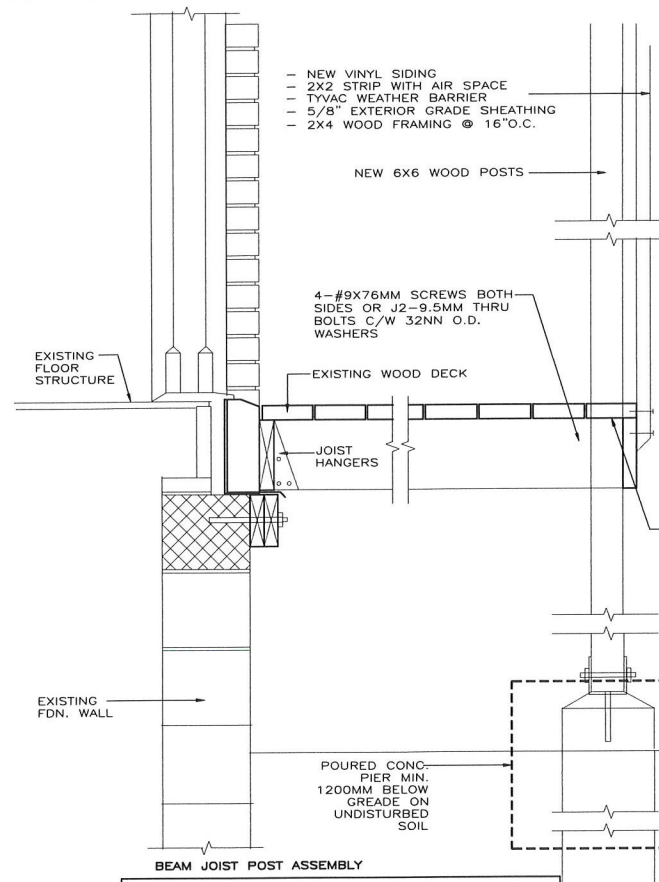
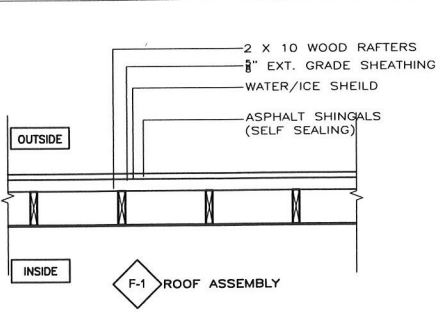
DATE 15-07-2024	DRAWN BY D.S
SCALE 1:50	CHECKED BY K.S.

DWG NO.

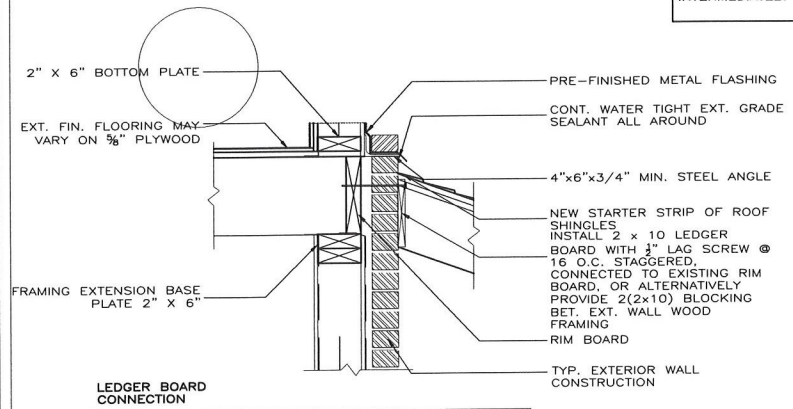
A-3.4



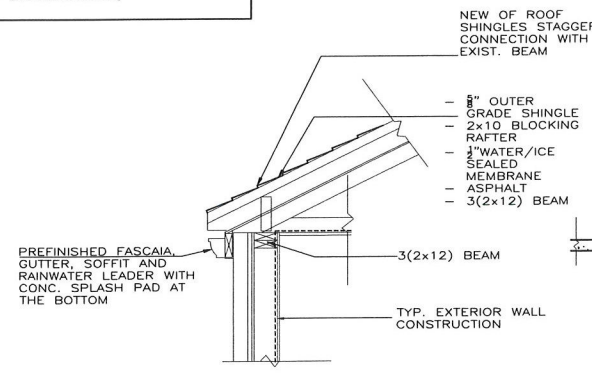
09 SECTION - AA
SCALE: 1:50



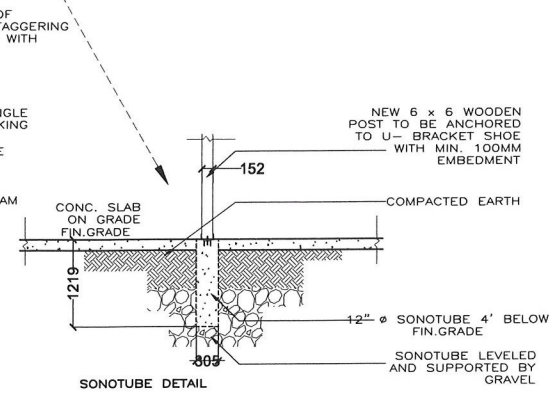
TYPICAL NOTE:
CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY INTERMEDIATELY FOR ANY DISCREPANCIES.



TYPICAL NOTE:
CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY INTERMEDIATELY FOR ANY DISCREPANCIES.



TYPICAL NOTE:
CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY INTERMEDIATELY FOR ANY DISCREPANCIES.



- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND FIELD VERIFIED PRIOR TO COMMENCING WORK.
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE COPYRIGHT PROPERTY OF THE ARCHITECT.

01JAN'24	1	XX
DATE	NO.	ISSUED FOR

PROJECT DESCRIPTION
SUN ROOM

66 NEWINGTON CRES.
BRAMPTON, ON L6P3G1

DRAWING TITLE
DETAILS

DATE 15-07-2024	DRAWN BY D.S.
SCALE	CHECKED BY K.S.

DWG NO.

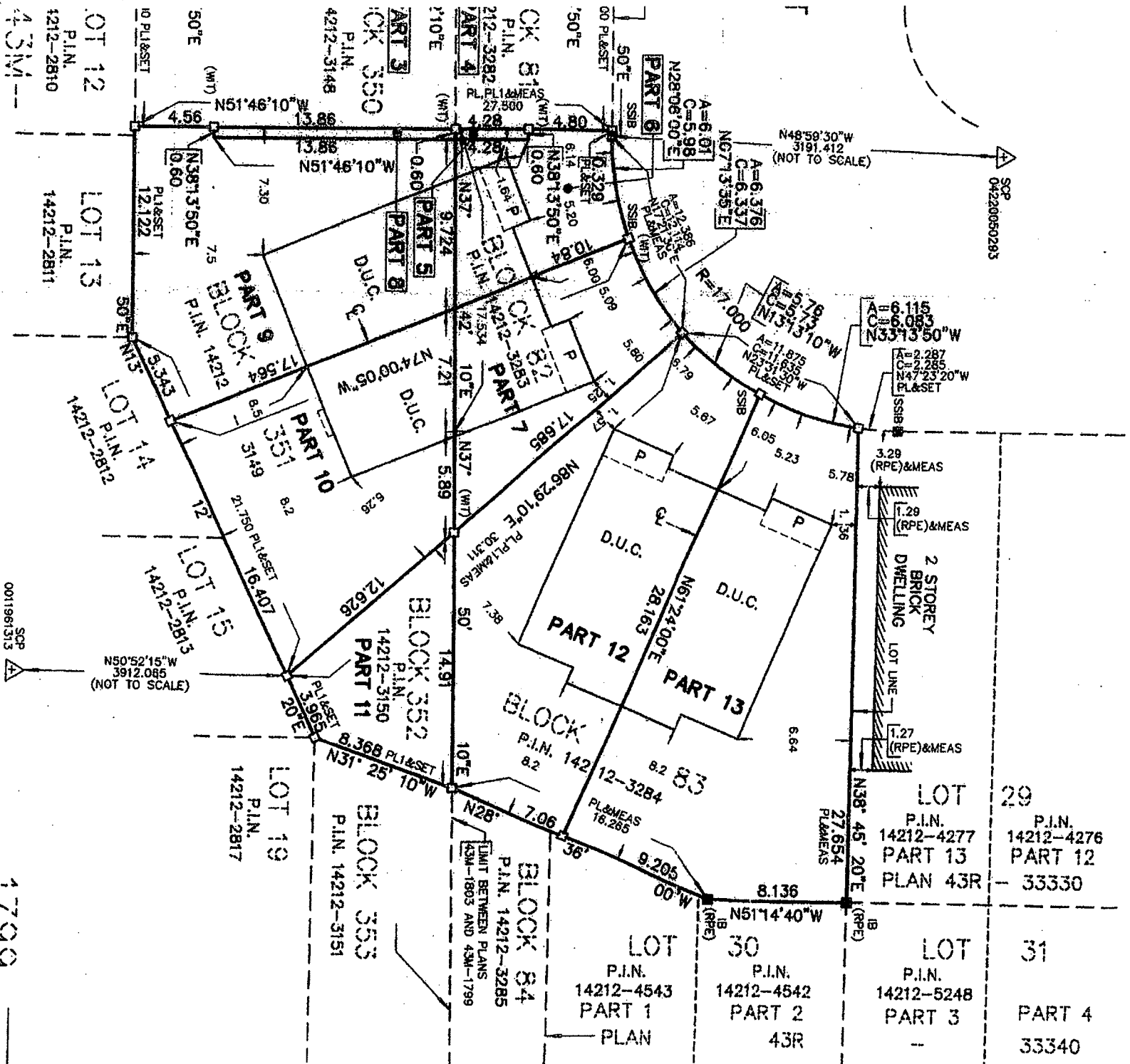
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 29 DAY OF JUNE, 2011.

DATE July 4, 2011.

T. Singh
 T. SINGH
 ONTARIO LAND SURVEYOR



1799

Zoning Non-compliance Checklist

File No.

A-2024-0285

Applicant: Ketul Shah

Address: 66 Newington Cres

Zoning: R2E

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS REAR	To permit a rear yard setback of 4.29m to a proposed sunroom addition,	whereas the by-law requires a minimum rear yard setback of 7.5m.	15.8.2(h)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/07/17

Date