



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Binu Mathew Abraham & Mercy Mathew
Address 14 River Rd Brampton, ON L6X 0A6

Phone # (647) 710-7753 **Fax #** _____
Email binumabraham@hotmail.com

2. **Name of Agent** Saba Al Mathno (QBS Architects INC)
Address 14 Crofton Rd, Toronto ON, M4G 2 B4

Phone # (416) 546-2040 **Fax #** _____
Email saba@qbsarchitects.com

3. **Nature and extent of relief applied for (variances requested):**

 - Maximum GFA
 - Minimum Setback to the Interior Side Lot Line
 - Maximum Building Height for a garden suite

4. **Why is it not possible to comply with the provisions of the by-law?**
It is an existing situation
 - Maximum GFA : 80 sq. m.
 - Minimum Setback to the Interior Side Lot Line: 1.8m
 - Maximum Building Height for a garden suite in a Residential Hamlet zone is 7.5 metres or the height of the principal building, whichever is less.

5. **Legal Description of the subject land:**
Lot Number Part of lot 5 & 6
Plan Number/Concession Number Concession 5
Municipal Address 14 River Rd Brampton, ON L6X 0A6

6. **Dimension of subject land (in metric units)**
Frontage 48.46 m
Depth 49.86 m
Area 2259.38 m²

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Please refer to the following page

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.98 m
Rear yard setback	24.65 m
Side yard setback	0.17 m
Side yard setback	41.25 m

PROPOSED

Front yard setback	6.98 m
Rear yard setback	24.65 m
Side yard setback	0.17 m
Side yard setback	41.25 m

10. Date of Acquisition of subject land: September 14, 2020

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1960

15. Length of time the existing uses of the subject property have been continued: 64

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

EXISTING SECONDARY UNIT INFORMATION				
PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA		70.36 m ²	757.38 SF	
PROP LEGAL SECONDARY UNIT SECOND FLOOR AREA		58.92 m ²	634.22 SF	
TOTAL: 2		129.28 m ²	1391.60 SF	
PROP. SECONDARY UNIT COVERAGE $74.50/2259.38 = 3.30\%$		70.36 m ²	757 SF	
SETBACKS	EXISTING		PROPOSED	
	(m)	(ft)	(m)	(ft)
FRONT:	6.98	22.90	EXISTING TO REMAIN	
REAR:	24.65	80.87	EXISTING TO REMAIN	
SIDE (RIGHT):	0.17	0.55	EXISTING TO REMAIN	
SIDE(LEFT):	41.25	135.33	EXISTING TO REMAIN	
BUILDING HEIGHT:			EXISTING TO REMAIN	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

SauBa

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, _____, OF THE _____ OF _____

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

_____ OF _____

IN THE _____ OF _____

_____ THIS _____ DAY OF _____

_____, 20____.

A Commissioner etc.

SauBa

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED _____

APPOINTMENT AND AUTHORIZATION OF AGENT

To The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
cea@brampton.ca

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A6

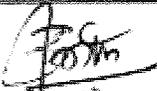
I/We Binu Mathew Abraham & Mercy Mathew
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Saba Al Mathno (OBS Architects INC)
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land

Dated this 21 day of February, 2024


(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner)


(where the owner is a firm or corporation, please print or type the full name of the person signing)

NOTE: *If the owner is a firm or corporation, the corporate seal shall be affixed hereto.*

PERMISSION TO ENTER

To The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
oca@brampton.ca

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A6

I/We, Binu Mathew Abraham & Mercy Mathew
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent

Dated this 21 day of February, 2024



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner)



(where the owner is a firm or corporation, please print or type the full name of the person signing)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



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 (Please read Instructions)

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Address 14 Crofton Rd, Toronto ON, M4G 2 B4

Phone # (416) 546-2040 **Fax #** _____
Email saba@qbsarchitects.com

3. **Nature and extent of relief applied for (variances requested):**
Proposed ground floor addition does not comply with the minimum required front yard setback of 12.0 metres

Proposed front yard landscaping does not comply with the minimum 70% required front yard landscaping.

4. **Why is it not possible to comply with the provisions of the by-law?**
The proposed addition lines up with the edge of the existing house which extends beyond the allowable setback

5. **Legal Description of the subject land:**
Lot Number Part of lot 5 & 6
Plan Number/Concession Number Concession 5
Municipal Address 14 River Rd Brampton, ON L6X 0A6

6. **Dimension of subject land (in metric units)**
Frontage 48.46 m
Depth 49.86 m
Area 2259.38 m2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Please refer to the following page

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Please refer to the following page

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.88 m
Rear yard setback 28.80 m
Side yard setback (right) 6.61 m
Side yard setback (left) 30.14 m

PROPOSED

Front yard setback 2.60 m
Rear yard setback 27.52 m
Side yard setback (right): 6.61 m
Side yard setback (left): 16: 20 m

10. Date of Acquisition of subject land: September 14, 2020

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1960

15. Length of time the existing uses of the subject property have been continued: 64

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers
Ditches Other (specify) Surface drainage
Swales

Existing building (main house):

ground floor area: 155.62sm
gross floor area: 218.47sm
number of storeys: above grade 2, below grade 1
width: 10.65m
length: 17.21m
height: 7.21m

Existing secondary unit:

ground floor area: 64.00sm
gross floor area: 123.32sm
number of storeys: above grade 2 (existing to remain)
width: 12.24m
length: 6.29m
height: 8.29m

Proposed building (main house):

ground floor area: 300.59sm
gross floor area: 417.65sm
number of storeys: above grade 2, below grade 1 (existing to remain)
width: 16.14m
length: 18.55m
height: 7.21m (existing to remain)

Proposed secondary unit:

ground floor area: 82.70sm
gross floor area: 156.56sm
number of storeys: above grade 2 (existing to remain)
width: 13.88m
length: 6.29m (existing to remain)
height: 8.29m (existing to remain)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

S. B. S. [Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 29 DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Binu Mathew Abraham, OF THE City OF Brampton
IN THE Region OF Peel. SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 29 DAY OF
February, 2024

[Signature]
S. B. S.

Signature of Applicant or Authorized Agent

Clara Vani
A Commissioner etc.,
Province of Ontario,
for the Corporation of the
City of Brampton

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
Present Zoning By-law Classification: RHM1

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Connor Cowan 2024-02-28
Zoning Officer Date

DATE RECEIVED February 29, 2024
Clara

APPOINTMENT AND AUTHORIZATION OF AGENT

To The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A6

I/We, Binu Mathew Abraham & Mercy Mathew
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

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please print/type the full name of the agent(s)

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(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner)



(where the owner is a firm or corporation, please print or type the full name of the person signing)

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PERMISSION TO ENTER

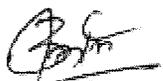
To The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
cca@brampton.ca

LOCATION OF THE SUBJECT LAND 14 River Rd Brampton, ON L6X 0A5

I/We, Binu Mathew Abraham & Mercy Mathew
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent

Dated this 21 day of February, 2024



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ARCHITECTURAL SHEET LIST		
Sheet Number	Sheet Name	Current/Revision
A0-00	COVER	016
A0-01	PERSPECTIVE	016
A0-02	SITE PLAN	016
A0-03	SURVEY	016
A0-04	LOT AREA AND COVERAGE	016
A0-07	FLOOR AREA PLAN	016
A0-08	LANDSCAPE AREA PLAN	016
A0-09	SECONDARY UNIT FLOOR AREA PLAN	013
A0-10	CONSTRUCTION NOTES	016
A1-00	PROP. FOUNDATION PLAN	016
A1-01	PROP. UNFINISHED BASEMENT	016
A1-02	PROP. UNFINISHED FLOOR	016
A1-03	PROP. SECOND FLOOR	016
A1-04	PROP. ROOF PLAN	016
A1-05	PROP. SECONDARY UNIT FOUNDATION PLAN	014
A1-06	PROP. SECONDARY UNIT GROUND FLOOR PLAN	014
A1-07	PROP. SECONDARY UNIT SECOND FLOOR	014
A1-08	PROP. SECONDARY UNIT ROOF PLAN	014
A2-01	PROP. FRONT AND REAR ELEVATION	016
A2-02	PROP. SIDE ELEVATION	016
A2-03	PROP. SECONDARY UNIT FRONT AND REAR ELEVATION	013
A2-04	PROP. SECONDARY UNIT RIGHT AND LEFT ELEVATION	013
A2-05	PROP. SECTION	016
A3-02	PROP. SECONDARY UNIT SECTION	013
A4-01	DOOR WINDOW SCHEDULE & WALL ASSEMBLIES	016
A4-02	DETAILS	016
A5-01	EXISTING BASEMENT	016
A5-02	EXISTING GROUND FLOOR PLAN	016
A5-03	EXISTING SECOND FLOOR PLAN	016
A5-04	EXISTING ROOF PLAN	016
A5-05	EXISTING SECONDARY UNIT GROUND FLOOR PLAN	013
A5-06	EXISTING SECONDARY UNIT FIRST FLOOR PLAN	013
A5-07	EXISTING SECONDARY UNIT ROOF PLAN	013
A6-01	EXISTING FRONT AND REAR ELEVATION	016
A6-02	EXISTING SIDE ELEVATION	016
A6-03	EXISTING SECONDARY UNIT SIDE ELEVATION	013
A6-04	EXISTING SECONDARY UNIT FRONT & REAR ELEVATION	013

Grand total: 37

PROJECT

14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/24
015	ISSUED FOR BUILDING PERMIT	02/14/24
013	ISSUED FOR BUILDING PERMIT	10/13/23
011	ISSUED FOR CLIENT	11/06/23
08	ISSUED FOR FORMING REVIEW	01/17/23
02	ISSUED FOR REVIEW	10/12/22
01	ISSUED FOR CVC	02/27/22

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS



TORONTO - CANADA 416 516 2040 info@qbsarchitects.com

DRAWING TITLE

COVER

DRAWN

CHECKED

PP

SA

SCALE @ ARCH D

DATE

11/03/23

GRAPHIC SCALE

PROJECT NO.

200155

STAGE

DRAWING NO.

COFA A0-00

LOCATION

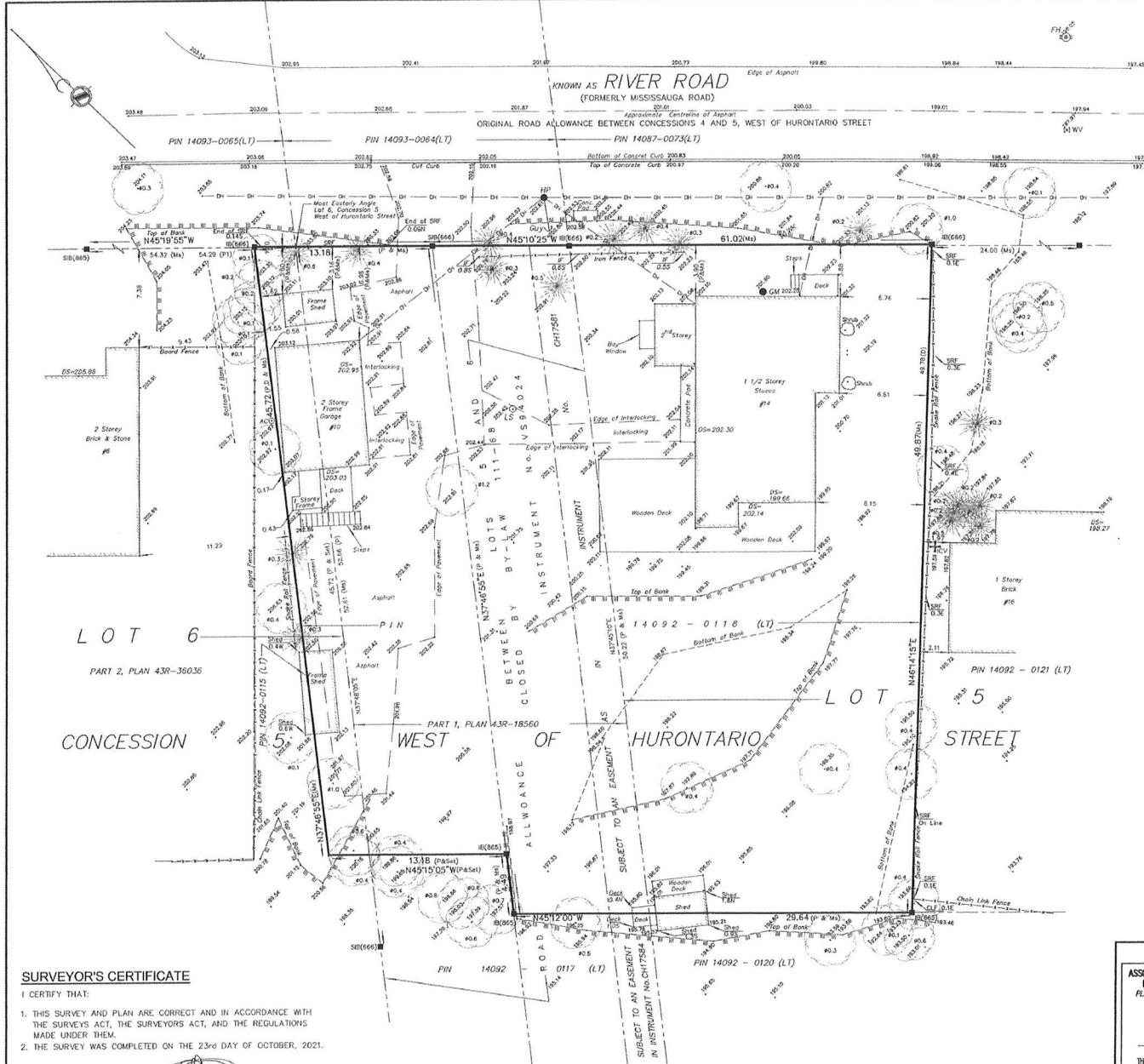
REVISION

HALTON HILLS

016



PROJECT		
14 RIVER ROAD BRAMPTON, ON L6X 0A6		
CLIENT		
Owner		
		
REVISIONS		
No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023
02	ISSUED FOR REVIEW	12/01/2022
01	ISSUED FOR CVC	06/27/2022
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p> <p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.</p>		
CONSULTANTS		
 		
TORONTO - CANADA 416 546 2040 info@qbs.ca		
DRAWING TITLE		
PERSPECTIVE		
DRAWN	CHECKED	
PP	SA	
SCALE @ ARCH D	DATE	
	10/20/22	
GRAPHIC SCALE		
PROJECT NO.		
200155		
STAGE	DRAWING NO.	
COFA A0-01		
LOCATION	REVISION	
HALTON HILLS	016	



SURVEYOR'S REAL PROPERTY REPORT
 SHOWING TOPOGRAPHIC FEATURES OF
**THE ROAD ALLOWANCE BETWEEN LOTS 5
 AND 6**
 (CLOSED BY CHINGUACOUSY BY-LAW 111-68)
 AND
**PART OF LOTS 5 AND 6, CONCESSION 5
 WEST OF HURONTARIO STREET**
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEI

SCALE 1:200
 0 1 2 3 4 5 10 Metres

YOUNG & YOUNG SURVEYING INC.
 ONTARIO LAND SURVEYORS
 © 2021

METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 2

DESCRIPTION OF LAND
THE ROAD ALLOWANCE BETWEEN LOTS 5 AND 6 (CLOSED BY CHINGUACOUSY BY-LAW 111-68) AND PART OF LOTS 5 AND 6, CONCESSION 5 WEST OF HURONTARIO STREET (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEI
COMPLIANCE WITH MUNICIPAL ZONING
NOT CERTIFIED BY THIS REPORT
REGISTERED EASEMENTS
SUBJECT TO AN EASEMENT AS IN INSTRUMENT No. CH17581
ADDITIONAL REMARKS
NOTE THE LOCATION OF THE FENCES, DRIVEWAY, SHED, OVERHEAD WIRE AND TREES IN RELATION TO THE BOUNDARY LIMITS.

BEARING NOTE
 BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET)
 OBSERVATIONS, UTM ZONE 17, NAD83 (CGRS 2010).

DISTANCE NOTE
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID
 BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999668.

- LEGEND**
- DENOTES FOUND BAR
 - DENOTES PLANTED BAR
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - M₀ DENOTES MEASURED
 - P DENOTES PLAN 43R-18560
 - P1 DENOTES PLAN 43R-36036
 - D DENOTES INSTRUMENT No. R0952965
 - (666) DENOTES A, DEATH, O.L.S
 - (885) DENOTES D.P. McLEAN, O.L.S
 - WHS DENOTES WEST OF HURONTARIO STREET
 - HP DENOTES HYDRO POLE
 - LS DENOTES LIGHT STANDARD
 - MWV DENOTES WATER VALVE
 - MWK DENOTES WATER KEY
 - PH DENOTES FIRE HYDRANT
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - DS DENOTES DOOR SILL
 - GS DENOTES GARAGE SILL
 - SRF DENOTES SHAKE RAIL FENCE
 - IF DENOTES IRON FENCE
 - N DENOTES NORTH
 - E DENOTES EAST
 - W DENOTES WEST
 - S DENOTES SOUTH
 - CL DENOTES CENTRE LINE
 - DENOTES DECIDUOUS TREE WITH DIAMETER
 - DENOTES CONIFEROUS TREE WITH DIAMETER
 - DENOTES OVERHEAD HYDRO LINES
 - DENOTES IRRIGATION CONTROL VALVE
 - DENOTES AIR CONDITIONER
 - DENOTES BELL BOX
 - DENOTES GAS METER

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
 THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS
 MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF OCTOBER, 2021.

Nov 12/21
 DATE

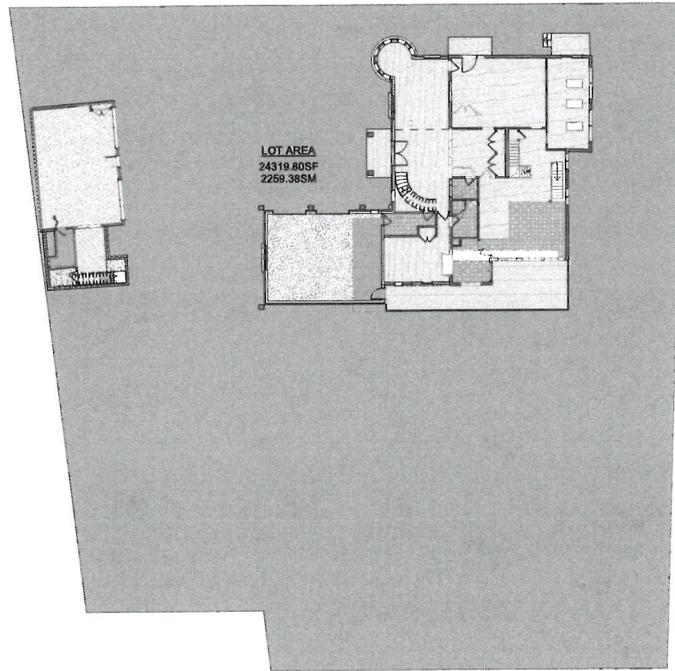
 JAMES A. AGEMANG B.Eng.
 ONTARIO LAND SURVEYOR

BENCHMARK NOTE
 ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE
 CITY OF BRAMPTON, MONUMENT #042200354 (ONT.78 ADJUSTMENT) HAVING
 AN ELEVATION 205.85 METRES.

BEARING ROTATION NOTE
 FOR BEARING COMPARISONS, A ROTATION OF 0°54'05" COUNTER CLOCKWISE
 WAS APPLIED TO PLAN P TO CONVERT TO GRID BEARINGS

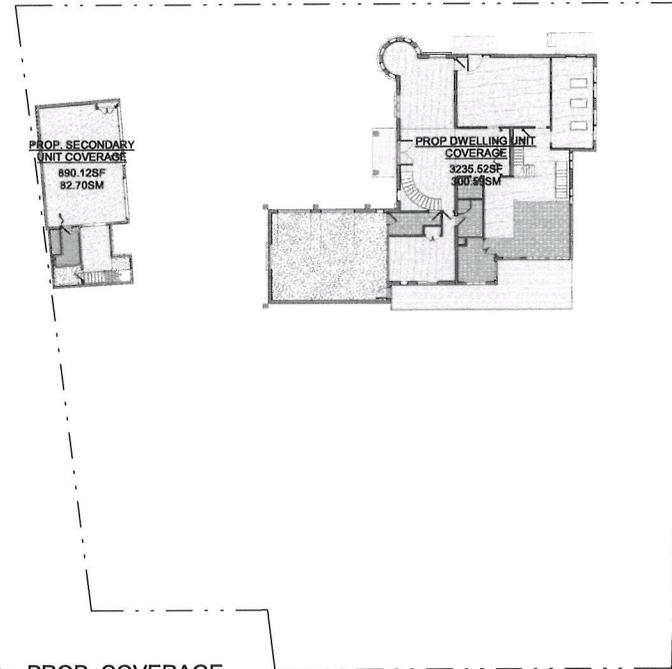
 ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-20341	 YOUNG & YOUNG SURVEYING INC. A Subsidiary of Mauro Group Inc.
	2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1 PHONE: 905.951.6000 - FAX: 905.857.4811 www.youngsurveying.ca - info@youngsurveying.ca
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH Regulation 1009, Section 29(3).	PARTY CHIEF: DEV DRAWN BY: LV CHECKED BY: JA CLIENT: MATTHEW, 4802484M PLAN: E:\PROJECTS\2021\210775\WSCAD\B777E_SRP.R_TPO.DWG PROJECT No. 21-B777E

PROJECT			
14 RIVER ROAD BRAMPTON, ON L6X 0A6			
CLIENT			
Owner			
REVISIONS			
No.	Description	Date	
016	ISSUED FOR COFA	02/14/2024	
015	PREPARED FOR BUILDING PERMIT	03/14/2024	
013	ISSUED FOR BUILDING PERMIT	12/01/2023	
06	ISSUED FOR BUILDING PERMIT	06/27/2023	
04	ISSUED FOR ZONING REVIEW	03/17/2023	
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CONSULTANTS			
 QBS ARCHITECTS INC.			
TORONTO - CANADA 416.545.2842 info@qbsarchitects.com			
DRAWING TITLE			
SURVEY			
DRAWN	PP	CHECKED	SA
SCALE @ ARCH D		DATE	10/20/22
GRAPHIC SCALE			
PROJECT NO.	200155		
STAGE	DRAWING NO.		
COFA A0-05			
LOCATION	HALTON HILLS	REVISION	016

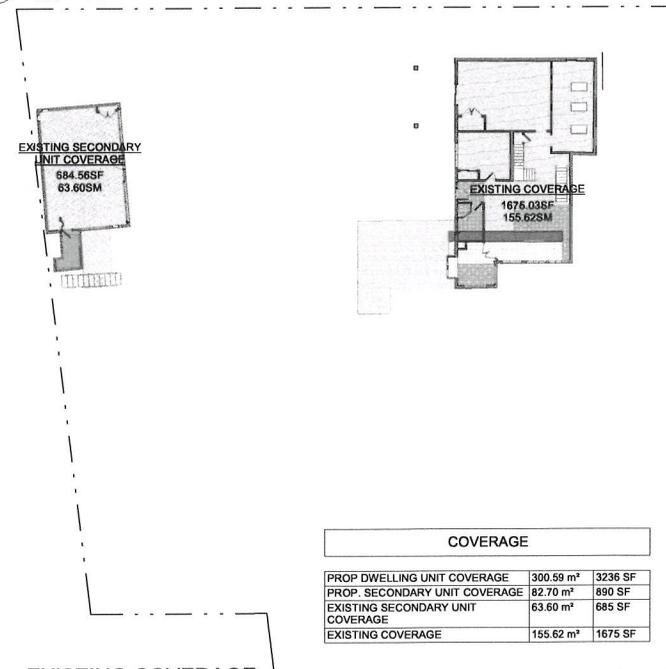


1 LOT AREA
1/16" = 1'-0"

LOT AREA		
LOT AREA	2259.38 m ²	24320 SF



2 PROP. COVERAGE
1/16" = 1'-0"



3 EXISTING COVERAGE
1/16" = 1'-0"

COVERAGE		
PROP DWELLING UNIT COVERAGE	300.89 m ²	3236 SF
PROP. SECONDARY UNIT COVERAGE	82.70 m ²	890 SF
EXISTING SECONDARY UNIT COVERAGE	63.60 m ²	685 SF
EXISTING COVERAGE	155.62 m ²	1675 SF

PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
06	ISSUED FOR BUILDING PERMIT	06/22/2023
04	ISSUED FOR ZONING REVIEW	03/17/2023

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CONSULTANTS

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DRAWING TITLE
LOT AREA AND COVERAGE

DRAWN PP	CHECKED SA
SCALE @ ARCH D 1/16" = 1'-0"	DATE 02/09/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE	DRAWING NO.
	COFA A0-06

LOCATION HALTON HILLS	REVISION 016
---------------------------------	------------------------

PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PERMITTED FOR BUILDING PERMIT	03/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
011	ISSUED FOR CLIENT	11/06/2023
09	ISSUED FOR CLIENT	10/16/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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CONSULTANTS

QBS ARCHITECTS

ONTARIO ASSOCIATION OF ARCHITECTS (O.A.A.)
 1000 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T7

TORONTO - CANADA 416 546 2242 QBS@qbsarch.com

DRAWING TITLE
FLOOR AREA PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 11/03/23

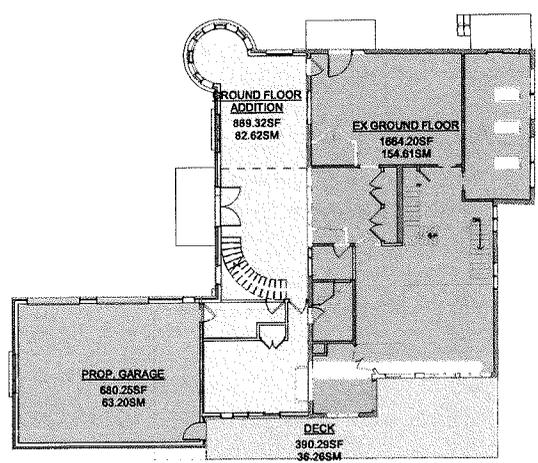
GRAPHIC SCALE

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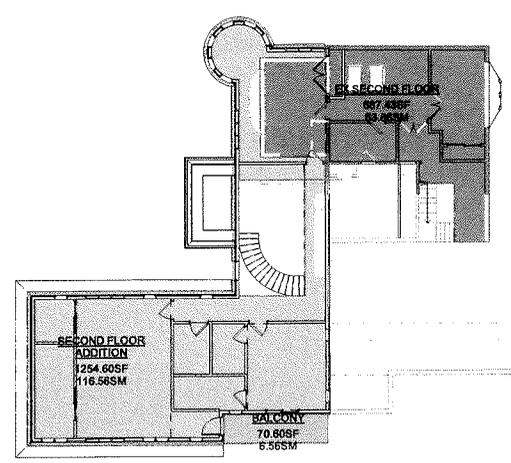
PROJECT NO.
 200155

STAGE DRAWING NO.
COFA A0-07

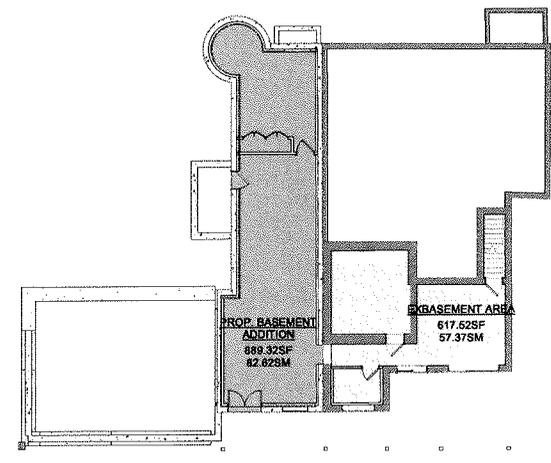
LOCATION HALTON HILLS REVISION **016**



1 GROUND FLOOR-PROPOSED
 1" = 10'-0"



2 SECOND FLOOR-PROPOSED
 1" = 10'-0"



3 BASEMENT-PROPOSED
 1" = 10'-0"

01-GFA

GROUND FLOOR ADDITION	889.32 SF	82.62 SM
SECOND FLOOR ADDITION	1254.60 SF	116.56 SM
EX GROUND FLOOR	1664.20 SF	154.61 SM
EX SECOND FLOOR	647.45 SF	60.45 SM
PROP. GARAGE	680.25 SF	63.20 SM
PROP. GFA	2424.17 SF	222.94 SM

FRONT YARD LANDSCAPING CALCULATION

- DRIVEWAY
- FRONT YARD SOFT LANDSCAPING
- HARD SURFACE
- PORCH

Area Schedule (Front Yard Area - Proposed)		
Name	Area	Area M ²
DRIVEWAY	1788 SF	166.14 M ²
FRONT YARD SOFT LANDSCAPING	774 SF	71.82 M ²
HARD SURFACE	843 SF	77.97 M ²
DRIVEWAY	1788 SF	166.14 M ²
FRONT YARD LANDSCAPING CALCULATION	4309 SF	402.29 M ²

	SQ. FT.	SQ. M.
TOTAL FRONT YARD AREA	5299	492.29
FRONT YARD SOFT LANDSCAPING AREA	2748	255.12
FRONT YARD SOFT LANDSCAPING RATIO	2748/5299 = 51.86%	



PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE-ISSUED FOR BUILDING PERMIT	12/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
04	ISSUED FOR ZONING REVIEW	02/17/2023

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CONSULTANTS

QBS ARCHITECTS

ONTARIO ASSOCIATION OF ARCHITECTS
200-1000
550-A-1000
1000-1000

TORONTO - CANADA 416 545 2242 info@qbsarchitects.com

DRAWING TITLE
LANDSCAPE AREA PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 10/20/22

GRAPHIC SCALE

PROJECT NO. 200155

STAGE	DRAWING NO.
	COFA A0-08

LOCATION HALTON HILLS	REVISION 016
---------------------------------	-------------------------------

PROJECT

14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT

Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	10/17/2024
015	ISSUED FOR PERMIT	10/07/2023
013	ISSUED FOR BUILDING PERMIT	10/07/2023
012	ISSUED FOR CONSTRUCTION	12/28/2023

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TOWN OF - CANTON 418-448-2705
DRAWING TITLE
PROP. FOUNDATION PLAN

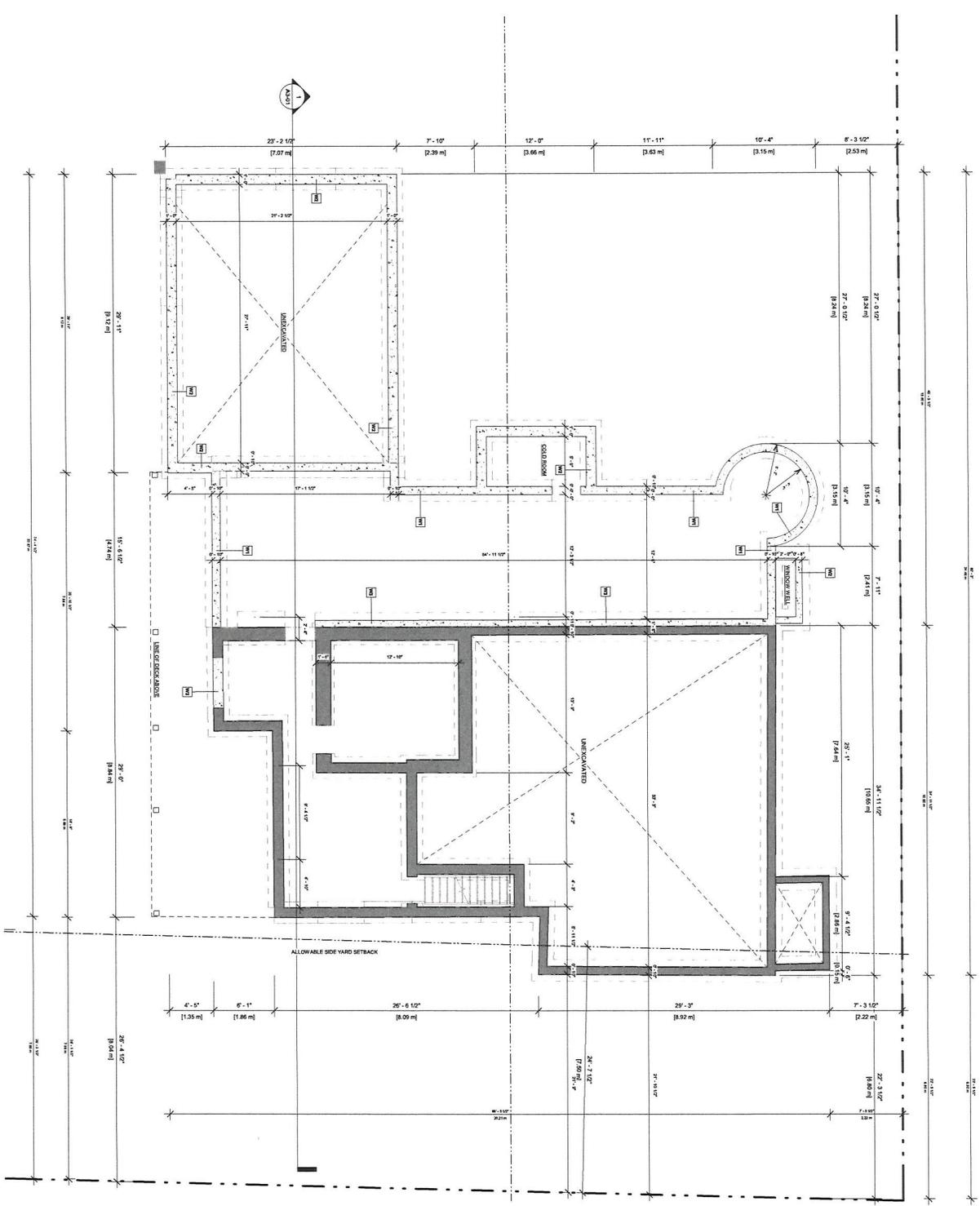
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SCALE @ ARCHD	DATE	11/21/23	
SCALE @ 3/16" = 1'-0"			
GRAPHIC SCALE			

PROJECT NO. 200155

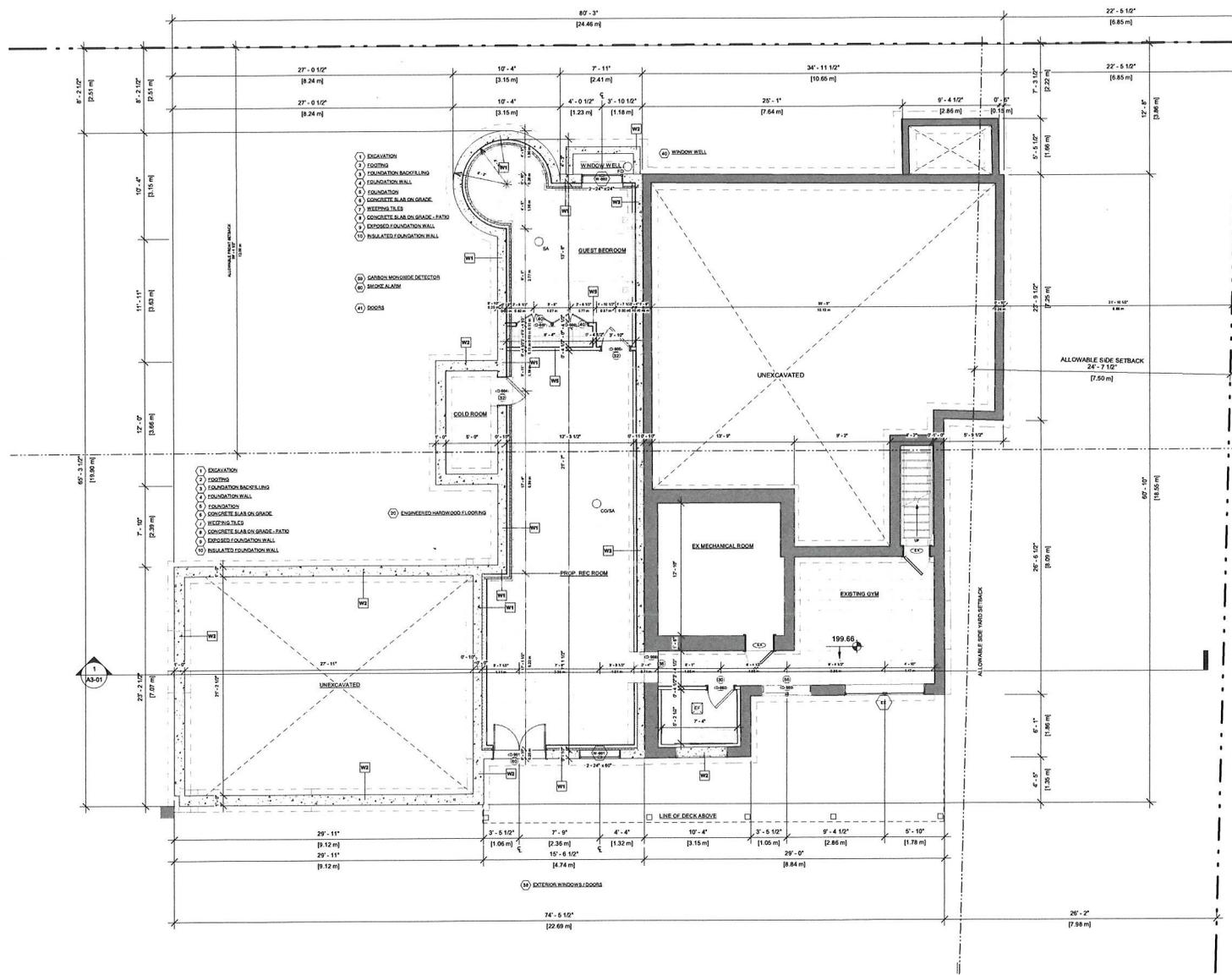
STAGE DRAWING NO.

COFA A1-00

LOCATION HALTON HILLS REVISION 016



WALL TO REMAIN WALL TO BE CONSTRUCTED
--



- (1) EXCAVATION
 - (2) FOOTING
 - (3) FOUNDATION BACKFILLING
 - (4) FOUNDATION WALL
 - (5) FOUNDATION
 - (6) CONCRETE SLAB ON GRADE
 - (7) WEARING TILE
 - (8) CONCRETE SLAB ON GRADE - FATIO
 - (9) EXPOSED FOUNDATION WALL
 - (10) INSULATED FOUNDATION WALL
- (M) CARBON MONOXIDE DETECTOR
 - (A) SMOKE ALARM
 - (D) DOORS

- (1) EXCAVATION
- (2) FOOTING
- (3) FOUNDATION BACKFILLING
- (4) FOUNDATION WALL
- (5) FOUNDATION
- (6) CONCRETE SLAB ON GRADE
- (7) WEARING TILE
- (8) CONCRETE SLAB ON GRADE - FATIO
- (9) EXPOSED FOUNDATION WALL
- (10) INSULATED FOUNDATION WALL

WALL LEGEND
 [Symbol] EXISTING TO REMAIN
 [Symbol] TO BE DEMOLISHED
 [Symbol] NEW CONSTRUCTION

PROJECT
 14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
 Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PREPARED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR P/Q CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/06/2023
010	ISSUED FOR CLIENT	10/26/2023

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DRAWING TITLE
 PROP. UNFINISHED BASEMENT

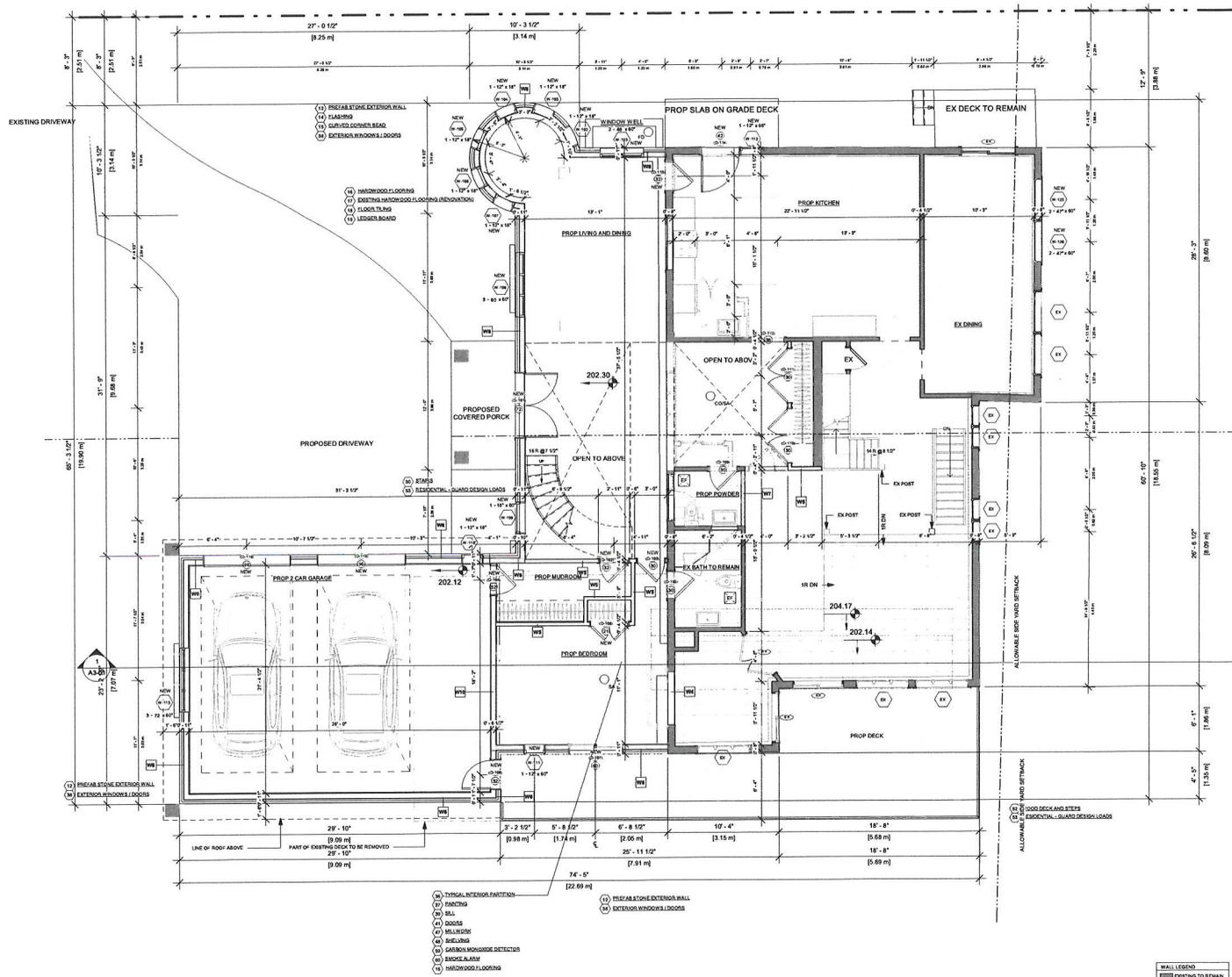
DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/03/23

GRAPHIC SCALE

PROJECT NO. 200155

STAGE	DRAWING NO.
	COFA A1-01

LOCATION HALTON HILLS	REVISION 016
---------------------------------	-------------------------------



PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE ISSUED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR P/Q CONSULTANT	11/29/2023
011	ISSUED FOR CLIENT	11/06/2023
010	ISSUED FOR CLIENT	10/26/2023

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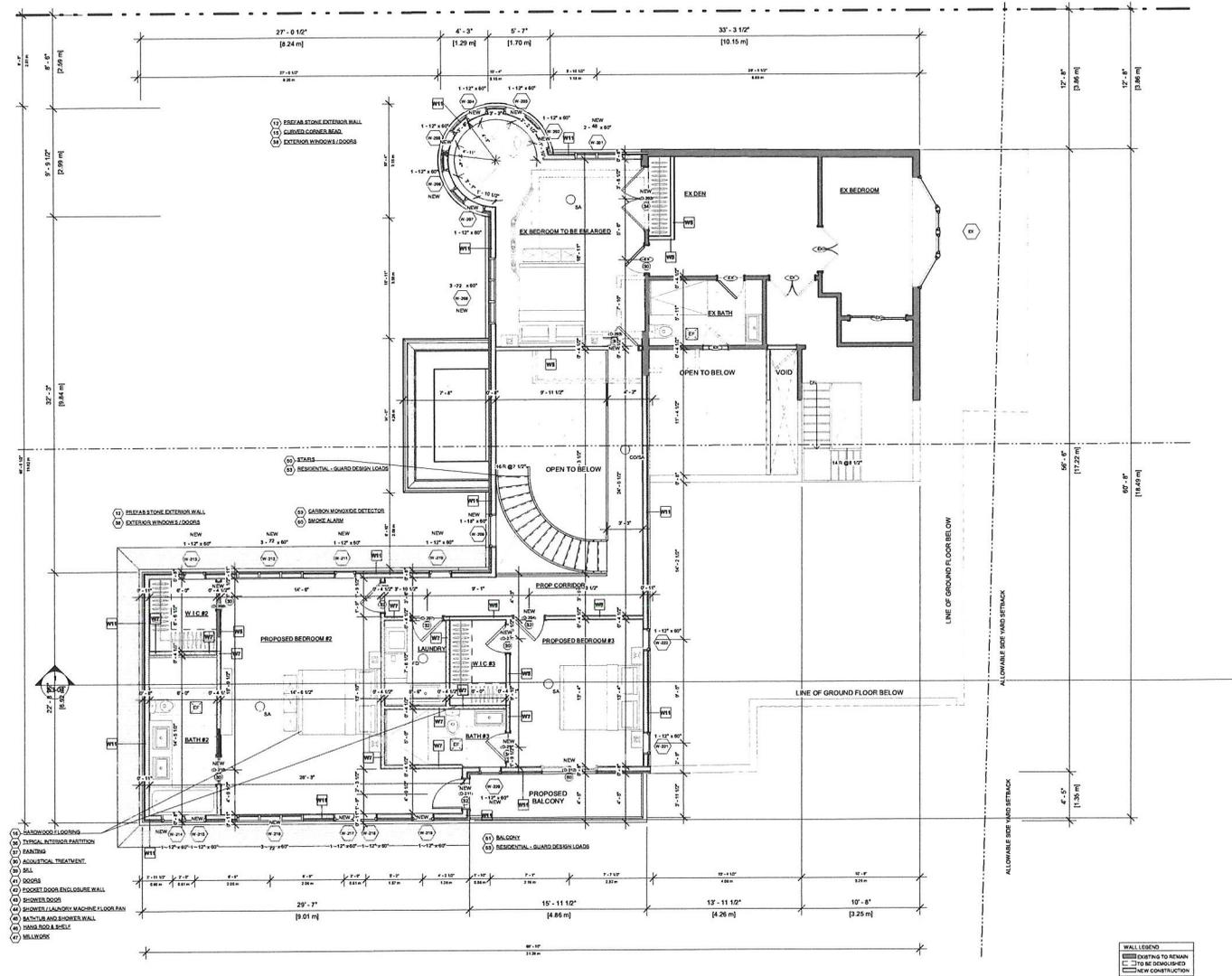
TORONTO - CANADA 416 646 2242 qbs@qbsarchitects.com

DRAWING TITLE
PROP. GROUND FLOOR

DRAWN	PP	CHECKED	SA
SCALE @ ARCH D	3/16" = 1'-0"	DATE	11/03/23

GRAPHIC SCALE

PROJECT NO.	200155
STAGE	DRAWING NO.
COFA A1-02	
LOCATION	REVISION
HALTON HILLS	016



- (1) HARDWOOD FLOORING
- (2) TYPICAL INTERIOR PARTITION
- (3) FRANKLIN
- (4) ACUSTICAL TREATMENT
- (5) SILL
- (6) DOORS
- (7) DOCKET DOOR ENCLOSURE WALL
- (8) SHOWER DOOR
- (9) SHOWER DOOR
- (10) SHOWER DOOR
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- (97) SHOWER DOOR
- (98) SHOWER DOOR
- (99) SHOWER DOOR
- (100) SHOWER DOOR

WALL LEGEND
 [Symbol] EXISTING TO REMAIN
 [Symbol] TO BE DEMOLISHED
 [Symbol] NEW CONSTRUCTION

PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RESUBMITTED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSULTANT	12/07/2023
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPS CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/06/2023
010	ISSUED FOR CLIENT	10/26/2023

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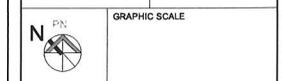
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DRAWING TITLE
PROP. SECOND FLOOR

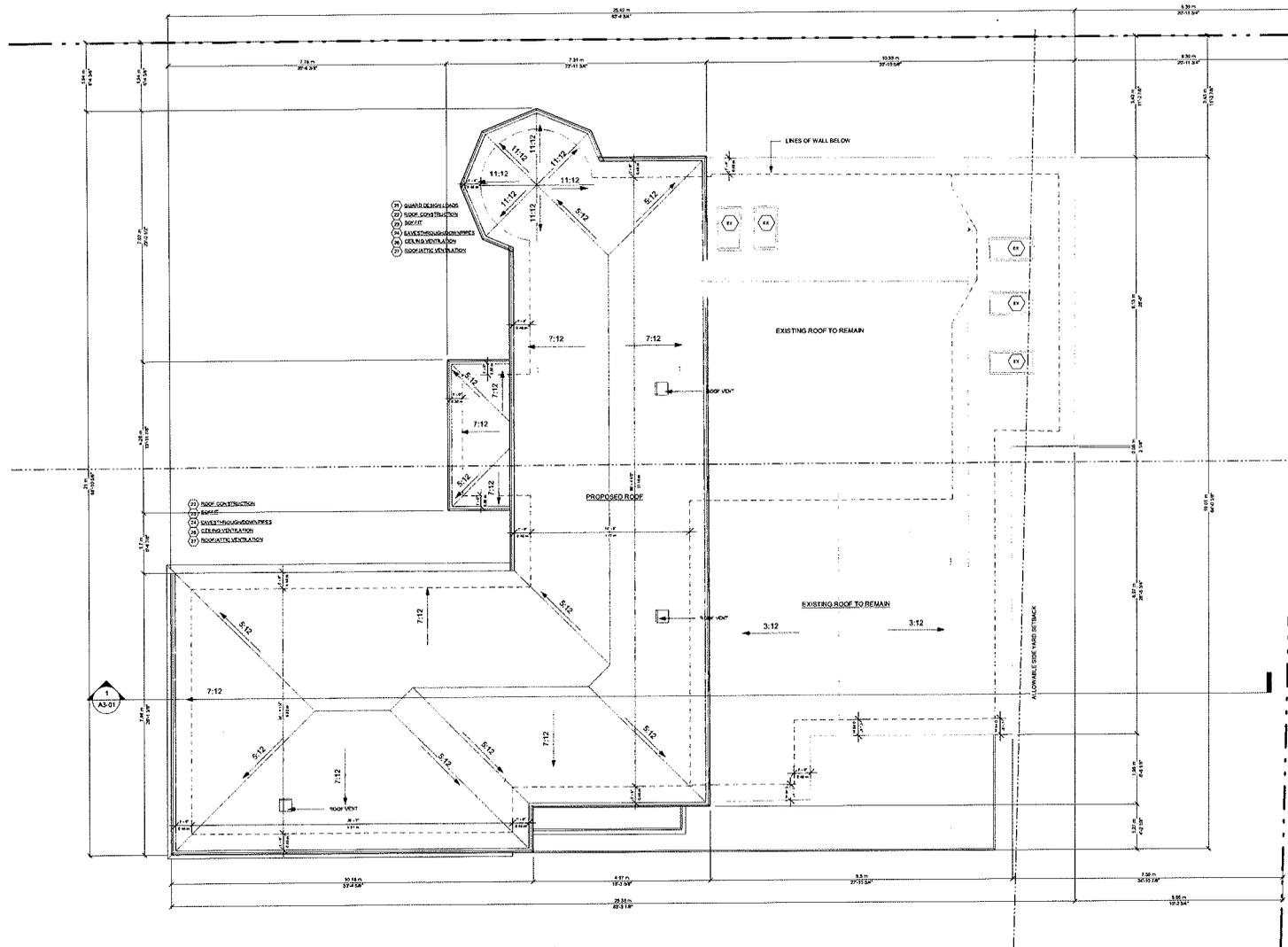
DRAWN	PP	CHECKED	SA
SCALE @ ARCH D	3/16" = 1'-0"	DATE	11/03/23



PROJECT NO. 200155

STAGE DRAWING NO.
COFA A1-03

LOCATION HALTON HILLS REVISION **016**



PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RESUBMITTED FOR BUILDING PERMIT	02/14/2024
014	ISSUED FOR CONSTRUCTION PERMIT	11/20/2023
013	ISSUED FOR BUILDING PERMIT	11/20/2023
012	ISSUED FOR CONSTRUCTION PERMIT	11/20/2023
011	ISSUED FOR CONSTRUCTION PERMIT	02/17/2023
010	RESUBMITTED FOR REVIEW	10/11/2022

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CONSULTANTS

ONTARIO ASSOCIATION OF ARCHITECTS
 QUALITY ASSURANCE PROGRAM
 2023

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DRAWING TITLE
PROP. ROOF PLAN

DRAWN	HH	CHECKED	SA
SCALE @ ARCH D	3/16" = 1'-0"	DATE	10/20/22

GRAPHIC SCALE

PROJECT NO.
 200155

STAGE	DRAWING NO.
COFA A1-04	

LOCATION	REVISION
HALTON HILLS	016

WALL LINES
 --- EXISTING TO REMAIN
 --- TO BE DEMOLISHED
 --- NEW CONSTRUCTION

PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
018	PREPARED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPD CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/02/2023
010	ISSUED FOR CLIENT	10/26/2023
09	ISSUED FOR CLIENT	10/25/2023

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 1000 GERRARD ST. E. SUITE 100
 TORONTO, CANADA 416 846 2910 info@qbsarchitects.com

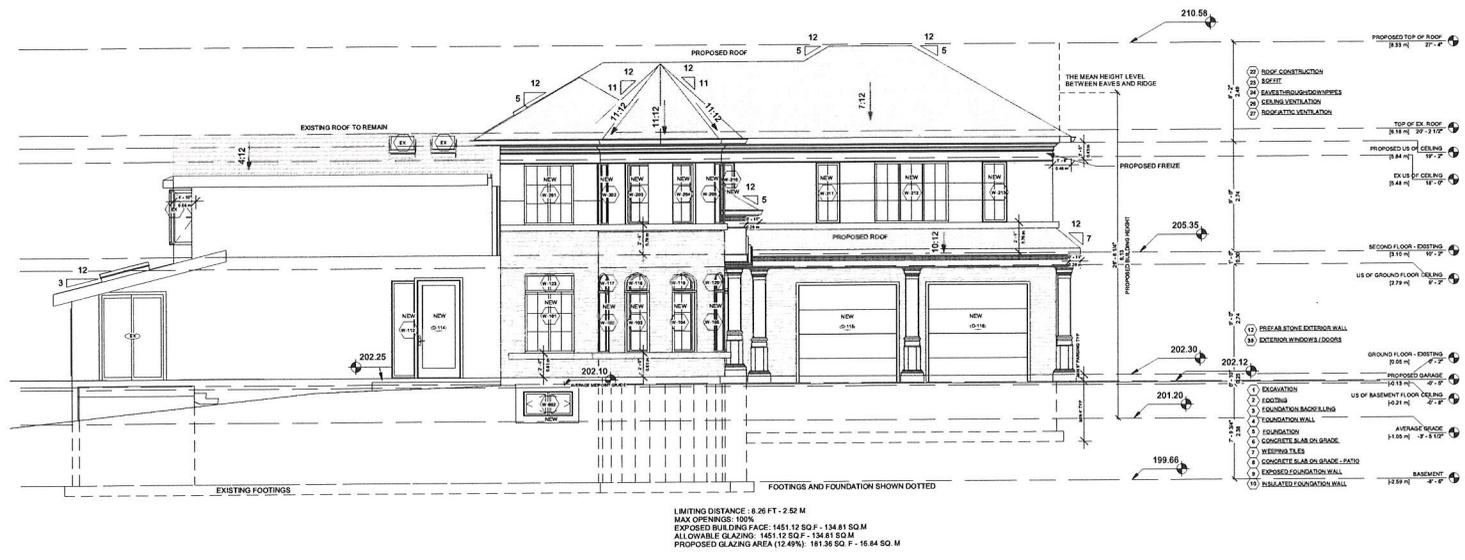
DRAWING TITLE
PROP. FRONT AND REAR ELEVATION

DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	11/03/23
	3/16" = 1'-0"		

PROJECT NO. 200155

STAGE DRAWING NO.
COFA A2-01

LOCATION HALTON HILLS REVISION **016**



FRONT
 3/16" = 1'-0"



REAR
 3/16" = 1'-0"

PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE-ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LPS CONSULTANT	11/22/2023
011	ISSUED FOR CLIENT	11/26/2023
010	ISSUED FOR CLIENT	10/26/2023
09	ISSUED FOR CLIENT	10/25/2023

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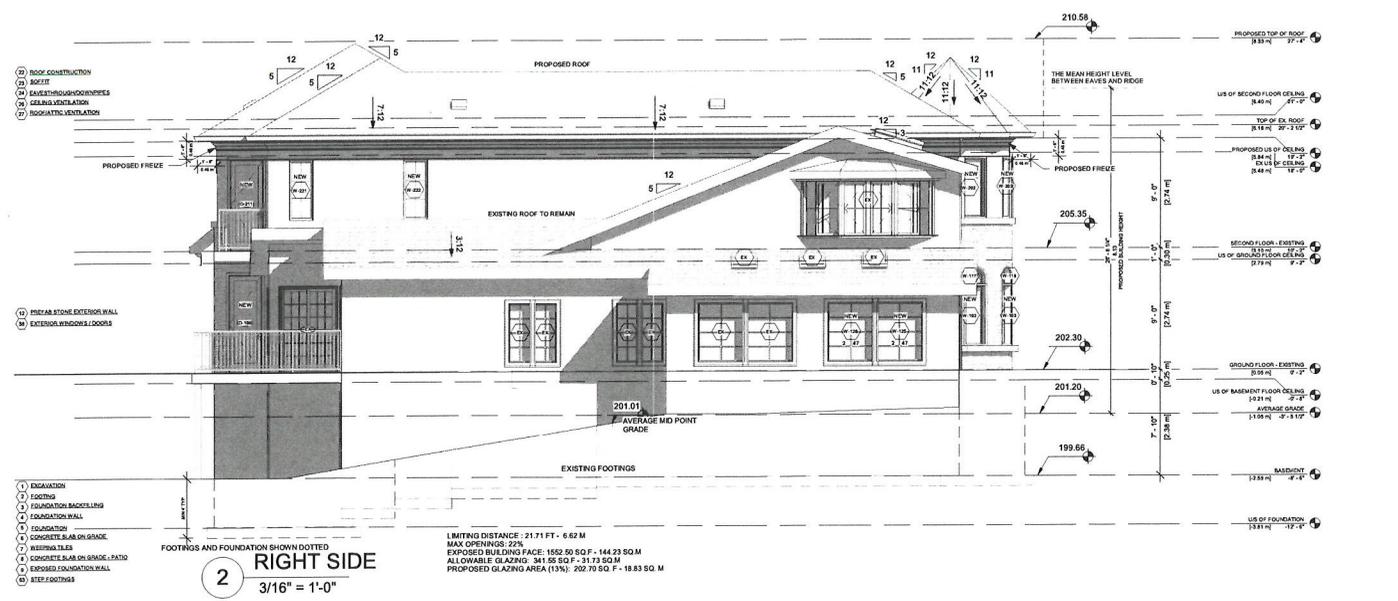
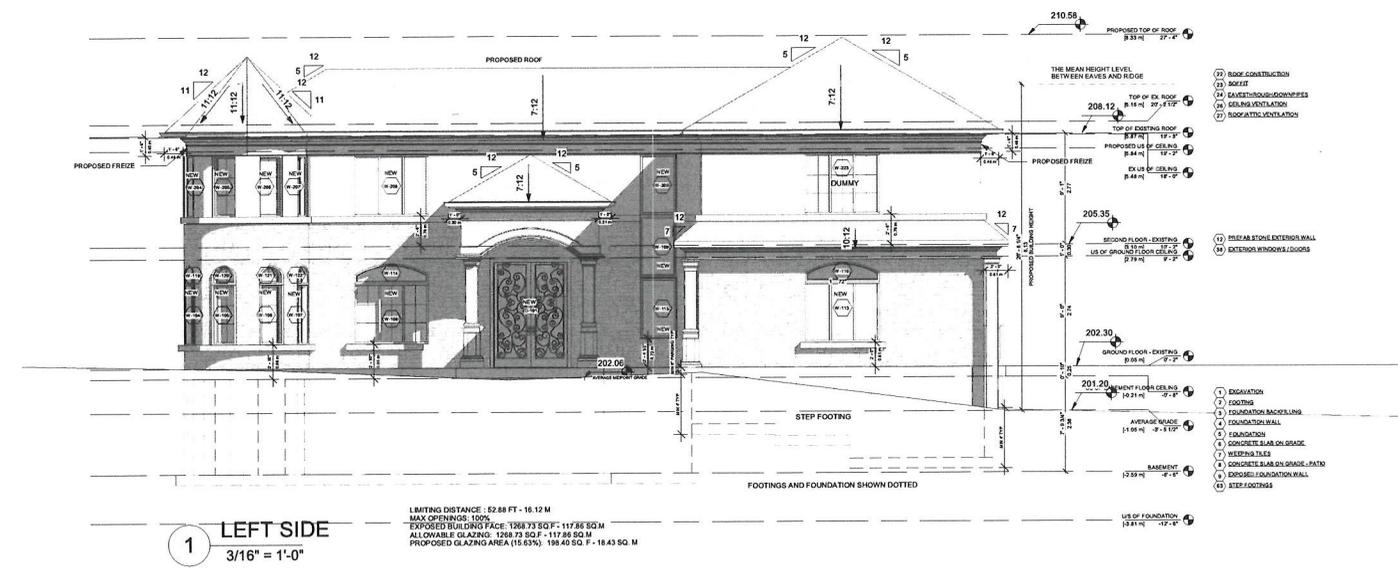
TORONTO - CANADA 416 846 2040 info@qbsarchitects.com

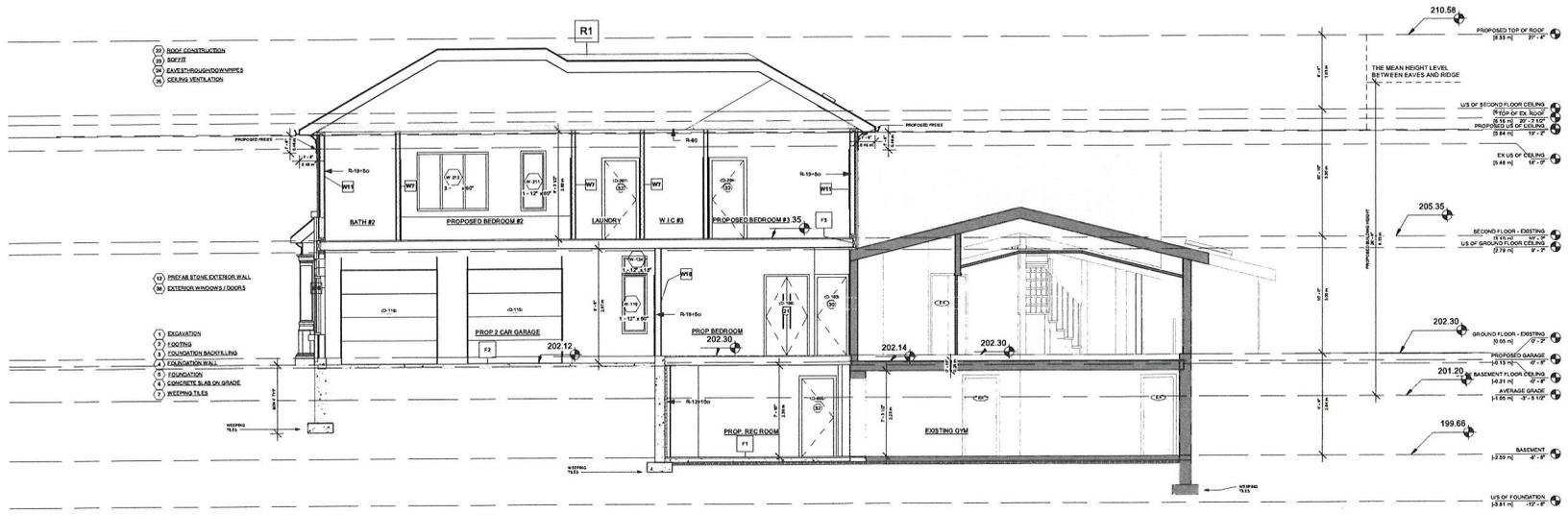
DRAWING TITLE
PROP. SIDE ELEVATION

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/03/23

GRAPHIC SCALE

PROJECT NO. 200155
STAGE COFA A2-02
DRAWING NO.
LOCATION HALTON HILLS
REVISION 016





- (7) ROOF CONSTRUCTION
- (8) ROOF
- (9) EXHAUST/DOWNSPACES
- (10) SEILING VENTILATION

- (12) PRE-AB STONE EXTERIOR WALL
- (13) EXTERIOR WINDOWS / DOORS

- (1) EXCAVATION
- (2) FOOTING
- (3) FOUNDATION BACKFILL
- (4) FOUNDATION WALL
- (5) FOUNDATION
- (6) CONCRETE SLAB ON GRADE
- (7) REPAIRS / TILES

PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	ISSUED FOR BUILDING PERMIT	10/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023
012	ISSUED FOR LFG CONSULTANT	11/22/2023

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CONSULTANTS

TORONTO - CANADA 416 646 2843 info@qbsarchitects.com

DRAWING TITLE
PROP. SECTION

DRAWN PP	CHECKED JB
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/21/23

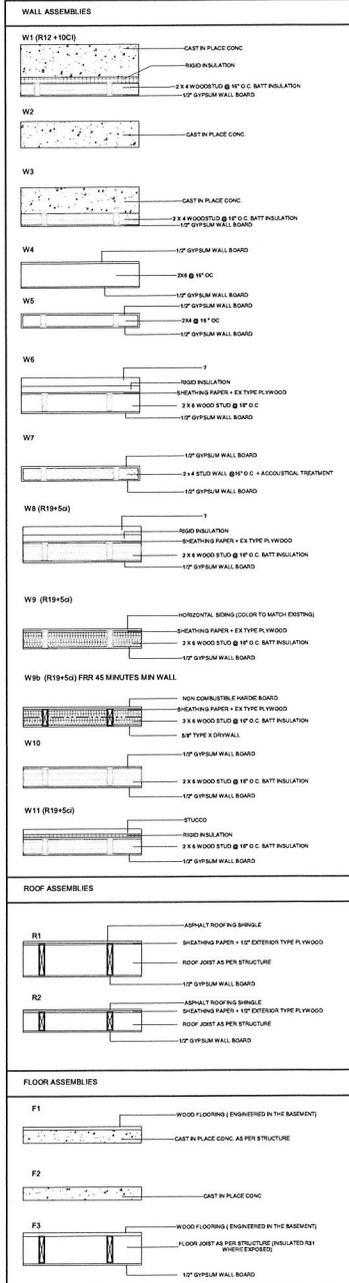
PROJECT NO.
200155

STAGE DRAWING NO.
COFA A3-01

LOCATION HALTON HILLS REVISION **016**

DOOR SCHEDULE						
Mark	Level	Width	Height	From Room	To Room	Operation
D-001	BASEMENT	5'-0"	7'-0"	EXTERIOR	PROP REC ROOM	DOUBLE DOOR
D-002	BASEMENT	2'-6"	6'-8"	BATH	EXISTING GYM	SINGLE SWING
D-003	BASEMENT	4'-8"	7'-0"	EXISTING GYM	EXTERIOR	SLIDING DOOR
D-004	BASEMENT	2'-8"	6'-8"	PROP CLOD ROOM	PROP REC ROOM	SINGLE SWING
D-005	BASEMENT	2'-8"	6'-8"	PROP REC ROOM	PROP REC ROOM	SINGLE SWING
D-006	BASEMENT	3'-4"	7'-0"	PROP CLOSET	PROP GUEST BEDROOM	DOUBLE DOOR
D-007	BASEMENT	3'-4"	7'-0"	PROP CLOSET	PROP GUEST BEDROOM	DOUBLE DOOR
D-008	BASEMENT	3'-0"	6'-8"	PROP REC ROOM	EXISTING GYM	OPENING
D-101	GROUND FLOOR - EXISTING	6'-0"	8'-0"	PROP PORCH	PROP LIVING AND DINING	DOUBLE DOOR
D-102	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP LIVING AND DINING	PROP MUD ROOM	SINGLE SWING
D-103	GROUND FLOOR - EXISTING	2'-6"	6'-8"	PROP LIVING AND DINING	PROP BED ROOM	SINGLE SWING
D-104	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP MUD ROOM	PROP CAR GARAGE	SINGLE SWING
D-105	GROUND FLOOR - EXISTING	2'-6"	6'-8"	PROP BED ROOM	BATH	SINGLE SWING
D-106	GROUND FLOOR - EXISTING	1'-9"	6'-8"	CLOSET	PROP BED ROOM	DOUBLE DOOR
D-107	GROUND FLOOR - EXISTING	5'-0"	7'-6"	PROP BED ROOM	DECK	SLIDING DOOR
D-108	GROUND FLOOR - EXISTING	2'-8"	8'-0"	DECK	PROP CAR GARAGE	SINGLE SWING
D-109	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP FOYER	PROP POWDER	SINGLE SWING
D-110	GROUND FLOOR - EXISTING	2'-6"	6'-8"	PROP CLOSET	PROP FOYER	DOUBLE DOOR
D-111	GROUND FLOOR - EXISTING	2'-6"	6'-8"	PROP CLOSET	PROP FOYER	DOUBLE DOOR
D-112	GROUND FLOOR - EXISTING	3'-0"	6'-8"	PROP FOYER	PROP KITCHEN	OPENING
D-113	GROUND FLOOR - EXISTING	2'-8"	6'-8"	PROP LIVING AND DINING	PROP KITCHEN	SINGLE SWING
D-114	GROUND FLOOR - EXISTING	3'-8"	8'-0"	PROP KITCHEN	EXTERIOR	SINGLE SWING
D-115	PROPOSED GARAGE	8'-0"	8'-0"	PROP CAR GARAGE	EXTERIOR	ROLL UP
D-116	PROPOSED GARAGE	8'-0"	8'-0"	PROP CAR GARAGE	EXTERIOR	ROLL UP
D-117	SECONDARY UNIT GROUND FLOOR LEVEL	2'-6"	6'-0"	PROP HALL	LOW HEADROOM STORAGE	SINGLE SWING
D-202	SECOND FLOOR - EXISTING	2'-10"	6'-8"	PROP CLOSET	EXISTING BEDROOM	DOUBLE DOOR
D-203	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CLOSET	EXISTING BEDROOM	SINGLE SWING
D-204	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CORRIDOR	PROP BEDROOM #3	SINGLE SWING
D-205	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #3	PROP W.I.C. #3	SINGLE SWING
D-206	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #3	PROP BATH #3	SINGLE SWING
D-207	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CORRIDOR	PROP LAUNDRY	SINGLE SWING
D-208	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP CORRIDOR	PROP BEDROOM #2	SINGLE SWING
D-209	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #2	PROP W.I.C. #2	POCKET
D-210	SECOND FLOOR - EXISTING	2'-8"	6'-8"	PROP BEDROOM #2	PROP BATH #2	POCKET
D-211	SECOND FLOOR - EXISTING	7'-8"	7'-8"	PROP BALCONY	PROP BEDROOM #2	SINGLE SWING
D-212	SECOND FLOOR - EXISTING	5'-0"	7'-6"	PROP BALCONY	PROP BEDROOM #3	SLIDING DOOR
D-213	SECONDARY UNIT US OF GROUND FLOOR CEILING	6'-0"	7'-0"	PROP DEN	EXISTING DECK	SLIDING DOOR

Window Schedule 2					
Mark	Level	Sill Height	Height	Width	From Room: Name
W-001	BASEMENT	2'-0"	5'-0"	4'-0"	PROP. REC ROOM
W-002	BASEMENT	5'-6"	2'-0"	4'-0"	GUEST BEDROOM
W-101	GROUND FLOOR - EXISTING	2'-0"	5'-0"	4'-0"	PROP LIVING AND DINING
W-102	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-103	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-104	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-105	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-106	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-107	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP LIVING AND DINING
W-108	GROUND FLOOR - EXISTING	2'-0"	5'-0"	6'-0"	PROP LIVING AND DINING
W-109	GROUND FLOOR - EXISTING	1'-6 1/2"	6'-0"	3'-0"	PROP FOYER
W-110	GROUND FLOOR - EXISTING	2'-0"	5'-0"	2'-0"	PROP 2 CAR GARAGE
W-111	GROUND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROP BEDROOM
W-112	GROUND FLOOR - EXISTING	0'-0"	8'-0"	2'-0"	PROP KITCHEN
W-113	GROUND FLOOR - EXISTING	2'-0"	8'-0"	7'-0"	PROP 2 CAR GARAGE
W-114	GROUND FLOOR - EXISTING	7'-0"	1'-6"	10'-0"	PROP LIVING AND DINING
W-115	GROUND FLOOR - EXISTING	2'-4 1/2"	5'-0"	3'-0"	PROP FOYER
W-116	GROUND FLOOR - EXISTING	7'-0"	1'-6"	10'-0"	PROP 2 CAR GARAGE
W-117	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-118	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-119	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-120	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-121	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-122	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP LIVING AND DINING
W-123	GROUND FLOOR - EXISTING	7'-0"	1'-6"	4'-0"	EX BEDROOM TO BE ENLARGED
W-124	GROUND FLOOR - EXISTING	7'-0"	1'-6"	2'-0"	PROP 2 CAR GARAGE
W-125	GROUND FLOOR - EXISTING	0'-8"	5'-0"	3'-11"	EX DINING
W-126	GROUND FLOOR - EXISTING	0'-8"	5'-0"	3'-11"	EX DINING
W-127	SECONDARY UNIT GROUND FLOOR LEVEL	0'-8"	5'-0"	3'-0"	PROP HALLROOM STORAGE
W-201	SECOND FLOOR - EXISTING	2'-6"	5'-0"	4'-0"	EX BEDROOM TO BE ENLARGED
W-202	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-203	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-204	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-205	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-206	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-207	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-208	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	EX BEDROOM TO BE ENLARGED
W-209	SECOND FLOOR - EXISTING	2'-6"	5'-0"	3'-0"	OPEN TO BELOW - PROP FOYER
W-210	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROP CORRIDOR
W-211	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-212	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-213	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	W.I.C. #2
W-214	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	BATH #2
W-215	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	BATH #2
W-216	SECOND FLOOR - EXISTING	2'-6"	5'-0"	6'-0"	PROPOSED BEDROOM #2
W-217	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-218	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-219	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #2
W-220	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #3
W-221	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #3
W-222	SECOND FLOOR - EXISTING	2'-6"	5'-0"	2'-0"	PROPOSED BEDROOM #3



ASSEMBLIES
1 : 20

PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	PRE-SUBMIT FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

QBS ARCHITECTS INC.

TORONTO • CANADA 416 546 2040 info@qbsarchitects.com

DRAWING TITLE
DOOR WINDOW SCHEDULE & WALL ASSEMBLIES

DRAWN PP CHECKED SA

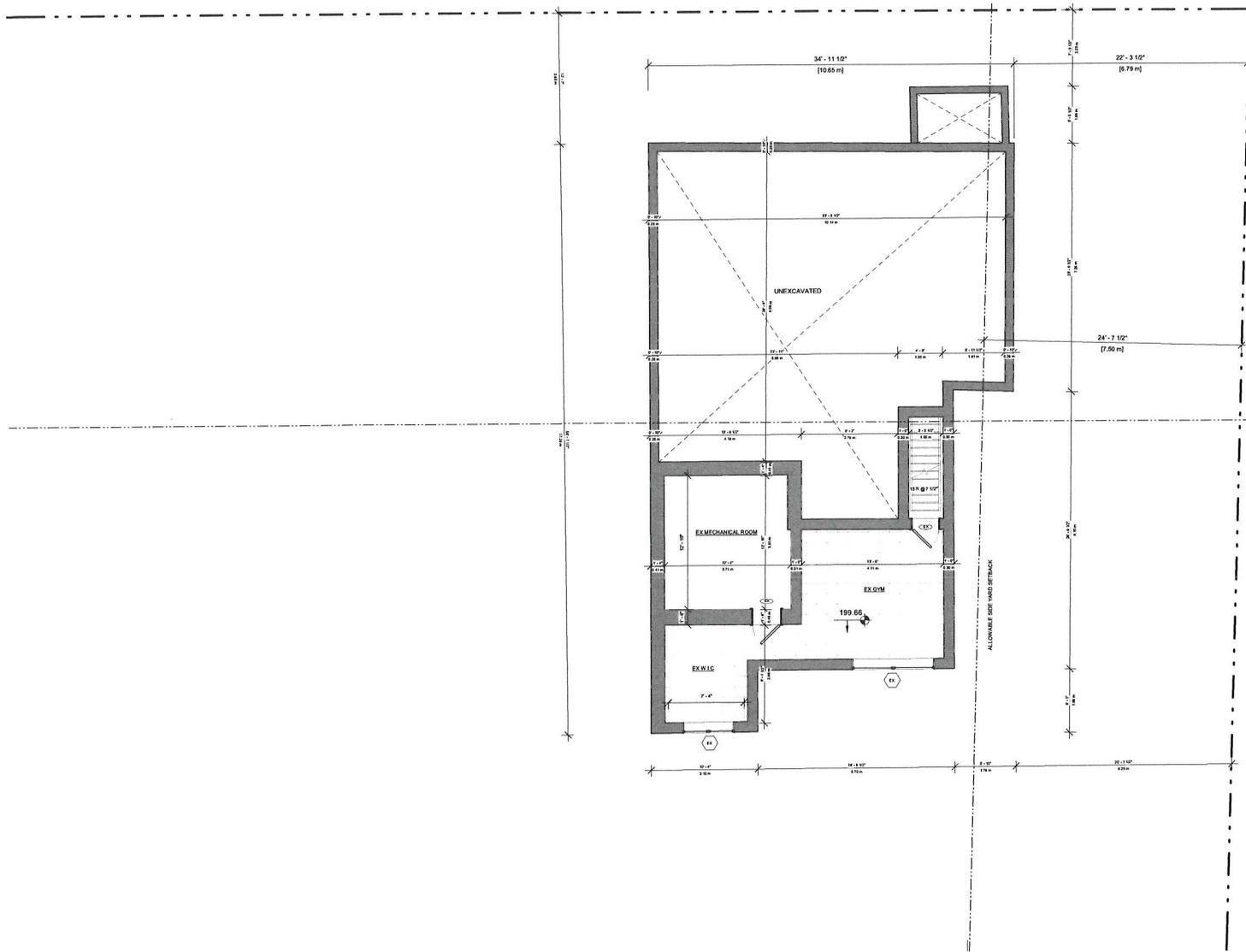
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GRAPHIC SCALE

PROJECT NO. 200155

STAGE DRAWING NO. **COFA A4-01**

LOCATION HALTON HILLS REVISION **016**



PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	ISSUED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

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DRAWING TITLE
EXISTING BASEMENT

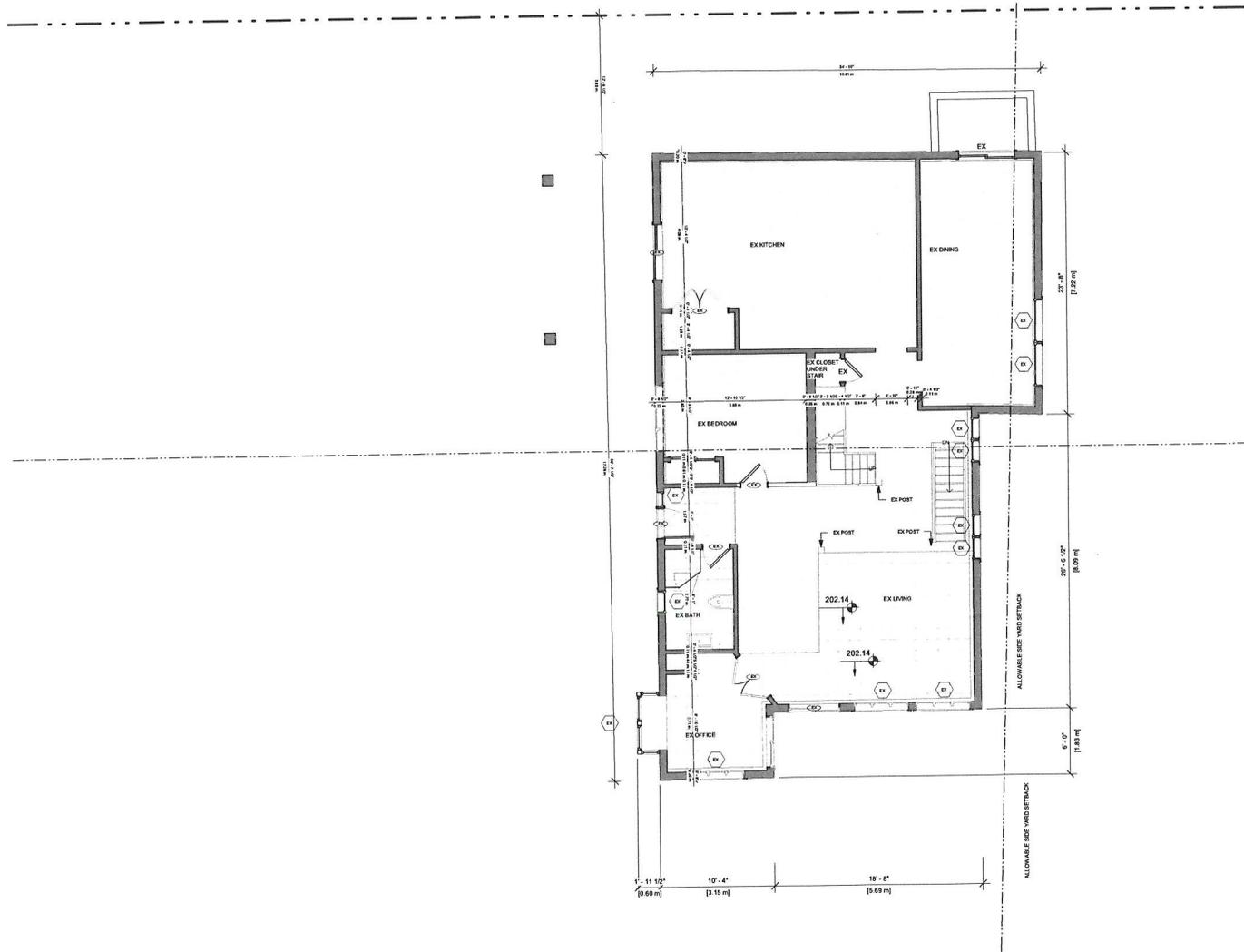
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SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23

GRAPHIC SCALE

 PROJECT NO. 200155

STAGE DRAWING NO.
COFA A5-01

LOCATION HALTON HILLS REVISION **016**



PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	09/14/2024
015	REISSUED FOR BUILDING PERMIT	03/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

ONTARIO ASSOCIATION OF ARCHITECTS
 2024-2025
 5884 ALMATHY DRIVE
 MISSISSAUGA, ONTARIO L4V 1P7

TORONTO - CANADA 416 546 2045 info@qbsarchitects.com

DRAWING TITLE
EXISTING GROUND FLOOR PLAN

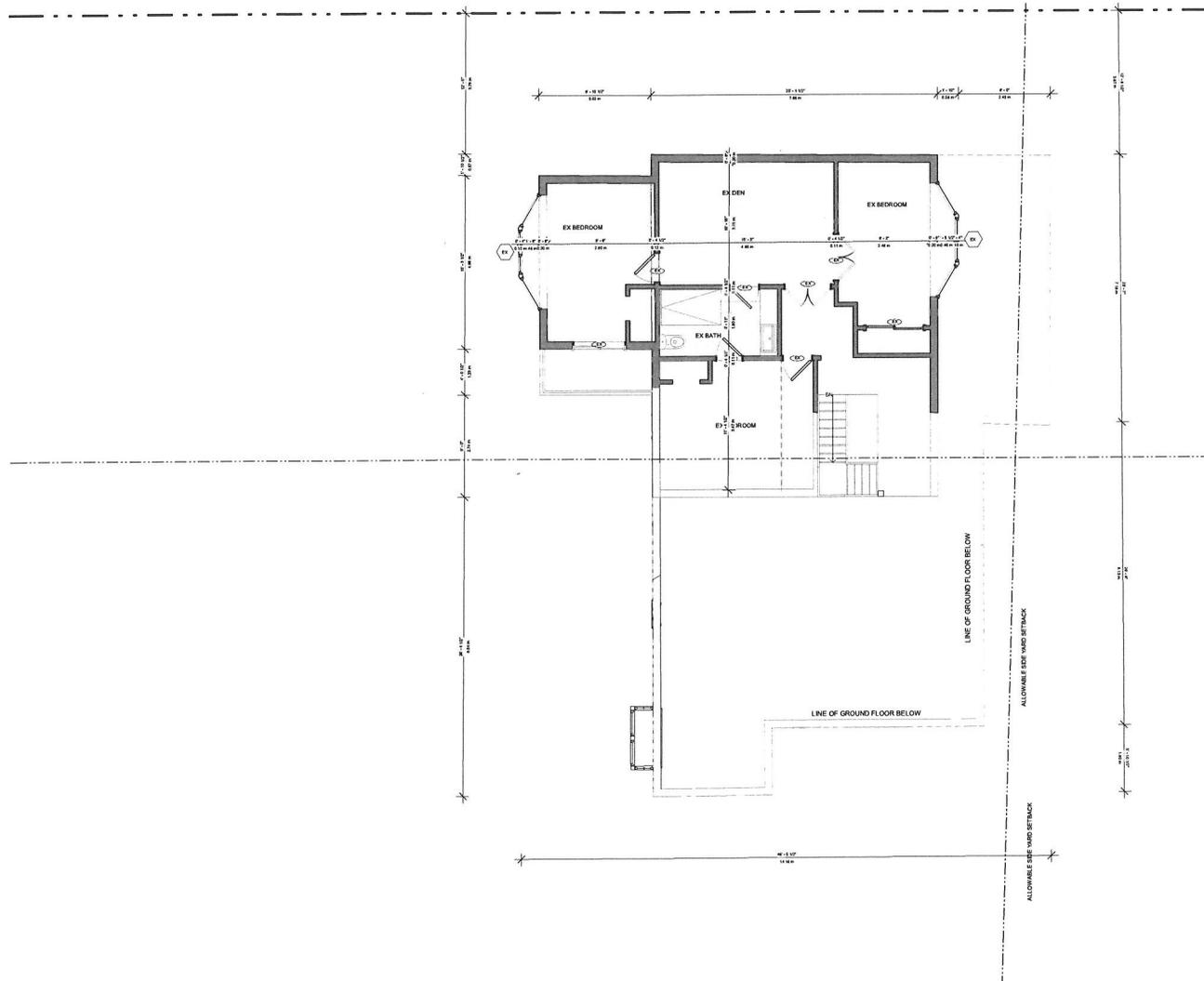
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GRAPHIC SCALE

PROJECT NO.
200155

STAGE	DRAWING NO.
	COFA A5-02

LOCATION HALTON HILLS	REVISION 016
---------------------------------	-------------------------------



PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner

REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	09/14/2024
015	PRE ISSUED FOR BUILDING PERMIT	09/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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DRAWING TITLE
EXISTING SECOND FLOOR PLAN

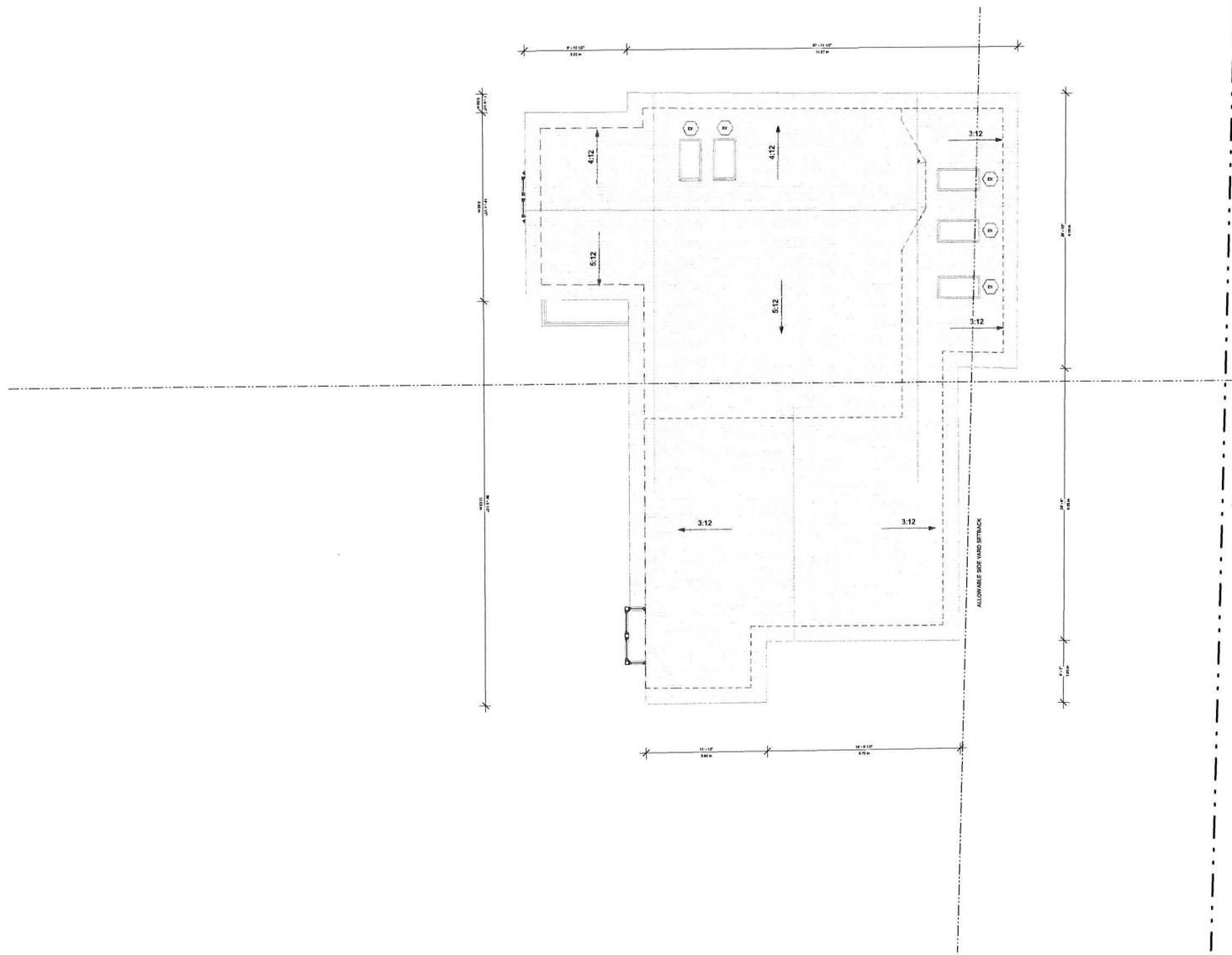
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GRAPHIC SCALE

PROJECT NO. 200155

STAGE	DRAWING NO.
COFA	A5-03

LOCATION HALTON HILLS	REVISION 016
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PROJECT
14 RIVER ROAD
 BRAMPTON, ON
 L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	09/14/2024
015	REISSUED FOR BUILDING PERMIT	09/14/2024
013	ISSUED FOR BUILDING PERMIT	12/07/2023

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DRAWING TITLE
EXISTING ROOF PLAN

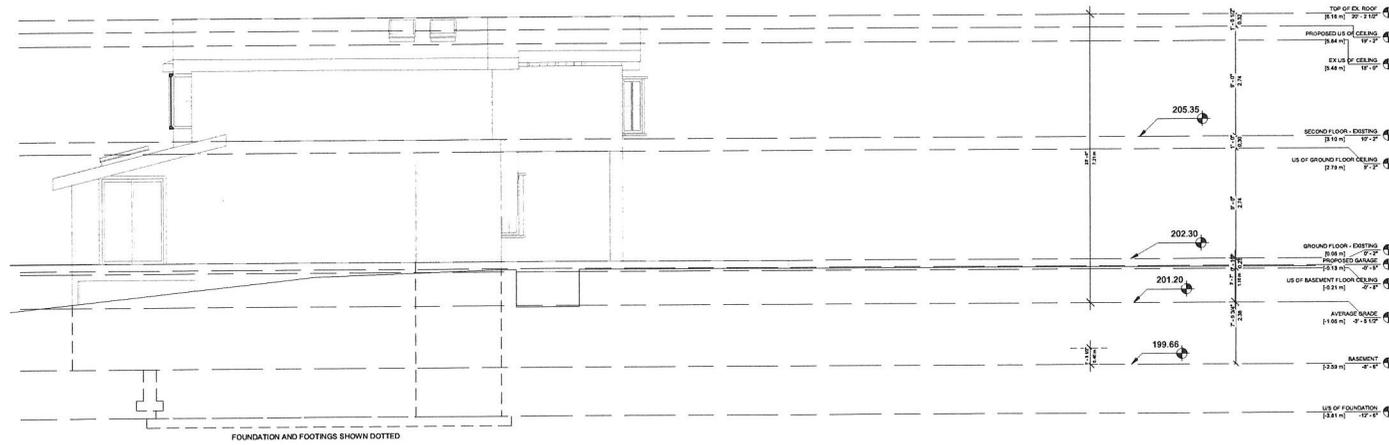
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SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23

GRAPHIC SCALE

 PROJECT NO. 200155

STAGE DRAWING NO.
COFA A5-04

LOCATION HALTON HILLS REVISION **016**



2 FRONT EX
3/16" = 1'-0"



1 REAR EX
3/16" = 1'-0"

PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	REQUIRED FOR BUILDING PERMIT	02/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

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CONSULTANTS

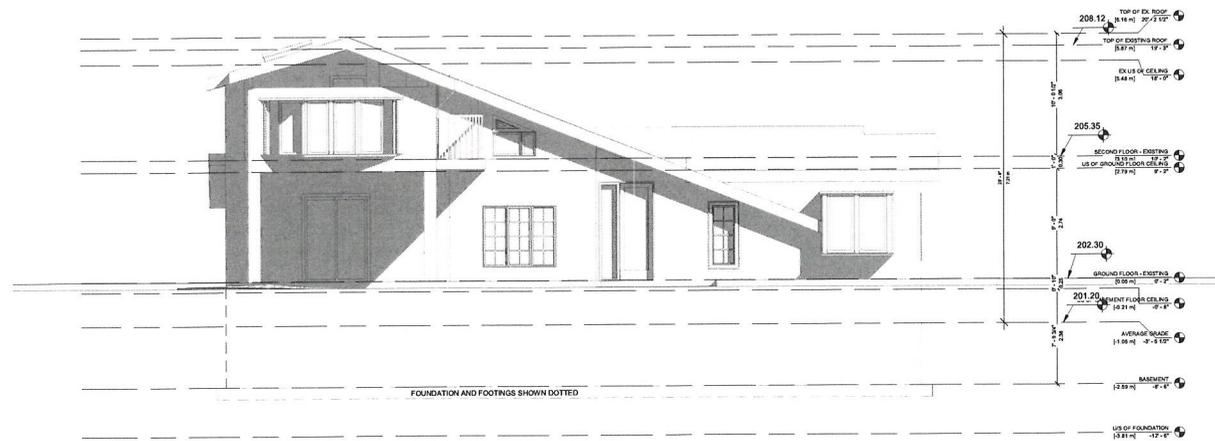
TORONTO - CANADA 416 846 2510 info@qbsarchitects.com

DRAWING TITLE
EXISTING FRONT AND REAR ELEVATION

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23

GRAPHIC SCALE

PROJECT NO. 200155	
STAGE COFA A6-01	
DRAWING NO. COFA A6-01	
LOCATION HALTON HILLS	REVISION 016



1 RIGHT EX
3/16" = 1'-0"



2 LEFT EX
3/16" = 1'-0"

PROJECT
14 RIVER ROAD
BRAMPTON, ON
L6X 0A6

CLIENT
Owner



REVISIONS

No.	Description	Date
016	ISSUED FOR COFA	02/14/2024
015	RE ISSUED FOR BUILDING PERMIT	12/14/2024
013	ISSUED FOR BUILDING PERMIT	12/01/2023

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.
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CONSULTANTS

TORONTO • CANADA 416 546 2042 info@qbsarchitects.com

DRAWING TITLE
EXISTING SIDE ELEVATION

DRAWN PP	CHECKED SA
SCALE @ ARCH D 3/16" = 1'-0"	DATE 11/20/23
GRAPHIC SCALE	

PROJECT NO. 200155
STAGE COFA A6-02
DRAWING NO. 016
LOCATION HALTON HILLS
REVISION 016

Zoning Non-compliance Checklist

File No.
A-2024-00067

Applicant: Saba Al Mathno
 Address: 14 River Rd
 Zoning: RHM1
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS - FRONT	To permit a front yard setback of 2.6m to a proposed two-storey addition to an existing single detached dwelling	whereas the by-law requires a minimum front yard setback of 12m.	11.4.2(d)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE	To permit a minimum landscaped open space of 63.3% of the front yard	whereas the by-law a minimum landscaped open space of 70% of the front yard	11.4.2(j)
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Connor Cowan

Reviewed by Zoning

2024-02-28

Date

JUL 15 2024

Committee of Adjustment

Lot A – 18 River Road

Site & Main Dwelling:

- 11.4.2(a) – Variance for minimum lot area at 0.25ha
- 11.4.2(b) – Variance for minimum lot width at 31.70m
- 11.4.2(d) – Variance for minimum front yard depth at 11.92m
- 11.4.2(e) – Variance for minimum interior side yard width at 4.62m

11.4.2(h) – Height unknown – please provide height of existing detached dwelling (a note on the site plan is fine)

(18'-6") Shown on Site Plan

11.4.2(j) – Landscape OS – Sorry nick, the landscape open space calculation if for the front yard. Please show the calc for the landscaping / hardscaping (driveways) at the front yard as a %.

Revised Site stats to include %'s

Accessory Structures:

10.3.(e)(i) – Variance for area of individual accessory structure (hobby shop) exceeding 23m²

*10.3.(e)(i) – Variance for area of individual / combined accessory structure - please show area of frame shed (m²) (a note on the site plan is fine) **Frame shed shown in the original survey and been modified to a Carport. Area noted on Site Plan***

*10.3.(f)(i) – Variance for interior side yard to **frame shed** – show setback dimension, or propose to be relocated / demolished. Please show outline of new location if to be relocated **marked on Plan. (Note Frame Shed is now a Carport.)***

*10.3.(h) – Variance for height of frame shed – please provide height (a note on the site plan will be fine **marked on Plan. (Note Frame Shed is now a Carport.)***

Lot B – 24, 26, 28 River Road

Site & Main Dwelling:

- 11.4.1(a)(1) – Variance to permit 3 separate seasonal dwellings
- 11.4.2(e) – Variance for minimum interior side yard setback at 6.62m (24 River Road)
- 11.4.2(e) – Variance for minimum interior side yard setback at 4.23m (28 River Road)
- 11.4.2(k) – Variance for a seasonal dwelling (24 River Rd) at 67.01m²; 115m² required
- 11.4.2(k) – Variance for a seasonal dwelling (26 River Rd) at 65.9m²; 115m² required
- 11.4.2(k) – Variance for a seasonal dwelling (28 River Rd) at 47.71.01m²; 115m² required

*11.4.2(h) - Please provide height of all existing seasonal dwellings (a note on the site plan is fine) (x3) **Noted on site plan***

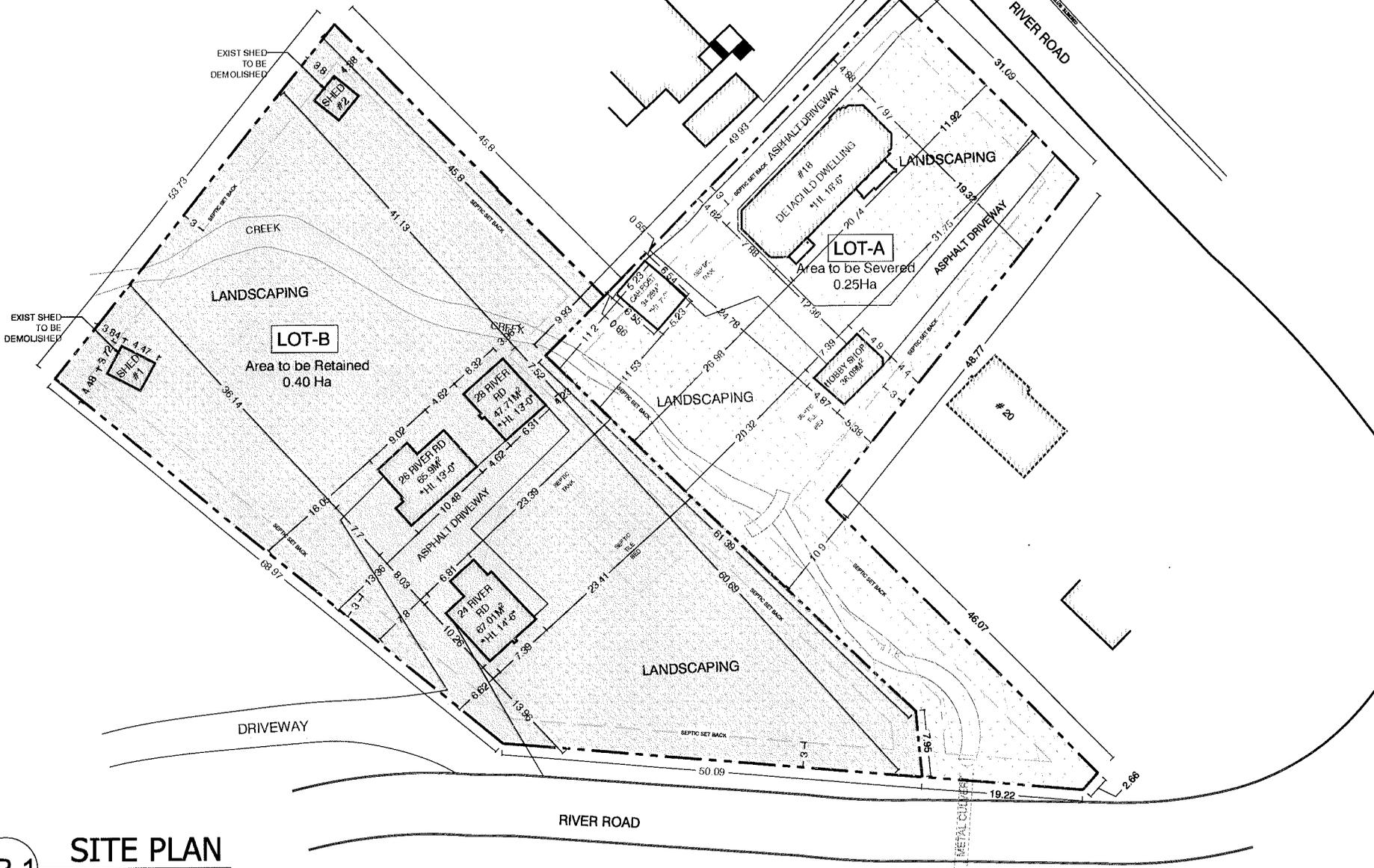
Accessory Structures:

*10.3 – Provide areas of each shed, and height of each frame shed. (Notes on the site plan drawing will be fine) Max. combined area of 40m², individual acc. struct. not to exceed 23m² **Owner wants the frame shed demo'ed. marked on Plan***

Received / Revised

JUL 15 2024

Committee of Adjustment



LEGEND

- TO BE RETAINED
- TO BE SEVERED
- DRIVEWAY

* Ht = HEIGHT FROM GRADE TO ROOF PEAK

SITE STATISTICS

LOT-A AREA(SEVERED)	= 2500 M ²
LOT-A COVERAGE	= 230.68 M ² (9.22%)
LOT-B AREA(RETAINED)	= 4081.62 M ²
LOT-B COVERAGE	= 211.30 M ² (5.17%)
TOTAL LOT AREA (A+B)	= 6581.62 M ²
TOTAL LOT COVERAGE	= 441.98 M ² (6.71%)

LANDSCAPING

LOT-A FRONT YARD	= 346.84 M ² (91.65%)
LOT-B FRONT YARD	= 1030.58 M ² (96.87%)

AREA OF STRUCTURE(S) ON LOT-A

1 1/2 -STOREY DWELLING	160.31 M ²
HOBBY SHOP	36.09 M ²
CAR PORT	34.28 M ²

AREA OF STRUCTURE(S) ON LOT-B

BUILDING #24	67.01 M ²
BUILDING #26	65.9 M ²
BUILDING #28	47.71 M ²
SHED #1	16.62 M ² (TO BE DEMO.)
SHED #2	14.06 M ² (TO BE DEMO.)

SP-1 SITE PLAN
Scale: 1:200

Architectural Drawings

DRAWING TITLE		
EXIST SITE PLAN		
SCALE:	DRAWN BY:	DATE:
1:200	K.M.	2024/06/25

PROJECT STATUS:
<input type="checkbox"/> PRELIMINARY
<input type="checkbox"/> PERMIT
<input type="checkbox"/> TENDER
<input type="checkbox"/> CONSTRUCTION

DRAWING NO.
SP-1

PROJECT
18 RIVER ROAD,
BRAMPTON ON.

Heritage Impact Assessment: Cultural Heritage Landscape

**Proposed Single Detached Residence,
14 River Road,
Brampton (Huttonville), Ontario.**



Prepared for:

**Zeon Blinds & Shades
Mr. Binu Mathew Abraham**

Prepared By:

Vincent J. Santamaura, Architect Inc., CAHP
07 May 2024
Project No. 2021-25



Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

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4.1.6 Existing Context	
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5.1 Proposal Description	
6.0 Heritage Impact Assessment	
6.1 Applicable Heritage Policies and Guidelines	
6.2 Heritage Impact Assessment – Cultural Landscape	
7.0 Summary Statement and Recommendations	
7.1 Proposed Renovations and Addition at 14 River Road – Cultural Heritage Landscape	

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

1.0 Executive Summary

- 1.1 The lot at 14 River Road is located in an area listed as having Heritage value as a Cultural Heritage Landscape on the City of Brampton’s Municipal Register of Cultural Heritage Resources. The existing Single Detached Home and detached garage are proposed to be renovated and have new additions added to both buildings. Being in a Listed area as having Cultural Heritage Landscape (CHL) value, a Heritage Impact Assessment (HIA) has to be performed to ascertain the impact, if any, of the proposed new construction on the Heritage value of the listed Cultural Heritage Landscape

Zeon Blinds & Shades (Mr. Binu Mathew Abraham) has retained Vincent J. Santamaura, Architect Inc., CAHP to perform a scoped HIA on the proposed renovation and addition to assess its impact on the existing Heritage value of the Listed River Road CHL, and to recommend any mitigating measures, as required.

Having performed a scoped HIA Vincent J. Santamaura, Architect Inc., has determined that the design strategies employed in the renovation and addition are in keeping with general good Heritage design practices and do not negatively impact the Heritage value of the Listed River Road CHL.

With respect to the proposed renovations and additions to the existing single detached residence and the existing detached garage/accessory unit at 14 River Road, it is recommended that:

- 1) **The design of the renovations and additions to the existing single detached residence and the existing garage implements Heritage design strategies to make its design sympathetic to River Road Cultural Heritage Landscape;**
- 2) **The design of the renovations and additions to the existing single detached residence and the existing garage employs Heritage design strategies to minimize its impact on the Heritage value of the River Road Cultural Heritage Landscape;**
- 3) **The design of the renovations and additions to the existing single detached residence and the existing garage is in keeping with general good Heritage design practices and does not negatively impact the Heritage value of the Listed River Road River Road Cultural Heritage Landscape; and**
- 4) **The design of the proposed renovations and additions to the existing single detached residence and renovations to the existing garage be approved.**

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

2.0 Introduction

2.1 Overview

Zeon Blinds & Shades (Mr. Binu Mathew Abraham) has purchased the lot at 14 River Road, identified as the Road Allowance between Lots 5 & 6 and Parts of Lots 5 and 6, Concession 5, West of Hurontario Street, (Geographic Township of Chinguacousy), City of Brampton, Regional Municipality of Peel, Ontario for the purposes of constructing a new single detached residence. The property is located on the west side of River Road which runs beside Mississauga Road. It has an area of approximately 0.226 HA. (0.55 acre). It's easterly frontage along River Road is 74.20m. It has a depth of approximately 45.72m along its north property line and 49.87m its southerly property line.

The property at 14 River Road is listed on the City of Brampton's Municipal Register of Cultural Heritage Resources (MRCHR) as included in the River Road Cultural Heritage Landscape. As such, a scoped Heritage Impact Assessment (HIA) is required to be performed to assess the impact of the new construction on the Heritage value of the Listed CHL.

Zeon Blinds & Shades (Mr. Binu Mathew Abraham) has retained Vincent J. Santamaura, Architect Inc., CAHP to prepare a scoped Heritage Impact Assessment to assess the proposed work's impact on the Heritage value of the listed CHL and propose any mitigating recommendations, as required.

2.2 Associated Documents

This Heritage Impact Assessment (HIA) has been prepared with regard to the following governing documents:

- Provincial Policy Statement,
- The Ontario Heritage Act, R.S.O. 1990, c. 0.18
- The Peel Region Official Plan, 2006,
- The City of Brampton Official Plan, 2010,
- City of Brampton Zoning By-law 270-2004, as amended
- The Ontario Building Code 2012.

3.0 Present Owner Contact Information:

Binu Mathew Abraham & Mercy Mathew
14 River Road,
Brampton, ON.
L6X 0A6

Roll Number: 10-08-0-011-21800-0000

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

4.0 Site Documentation

4.1 Site Inventory

4.1.1 Site Location – 14 River Road

The Property is located on the west side of River Road, as it descends parallel to Mississauga Road down into the Credit River valley.

It's easterly frontage along River Road is 74.20m. It has a depth of approximately 45.72m along its north property line and 49.87m its southerly property line. The rear of the lot slopes down westerly into a ravine to a small water course that drains into the Credit River. Approximately a third of the site is ravine sloped land. It has an area of approximately 0.226 HA (0.55 acre).

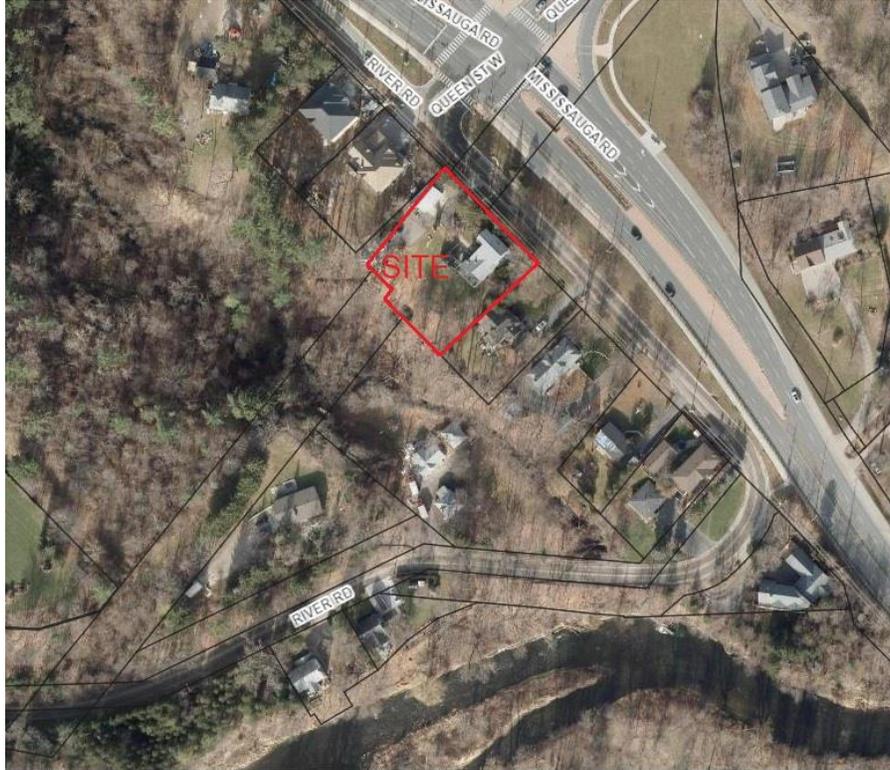
The lot currently has an existing 2 storey home with older renovations and additions, and a 2 storey garage an accessory suite on the second floor. The existing 2 storey home and garage/accessory suite building are proposed to be renovated and have additions added to them.



4.1.1.A - Aerial Photograph – Context

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



4.1.1.B - Aerial Photograph – Property



4.1.1.C – Topographic

Heritage Impact Assessment – Cultural Heritage Landscape

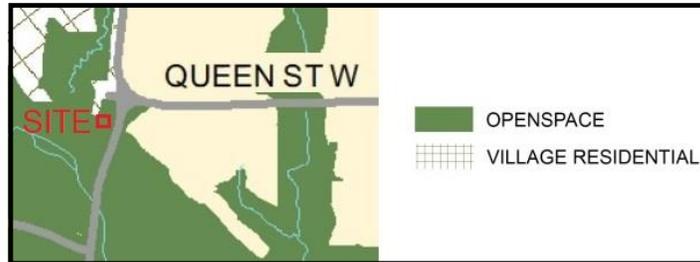
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

4.1.3 Current Applicable Designations

The Legislation and Authorities having jurisdiction below may override Heritage concerns and recommendations included in this Heritage Impact Assessment. The lot is currently designated as follows:

4.1.3.1 Peel Region Official Plan 2013:

- Village Residential/Open Space



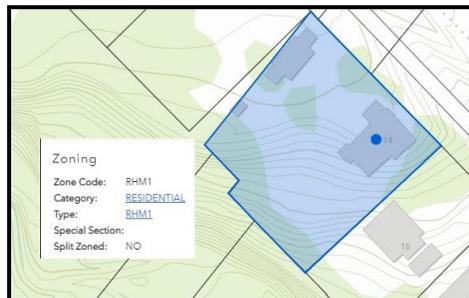
4.1.3.2 Brampton Official Plan

- Greenlands System



4.1.3.3 City of Brampton Zoning By-Law 270-2004

- Residential RHM1

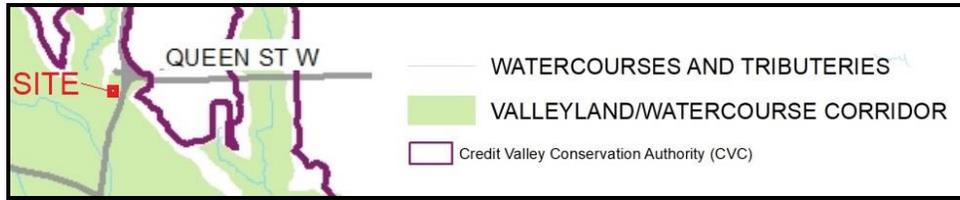


Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

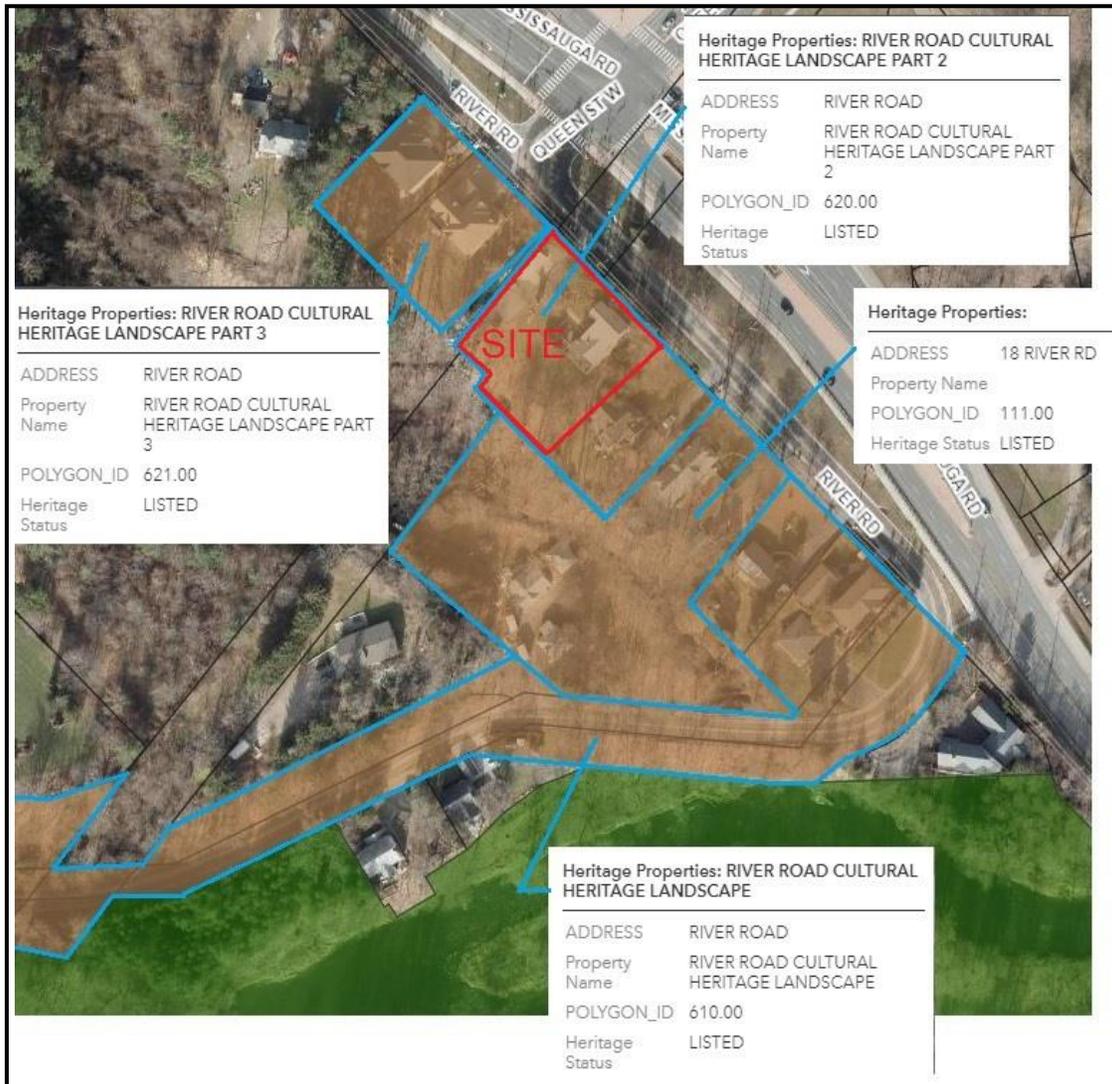
4.1.3.4 Credit Valley Conservation Authority

- Protected Zone



4.1.3.5

- City of Brampton Municipal Register of Cultural Heritage Resources:
14 River Road – Listed:
River Road Cultural Heritage Landscape – Part 2



Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

4.1.4 Site Access

The site is accessed westward from the intersection of Queen Street and Mississauga Road as River Road turns into the intersection. The start of River Road runs southward parallel to Mississauga Road as it descends down into the Credit River valley. Upon reaching the level of the Credit River, River Road turns westward and proceeds to follow the rivers edge, but setback enough to have small lots between it and the river. This turn in River Road creates two streetscape characters for the street: those properties that face Mississauga Road at the top of the valley and those which face the Credit River down in the valley.

14 River Road is located on this second section of River Road as it descends into the Credit River Valley. It forms part of a cluster of four properties which front on this section of River Road. Together they form a small collection of residences which do not have views to the river. A berm with trees screens the property from the street. A driveway enters the property at its midpoint into a courtyard with the existing home to the left (south) of it and the garage to the right (north) of it. Doors to the home and the garage both face the courtyard.

The home is set 3.88m from the street line and 6.76m north from the south property line. The garage is located 6.98m from the street line and 0.17 to 0.58m from the north property line. A small frame shed is located between the garage and the street line but screened from the street by the berm and trees. The close proximity of the home to River Road indicates its original construction preceded the creation of the River Road extension during the construction of the Mississauga Road bridge when it fronted directly onto Mississauga Road.



4.1.4.A – Access from Mississauga Road

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



4.1.4.B – Access from north down on River Road



4.1.4.C - Approach from north down on River Road



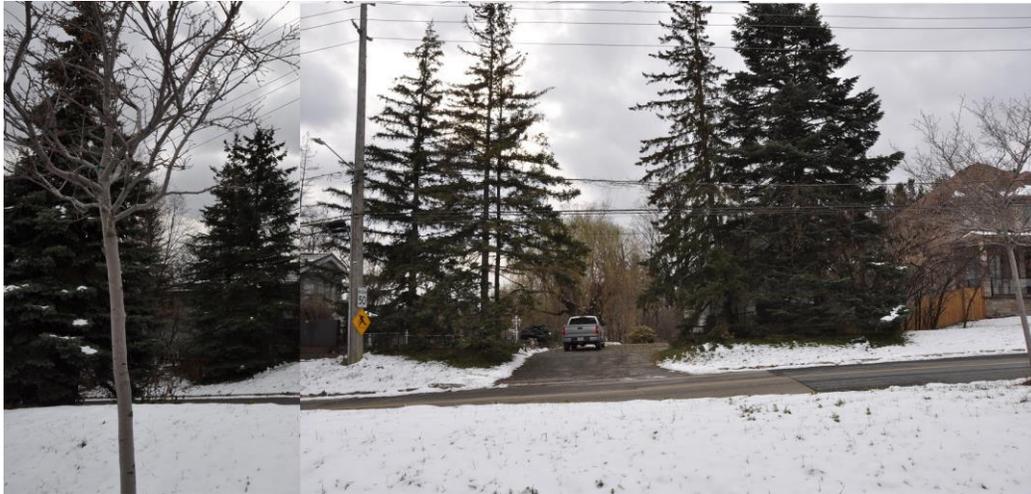
4.1.4.D. – Approach from south up River Road

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



4.1.4.E. – Panorama of River Road – north/south portion



4.1.4.F. – Entry to 14 River Road

4.1.5 Existing Buildings & Structures

4.1.5.1 House

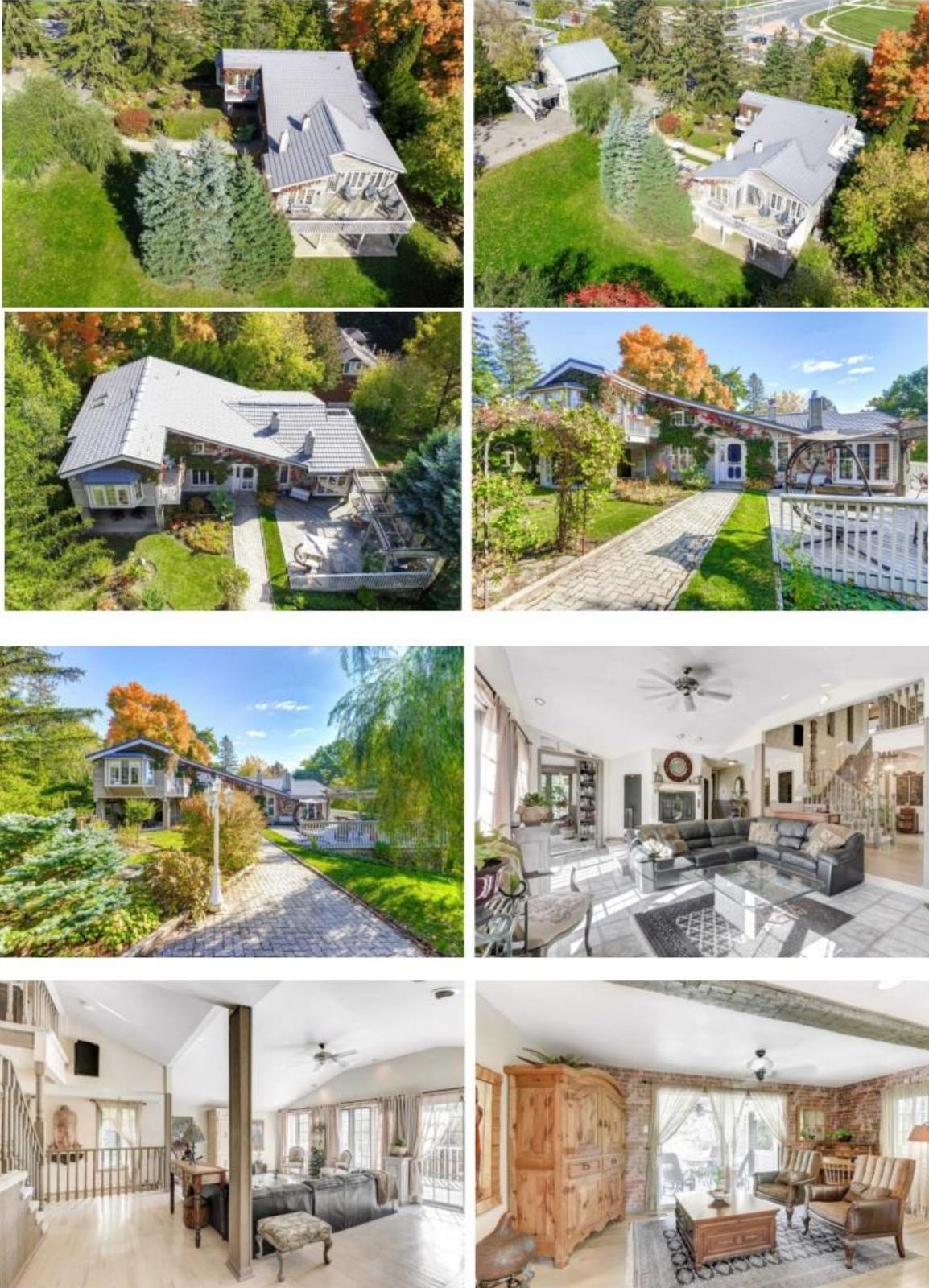
The single detached residence at 14 River Road is a 2 storey building with a one storey addition to the west and a walkout basement made possible by the sloping nature of the property. As the front door is from the courtyard, the facade exposed to the street is blank. The original building footprint is 10.66m wide by 7.25m deep. A 3.01m wide by 4.66m deep, 1 storey addition has been added to the west wall of the original building, and an 8.84m wide x 10.26m deep, one storey addition with a walkout basement and deck has been added to the rear. The building footprint area is approximately 168.76 m².

The structure is wood frame which has been stuccoed in parts and has wood siding in others. The roof has metal tile roof shingles. The windows are replacement wood frame with snap-in plastic mutton bars. The interior has been completely re-modelled. The renovations and additions were constructed in the mid 1970's.

The building is proposed to be retained and renovated and added to.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



4.1.5.1.A. – Existing House

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



4.1.5.1.B. – Existing House

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

4.1.5.2 - Garage/Accessory Suite

The existing 2 storey garage has dimensions of approximately 6.28m wide x 9.35m, and a footprint area of approximately 58.18m². It is a wood frame construction with horizontal siding cladding and standing seam metal roof. It has been completely renovated to be an accessory suite while maintaining a garage appearance.

The garage/accessory building is proposed to be retained; renovated and added to.



4.1.5.2.A - Existing Garage/Accessory Suite building

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

4.1.6 Existing Neighbourhood Character

River Road has 3 distinct zones: a cluster of homes which face Mississauga Road, a cluster of homes on River Road which descends the Credit River Valley, and the area of homes which face the Credit River in the valley. The sharp turn of River Road where it reaches the Credit River valley floor serves as a strong delineator of the change in character, and visually separates the two adjoining zones.

The Cultural Heritage Landscape listing lists three zones in its definition:

- Zone 1 along the Credit River, in the valley,
- Zone 2 which encompasses the homes along the sloping River Road, and
- Zone 3 for the few homes at the top of River Road above the valley and level with Mississauga Road on the River Road,
- 18 River Road has been specifically listed on the MRCHR as having potential Heritage value.

The homes were constructed at a variety of times and the Architectural character varies:

- Simple forms,
- References to typical Ontario heritage styles, but stripped down in detailing;
- Materials such as clay and calcite masonry, stone, aluminum siding and asphalt shingles;
- Lot frontages vary from 22.50m to 74.20m (74'- 0" to 243'- 0") given the ad hoc nature of the lot severances over time;
- Front yard setbacks vary from 1.00m to 19.50m;
- Side yard setbacks vary from 0.50m to 9.40m;
- Building height consists of one, one and a half, and two storeys;
- There is no uniform streetscape;



4.1.6.A - River Road (RR CHL Zone 3) built 2017



4.1.6.B - 4 River Road (RR CHL Zone 3) built 2018

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



4.1.6.C - 14 River Road (RR CHL Zone 2)



4.1.6.D - 18 River Road (MRCHR Listed)



4.1.6.E - 16 River Road (RR CHL Zone 2)



4.1.6. F - 22 River Road (RR CHL Zone 1)



4.1.6. G - 20 River Road (RR CHL Zone 1)



4.1.6.H - 22 River Road – (RR CHL Zone 1) Credit River exposure

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

5.0 Development Proposal

5.1 Proposal Description:

The existing Single Detached Home is proposed to be renovated and added to. The driveway is to remain in the same place, as is the existing Garage/accessory unit building. The garage/accessory/unit building is to receive a renovation and addition also. The existing home's front yard setback will be maintained as the addition will be added to the north side of the home. The south side building setbacks will remain as is.

The home is being updated to meet the needs of a multi-generational family:

A 2 storey, 14'-0" wide addition will run the length of the north side of the house with a bay window turret feature at the northeast front corner of the plan. It will be connected to the existing ground and second floors. The new ground floor will house a Living/Dining room and foyer with a 2 storey volume. The existing ground floor will have a renovated kitchen/ breakfast room and keep the existing family room. A new 2 car garage with a connection to the new addition is proposed at the northwest end of the addition with second floor bedrooms.

The home is proposed to be clad in materials which will be taken from the CHL's existing palette:

- Light stucco
- stone
- Siding to match existing size and colours
- Asphalt roof
- Aluminum frieze and fascia.

Heritage Impact Assessment – Cultural Heritage Landscape

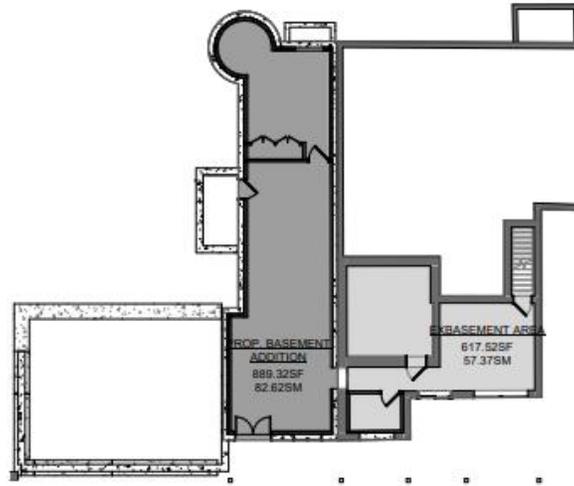
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



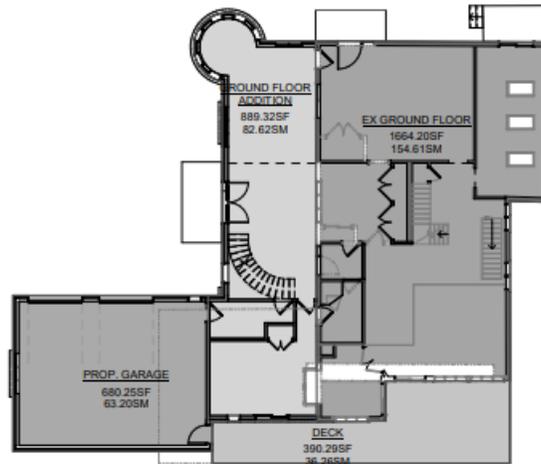
5.1.A – Proposed Site Plan

Heritage Impact Assessment – Cultural Heritage Landscape

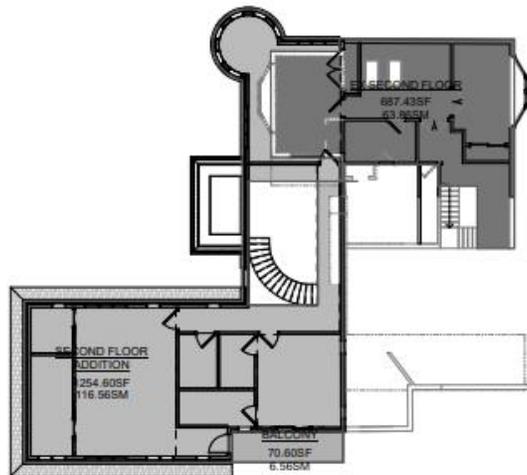
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.B – Existing - Proposed Basement Plan - Design



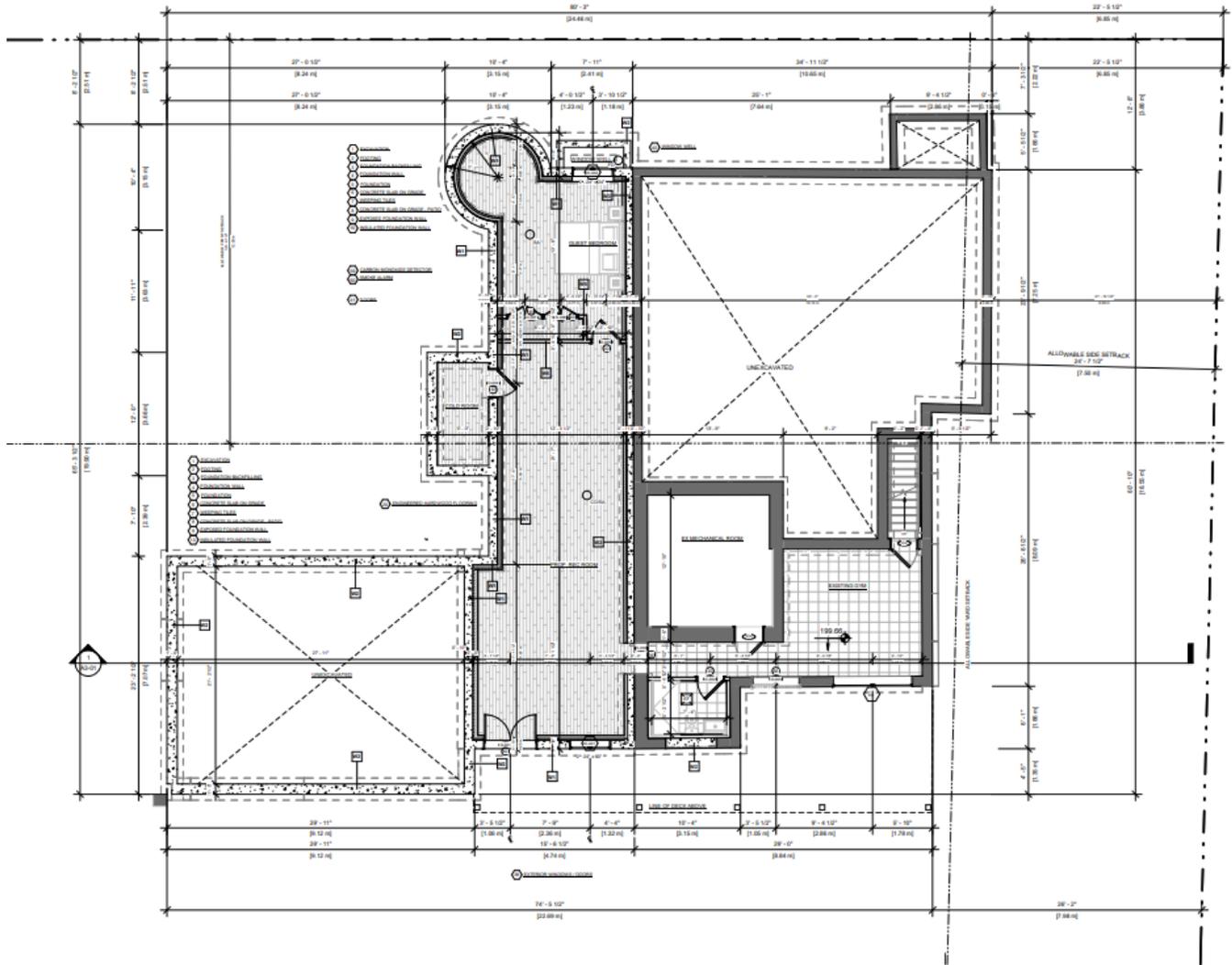
5.1.C – Existing - Proposed Second Floor Plan - Design



5.1.D – Proposed Roof Plan - Design

Heritage Impact Assessment – Cultural Heritage Landscape

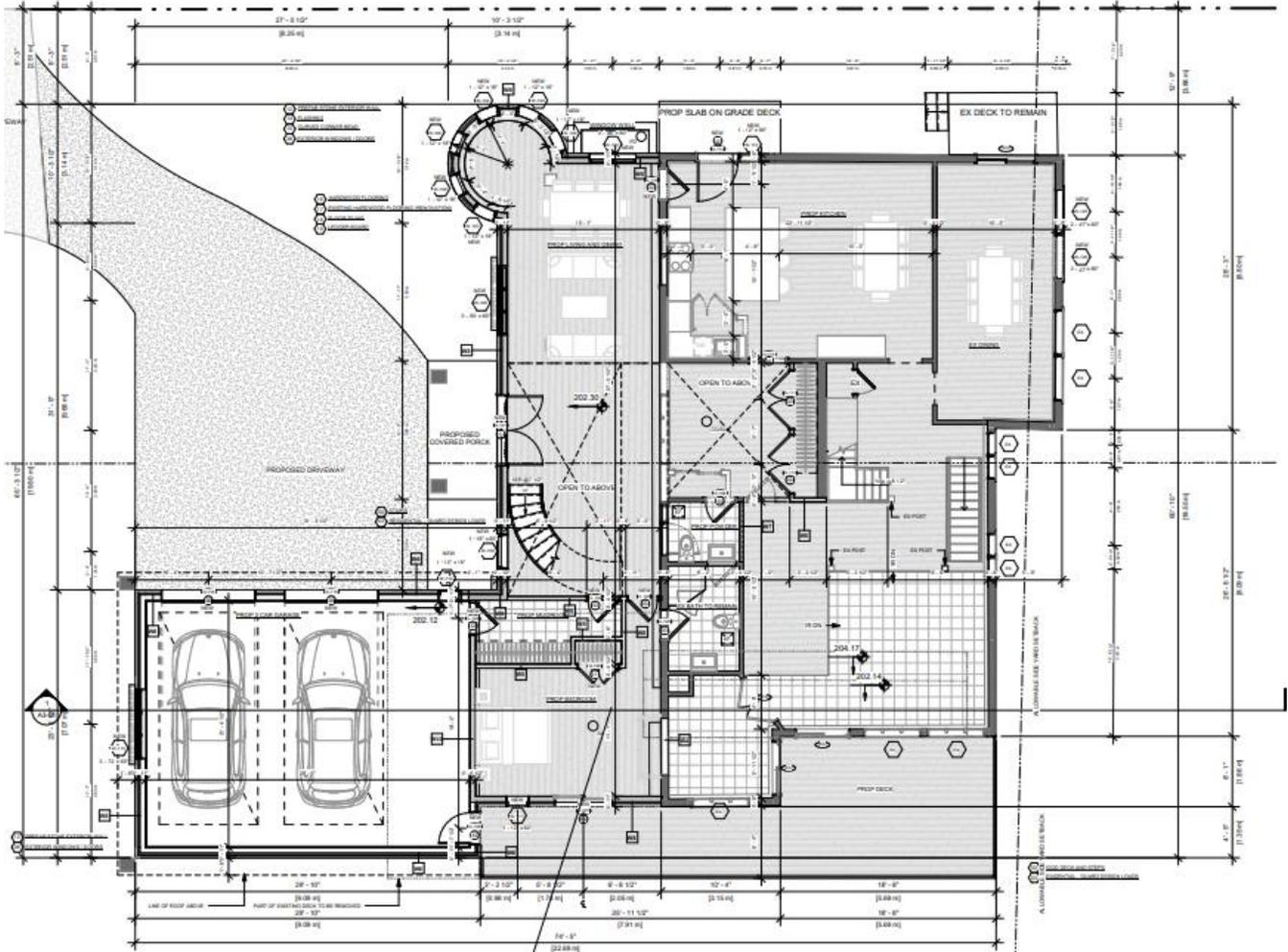
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.E – Proposed Basement Plan

Heritage Impact Assessment – Cultural Heritage Landscape

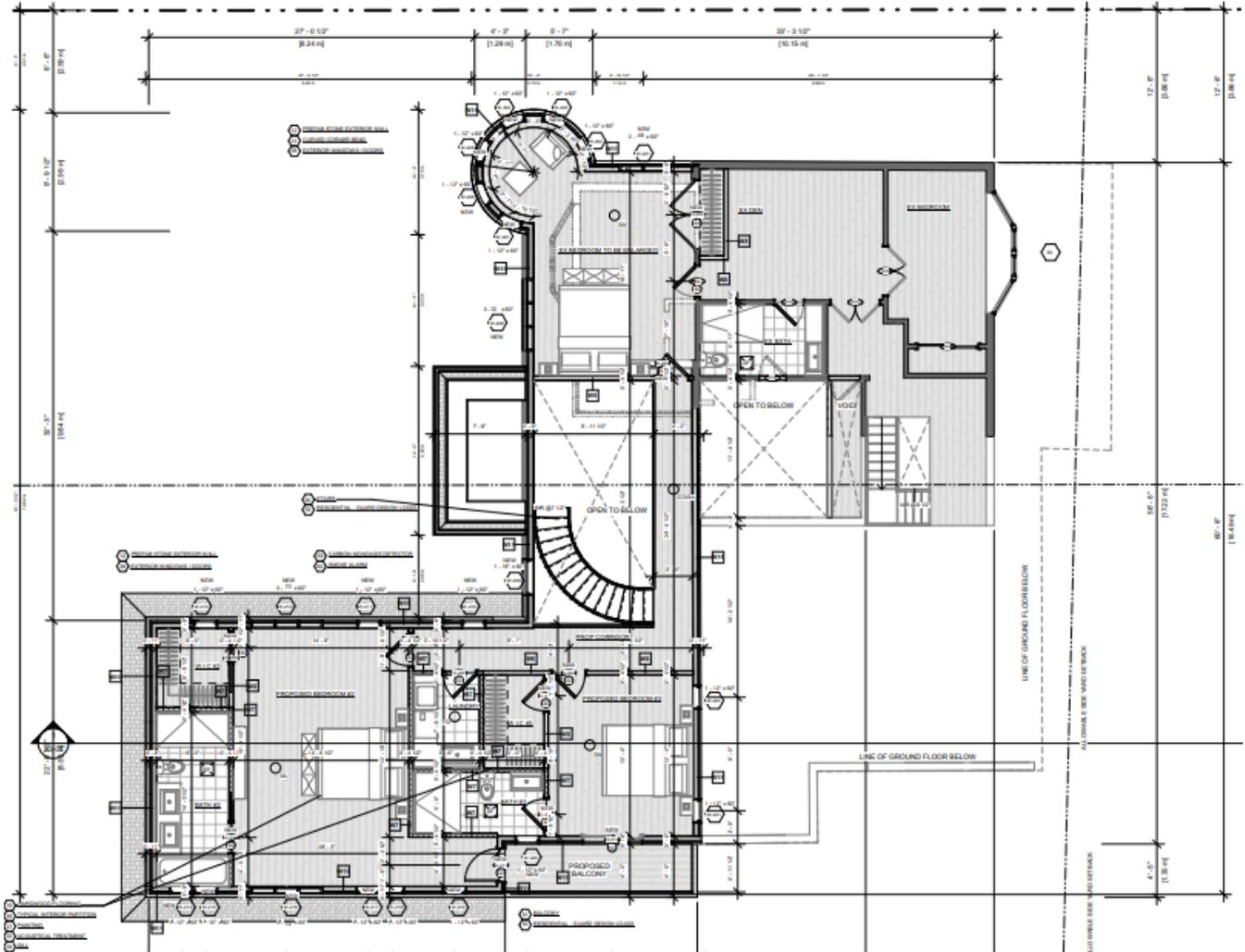
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.F – Proposed Ground Floor Plan

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

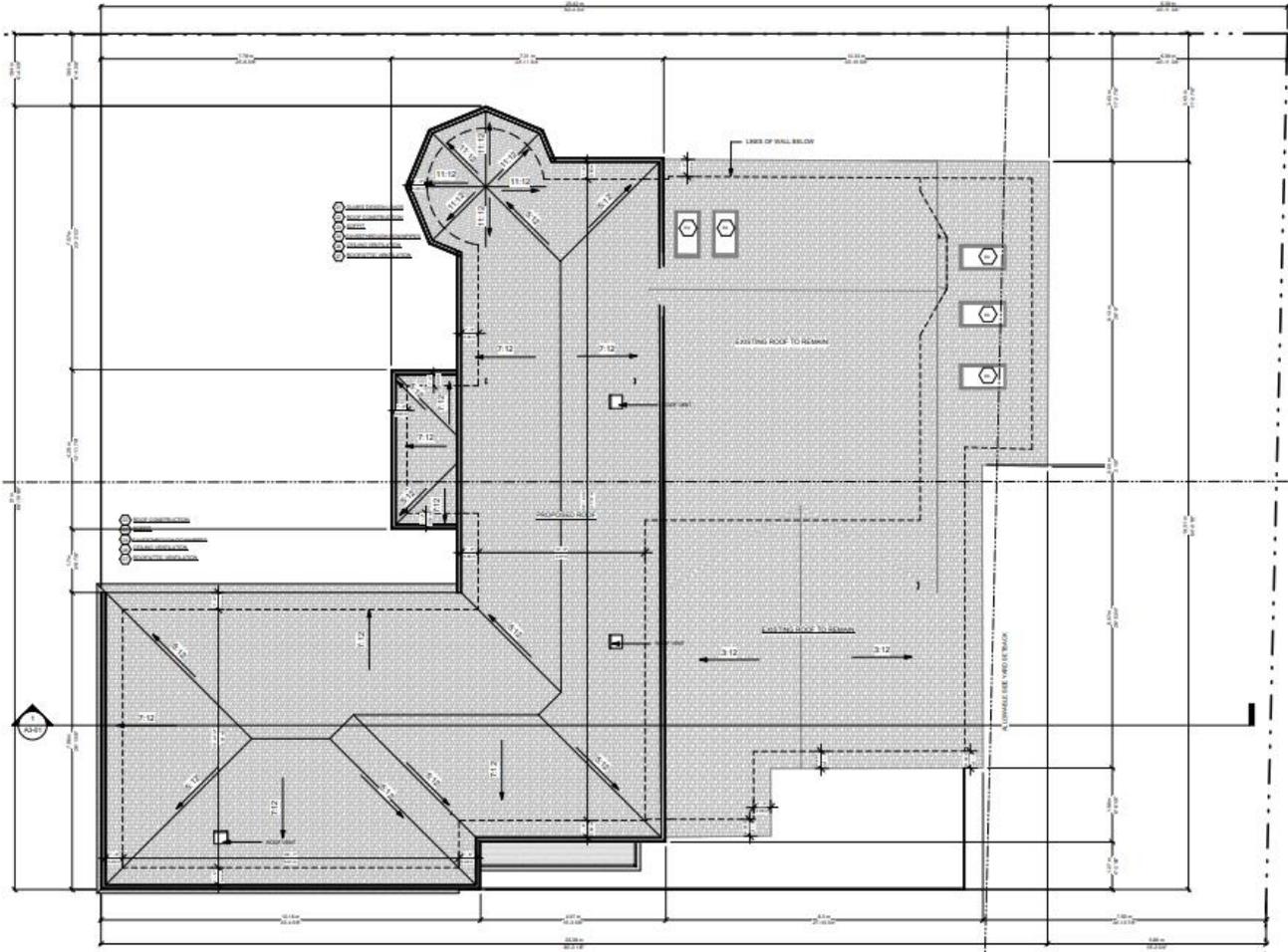


5.1.G – Proposed Second Floor Plan



Heritage Impact Assessment – Cultural Heritage Landscape

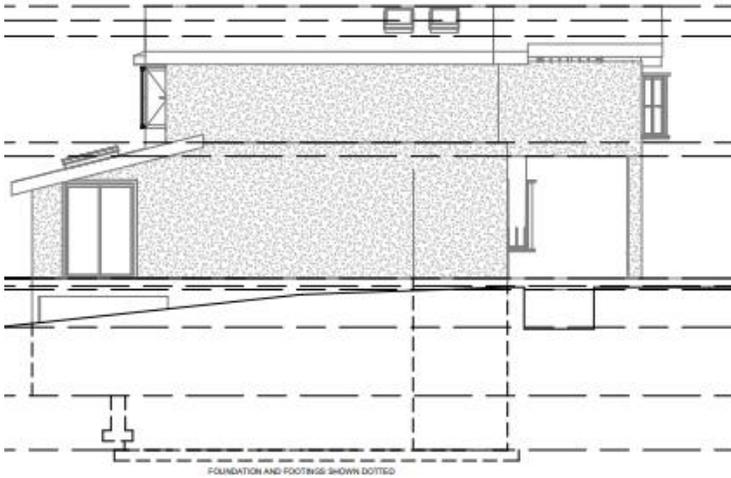
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.H – Proposed Roof Plan

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



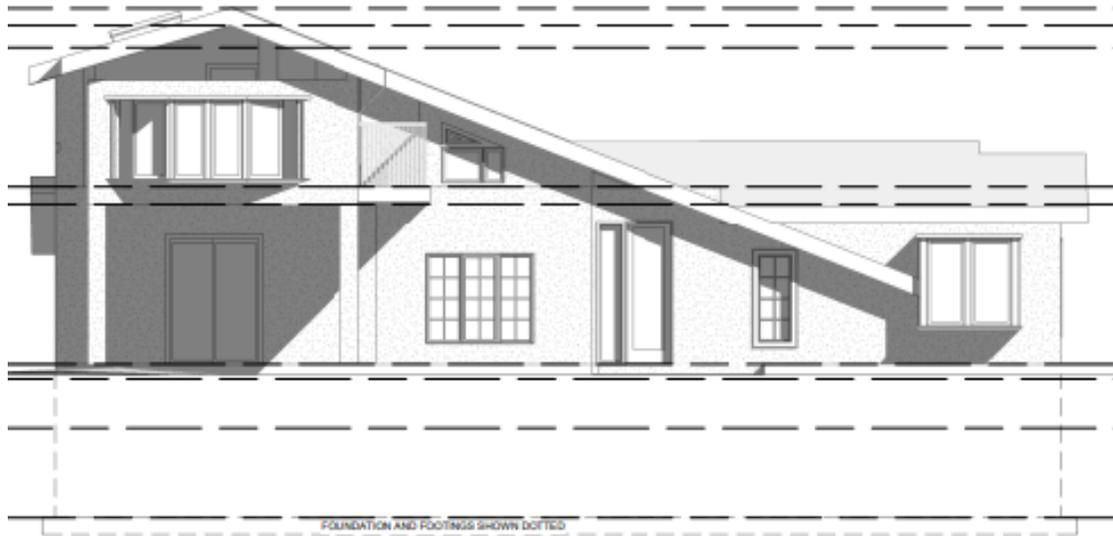
5.1.I – Existing Front (East) Elevation facing River Road



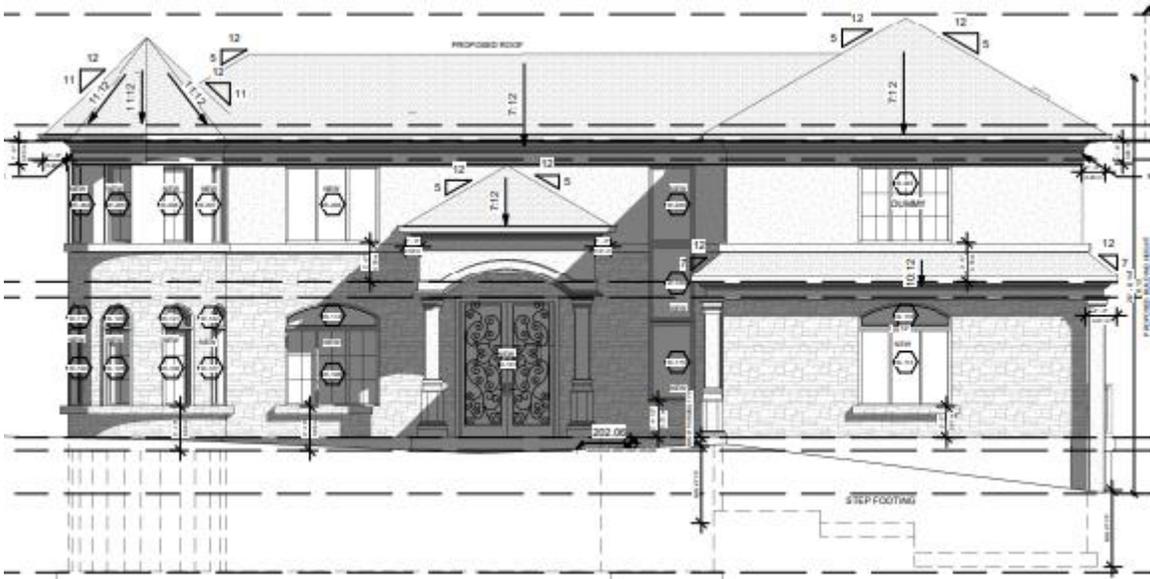
5.1.J – Proposed Front (East) Elevation facing River Road

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



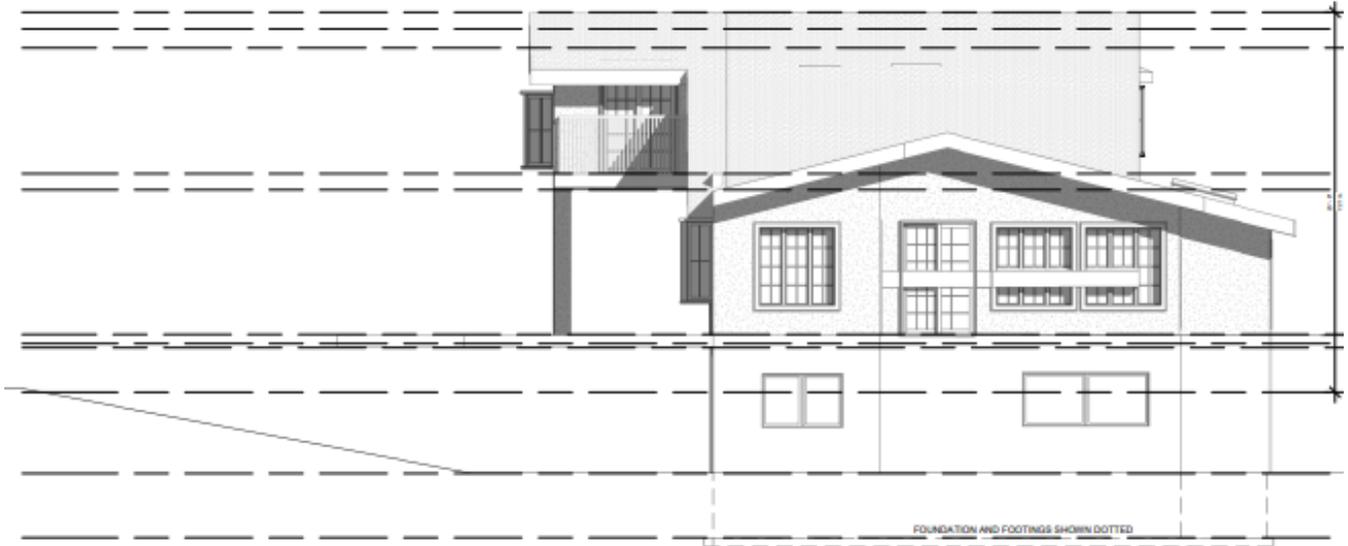
5.1.K – Existing Right (North) Elevation facing courtyard



5.1.L – Proposed Right (North) Elevation facing courtyard

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



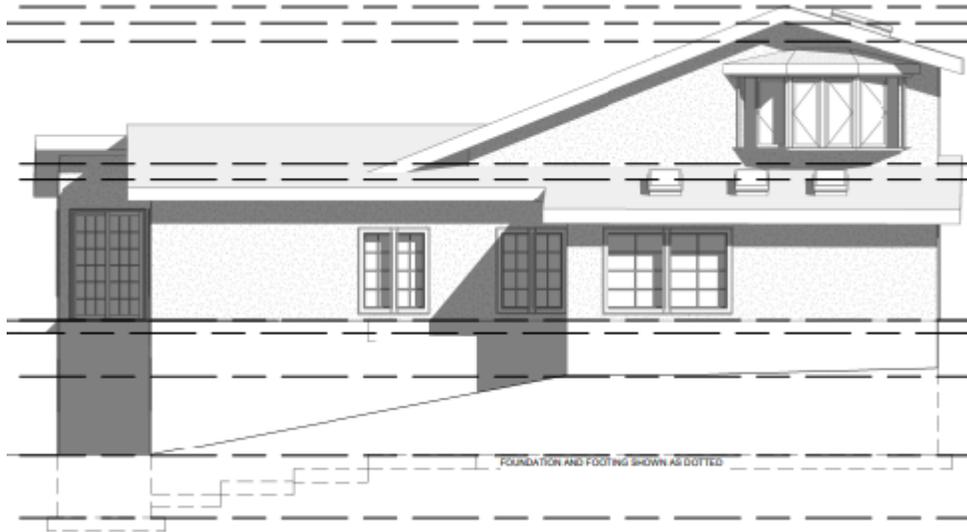
5.1.M – Existing Rear (West) Elevation facing ravine



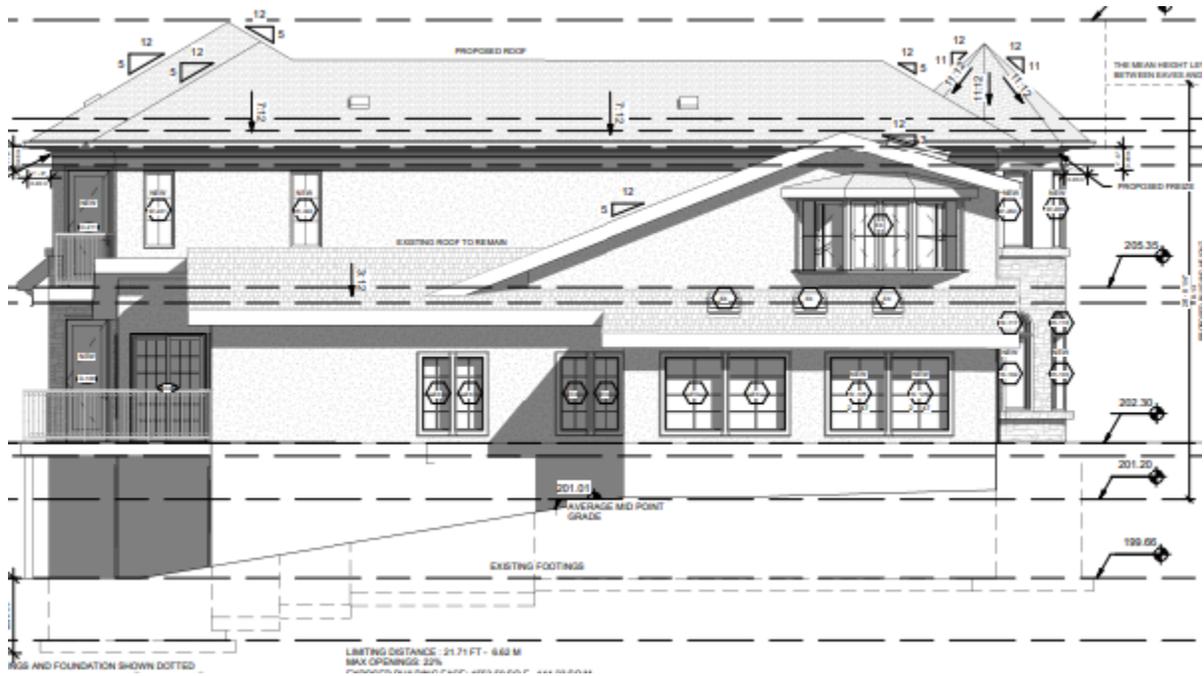
5.1.N – Proposed Rear (West) Elevation facing ravine

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.O – Existing Left (South) Elevation



5.1.P – Proposed Left (South) Elevation

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.Q – 3D Massing - Proposed Right (North) Elevation facing courtly



5.1.R – 3D Massing - Proposed Rear (West) Elevation facing ravine

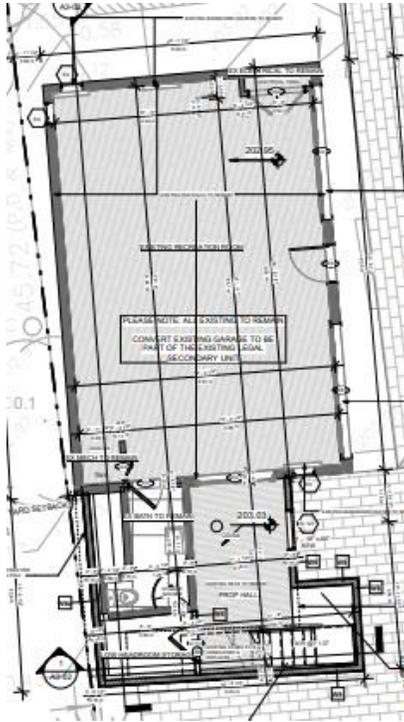


5.1.S – Garage/Accessory Unit – Existing Plans

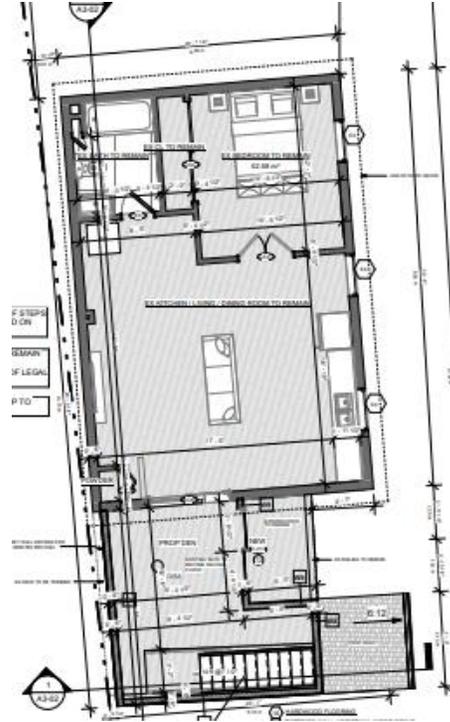
5.1.T – Garage/Accessory Unit – Proposed Design

Heritage Impact Assessment – Cultural Heritage Landscape

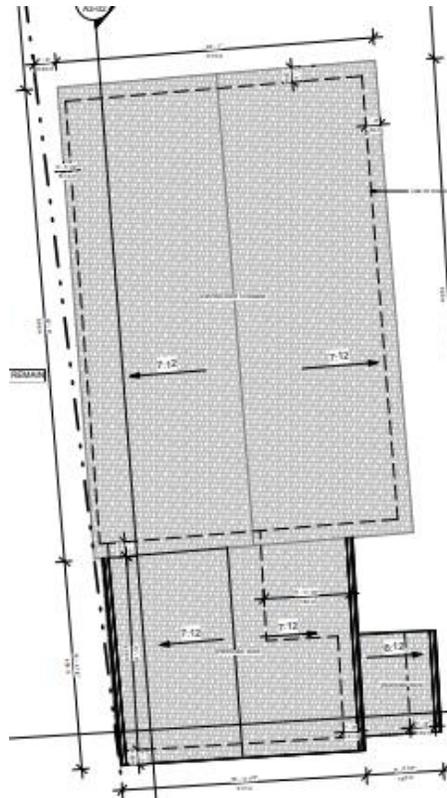
Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.U – Garage/Accessory Unit –
Proposed Ground Floor Plan



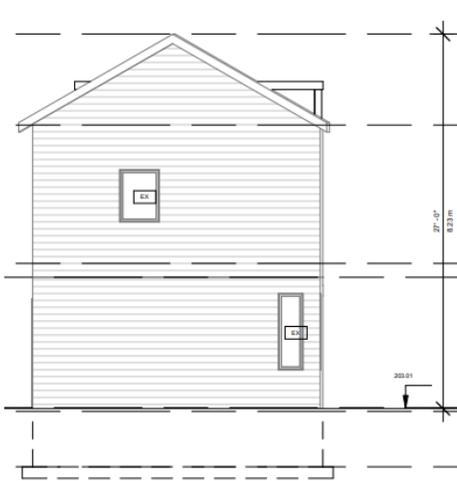
5.1.V – Garage/Accessory Unit –
Proposed Second Floor Plan



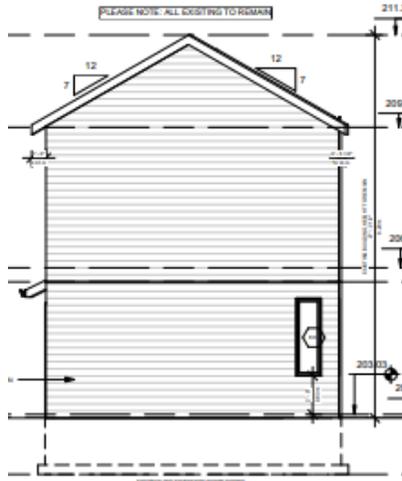
5.1.W – Garage/Accessory Unit – Proposed Roof Plan

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.X – Garage/Accessory Unit – Existing Front (East) Elevation



5.1.Y – Garage/Accessory Unit – Proposed Front (East) Elevation



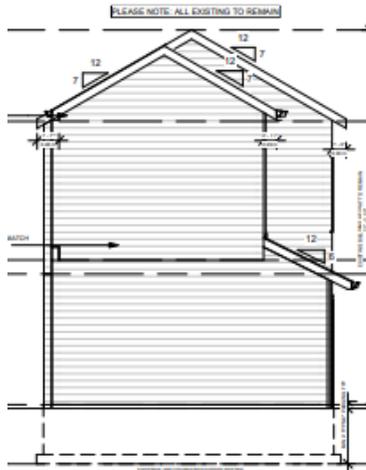
5.1.Z – Garage/Accessory Unit – Existing Left (South) Elevation



5.1.AA – Garage/Accessory Unit – Proposed Left (South) Elevation



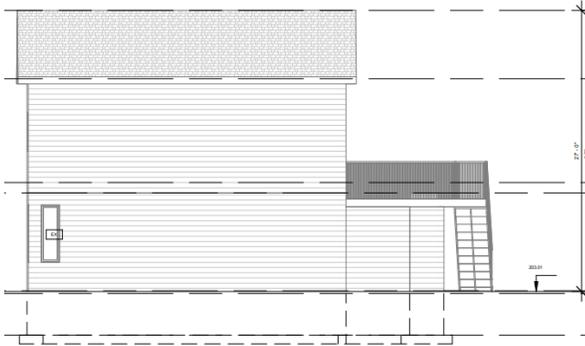
5.1.BB – Garage/Accessory Unit – Existing Rear (West) Elevation



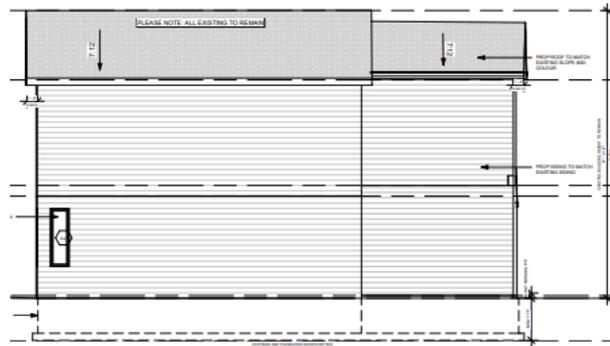
5.1.CC – Garage/Accessory Unit – Proposed Rear (West) Elevation

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



5.1.DD – Garage/Accessory Unit – Existing Right (North) Elavation



5.1.EE – Garage/Accessory Unit – Proposed Right (North) Elavation

The proposed material finish palette consists of the following:

MAIN HOUSE		SECONDARY SUITE	
			
ASPHALT SHINGLES OR SIMILAR	ALUMINUM FRAMED TYP. INSULATED GLAZING, BLACK WINDOW FRAMES	ASPHALT SHINGLES OR SIMILAR	ALUMINUM FRAMED TYP. INSULATED GLAZING, WHITE WINDOW FRAMES
			
GRAY STUCCO OR SIMILAR	CONCRETE	HORIZONTAL SIDING OR SIMILAR	
			
GRAY STONE OR SIMILAR		CONCRETE	

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	 ARCHITECTS TORONTO - CANADA info@qbsarchitects.com		SAMPLE BOARD		5/8/2024 10:16:19 AM
STAGE	DRAWING NO.						PROJECT NUMBER	200155	
COFA	A4-06	019	ISSUED FOR CONSULTANTS	2024-05-06	DATE	05/06/24			
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26	DRAWN	CD			
					CHECKED	SA		REVISION	

For full-sized drawings of the development proposal, refer to those included with the Site Plan Application submission package.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

6.0 Heritage Impact Assessment

6.1 Applicable Heritage Policies and Guidelines

6.1.1 City of Brampton Official Plan

In the City of Brampton Official Plan, policies with respect to the community's Heritage character have been listed. While the Official Plan encourages the preservation of as much of the Heritage value of the community as possible, it recognizes that communities are constantly growing and evolving. Foreseeing this activity, the Official Plan has policies and guidelines to guide proposed development with respect to Heritage:

Section 4.10 - CULTURAL HERITAGE

Objectives:

It is the objective of the cultural heritage resource policies to:

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;*
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,*
- c) Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.*

With respect to Cultural Heritage Landscapes:

4.10.2 Policies

4.10.2.1 The City shall identify and maintain an inventory of cultural heritage landscapes as part of the City's Cultural Heritage Register to ensure that they are accorded with the same attention and protection as the other types of cultural heritage resources.

4.10.2.2 Significant cultural heritage landscapes shall be designated under either Part IV or Part V of the Ontario Heritage Act, or established as Areas of Cultural Heritage Character as appropriate.

4.10.2.3 Owing to the spatial characteristics of some cultural heritage landscapes that they may span across several geographical and political jurisdictions, the City shall cooperate with neighbouring municipalities,

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

other levels of government, conservation authorities and the private sector in managing and conserving these resources.

With respect to implementation:

4.10.9 Implementation

Conservation of cultural heritage resources shall form an integral part of the City's planning, decision-making and implementation processes.

Policies:

4.10.9.2 The City shall use the power and tools provided by the enabling legislation, policies and programs, particularly the Ontario Heritage Act, the Planning Act, the Environmental Assessment Act and the Municipal Act in implementing and enforcing the policies of this section. These shall include but not be limited to the following:

(ii) Requiring the preparation of a Heritage Impact Assessment for development proposals and other land use planning proposals that may potentially affect a designated or significant heritage resource or Heritage Conservation District;

(iii) Using zoning by-law provisions to protect heritage resources by regulating such matters as use, bulk, form, location and setbacks;

(iv) Using the site plan control by-law to ensure that new development is compatible with heritage resources;

6.1.2 Heritage Design Strategies

The City of Brampton Official Plan is silent on guidelines for development in a Listed Cultural Heritage Landscape. However, there are accepted Heritage Design strategies to assist the design of such developments to ensure the new construction is sensitive to the Heritage value of the CHL. Some of these strategies may also appear in Heritage Conservation District Plan guidelines.

Current professional thought is that the intention in creating designs for new additions in a heritage context should not be to create a false or fake historic building. This does not mean that new work should be aggressively idiosyncratic but that it should be neighbourly and fit this context while at the same time representing current design philosophy.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

These Design strategies for consideration and implementation are as follows:

- Siting;
- Views,
- Screening,
- Setbacks,
- Density,
- Scale,
- Height,
- Coverage,
- Landscape Open Space,
- Angular Plane,
- Shadowing,
- Design Elements, and
- Materials

6.1.2.1 Siting: locate the addition to be sensitive to existing setbacks.

6.1.2.2 Views: permit views into the site of the existing Heritage resource. Allow a 45 degree view into the site from the public realm where possible.

6.1.2.3 Screening: situate the addition so as to not screen views to the Heritage resource from the public realm. Respect a 45 degree view corridor to the existing resource from the public realm.

6.1.2.4 Setbacks: Additions should be sympathetic to the setbacks of adjacent heritage buildings; provide adequate building setbacks to the existing Heritage resource;

6.1.2.5 Scale: provide massing whose scale and articulation does not overpower the existing resource. Visually break down building mass to be in scale and rhythm of the existing resource. Solid versus Transparency: the relationship of solidity to transparency is a characteristic of additions that should be carefully considered with respect to existing massing.

6.1.2.6 Height: provide a building height which does not overpower the existing Heritage resource. Set the massing back from the Heritage resource as the new building gets taller.

6.1.2.7 Landscape Open Space: provide a Landscaped Open Space buffer as appropriate or in keeping to the existing resource's siting.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

6.1.2.8 Angular Plane: Set the new addition's massing back from the Heritage resource as the new building gets taller. Respect a 45 degree angular plane from the ridge or roof top of the existing Heritage resource. New Additions should be sympathetic to, and transition from, the height of adjacent buildings to the existing Heritage resource, with a minimum 45-degree angular plane.

6.1.2.9 Design Elements: Employ design elements which reference the existing design elements of the Heritage resource such as horizontal banding, building massing, window proportions, material etc. which may acknowledge or re-interpret the Heritage design philosophy or scale.

6.1.2.10 Materials: if appropriate, use similar materials as the existing Heritage resource if it is in keeping with the greater local built context.

The above strategies may overlap in implementation as they work together in the composition of a building. The objective must be to create a sensitive well-designed new structure "of its time" that is compatible with the character of an existing Heritage resource and its immediate context.

6.2 Heritage Impact Assessment – Cultural Heritage Landscape

The design proposal for the renovations and additions to the single detached residence and the garage/accessory unit at 14 River Road has been reviewed using the above design strategies to determine its compatibility CHL, and impact on its Heritage value.

- 1) Site Plan: The site plan and layout for the additions is sensitive to the CHL by:
 - The proposed addition is located beside the existing home, to the interior of the lot and to the rear.
 - The front yard setback maintained.
 - The south side yard setback to the adjoining listed is. The exposure of the south elevation is unchanged.
 - The driveway access is unchanged.
 - The courtyard is largely maintained. The north side yard setback is maintained.
 - The garage/accessory unit's front façade and relationship to the street is unchanged
 - The addition to the garage /accessory unit is to the rear away from street view.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

- 2) Views: The proposed additions are set so as to not impede views into the site or adjoining properties. As the principal facade faces its courtyard, the proposed home does not impede its view down the streetscape.
- 3) Screening: As it is located at the on the interior and rear of the property, the proposed additions do not screen the principal facade of the existing building or the adjoining ones. As the Home addressed the courtyard and not the street, the impact on the street is minimal
- 4) Setbacks: The proposed additions are situated as far as possible from adjoining Heritage resources. A generous setback is provided to the common property line.
- 5) Scale: The additions are internal to the site and the existing elevation which is exposed to the southern adjoining heritage resource remains the same,
- 6) Building Height: The proposed building height is 2 storeys. This matches the existing building height. The height is visually reduced with one storey elements and a continuous eaves. The addition building is set well away from the common property line so as not encroach on a 45 degree angular plane from the roof of the adjoining Heritage resource to the south.
- 7) Landscaped Open Space: The building setback maintains the existing screening trees along River Road.
- 8) Angular Plane: The proposed additions does not intersect a vertical 45-degree angular plane from the adjacent existing Heritage resource property to the south.
- 9) Design Elements: The proposed building uses design elements similar in scale and proportion to the existing Heritage resource:
 - a. heavy horizontal frieze board at the one storey level to visually continue the roofline;
 - b. different materials in different areas of the elevations;
 - c. vertically proportional windows (on the north elevation) to be sympathetic to the existing windows on the Heritage resource
 - d. one storey elements with pitched roof (Front Porch) to be sympathetic to the existing roofline

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

- 10) Materials – The material palette proposes materials similar to the existing Heritage resource:
 - a. Stone,
 - b. Stucco,
 - c. Siding,
 - d. Asphalt shingles
 - e. Light and dark material colours.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

7.0 Summary Statements and Recommendations

7.1 Proposed Additions and Renovations to a Single Detached Residence and Garage/Accessory Unit at 14 River Road within a Cultural Heritage Landscape

The proposed Single Detached Residence at 58 Parkview Place has applied the following design strategies to illustrate sensitivity to the adjacent Heritage Listed property in the following manner. The proposed new single detached home:

- 1) has a front yard setback matches the existing building's;
- 2) maintains the existing berm and trees along River Road;
- 3) there is no expansion to the south which retains the south side yard setback so and work does not encroach on the existing adjoining home to the south and is in keeping with typical range of side yard setbacks in the CHL;
- 4) does not impede views into the site
- 5) does not impede views to adjoining homes;
- 6) does not screen adjoining homes;
- 7) maintains existing setbacks to property lines;
- 8) visually breaks down the two storey building addition mass by one storey elements which diminish the visual impact of the two storey building mass, and is not exposed to the adjoining Heritage resource to the south;
- 9) respects a 45-degree vertical angular plane from the adjacent existing Heritage resource property to the south;
- 10) uses design elements similar in scale and proportion to the existing Heritage resource:
 - a. heavy horizontal frieze board at the one storey level to visually continue the roofline;
 - b. different materials in different areas of the elevations;
 - c. vertically proportional windows (on the north elevation) to be sympathetic to the existing windows on the Heritage resource
 - d. one storey elements with a pitched roof (Front Porch) to be sympathetic to the existing roofline

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

11)uses materials and colours similar to the existing CHL;

12)has employed a series of strategies to create a design solution that is sympathetic to the adjoining Heritage resource and to minimize any potential impact on the its Heritage value and that of the CHL.

In summary, the above design approach and components of the proposed design solution illustrate the attention to making the construction of the renovations and additions adjacent to an existing Listed Heritage resource and the CHL sympathetic to the existing Heritage value and thereby reducing any impact on its Heritage value.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

8.0 Mandatory Recommendation:

8.1 Mandatory Recommendation regarding the construction of additions and renovations to the single detached residence and garage/accessory unit at 14 River Road on the Heritage value of the adjacent existing Listed Heritage resource and the River Road Cultural Heritage Landscape:

With respect to the proposed construction of additions and renovations to the existing buildings at 14 Rier Road, it is recommended that:

- 1) The design of the renovations and additions to the existing single detached residence and the existing garage implements Heritage design strategies to make its design sympathetic to River Road Cultural Heritage Landscape;
- 2) The design of the renovations and additions to the existing single detached residence and the existing garage employs Heritage design strategies to minimize its impact on the Heritage value of the River Road Cultural Heritage Landscape;
- 3) The design of the renovations and additions to the existing single detached residence and the existing garage is in keeping with general good Heritage design practices and does not negatively impact the Heritage value of the Listed River Road River Road Cultural Heritage Landscape; and
- 4) The design of the proposed renovations and additions to the existing single detached residence and renovations to the existing garage be approved.

9.0 Authorship

Report Prepared By:

VINCENT J. SANTAMAURA, ARCHITECT INC.

Date:

07 May 2024



Vincent J. Santamaura, B. Arch, OAA, MRAIC, CAHP
Principal Architect

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

Appendix 1: Bibliography

- 1.1 Canada, Government of, Department of National Defense, Aerial Photographs, National Aerial Photographic Collection, National Aerial Photographic Library, Ottawa.
- 1.2 Historic Places Canada, “Standards and Guidelines for the Conservation of Historic Places In Canada”, Second Addition, Government of Canada, 2010.
- 1.3 Ontario Ministry of Tourism, Culture and Sport, “Ontario Heritage Toolkit”, Queen’s Printer for Ontario, 2006.
- 1.4 Ontario Ministry of Tourism, Culture and Sport, “Eight Guiding Principles in the Conservation of Built Heritage Properties”, Ministry of Tourism, Culture and Sport, Queen’s Printer for Ontario, 2007.
- 1.5 Site Visit – December 1st, 2021.
- 1.6 Brampton Heritage Board, Brampton, City of, “Municipal Register of Cultural Heritage Resources – Listing Candidate Summary Report: River Road Cultural Heritage Landscape”, February 2010.
- 1.7 <http://google.com/maps>

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

Appendix 2: Biography of Author

SELECTED PROFESSIONAL RESUME

Vincent J. Santamaura, B. Arch, MOAA, MRAIC

Overview:

Vincent has contributed close to 40 years of Architectural experience to the Construction Industry as Vincent J. Santamaura, Architect Inc. and as a founding partner of SRN Architects Inc. A creative designer, familiar with a variety of Building systems, and the Building and Approvals process, he applies his knowledge to solving the building needs of his clients.

Trained and registered as an Architect, Vincent graduated from the University of Toronto in 1983. He has been active in the Greater Toronto Area – from downtown infill housing to new communities to historic renovations, adaptive re-use to high-rise. Vincent has worked for award winning architectural firms and runs his own practice. He has worked for a large land developer/home builder as Staff Architect and Community Planner where he was responsible for designing new communities, lotting modules and commercial and residential unit forms. Fully versed in the grand picture, Vincent applies his knowledge and experience back into the urban and architectural design fields.

Familiar with a variety of building systems, Vincent is comfortable designing in steel frame, cast-in place concrete or wood or light gauge steel framing. His design solutions balance urban concerns, client needs, and budget demands. Sustainability has always been an interest of Vincent's since his university days having been involved in passive energy design since the first oil crisis, and this has led to an interest in building envelope systems and an exploration of the new energy efficient building techniques. Fundamentally, though, it is the satisfaction of the client's needs that drives the building design solution and the delivery of it on time and on budget.

Vincent derives a large amount of his design inspiration from our Ontario Heritage. He is a member of the Canadian Association of Heritage Professionals as a Building Specialist. He's been the Chair of the Uxbridge LACAC and has been active in the preservation efforts of the Foster Memorial and the Lucy Maud Montgomery House, both in Leaskdale. He has also sat on the Heritage Whitby LACAC. He designed the York/Durham Heritage Railway/Go Train Station in Stouffville, renovations to the Goodwood Town Hall (1875) and the Uxbridge Music Hall (1901). With these works, Vincent has developed strong interpersonal skills interacting with various communities, committees and municipal governments. This sensitivity to the existing built (and social) environment ensures that any design intervention will respect its neighbours.

Keenly aware of the complex issues and interests in building communities, Vincent uses his design skills, his consensus building skills and his experience to arrive at a balanced solution to any design challenge.

Education:

2001 to present – OAA Professional Development Continuing Education Course Certificates
1986 to 1989 – AutoCAD Certificate courses, Ontario CADD/CAM Centre, Cambridge, Ontario
1985 – Construction Specifications Course, CSC, Toronto
1983 – Bachelor of Architecture, University of Toronto

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

Professional Memberships:

2012 to 2017 - Member, Alberta Association of Architects
2010 to present - Member, Canadian Association of Heritage Professionals, Building Specialist,
2006 to present - Member, Canada Green Building Council
1981 to present - Member, Ontario Association of Architects, Registered 1989
1983 to present - Member, Royal Architectural Institute of Canada

Community Memberships:

Currently - Member, Heritage Whitby/LACAC, Town of Whitby
2015 to 2018
2009 to 2012 - involved in Local Architectural Conservation Advisory Committee to the Town of Whitby
1993 to 1996 - Member/Chairman, Heritage Uxbridge/LACAC, Town of Uxbridge
- involved in Local Architectural Conservation Advisory Committee to the Town of Uxbridge
1993 to 2002 - Member, Friends of the Foster Memorial, Town of Uxbridge
- involved in the fund raising, preservation and designation efforts for the Foster Memorial in the Town of Uxbridge
1994 to 2002 - Member, York/Durham Heritage Railway Association, Stouffville
- involved in the running of the heritage railway between Stouffville and Uxbridge
1995 to 1998 - Member, Celebration of the Arts Committee, Town of Uxbridge
- involved in organizing the annual Cultural Celebration in the Town of Uxbridge

Professional Activities and Selected Projects:

Expert Witness – Heritage Matters:

Expert Witness – Heritage Matters: Ontario Municipal Board -
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Dunbar Homes Appeal of the City of Mississauga Refusal to Enact By-Law no. 0225-2007

Expert Witness – Heritage Matters: Ontario Municipal Board
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Testimony for Vitmont Holding Inc Appeal of the Town of Aurora Non-Decision on Site Plan for 15160 Yonge Street & No. 5 Tyler Street, Aurora

Expert Witness – Heritage Matters: Ontario Municipal Board -
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Ballantry Homes Appeal of the Town of Markham By-Law no. 2006-78

Heritage Impact Statements/Reports:



Heritage Impact Assessment/Preservation Plan - 68 Daisy Street, City of Toronto (Etobicoke):

Heritage Architect who analyzed and authored a Heritage Impact Assessment and prepared a Preservation Plan for the Vincent Massey Public School on the impact of a new cluster of townhouses proposed around it in the City of Toronto.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario



Cultural Heritage Impact Review Assessment/ Preservation Plan - 8161 & 8177 Kipling Avenue, (The Thomas Wright House and the McGillivray-Shore House) City of Vaughan:

Heritage Architect & Architect who analyzed and authored a Cultural Heritage Impact Assessment/ Conservation Plan for the re-location and renovation of two Designated Homes and the impact of a proposed stacked townhouse project in the Woodbridge Heritage Conservation District, in the City of Vaughan.

2017 Vaughan Urban Design Award winner.

Heritage Impact Assessment - 6 Mann Street, Clarington (Bowmanville):

Heritage Architect who analyzed and authored a Heritage Impact Assessment for the impact of an infill project of three single detached homes in the Town of Clarington (Bowmanville).

Heritage Impact Statement – 4390 Mississauga Road, City of Mississauga:

Heritage Architect who analyzed and authored a Heritage Impact Statement for the impact of a proposed semi-detached and townhouse development on the Mississauga Road Scenic Route (Heritage Register Inventory) in the City of Mississauga.

Heritage Impact Statement – 10056 & 10068 Keele Street, City of Vaughan:

Heritage Architect who analyzed and authored a Cultural Heritage Impact Assessment for and designed a proposed townhouse project in the Woodbridge Heritage Conservation District, in the City of Vaughan.

Heritage Impact Statement/Preservation Plan - Stiver Tenant House

9721 Kennedy Road, City of Markham

Heritage Architect who analyzed and authored a Cultural Heritage Impact Assessment/Preservation Plan for the preservation, re-location, renovation, and addition of a Designated Stiver Tenant Home project in the Town of Markham. (on-going)

Cultural Heritage Impact Review Assessment/Preservation Plan – The Thomas Watson House

8934 Huntington Road, City of Vaughan:

Heritage Architect who analyzed and authored a Cultural Heritage Impact Statement and Preservation plan for the renovation of a formerly Designated Home as part of the proposed Arlington Estate Banquet Hall re-development project in the City of Vaughan.

Heritage Impact Assessment/Preservation Plan – 6 & 12 Durham Street , Town of Whitby:

Heritage Architect who Analyzed and authored a Heritage Impact Assessment and prepared a Preservation plan for the re-location, renovation, and addition of two homes of Heritage value as part of “Olde Whitby-The Mews” redevelopment project in the Town of Whitby (Brooklin).

Restoration:

St. Francis Xavier (1856),

Parish of St. James – Tottenham

Architect for the planned restoration and expansion of this Heritage church will ensure the unique features of this building will be preserved.



The Music Hall (1901), Uxbridge:

Architect for the renovation of the cultural centre of the thriving artistic life of Uxbridge since 1901. The facilities of the Historically Designated Music Hall were updated, and the stage was restored.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

Adaptive Re-Use:



11 Woodlawn Avenue, Toronto:

Project Architect for a conversion of a church building into condominium suites. The existing 4,000 sf building shell had another 8,000 sf of building area inserted into its envelope to create six luxury 2-storey units.

Mixed Use Projects:



Old Brooklin-The Mews, Brooklin:

Architect for the infill and extension of downtown Brooklin’s Heritage District’s main street with a mixed-use project using traditional living above retail programming and local Heritage architectural styles.

Institutional:



Go Transit Stouffville and York Durham Heritage Railway Terminus, Stouffville:

Architect for the Heritage inspired Go Transit Station Stouffville which also acts as a terminus station for the York Durham Heritage Railway line between Stouffville and Uxbridge.

Commercial:



10 Richmond Street, Maple:

Architect for a commercial infill building in Downtown Maple’s Heritage, currently approved by the City of Vaughan Heritage Committee, the Maple Streetscape Committee and City of Vaughan Council.

Architectural Control Guidelines:

Kleinburg Estates, Vaughan (Kleinburg):

Control Architect who created Architectural Control Guidelines which selected all components for the accurate re-creation of Georgian, Queen Anne, Second Empire and Victorian styles in this residential community in the Heritage Conservation District of Kleinburg.

Heritage Impact Assessment – Cultural Heritage Landscape

Proposed Single Detached Residence, 14 River Road, Brampton (Huttonville), Ontario

End of Report

ARCHITECTURAL SHEET LIST		
Sheet Number	Sheet Name	Current Revision
A0-00	ARCHITECTURAL SHEET LIST	018
A0-01	PERSPECTIVE	018
A0-02	PERSPECTIVE	018
A0-03	SITE PLAN	018
A0-04	AVERAGE GRADE CALCULATION	018
A0-05	SURVEY	018
A0-06	LOT AREA AND COVERAGE	018
A0-07	FLOOR AREA PLAN	018
A0-08	LANDSCAPE AREA PLAN	018
A0-09	OAA MATRIX & SECONDARY UNIT FLOOR AREA PLAN	018
A0-10	CONSTRUCTION NOTES	018
A0-11	CONSTRUCTION NOTES	018
A0-12	CONSTRUCTION NOTES	018
A1-00	PROP. FOUNDATION PLAN	018
A1-01	PROP. UNFINISHED BASEMENT	018
A1-02	PROP. GROUND FLOOR	018
A1-03	PROP. SECOND FLOOR	018
A1-04	PROP. ROOF PLAN	018
A1-05	PROP. SECONDARY UNIT FOUNDATION PLAN	018
A1-06	PROP. SECONDARY UNIT GROUND FLOOR PLAN	018
A1-07	PROP. SECONDARY UNIT SECOND FLOOR	018
A1-08	PROP. SECONDARY UNIT ROOF PLAN	018
A2-01	PROP. FRONT ELEVATION	018
A2-02	PROP. REAR ELEVATION	018
A2-03	PROP. LEFT ELEVATION	018
A2-04	PROP. RIGHT ELEVATION	018
A2-05	PROP SECONDARY UNIT FRONT ELEVATION	018

ARCHITECTURAL SHEET LIST		
Sheet Number	Sheet Name	Current Revision
A2-06	PROP. SECONDARY UNIT REAR ELEVATION	018
A2-07	PROP. SECONDARY UNIT LEFT ELEVATION	018
A2-08	PROP. SECONDARY UNIT RIGHT ELEVATION	018
A3-01	PROP. SECTION	018
A3-02	PROP. SECONDARY UNIT SECTION	018
A3-03	PROP. SECONDARY UNIT SECTION	018
A4-01	DOOR SCHEDULE	018
A4-02	WINDOW SCHEDULE	018
A4-03	ASSEMBLIES	018
A4-04	DETAILS	016
A4-05	DOOR WINDOW SCHEDULE & WALL ASSEMBLIES - SECONDARY UNIT	018
A5-01	EXISTING BASEMENT	018
A5-02	EXISTING GROUND FLOOR PLAN	018
A5-03	EXISTING SECOND FLOOR PLAN	018
A5-04	EXISTING ROOF PLAN	018
A5-05	EXISTING SECONDARY UNIT GROUND FLOOR PLAN	018
A5-06	EXISTING SECONDARY UNIT FIRST FLOOR PLAN	018
A5-07	EXISTING SECONDARY UNIT ROOF PLAN	018
A6-01	EXISTING FRONT ELEVATION	018
A6-02	EXISTING REAR ELEVATION	018
A6-03	EXISTING LEFT ELEVATION	018
A6-04	EXISTING RIGHT ELEVATION	018
A6-05	EXISTING SECONDARY UNIT FRONT ELEVATION	018
A6-06	EXISTING SECONDARY UNIT REAR ELEVATION	018
A6-07	EXISTING SECONDARY UNIT LEFT ELEVATION	018
A6-08	EXISTING SECONDARY UNIT RIGHT ELEVATION	018

Grand total: 53

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BRAMPTON, ON L6X 0A6

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PERSPECTIVE

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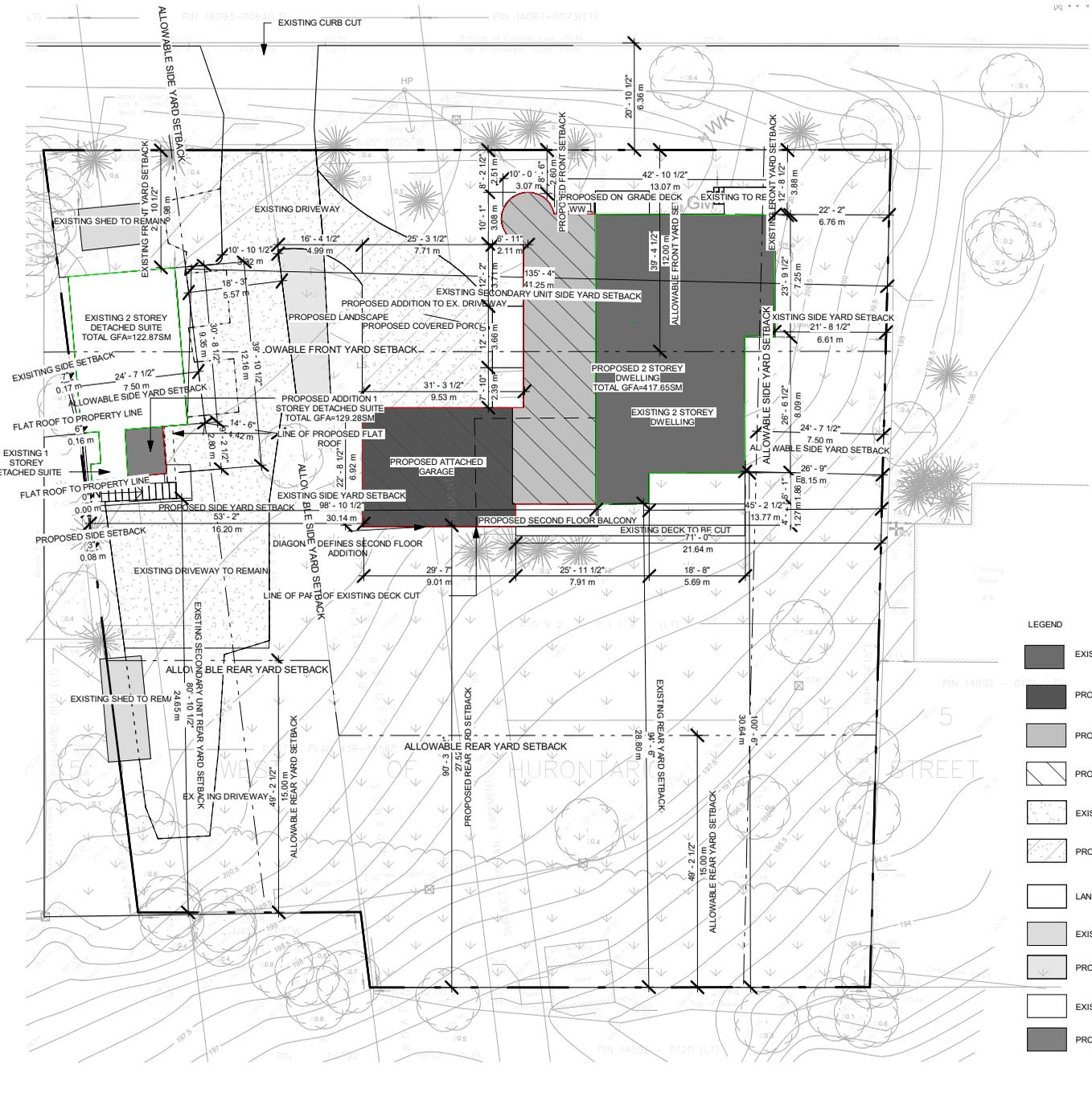
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		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	PP		
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- LEGEND**
- EXISTING TWO STOREY DWELLING
 - PROPOSED ATTACHED GARAGE
 - PROPOSED GROUND FLOOR ADDITION
 - PROPOSED SECOND FLOOR ADDITION
 - EXISTING DRIVEWAY
 - PROPOSED DRIVEWAY
 - LANDSCAPE
 - EXISTING SHED TO REMAIN
 - PROPOSED LANDSCAPE
 - EXISTING SECONDARY UNIT
 - PROPOSED SECONDARY UNIT ADDITION

ZONING INFO.

ZONING INFORMATION FOR (14 RIVER ROAD) BY-LAW 204-2010						
ZONING: RHm1 (RESIDENTIAL HAMLET ONE)						
MIN LOT AREA	4000 m ²	43055.64 SF				
MIN LOT WIDTH	45 m	147.638 FT				
LOT AREA	2259.38 m ²	24320 SF				
PROPOSED DWELLING INFORMATION						
EX GROUND FLOOR	154.61 m ²	1664.20 SF				
GROUND FLOOR ADDITION	82.62 m ²	889.32 SF				
EX SECOND FLOOR	63.86 m ²	687.43 SF				
SECOND FLOOR ADDITION	116.56 m ²	1254.60 SF				
PROP. GFA	417.65 m ²	4495.54 SF				
PROP DWELLING UNIT COVERAGE	300.59 m ²	3236 SF				
SETBACKS	EXISTING	ALLOWABLE	PROPOSED			
	(m)	(ft)	(m)	(ft)	(m)	(ft)
FRONT:	3.88	12.72	12.00	39.37	2.60	8.53
REAR:	28.80	94.48	15.00	49.21	27.52	90.28
SIDE (RIGHT):	6.61	21.68	7.50	24.60	EXISTING TO REMAIN	EXISTING TO REMAIN
SIDE(LEFT):	30.14	98.88	7.50	24.60	16.20	53.14
BUILDING HEIGHT:	7.21	23.65	10.60	34.77	8.13	26.67

EXISTING SECONDARY UNIT INFORMATION				
PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA	70.36 m ²	757.38 SF		
PROP LEGAL SECONDARY UNIT SECOND FLOOR AREA	58.92 m ²	634.22 SF		
TOTAL: 2	129.28 m ²	1391.60 SF		
PROP. SECONDARY UNIT COVERAGE 74.50/2259.38 = 3.30%	70.36 m ²	757 SF		
SETBACKS	EXISTING	PROPOSED		
	(m)	(ft)	(m)	(ft)
FRONT:	6.98	22.90	EXISTING TO REMAIN	
REAR:	24.65	80.87	EXISTING TO REMAIN	
SIDE (RIGHT):	0.17	0.55	EXISTING TO REMAIN	
SIDE(LEFT):	41.25	135.33	EXISTING TO REMAIN	
BUILDING HEIGHT:			EXISTING TO REMAIN	

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

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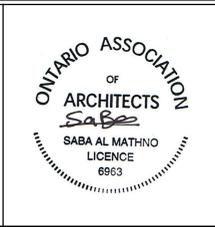
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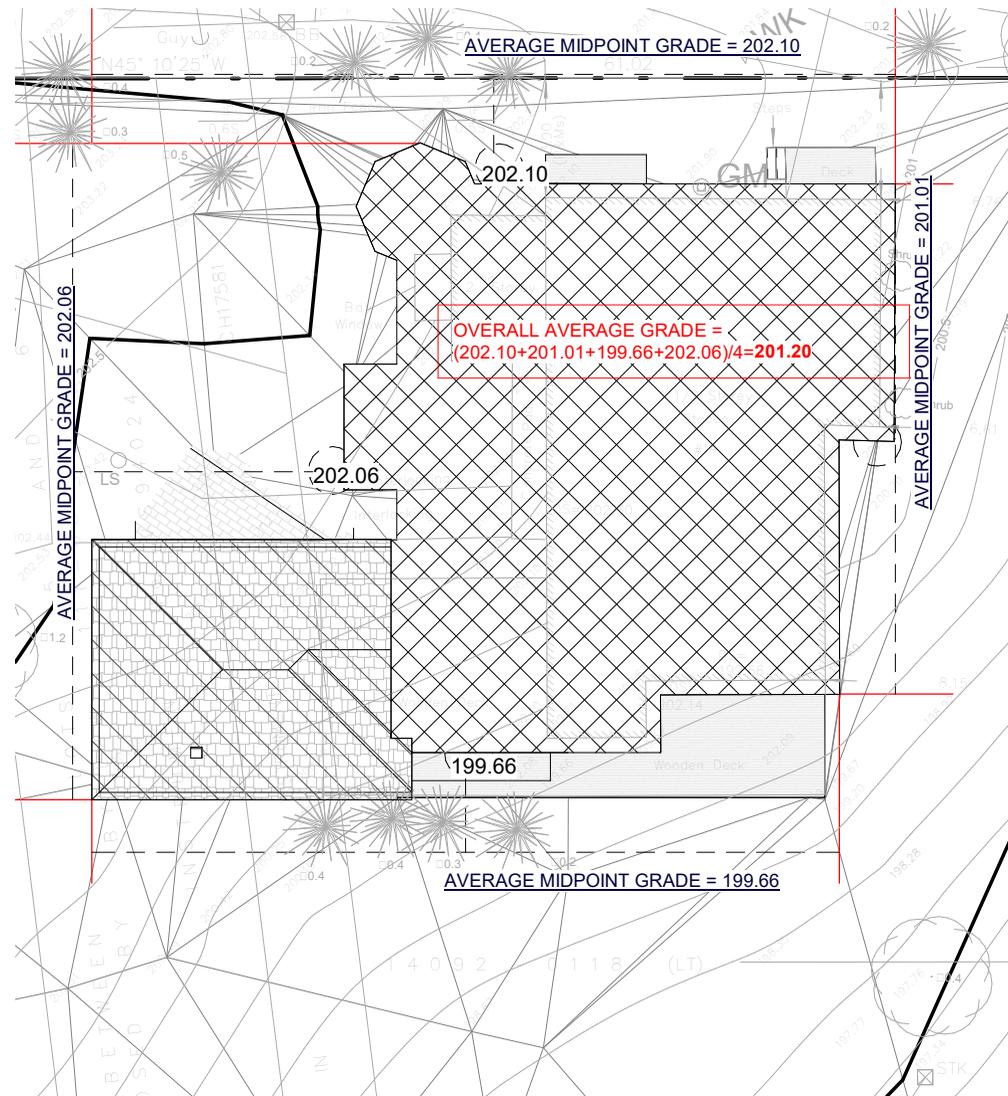
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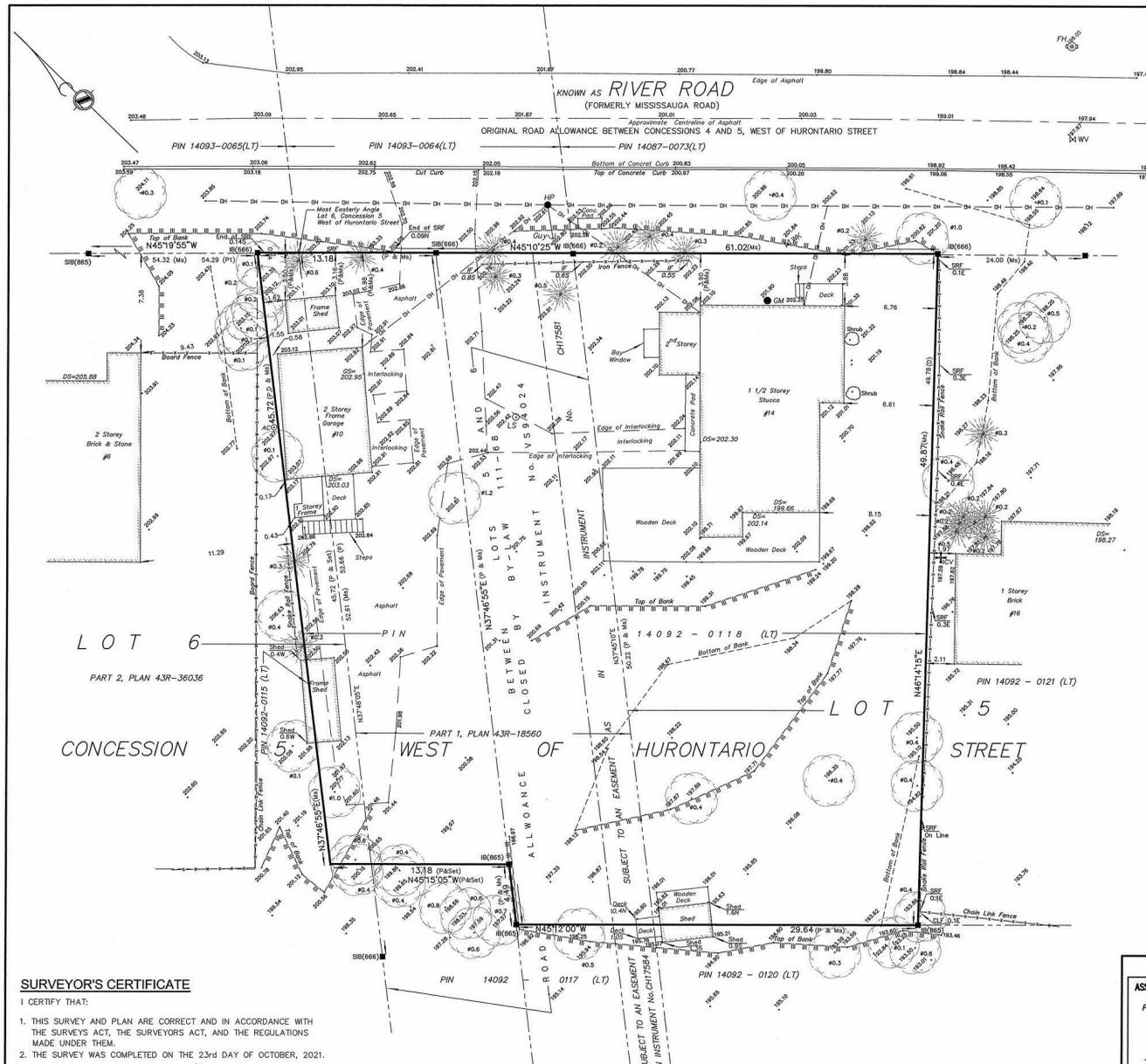


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SURVEYOR'S REAL PROPERTY REPORT
 SHOWING TOPOGRAPHIC FEATURES OF
**THE ROAD ALLOWANCE BETWEEN LOTS 5
 AND 6**
 (CLOSED BY CHINGUACOUSY BY-LAW 111-68)
 AND
**PART OF LOTS 5 AND 6, CONCESSION 5
 WEST OF HURONTARIO STREET**
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:200



YOUNG & YOUNG SURVEYING INC.
 ONTARIO LAND SURVEYORS
 © 2021

METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2
DESCRIPTION OF LAND
THE ROAD ALLOWANCE BETWEEN LOTS 5 AND 6 (CLOSED BY CHINGUACOUSY BY-LAW 111-68) AND PART OF LOTS 5 AND 6, CONCESSION 5 WEST OF HURONTARIO STREET (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL
COMPLIANCE WITH MUNICIPAL ZONING
NOT CERTIFIED BY THIS REPORT
REGISTERED EASEMENTS
SUBJECT TO AN EASEMENT AS IN INSTRUMENT No.CH17581
ADDITIONAL REMARKS
NOTE THE LOCATION OF THE FENCES, DRIVEWAY, SHED, OVERHEAD WIRE AND TREES IN RELATION TO THE BOUNDARY LIMITS.

BEARING NOTE
 BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET)
 OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS 2010).

DISTANCE NOTE
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID
 BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999688.

LEGEND

■	DENOTES FOUND BAR
□	DENOTES PLANTED BAR
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
MS	DENOTES MEASURED
P	DENOTES PLAN 43R-18560
P1	DENOTES PLAN 43R-36036
D	DENOTES INSTRUMENT No.R0952965
(666)	DENOTES A. DEATH, O.L.S.
(865)	DENOTES D.P. McLEAN, O.L.S.
WHS	DENOTES WEST OF HURONTARIO STREET
● H/P	DENOTES HYDRO POLE
● LS	DENOTES LIGHT STANDARD
WV	DENOTES WATER VALVE
WK	DENOTES WATER KEY
FH	DENOTES FIRE HYDRANT
BF	DENOTES BOARD FENCE
CLF	DENOTES CHAIN LINK FENCE
DS	DENOTES DOOR SILL
GS	DENOTES GARAGE SILL
SRF	DENOTES SNAKE RAIL FENCE
IF	DENOTES IRON FENCE
N	DENOTES NORTH
E	DENOTES EAST
W	DENOTES WEST
S	DENOTES SOUTH
⊙	DENOTES CENTRE LINE
○	DENOTES DECIDUOUS TREE WITH DIAMETER
⊙	DENOTES CONIFEROUS TREE WITH DIAMETER
DH	DENOTES OVERHEAD HYDRO LINES
ICV	DENOTES IRRIGATION CONTROL VALVE
AC	DENOTES AIR CONDITIONER
●	DENOTES BELL BOX
GM	DENOTES GAS METER

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
 THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS
 MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF OCTOBER, 2021.

Nov 12/21
 DATE

 JAMES A. AGEMANG B.Eng.
 ONTARIO LAND SURVEYOR

BENCHMARK NOTE
 ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE
 CITY OF BRAMPTON, MONUMENT #042200354 (ONT.78 ADJUSTMENT) HAVING
 AN ELEVATION 205.88 METRES.

BEARING ROTATION NOTE
 FOR BEARING COMPARISONS, A ROTATION OF 0°54'05" COUNTER CLOCKWISE
 WAS APPLIED TO PLAN P TO CONVERT TO GRID BEARINGS

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-20341

**YOUNG & YOUNG
 SURVEYING INC.**
 A Subsidiary of Mauro Group Inc.
 2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1
 PHONE 905.951.6000 - FAX 905.857.4811
 www.youngsurveying.ca - info@youngsurveying.ca
 PARTY CHIEF: DEV | DRAWN BY: LV | CHECKED BY: JA
 CLIENT: MATTHEW, ABRAHAM
 PATH= F:\PROJECTS\2021\B7778\MSGCAD\B7778_SRRR_TOP.DWG
PROJECT No. 21-B7778

14 RIVER ROAD
 BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
 A0-05

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

ARCHITECTS

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 info@qbsarchitects.com

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ONTARIO ASSOCIATION
 OF
 ARCHITECTS

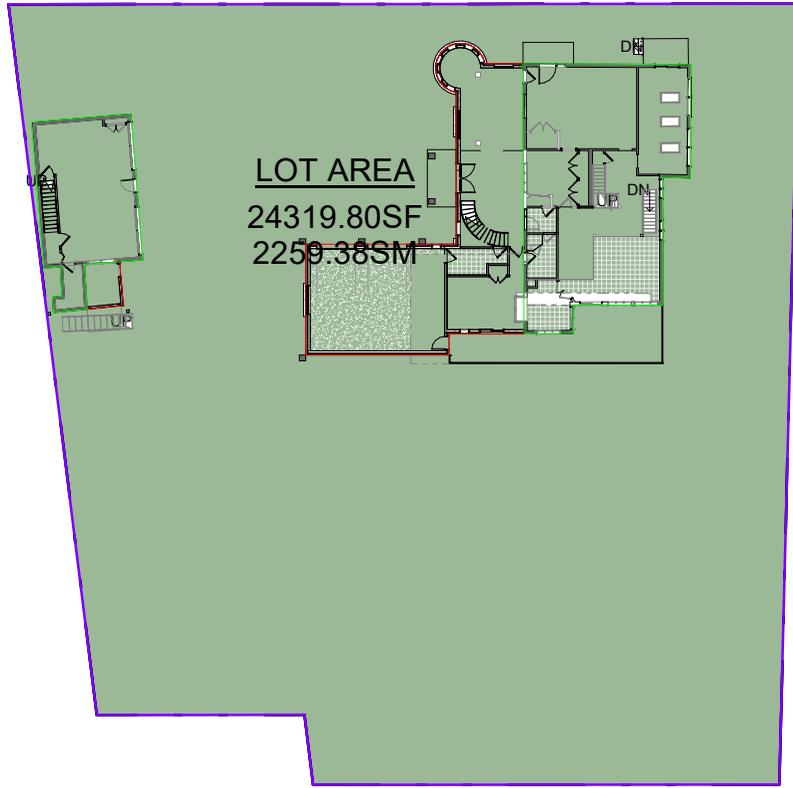
 SABA AL MATHINO
 LICENCE
 6963

PROJECT NUMBER		DRAWING STATUS	
200155	20155	ISSUED FOR PUBLIC NOTICE	ISSUED FOR PUBLIC NOTICE
DATE	10/20/22		
DRAWN	PP		
CHECKED	SA	SCALE	REVISION 01

4/26/2024 2:00:15 PM

LOT AREA

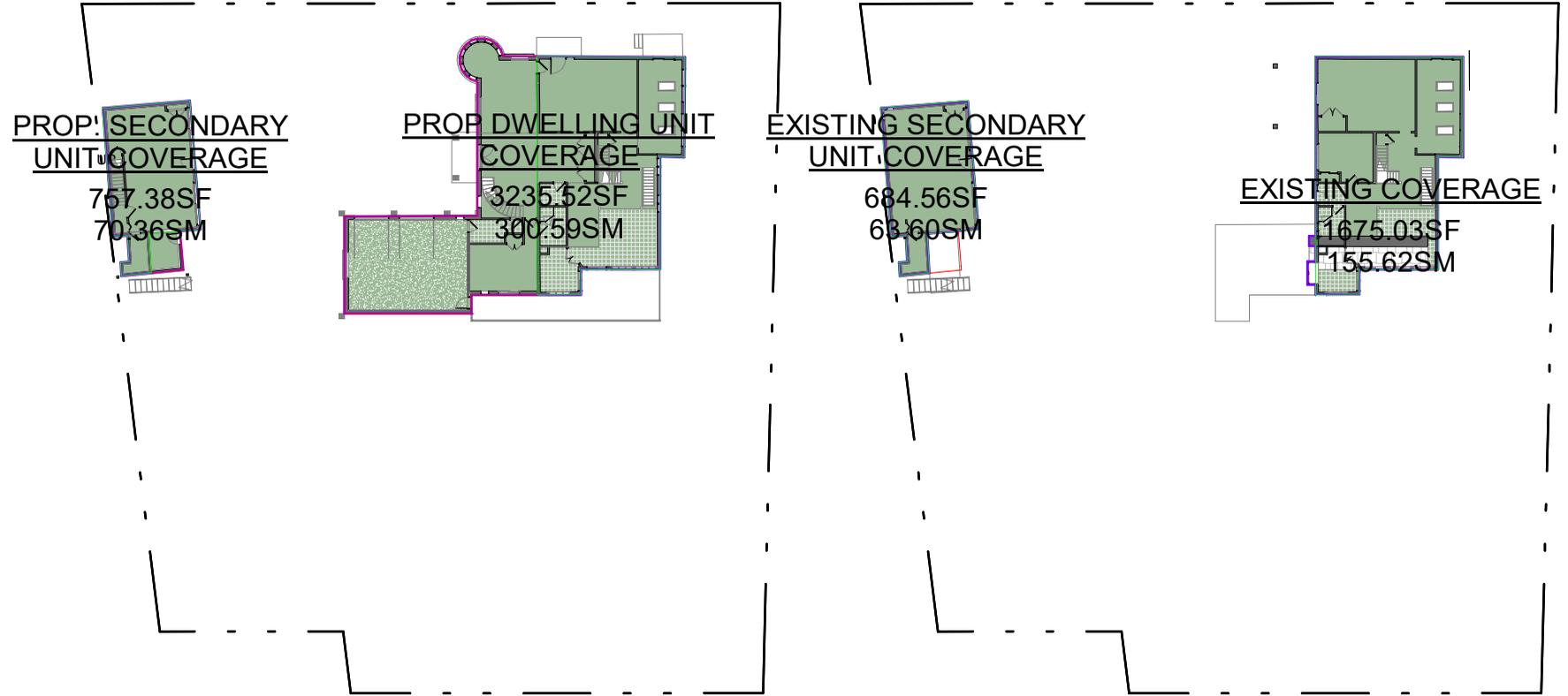
LOT AREA	2259.38 m ²	24320 SF
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LOT AREA

COVERAGE

PROP DWELLING UNIT COVERAGE	300.59 m ²	3236 SF
PROP. SECONDARY UNIT COVERAGE	70.36 m ²	757 SF
EXISTING SECONDARY UNIT COVERAGE	63.60 m ²	685 SF
EXISTING COVERAGE	155.62 m ²	1675 SF



PROP COVERAGE

EXISTING COVERAGE

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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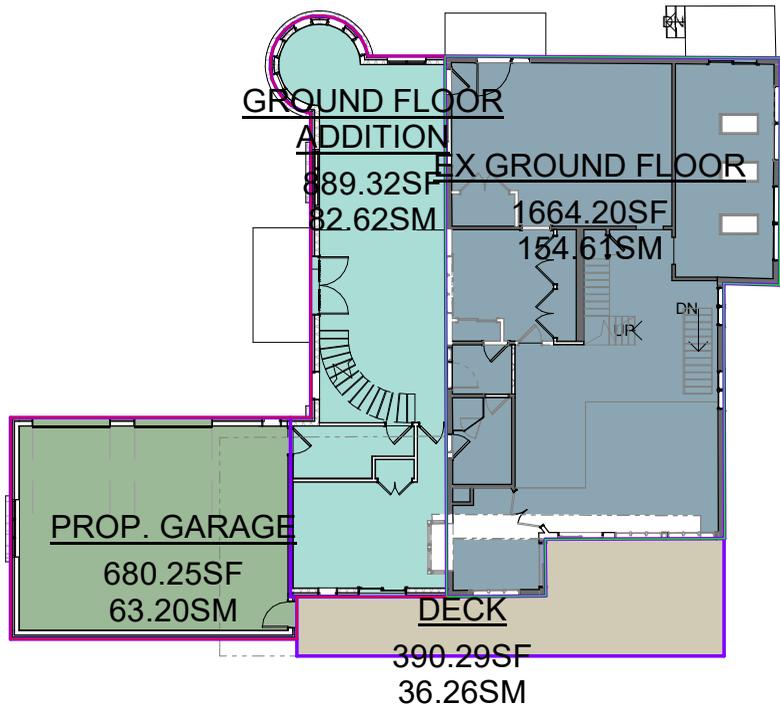


LOT AREA AND COVERAGE

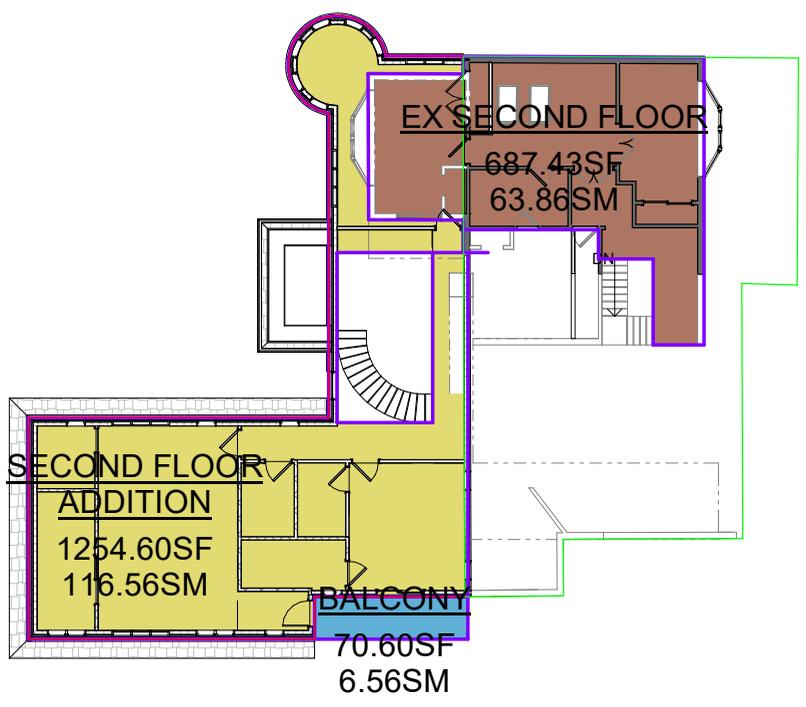
PROJECT NUMBER	200155	DRAWING STATUS ISSUED FOR PUBLIC NOTICE
DATE	02/09/23	
DRAWN	PP	SCALE 1" = 40'-0" REVISION 01
CHECKED	SA	

STAGE
COFA

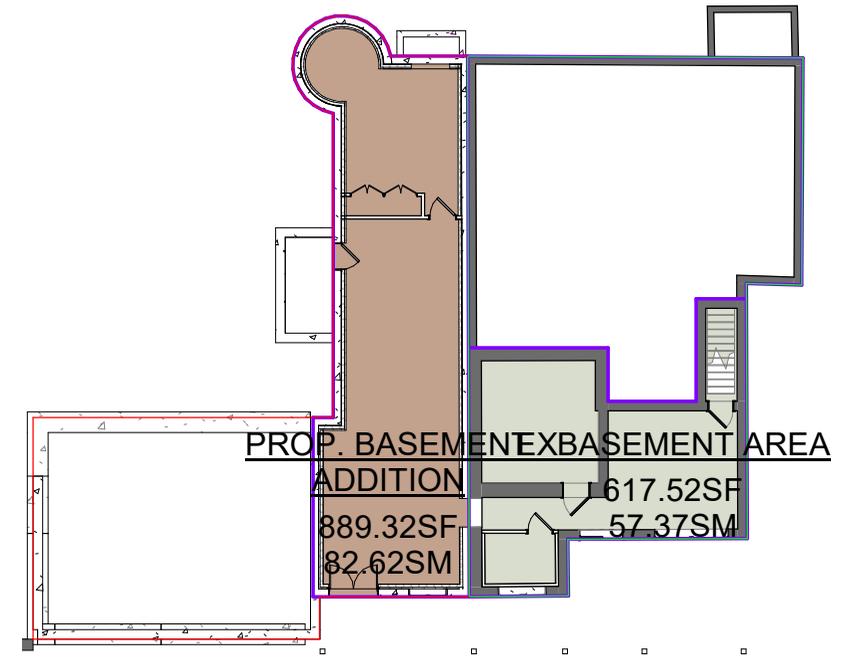
DRAWING NO.
A0-06



GROUND FLOOR-PROPOSED



SECOND FLOOR-PROPOSED



BASEMENT-PROPOSED

01- GFA		
---------	--	--

GROUND FLOOR ADDITION	889.32 SF	82.62 m ²
SECOND FLOOR ADDITION	1254.60 SF	116.56 m ²
EX GROUND FLOOR	1664.20 SF	154.61 m ²
EX SECOND FLOOR	687.43 SF	63.86 m ²
PROP. GFA	4495.54 SF	417.65 m ²

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A0-07

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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FLOOR AREA PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/03/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1" = 20'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:17 PM

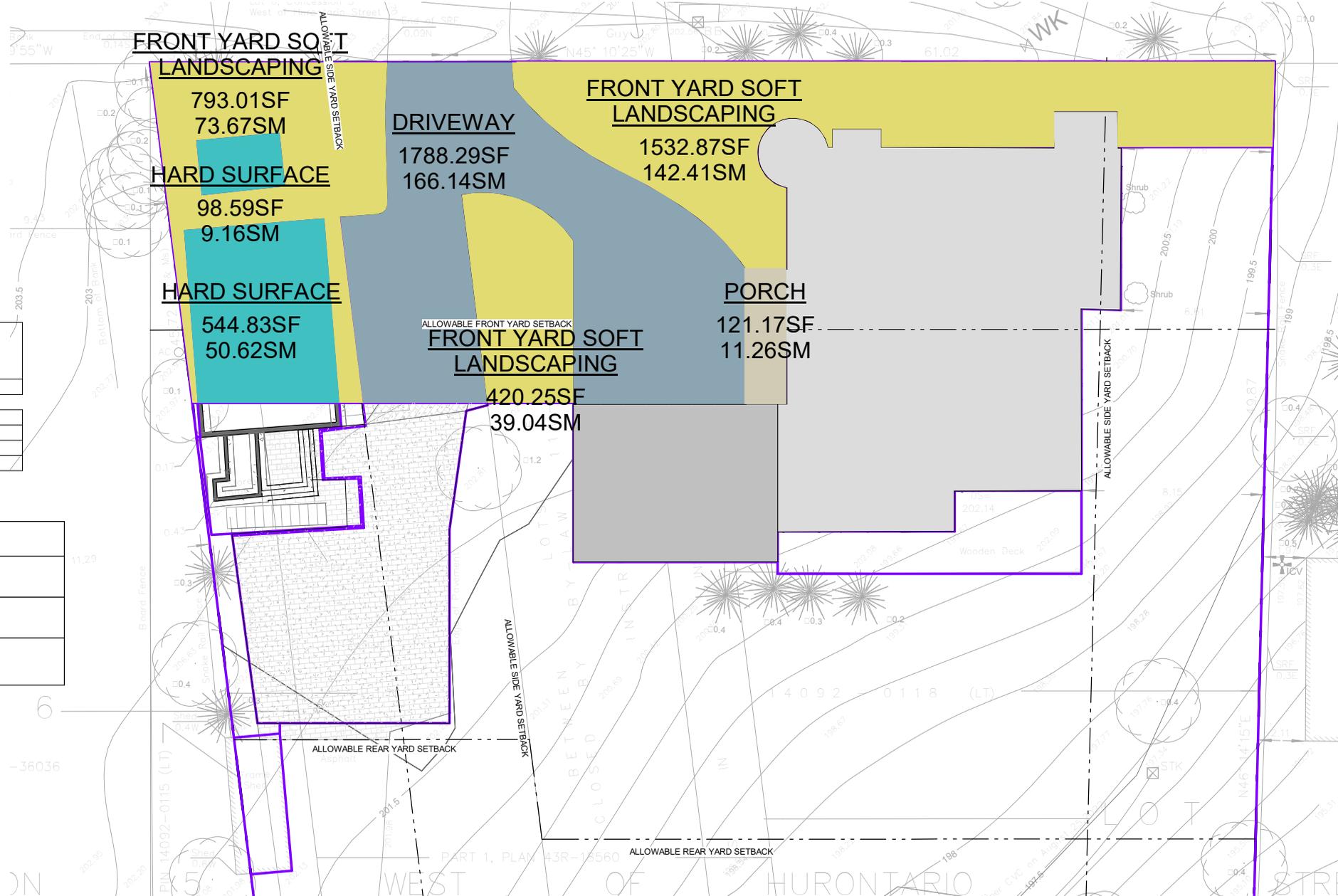
-  DRIVEWAY
-  FRONT YARD SOFT LANDSCAPING
-  HARD SURFACE
-  PORCH
-  Calculating...

Area Schedule (Front Yard Area - Proposed)

Name	Area	AREA M2
------	------	---------

DRIVEWAY	1788 SF	166.14 m ²
FRONT YARD SOFT LANDSCAPING	2746 SF	255.12 m ²
HARD SURFACE	643 SF	59.77 m ²
PORCH	121 SF	11.26 m ²
FRONT YARD LANDSCAPING CALCULATIO: 15	5299 SF	492.29 m²

	SQ.FT	SQ.M
TOTAL FRONT YARD AREA	5299	492.29
FRONT YARD SOFT LANDSCAPING AREA	2746	255.12
FRONT YARD SOFT LANDSCAPING RATIO	2756/5299 = 52.00%	



**14 RIVER ROAD
BRAMPTON, ON L6X 0A6**

STAGE	DRAWING NO.
COFA	A0-08

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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OF
ARCHITECTS

SABA AL MATHINO
LICENCE
6963



LANDSCAPE AREA PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	10/20/22	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1" = 20'-0"
CHECKED	SA	REVISION	01

FIRM NAME:
 OBS ARCHITECTS INC.
 14 CROFTON ROAD
 TORONTO, ON M4G 2B4

CERTIFICATE OF PRACTICE NUMBER: 5235

TO CONVERT EXISTING GARAGE TO BE PART OF EXISTING LEGAL SECONDARY UNIT

LOCATION:
 14 RIVER RD. BRAMPTON ON, L6X 0A6



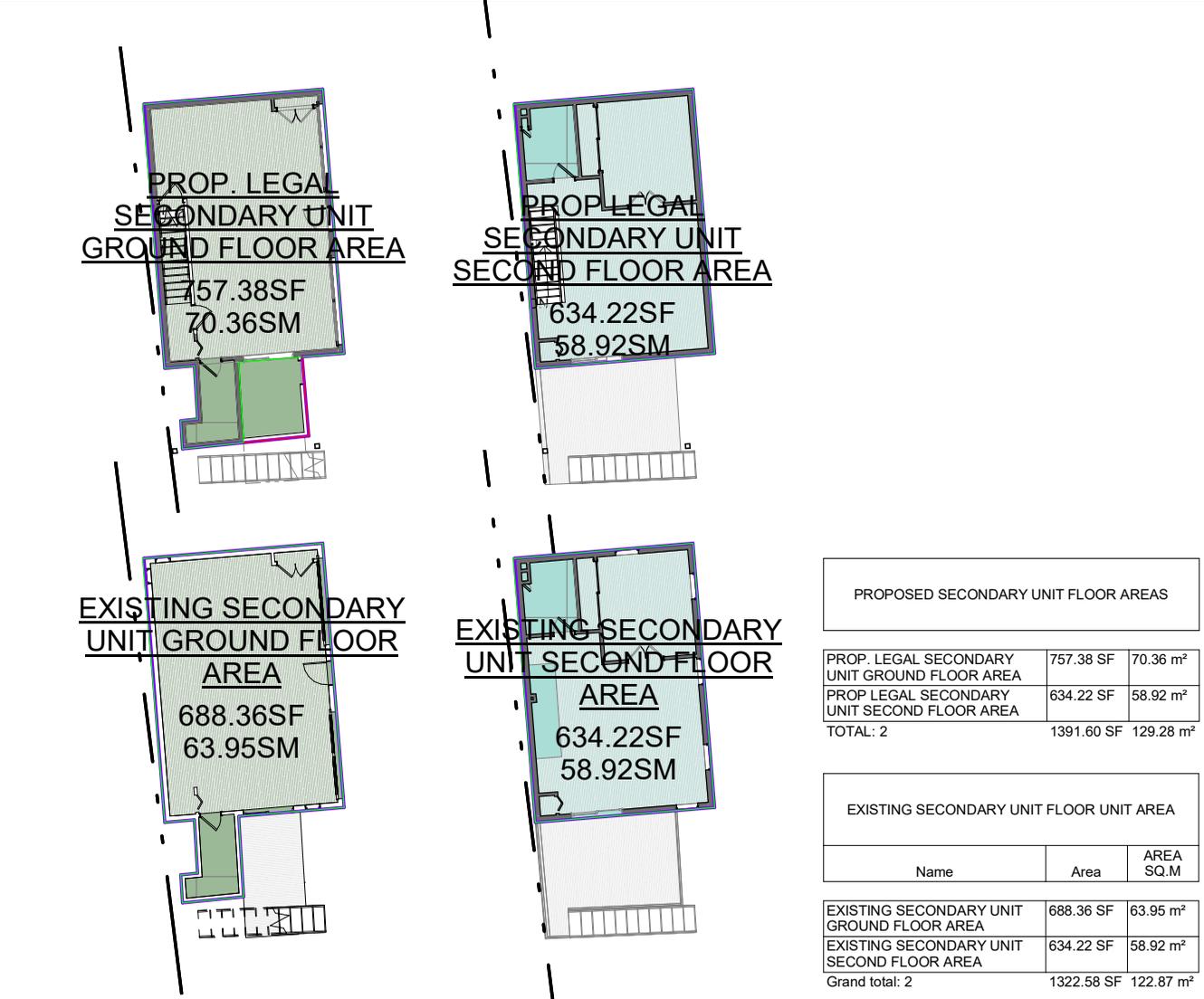
The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architects BCDN.

WALL	AREA OF E.B.F. (sq.m)	L.D. (m)	L/H OR H/L	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS (sq.m) %	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC. CLADDING	NON-COMB. CONSTR.
FRONT	EXISTING	TO REMAIN						<input checked="" type="checkbox"/>		
REAR	EXISTING	TO REMAIN						<input checked="" type="checkbox"/>		
RIGHT	88.82	41.25		100%	11.84%(10.52)			<input checked="" type="checkbox"/>		
LEFT	EXISTING	TO REMAIN						<input checked="" type="checkbox"/>		

No. ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL

OBC REFERENCE
 References are to Division B unless noted [A] for Division A or [C] for Division C.

1	PROJECT DESCRIPTION:	<input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 11 11.1 TO 11.4	<input type="checkbox"/> PART 3 2.1.1.[A]	<input checked="" type="checkbox"/> PART 9 2.1.1.[A] 9.10.1.3
2	MAJOR OCCUPANCY(S):	GROUP C RESIDENTIAL OCCUPANCY		3.1.2.1.(1)	9.10.2
3	BUILDING AREA (m²):	EXISTING: 63.95	NEW: 70.36	1.4.1.2.[A]	1.4.1.2.[A]
4	GROSS AREA (m²):	EXISTING: 122.87	NEW: 129.28	1.4.1.2.[A]	1.4.1.2.[A]
5	NUMBER OF STOREYS	ABOVE GRADE: 2	BELOW GRADE: 0	1.4.1.2.[A] & 3.2.1.1.	1.4.1.2.[A] & 9.10.4
6	NUMBER OF STREET/FIRE FIGHTER ACCESS:	1		3.2.2.10 & 3.2.5	9.10.20
7	BUILDING CLASSIFICATION: GROUP C			3.2.2.20-83	9.10.2
8	SPRINKLER SYSTEM PROPOSED:	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED		3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX
9	STANDPIPE REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	3.2.9	N/A
10	FIRE ALARM REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	3.2.4	9.10.18
11	WATER SERVICE/SUPPLY IS ADEQUATE:	<input checked="" type="checkbox"/> YES (MUNICIPAL)	<input type="checkbox"/> NO	3.2.5.7	N/A
12	HIGH BUILDING:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	3.2.6	N/A
13	CONSTRUCTION RESTRICTIONS:	<input type="checkbox"/> NON-COMBUSTIBLE PERMITTED	<input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED	<input type="checkbox"/> BOTH	3.2.2.20-83
	ACTUAL CONSTRUCTION:	<input type="checkbox"/> NON-COMBUSTIBLE	<input checked="" type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> BOTH	
14	MEZZANINE(S) AREA (m²):	N/A		3.2.1.1.(3)-(8)	9.10.4.1
15	OCCUPANT LOAD BASES ON:	<input type="checkbox"/> m²/PERSON	<input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17	9.9.1.3
	1st FLOOR:	OCCUPANCY_C	LOAD_0 PERSONS		
	2nd FLOOR:	OCCUPANCY_C	LOAD_2 PERSONS		
	ROOF:	OCCUPANCY_C	LOAD_0 PERSONS		
16	BARRIER-FREE DESIGN	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO (EXPLAIN) BUILDING IS A HOUSE (EXEMPT)	3.8	9.5.2
17	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	3.3.1.2. & 3.3.1.19	9.10.1.3(4)
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)	LISTED DESIGN No. OR DESCRIPTION (SG-2)	3.2.2.20-83 3.2.1.4	9.10.8 9.10.9
		FLOORS	0 HOURS		
		ROOF	0 HOURS		
		MEZZANINE	N/A HOURS		
		FRR OF SUPPORTING MEMBERS	LISTED DESIGN No. OR DESCRIPTION (SG-2)		
		FLOORS	0 HOURS		
		ROOF	0 HOURS		
		MEZZANINE	N/A HOURS		



PROPOSED SECONDARY UNIT FLOOR AREAS		
PROP. LEGAL SECONDARY UNIT GROUND FLOOR AREA	757.38 SF	70.36 m²
PROP LEGAL SECONDARY UNIT SECOND FLOOR AREA	634.22 SF	58.92 m²
TOTAL: 2	1391.60 SF	129.28 m²

EXISTING SECONDARY UNIT FLOOR UNIT AREA		
Name	Area	AREA SQ.M
EXISTING SECONDARY UNIT GROUND FLOOR AREA	688.36 SF	63.95 m²
EXISTING SECONDARY UNIT SECOND FLOOR AREA	634.22 SF	58.92 m²
Grand total: 2	1322.58 SF	122.87 m²

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date
STAGE	DRAWING NO.			
COFA	A0-09			
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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QBS ARCHITECTS
 TORONTO - CANADA
 info@qbsarchitects.com



OAA MATRIX & SECONDARY UNIT FLOOR AREA PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	06/21/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP		
CHECKED	SA	SCALE As indicated	REVISION 01

4/26/2024 2:00:19 PM

CONSTRUCTION NOTES

1 EXCAVATION

EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS, AND SIDEWALKS, AT ALL STAGES OF CONSTRUCTION.

WHERE THE DEPTH OF EXCAVATION EXCEEDS 4'-0" EXCAVATE AT A 45 deg ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DETAIL. STRUCTURE IS NOT TO BE LOCATED ON GROUNDS HAVING A SLOPE STEEPER THAN ONE VERTICAL TO TWO HORIZONTAL.

2 FOOTING

- 5" MIN. PROJECTION X 8" DEEP POURED CONCRETE
- 2 - 15M HORIZONTAL BARS CONTINUOUS KEY FOOTING TO FOUNDATION WALL W / 10 M REBAR DOWELS @ 32" O.C.
- FOOTINGS (MINIMUM 2200 PSI @ 28 DAYS CONCRETE) MUST BEAR ON UNDISTURBED SOIL CAPABLE OF 3,000 PSF LOADING BOTTOM OF FOOTING TO BE MIN. 4" - 0" BELOW LOWEST GRADE ON UNDISTURBED SOIL
- NOTE: CONTRACTOR RESPONSIBLE FOR DETERMINING SHORING METHOD AND / OR THE EXTENT OF UNDERPINNING (IF REQUIRED) AT NEIGHBOURING PROPERTIES' STRUCTURES. NOTE ANGLE OF REPOSE BETWEEN FOOTINGS NOT TO EXCEED 7:11 (VERT.: HORIZ.) ALL FOOTINGS TO BE HAND CLEANED AND CONCRETED IMMEDIATELY AFTER EXCAVATION. POUR A SKIM COAT OF CONCRETE ON THE BEARING SURFACES OF ALL FOOTING EXCAVATIONS IMMEDIATELY AFTER THE FOOTINGS HAVE BEEN CLEANED, INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER
- IF VARIABLE SUBSOIL CONDITIONS OCCUR, A GEOTECHNICAL ENGINEER SHOULD INSPECT ALL FOOTING FOUNDING LEVELS IMMEDIATELY PRIOR TO PLACING OF EITHER REINFORCING BARS OR CONCRETE TO ENSURE COMPLIANCE WITH THE ALLOWABLE SOIL BEARING PRESSURE

3 FOUNDATION BACKFILLING

- APPLY 12" CLEAR STONE COVER OVER WEEPING TILES
- BACKFILL WITH GRANULAR B MATERIAL APPLIED IN 24" LIFTS
- PROVIDE 12" LAYER OF COMPACTED TOP SOIL SLOPED AWAY FROM FOUNDATION WALL.

4 FOUNDATION WALL

MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, AND A B.M.E.C. APPROVED DRAINAGE LAYER SUCH AS "DELTA MS"

- 2 COATS ASPHALT EMULSION
- 1/2 " CEMENT PARGING COVED OVER FOOTING AND TO 8" ABOVE GRADE EXCEPT AS OTHERWISE NOTED
- POURED CONCRETE (SPECS AS NOTED ON DRAWINGS)

5 FOUNDATION

FOOTINGS TO BE FOUNDED ON NATIVE, INORGANIC, UNDISTURBED SOIL CAPABLE OF SUSTAINING MINIMUM 3000 psf OF ALLOWABLE BEARING PRESSURE.

SLOPE BETWEEN STEPPED OR ADJACENT FOOTINGS SHALL HAVE A MAXIMUM OF 7 VERTICAL AND 10 HORIZONTAL AND STEPS SHALL NOT EXCEED 2'-0" VERTICALLY

EXTERIOR FOOTINGS WILL BE FOUNDED AT A LEVEL AT LEAST 4'-0" BELOW FINISHED GRADE.

6 CONCRETE SLAB ON GRADE

- MACHINE TROWELLED 4" POURED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 32 MPA AND 5 - 8% AIR ENTRAINMENT
- 6 MIL. VAPOR / MOISTURE BARRIER "SUPER SIX" TURNED AT INSIDE FACE OF FOUNDATION WALL
- 5" MIN. COMPACTED CRUSHED CLEAR LIMESTONE ON UNDISTURBED SOIL
- NOTE: USE 32MPA AND 5-8% AIR ENTRAINMENT MIN. COMPRESSIVE STRENGTH CONCRETE IN ALL GARAGE (INCLUDING INTERIOR GARAGES) AND EXTERIOR SLABS
- SLOPE TO DRAIN @ MINIMUM 1 % SLOPE AS APPLICABLE.

7 WEEPING TILES

- 4" DIA. CORRUGATED PLASTIC WEEPING TILE W/ FILTER "SOCK" (TERRAFIX 270R OR SIMILAR POROUS FIBRE GEOTEXTILE) SET AT BOTTOM OF FOOTING

- SURROUND WEEPING TILE WITH 12" MIN. LAYER OF 3/4" SIZE CLEAR LIMESTONE AND SUBSEQUENTLY WRAPPED IN A SECOND LAYER OF NON CLOGGING GEOTEXTILE FILTER CLOTH

- SLOPE WEEPING TILE TO FROST FREE SUMP PIT & PUMP OR TO DRAIN. NOTE: PROVIDE ACCESS FOR WEEPING TILE CLEAN OUT AT NUMEROUS LOCATIONS.

8 CONCRETE SLAB ON GRADE - PATIO

- "CREDIT VALLEY" FLAGSTONE OR APPROVED EQUAL. RANDOM SQUARE CUT PATTERN OR AS PER PLANS.
- MACHINE TROWELLED 4" POURED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 32 MPA AND 5 - 8% AIR ENTRAINMENT
- 6 X 6 X 6/6 W.W.M. REINFORCEMENT
- 6" MIL. VAPOUR BARRIER "SUPER SIX"
- 5" MIN. COMPACTED CRUSHED CLEAR LIMESTONE ON UNDISTURBED SOIL FOUNDATION AS PER PLAN

- NOTE: CONTRACTOR TO SUPPORT LARGE SLAB AREAS WITH 8" DIA. SONO TUBE FOUNDATIONS C/W REBAR TYING SLAB TO SONO TUBE.
- SLOPE TO DRAIN @ MINIMUM 1 % SLOPE AS APPLICABLE.

9 EXPOSED FOUNDATION WALL

- 4" STONE VENEER BONDED SOLID TO 6" CONCRETE BLOCK (MORTAR FILL SPACE BETWEEN STONE AND FOUNDATION WALL)
- 3/16" DIA. CORROSION RESISTANT WIRE TIES, WITH 2" HOOK AT EACH END @ 8" VERTICALLY, 36" HORIZONTALLY
- 3/16" BLOCK-LOCK @ 16" O.C. VERTICALLY, ALLOW FOR FULL CONTACT WITH STONE VENEER

10 INSULATED FOUNDATION WALL

- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, AND A B.M.E.C. APPROVED DRAINAGE LAYER SUCH AS "DELTA MS"
- 2 COATS ASPHALT EMULSION
- 1/2 " CEMENT PARGING COVED OVER FOOTING AND TO 8" ABOVE GRADE EXCEPT AS OTHERWISE NOTED
- CONCRETE BLOCK (THICKNESS AND REINFORCEMENT AS NOTED IN PLANS) C/W HEAVY GAUGE BLOCK LOCK (HORIZONTAL) EVERY SECOND COURSE
- 2 X 6 STUDS AT 16"O.C. DAMPPROOFING LAYER (POLY) BELOW STUD PLATE TO GROUND LEVEL
- 5 1/2" (R24) HIGH DENSITY BATT INSULATION
- 6 MIL. VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL.

11 EXTERIOR WALL HORIZONTAL WOOD SIDING

- 1" X 6" SOLID WOOD SIDING BY "MAIBEC" RABBITED BEVEL PROFILE, STAINED (COLOUR TO BE DECIDED)
- 'TYPAR' HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS; LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD (OSB)
- 2 X 6 STUDS AT 16" O.C.
- 5.5" HIGH DENSITY BATT INSULATION (R-24)
- 6 MIL. VAPOUR / AIR BARRIER "SUPER SIX". LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL. 5/8" "TYPEX" DRYWALL, WHERE SETBACK IS LESS THAN 4' AWAY FROM PROPERTY LINE.

12 PREFAB STONE EXTERIOR WALL

- 1" /2" PREFAB STONE (CONTRACTOR TO CONFIRM STONE SELECTION W/ ARCHITECT PRIOR TO ORDERING)
- NON-CORROSIVE METAL TIES AT 32" O.C. HORIZONTAL, 16" O.C. VERTICAL
- MASONRY VENTS AT 24" O.C. TOP & BOTTOM OF CAVITY WALL C/W INSECT SCREENS; COLOUR TO MATCH STONE
- PROVIDE THROUGH-WALL FLASHING AT BOTTOM OF CAVITY TO MINIMUM 6" UP BEHIND TYPAR
- 1" AIR SPACE
- "TYPAR" HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS; LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD (OSB)
- 2" X 6" STUDS AT 16" O.C., DOUBLE PLATE AT TOP
- 6" BATT INSULATION (R-19+5ci)
- 6 MIL. VAPOUR / AIR BARRIER "SUPER SIX". LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL.
- 5/8" "TYPEX" DRYWALL, WHERE SETBACK IS LESS THAN 4' AWAY FROM PROPERTY LINE.

13 STUCCO EXTERIOR WALL

- JOINTS AS PER INDUSTRY STANDARD AND AS PER ELEVATIONS (SEE ELEVATIONS / DETAILS FOR STANDARD DECORATIVE WINDOW AND DOOR CASINGS, SILLS, CROWN MOULDING AND BANDING - POURED CONCRETE THRESHOLD OR 6" CUT LIMESTONE SILL AT ALL DOORS)-SEE ELEVATIONS
- CGC FINISH COAT ACRYLIC STUCCO, COLOUR AND FINISH TO BE SELECTED BY ARCHITECT
- NOTE: MAINTAIN 8" MIN. BETWEEN STUCCO AND GRADE
- 3 UNDERCOATS OF CGC CEMENT BASED STUCCO
- 2" FORMULAR CODEBOARD CONTINUOUS INSULATION (R-10); LAP & TAPE ALL JOINTS
- 1/2" EXTERIOR GRADE FIR PLYWOOD
- 2" X 6" STUDS AT 16" O.C.
- 6" BATT INSULATION (R-19+5ci)
- 6 MIL. VAPOUR / AIR BARRIER "SUPER SIX". LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL.
- 5/8" "TYPEX" DRYWALL, WHERE SETBACK IS LESS THAN 4' AWAY FROM PROPERTY LINE
- NOTE: CONTRACTOR RESPONSIBLE FOR LAYING MINIMUM 12" WIDE WASHED RIVERSTONE STRIP OVER FILTER CLOTH AROUND ENTIRE PERIMETER TO PREVENT BACKSPASH DURING RAINSTORMS

14 FLASHING

- PROVIDE PREFINISHED ALUMINUM / COPPER FLASHING IN ALL THE FOLLOWING LOCATIONS
- BENEATH JOINTED MASONRY SILLS
- OVER BACKS AND TOPS OF PARAPET WALLS
- OVER HEADS OF GLASS BLOCK PANELS
- OVER HEADS OF WINDOWS AND DOORS SET FURTHER THAN 1/4 THE EAVES OVERHANG BELOW THE SOFFIT
- AROUND CHIMNEYS, OR ANY ELEMENTS CROSSING ROOF SURFACES THAT ARE NOT SUPPLIED WITH MANUFACTURERS FLASHING
- AT INTERSECTION OF ROOF SURFACES WITH EXTERIOR WALLS
- AT ALL ROOF VALLEYS

15 CURVED CORNER BEAD

- FLEXIBLE CORNER BEAD AT RADIUS DRYWALL EDGES MUST BE USED.

16 HARDWOOD FLOORING

- 3/4" X 2 1/4" SELECT RED OAK T & G STRIP FLOORING
- BLIND NAIL TO EXISTING / NEW SUBFLOOR. INSTALL WAXED BUILDING PAPER OVER SUBFLOOR PRIOR (USE PREFINISHED HARDWOOD FLOORING - CONFIRM W/ OWNER / ARCHITECT)
- FINISH:
- SAND STRIP FLOORING TO EXPOSE NATURAL WOOD USING THREE (3) STAGE SANDING PROCESS.
- FINISH WITH 100 GRIT PAPER.
- STAIN COLOUR TO BE DETERMINED (IF APPLICABLE)
- APPLY THREE (3) COATS HIGH QUALITY URETHANE, SANDING LIGHTLY BETWEEN COATS.
- NOTE: NO SEALER TO BE USED!

17 EXISTING HARDWOOD FLOORING (RENOVATION)

- SAND EXISTING STRIP FLOORING AND IN FILL TO EXPOSE NATURAL WOOD USING THREE (3) STAGE PROCESS.
- FINISH WITH 100 GRIT PAPER (MINIMUM).
- APPLY THREE (3) COATS HIGH QUALITY URETHANE, SANDING LIGHTLY BETWEEN COATS.
- NOTE: NO SEALER TO BE USED!

18 FLOOR TILING

- LAY ASPHALT SHEATHING PAPER, FELT OR POLYETHYLENE FILM
- GALVANIZED WIRE MESH (2" X 2"). SCRATCH CEMENT COAT (1 1/4" MIN. THICK)
- TILING / GROUTING (COLOUR TO BE DETERMINED)
- NOTE: APPLY 2 COATS OF SEALER FOR STONE FLOORING (AS PER SUPPLIER'S / MANUFACTURER'S SPECIFICATIONS).

19 LEDGER BOARD

- CONTINUOUS 2 - 2 X 10 OR AS PER PLANS GLUED LEDGER BOLTED WITH STAGGERED 3/4" DIA. RAM SET RED HEAD DYNA BOLTS @ 18" O.C. - MIN. 2 1/2" EMBEDMENT IN EXISTING SOLID MASONRY WALL.

<p>14 RIVER ROAD BRAMPTON, ON L6X 0A6</p>		No.	Description	Date	<p>ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com</p>		<p>CONSTRUCTION NOTES</p>		
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS ISSUED FOR PUBLIC NOTICE
COFA	A0-10						DATE	07/19/23	
							DRAWN	PP	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			CHECKED	SA	REVISION 01

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20 ENGINEERED HARDWOOD FLOORING
 - CONCRETE SUBFLOORS: MUST BE DRY, SMOOTH (LEVEL WITHIN 3/16" IN A 10' RADIUS 1/8" IN 6') AND FREE OF STRUCTURAL DEFECTS. HAND SCRAPE OR SAND WITH A 20-GRIT
 - #3-1/2" OPEN FACE PAPER TO REMOVE LOOSE, FLAKY CONCRETE. GRIND HIGH SPOTS IN CONCRETE AND FILL LOW SPOTS WITH A PORTLAND BASED LEVELING COMPOUND (MIN. 3,000 PSI). CONCRETE MUST BE FREE OF PAINT, OIL, EXISTING ADHESIVES, WAX, GREASE, DIRT AND CURING COMPOUNDS. THESE MAY BE REMOVED MECHANICALLY BUT DO NOT USE SOLVENT-BASED STRIPPERS UNDER ANY CIRCUMSTANCES. THE USE OF RESIDUAL SOLVENTS CAN PROHIBIT THE SATISFACTORY BOND OF FLOORING ADHESIVES.
 - IT IS IMPORTANT TO ENSURE A PROPER BOND BETWEEN THE ADHESIVE AND THE CONCRETE, AND PLANKS OR STRIPS. ENGINEERED HARDWOOD FLOORING MAY BE INSTALLED ON-GRADE, ABOVE GRADE, AS WELL AS BELOW GRADE WHERE MOISTURE CONDITIONS ARE ACCEPTABLE.

- LIGHTWEIGHT CONCRETE: LIGHTWEIGHT CONCRETE WITH A DRY DENSITY OF 100 POUNDS OR LESS PER CUBIC FOOT IS ONLY SUITABLE FOR ENGINEERED WOOD FLOORS WHEN USING THE FLOATING INSTALLATION METHOD. MANY PRODUCTS HAVE BEEN DEVELOPED AS SELF-LEVELING TOPPING OR FLOOR UNDERLAYMENTS. THESE INCLUDE CELLULAR CONCRETE, RESIN-REINFORCED CEMENTATIONS UNDERLAYMENTS, AND GYPSUM-BASED MATERIALS. ALTHOUGH SOME OF THESE PRODUCTS MAY HAVE THE NECESSARY QUALIFICATIONS FOR UNDERLAYMENT FOR WOOD FLOORING INSTALLATIONS, OTHERS DO NOT.
 - TO TEST FOR LIGHTWEIGHT CONCRETE, SCRAPE A COIN OR KEY ACROSS THE SURFACE OF THE SUBFLOOR.
 - IF THE SURFACE POWDERS EASILY OR HAS A DRY DENSITY OF 100 POUNDS OR LESS PER CUBIC FOOT, USE ONLY THE FLOATING INSTALLATION METHOD.
 TO ENSURE A LONG LASTING BOND, MAKE SURE THAT THE PERIMETER OF THE FOUNDATION HAS ADEQUATE DRAINAGE AND VAPOR BARRIER.

- WOOD SUBFLOORS: WOOD SUBFLOORS NEED TO BE WELL NAILED OR SECURED WITH SCREWS. NAILS SHOULD BE RING SHANKS AND SCREWS NEED TO BE COUNTER SUNK.
 - THE WOOD SUBFLOOR NEEDS TO BE STRUCTURALLY SOUND AND DRY. IT SHOULD NOT EXCEED 13% MOISTURE PRIOR TO INSTALLATION.
 - IF THE SUBFLOOR IS SINGLE LAYER, LESS THAN 3/4" THICK, ADD A SINGLE CROSS LAYER FOR STRENGTH AND STABILITY (MINIMUM 5/16" THICK FOR A TOTAL 1" THICKNESS).
 - THIS IS TO REDUCE THE POSSIBILITY OF SQUEAKING.
 - WOOD SUBFLOORS MUST BE FREE OF PAINT, OIL, EXISTING ADHESIVES, WAX, GREASE, DIRT, URETHANE, VARNISH, ETC.
 - UNDERLAYMENT GRADE OSB (NOT THE WAX SIDE) IS ALSO A SUITABLE SUBFLOOR. PARTICLEBOARD IS NOT AN ACCEPTABLE SUBFLOOR FOR STAPLE OR NAIL DOWN INSTALLATIONS BUT CAN BE USED AS A SUBFLOOR IN GLUE-DOWN INSTALLATIONS.
 - WHEN INSTALLING OVER EXISTING WOOD FLOORING, INSTALL AT RIGHT ANGLES TO THE EXISTING FLOOR.
 - SUBFLOOR MOISTURE CHECK: ENGINEERED HARDWOOD FLOORING MAY BE USED FOR ABOVE-, ON-, AND BELOW-GRADE APPLICATIONS. ON ALL COMMON SUBSTRATES, ON-AND BELOW-GRADE APPLICATIONS ARE SUSCEPTIBLE TO MOISTURE AND SHOULD BE TESTED FOR MOISTURE PRIOR TO INSTALLATION IN SEVERAL LOCATIONS WITHIN THE INSTALLATION AREA.
 - ACCEPTABLE CONDITIONS FOR ABOVE-, ON-, AND BELOW-GRADE APPLICATIONS ARE:
 - LESS THAN 3 LBS. /1000 SF / 24 HRS. ON A CALCIUM CHLORIDE TEST
 - OR AN ACCEPTABLE READING ON AN ELECTRONIC CONCRETE MOISTURE METER
 - WOOD SUBSTRATES MUST HAVE A MOISTURE READING OF LESS THAN 13% WHEN USING AN ELECTRONIC WOOD MOISTURE METER

IMPORTANT NOTE:THE ABOVE IS A GUIDE LINE. INSTALLER MUST FOLLOW MANUFACTURES INSTALLATION INSTRUCTIONS ASSOCIATED WITH THE PRODUCT

21 GUARD DESIGN LOADS
 MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:
 1) A UNIFORM LOAD OF 50 LB/FT OR A CONCENTRATED LOAD OF 225 LBS
 2) A VERTICAL LOAD OF 100 LB/FT, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD
 3) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 LBS AT ANY POINT OPENING THROUGH ANY GUARD SHALL BE OF SIZE, WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4 IN. GUARDS SHALL BE DESIGNED/INSTALLED SO THAT NO MEMBER ATTACHED OR WALKING SURFACE WILL FACILITATE CLIMBING.
 OR OPENING LOCATED BETWEEN 4 IN. AND 35 IN. ABOVE THE FLOOR

22 ROOF/ATTIC VENTILATION
 - ASPHALT SHINGLES (25 YEARS) - COLOUR TO MATCH EXIST.
 - 1/2" PLYWOOD SHEATHING (WITH "H"CLIPS IF USING TRUSSES)
 - ROOF STRUCTURE AS SPECIFIED IN PLAN
 - PROVIDE ICE AND WATER SHIELD EAVES PROTECTION TO EXTEND 36" MIN. BEYOND INTERIOR FACE OF EXTERIOR WALL. MIN. 3" LAP AND 6" END LAP (AS PER 9.26.5 OBC)
 - PREFINISHED ALUMINUM DRIPEDGE BELOW SHINGLES
 - PREFIN. ALUMINUM EAVESTROUGH ON WOOD FASCIA AND VENTED SOFFIT WITH INSECT SCREEN TO MATCH EXISTING
 - 2" X 6" CEILING JOISTS @ 16" O.C. (OR AS NOTED IN PLANS)
 - 11" (R-32) BATT INSULATION - BAFFLE AS REQUIRED FOR VENTILATION
 - 6 MIL. VAPOUR / AIR BARRIER "SUPER SIX". LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
 - 1/2" DRYWALL.

23 SOFFIT
 - PREFINISHED ALUMINUM SOFFIT WITH INSECT SCREENING
 - LAY ALUMINUM PANELS WITH CORRUGATIONS PERPENDICULAR TO FASCIA
 - SEE PLANS FOR OVERHANG DIMENSION.

24 EAVESTROUGH/DOWNPPIPES
 - 5"-6" MAX WIDE PREFINISHED ALUMINUM EAVESTROUGH (COLOUR TO BE DETERMINED)
 - 3" X 4" PREFINISHED ALUMINUM DOWNPIPES (COLOUR TO BE DETERMINED) C/W CONCRETE SPILL PAD (SLOPE AWAY FROM BUILDING)
 - NOTE: DOWNPIPES ROUTING TO BE DISCUSSED W/ ARCHITECT PRIOR TO INSTALLATION.

25 DESIGN LOADS
 - DEAD LOAD AT TOP CHORD 9 LB / SQFT
 - LIVE LOAD STANDARD AS PER LOCAL MUNICIPAL REQUIREMENTS (UNLESS NOTED OTHERWISE)
 - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING W/ "H" CLIPS.

26 CEILING VENTILATION
 - CONTRACTOR TO PROVIDE ADEQUATE VENTILATION - MIN. VENT AREA: 1/150 FOR FLAT ROOFS) OF INSULATED CEILING AREA; ENSURE INSECT SCREEN.
 - INSTALL "LEXSUCO" ROOF STACK VENTS TO BE UNIFORMLY DISTRIBUTED AND INSTALLED AS PER MANUFACTURER'S SPECS. (SIZE AND NUMBER TO BE DECIDED ON SITE)
 - SOFFIT VENTS TO BE INSECT SCREENED
 - COLOUR OF ROOF VENTS TO BE DECIDED.

27 ROOF/ATTIC VENTILATION
 - CONTRACTOR TO PROVIDE ADEQUATE VENTILATION AT BOTH NEW AND EXISTING STRUCTURE - MIN. VENT AREA: 1/300 (1/150 FOR FLAT ROOFS) OF INSULATED CEILING AREA; ENSURE INSECT SCREEN.
 - VENTS TO BE UNIFORMLY DISTRIBUTED
 - NOTE: ROOF / ATTIC VENTS MUST NOT BE PLACED AT FRONT ELEVATION / ROOF LINE.
 - CHECK ELEVATION DRAWINGS FOR ANY SPECIFIC ROOF VENT LOCATIONS
 - SOFFIT VENTS TO BE INSECT SCREENED
 - COLOUR OF ROOF VENTS TO MATCH SHINGLES.

28 INSULATED INTERIOR WALL
 - 1/2" DRYWALL
 - 2" X 6" STUDS
 - 6" (R22) BATT INSULATION
 - 6MIL VAPOUR / AIR BARRIER "SUPER SIX" WITH ALL JOINTS SEALED W/ ACOUSTIC TYPE SEALANT
 - 1/2" DRYWALL

29 INSULATION ON EXISTING WALL
 - NO. 15 ASPHALT FELT TO GRADE
 - 2" X 4" STUDS AT 16" O.C.
 - DAMPPROOFING LAYER (BLACK POLY) BELOW STUD PLATE
 - 3 1/2" (R 14) BATT INSULATION
 - 6 MIL. VAPOUR / AIR BARRIER "SUPER SIX" WITH ALL JOINTS SEALED W/ ACOUSTIC TYPE SEALANT
 - 1/2" DRYWALL.

30 ENGINEERED HARDWOOD FLOORING
 - 4" SOUND ATTENUATION BLANKET INSTALLED BETWEEN STUDS
 - TYPICAL BETWEEN BEDROOMS AND BATHS

31 BEARING STUD WALL
 - 2 X 4 STUDS AT 16" O.C. (W/ DOUBLE PLATES)
 - 1/2" DRYWALL ON ONE SIDE.

32 DRYWALL INSTALLATION
 - ALL DRYWALL TO BE INSTALLED WITH BEVELLED EDGE JOINTS FACING EACH OTHER
 - ONLY ONE HORIZONTAL JOINT WILL BE ALLOWED. IF AN ADDITIONAL HORIZONTAL JOINT IS REQUIRED DUE TO WALL HEIGHTS, THE JOINTS MUST BE PLACED AT THE BOTTOM OF THE WALL IN THE BASEBOARD AREA.
 - USE 4'-6" WIDE BOARDS FOR 9'-0" HIGH CEILINGS.

33 DRYWALL ON EXISTING WALL (RENOVATION)
 - 1/2" DRYWALL GLUED DIRECTLY ON EXIST. MASONRY WALL / OR USE STRAPPING AS REQUIRED
 - (USE 2 X 2 STRAPPING, 1 1/2" DOW "SM" RIGID INSULATION AND "SUPER SIX" VAPOUR / AIR BARRIER ON EXTERIOR MASONRY WALLS.)

34 MASONRY INFILL
 - 4" BRICK FACE TO MATCH EXISTING. NOTE: MASONRY MUST BE TOOTHED IN AT PERIMETER OF OPENING (TINT MORTAR TO MATCH EXISTING)
 - NON CORROSIVE METAL TIES @ 24" O/C VERTICAL.
 - 4" BRICK / CONCRETE BLOCK BACKUP OR 2' 6 STUDS AND 5/8" EXTERIOR GRADE FIR PLYWOOD IF VENEER TYPE CONSTRUCTION.

35 SILL PLATE
 - 2 X 6 PRESSURE TREATED SILL PLATE SET ON CONTINUOUS MORTAR BED W/1/2" DIA., 12" LONG (MIN. 4" IN CONCRETE.) ANCHOR BOLTS AT 7'-10" MAX. O.C. INTO CONCRETE FILLED TOP COURSE
 - ROLL TYPE FOAM GASKET BETWEEN PLATE AND BEDDING & 6 MIL POLY VAPOUR / AIR BARRIER (BLACK).

36 TYPICAL INTERIOR PARTITION
 - 1/2" DRYWALL BOTH SIDES
 - 2" X 4" STUDS AT 16" O.C.
 - *2 X 6 STUDS WHERE NOTED*.

37 PAINTING
 - ALL INTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, TWO (2) COATS SEMI- GLOSS OIL
 - ALL DRYWALL SURFACES: ONE COAT LATEX SEALER. TWO (2) COATS SATIN / EGG SHELL LATEX
 - ALL EXTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, 2 COATS OIL FINISH - ENAMEL GLOSS
 - ALL COLOURS TO BE SELECTED BY ARCHITECT / CLIENT.
 - NOTE: REPAINT ALL WOOD DOORS AND WINDOWS PRIME PLUS ONE FINISH COAT PRIOR TO INSTALLATION.

38 EXTERIOR WINDOWS / DOORS
 - ALL WINDOWS ARE TO BE WOOD FRAMED CASEMENTS SEALED CLEAR WOOD INTERIOR AND "FLEXACRON" FACTORY PREFINISHED EXTERIOR SURFACES c/w FOLDING TYPE CRANK HANDLE
 - ALL GLAZING TO BE CLEAR LOW "E" SEALED THERMOPANE UNITS, ARGON GAS FILLED, 7/8" OVERALL THICKNESS
 - CONTRACTOR TO SUBMIT NAME AND TYPICAL DETAILS OF PROPOSED MANUFACTURER TO THE ARCHITECT FOR APPROVAL.
 - NOTE: CONTRACTOR TO SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD AT ALL EXTERIOR DOORS AND 5" AT ALL WINDOWS (UNLESS OTHERWISE NOTED).
 - WINDOW AND DOOR FRAMING:
 WINDOW/DOOR HEADER TO BE AT U/S OF JOISTS DIRECTLY ABOVE SWIMMING POOLS: WHERE A WALL OF A BUILDING FORMS PART OF THE SWIMMING POOL ENCLOSURE, ANY GROUND FLOOR WINDOWS IN THE SAID WALLS ARE TO HAVE A SILL HEIGHT OF 4'-11"(1.5M)min. OR A GUARD TO BE PERMANENTLY INSTALLED ON THE WINDOW TO PREVENT THE PASSAGE OF A 4" DIA. SPHERICAL OBJECT
 - TO COMPLY WITH OBC 9.7

39 SILL
 - 6" HEIGHT SMOOTH CUT PUFF INDIANA LIMESTONE SILL

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	 ARCHITECTS TORONTO - CANADA info@qbsarchitects.com		CONSTRUCTION NOTES		
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS
COFA	A0-11						DATE	04/17/24	ISSUED FOR PUBLIC NOTICE
							DRAWN	CD	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			CHECKED	SA	

- 40 WINDOW WELL**
- 6" GRANULAR "A" GRAVEL COMPACTED
 - "LEGACY" RETAINING WALL BY "DECRA-LOC" OR SIMILAR C/W CAPS AND CORNER UNITS INSTALLED AS PER MANUFACTURER'S SPECIFICATION
 - FILL AREA DRAIN WITH GRAVEL AND TERMINATE AT WEEPING TILE
 - NOTE: ENSURE 8" CLEARANCE FROM WINDOW SILL TO TOP OF GRAVEL FILL.
 - INSTALL CLOSED CELL EXPANSION JOINT BETWEEN WINDOW WELL AND FOUNDATION WALL.

- 41 DOORS**
- SOLID WOOD (UNLESS NOTED OTHERWISE) 1 3/4" THICK WITH TWO RECESSED RAISED OR RECESSED FLAT WOOD PANELS AS PER DETAIL SKETCH PROVIDED BY THE ARCHITECT
- DOOR HEIGHTS: GROUND FLOOR = 96" DOORS
 SECOND FLOOR = 96" DOORS
 BASEMENT = 84" DOORS

NOTE: BUILDER/ OWNER TO CONTACT ARCHITECT FOR FINAL DECISION REGARDING DOOR & FLAT ARCH HEIGHTS / WIDTHS

NOTE: STRUCTURAL FRAMING AT DOORS/ WINDOWS/ FLAT ARCHES TO BE KEPT AS HIGH AS POSSIBLE TO ALLOW FOR FUTURE DISCUSSION/ HEIGHT ADJUSTMENT

- 42 POCKET DOOR ENCLOSURE WALL**
- MINIMUM WIDTH REQUIRED
 - 1/2" DRYWALL ON 1/2" PLYWOOD BOTH SIDES
 - MINIMUM REQUIRED METAL STUDS - BOTH SIDES (UNLESS OTHERWISE NOTED)
 - REFER TO DRAWINGS FOR EASING
 - INSTALL "N.C. CROWDER" C-500 SINGLE POCKET DOOR TRACK, NYLON WHEELS W/ BEARING FOR 100 LB DOOR.

- 43 SHOWER DOOR**
- 2' - 0" X 6' - 0" (OR AS PER PLAN) TEMPERED GLASS DOOR
 - PROVIDE MIN. 6" CLEAR ABOVE DOOR
 - HARDWARE FINISH TO BE POLISHED CHROME UNLESS NOTED OTHERWISE
 - INSTALL GRANITE / MARBLE SURROUND AROUND SHOWER OPENING.

- 44 SHOWER / LAUNDRY MACHINE FLOOR PAN**
- SHOWER LINER BY "AQUAPROOF AQ 530 (OR EQUAL) RETURN UP PAN CURB AND ALL SURROUNDING WALLS
 - ADHERE LINER TO DRAIN
 - SLOPE CEMENT BASE TO DRAIN
 - USE BRAIDED HOSES FOR WASHING MACHINE

- 45 BATHTUB AND SHOWER WALL**
- USE TILE-BACKER WATER-RESISTANT
 - 1/2" "DENS-SHIELD" TILE BACKER BY GEORGIA-PACIFIC AT ALL SURROUNDING WALLS. TAPE WITH 2" WIDE 10 X 10 GLASS MESH SELF ADHESIVE TAPE AND SPACKLE.
 - USE BLUEBOARD AT REMAINING BATHROOM WALLS.

- 46 HANG ROD & SHELF**
- 1 1/4" DIA. HANG ROD W/ BRACKETS - ALL CHROME FINISH INSTALL @ 5'-6" O.C. A.F.F.
 - 3/4" MELAMINE BOARD (WHITE), FINISHED EDGES, 1'-3" DEPTH, ON LEDGER BOARDS @ 2' OVER HANG ROD.

- 47 MILLWORK**
- CASING # 106 / # 110
 - BACKBAND # 83 / # 24
 - STOOL # 80 / # 79
 - APRON # 106 / # 110 (CUT DOWN TO 3")
 - BASEBOARD # 206 / # 54 / # 51 (ALL 1 X 8)
 - BASEBOARD # 206 / # 54 / # 53 (ALL 1 X 6 AT BASEMENT)
 - QUARTER ROUND # 65 / # 14
 - CROWN MOULDING # 4 (AT CEILINGS) 3 3/4" X 3 3/4"
 - # 3 (AT COFFERS) 3" X 3"
 - WAINSCOTTING # 77 / # 82
 - CHAIR RAIL # 45
 - SHINGLE # 23 / # 64 / # 46
 - COVE # 7 / # 9
 - DOOR STOP # 52 / # 52B
- NOTE: REFER TO REFLECTED CEILING PLANS FOR EXTENT OF CROWN MOULDING.
 - ALL WINDOW OPENINGS TO BE TRIMMED WITH CASING, BACKBAND, STOOL AND APRON (NO PICTURE FRAMING UNLESS NOTED).
 - MIN. 4' - 0" LENGTHS OF ALL WOOD TRIM SAMPLES TO BE MOUNTED ON SITE FOR FINAL APPROVAL.
 - ALL WOOD TO BE WHITE WOOD FOR PAINTING UNLESS OTHERWISE NOTED.
 - PAINT ALL WOOD TRIM, PRIME PLUS ONE FINISH COAT PRIOR TO INSTALLATION.

- 48 SHELVING**
- PROVIDE (6) 1'-6" DEEP ADJUSTABLE SHELVES.

- 49 WOOD STRUCTURE INSTALLATION**
- ALL DESIGN DETAILS, HANDLING AND INSTALLATION OF PROPRIETARY WOOD PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS

PROVIDE POSTS UNDER ALL BEAMS/GIRDER TRUSSES ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT

- 50 STAIRS**
- MAX. RISE: 7 7/8"
 - MIN. RUN: 8 1/4"
 - MIN. TREAD: 9 1/4"
 - MIN. NOSING: 1" WHEN RUN LESS THAN 9 7/8"
 - MIN. WIDTH: 2'-10" BETWEEN WALL FACES
 - MIN. HEADROOM: 6'-8"
 - MIN. HANDRAIL HEIGHT: 2'-8"
 - MAX. HANDRAIL HEIGHT: 3'-2"

- 51 BALCONY**
- SLATE TILES (CONFIRM WITH OWNER)
 - 2" LIGHT CONCRETE BEDDING W/ GALVANIZED WIRE MESH (2"X2")
 - ISOLATION MEMBRANE
 - SLOPE TO SCUPPER DRAIN
 - TILING / GROUTING (COLOUR TO BE DETERMINED)
 - NOTE: APPLY 2 COATS OF SEALER FOR STONE FLOORING (AS PER SUPPLIER'S / MANUFACTURER'S SPECIFICATIONS).
 - REFER TO SPEC. # FOR ROOF CONSTRUCTION.

- 52 WOOD DECK AND STEPS**
- USE PRESSURE TREATED WOOD
 - 2" X 4" / 2" X 6" DECKING AS PER PLANS (1/8" SPACING BETWEEN BOARDS)
 - 2" X 8" @ 16" O.C. JOISTS
 - PROVIDE SOLID CROSS BRIDGING AT MAX. 6' - 0" O.C.

- 53 RESIDENTIAL - GUARD DESIGN LOADS**
- MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GAURD SHALL BE:
 - 1) A UNIFORM LOAD OF 50 LB/FT OR A CONCENTRATED OAD OF 225 LBS
 - 2) A VERTICAL LOAD OF 100 LB/FT, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.
 - 3) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 LBS AT ANY POINT.

OPENING THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4 IN. GUARDS SHALL BE DESIGNED/ INSTALLED SO THAT NO MEMBER ATTACHED OR OPENING LOCATED BETWEEN 5.5' AND 35.5' ABOVE THE FLOOR OR WALKING SURFACE WILL FACUTATE CLIMBING AS PER 9.8.8.6. (2)

- 54 EXHAUST DUCT**
- 4" RIGID METAL DRYER EXHAUST DUCT
 - PLASTIC EXHAUST GRILLE COMPLETE WITH INSECT SCREEN SECURELY FASTENED TO EXTERIOR WALL FACE AND CAULKED.

- 55 EXHAUST GRILL**
- METAL GRILLE WITH INSECT SCREEN
 - DIMENSION TO SUIT EXHAUST REQUIREMENTS
 - NOTE: CONTRACTOR TO COORDINATE DUCT RUN WITH OTHER MECHANICAL RUNS, PLUMBING RUNS AND STRUCTURE TO ELIMINATE NEED FOR BULKHEADS.

- 56 GAS & EXHAUST FUMES PROTECTION**
- 1/2" PLYWOOD BEHIND
 - 5/8" "TYPE X" DRYWALL FOR FIRE PROTECTION. TAPED AND SPACKLED.
 - PROVIDE HIGH DENSITY POLYETHYLENE LAP, TAPE AND SEAL ALL JOINTS TO INTERIOR WALLS AND CEILING

- 57 MECHANICAL DUCTS**
- ALL MECHANICAL EXHAUST VENTS, EXHAUST AND INTAKES, TO BE INSTALLED AS PER PERTINENT CODE REQUIREMENTS AND MANUFACTURERS INSTRUCTIONS

- 58 VENT GRILL**
- METAL GRILLE WITH INSECT SCREEN
 - DIMENSION TO SUIT EXHAUST REQUIREMENTS
 - NOTE: CONTRACTOR TO COORDINATE DUCT RUN WITH OTHER MECHANICAL RUNS, PLUMBING RUNS AND STRUCTURE TO ELIMINATE NEED FOR BULKHEADS.

- 59 CARBON MONOXIDE DETECTOR**
- INSTALL CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-6.19 OR ULC 2034
 - MUST COMPLY TO OBC 9.33.4

- 60 SMOKE ALARM**
- INSTALL SMOKE ALARM, HARDWIRED WITH BATTERY BACKUP IN EACH FLOOR AND IN EACH SLEEPING ROOM
 - ALL SMOKE ALARMS TO CONFORM TO CAN/ULC-S531 AND S553
 - MUST COMPLY TO OBC 9.10.19
 - SHALL HAVE A SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3
 - LIGHT, COLOUR, AND PULSE CHARACTERISTICS OF NFPA 72 (NATIONAL FIRE ALARM & SIGNALLING CODE)

- 61 ZERO-CLEARANCE GAS FIREPLACE**
- DIRECT -VENT
 - PROVIDE GAS OUTLET AND TYPE "B" VENT TO ROOF OR DIRECT VENT TO OUTSIDE WALL AS PER MANUFACTURER'S SPECIFICATION.
 - DIAMETER OF FLUE AND VENT AS PER OBC 9.21.2.5

- 62 SIGNAGE**
- CONTRACTOR TO INSTALL ARCHITECT'S SIGN AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION AT AGREED UPON LOCATION ON SITE

- 63 STEP FOOTINGS**
- VERTICAL STEP 23 5/8" MAX. FOR FIRM SOIL, 15 3/4" MAX. FOR SAND OR GRAVEL 23 5/8" MIN. HORIZONTAL RUN.

- 64 FLAT ROOF**
- 2 PLY TORCHED ON ROOFING MEMBRANE
 - 5/8" PLYWOOD SHEATHING WITH H-CLIPS ON 2 X 4 OR AS REQUIRED SLEEPERS TO MAINTAIN POSITIVE SLOPE TO GUTTER / DRAIN
 - ROOF JOISTS AS NOTED ON PLANS, CROSS BRIDGING @ 6'-0" MAX.

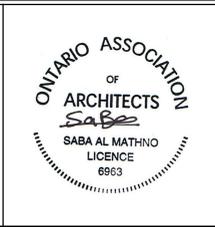
14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE	DRAWING NO.
COFA	A0-12

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

ARCHITECTS

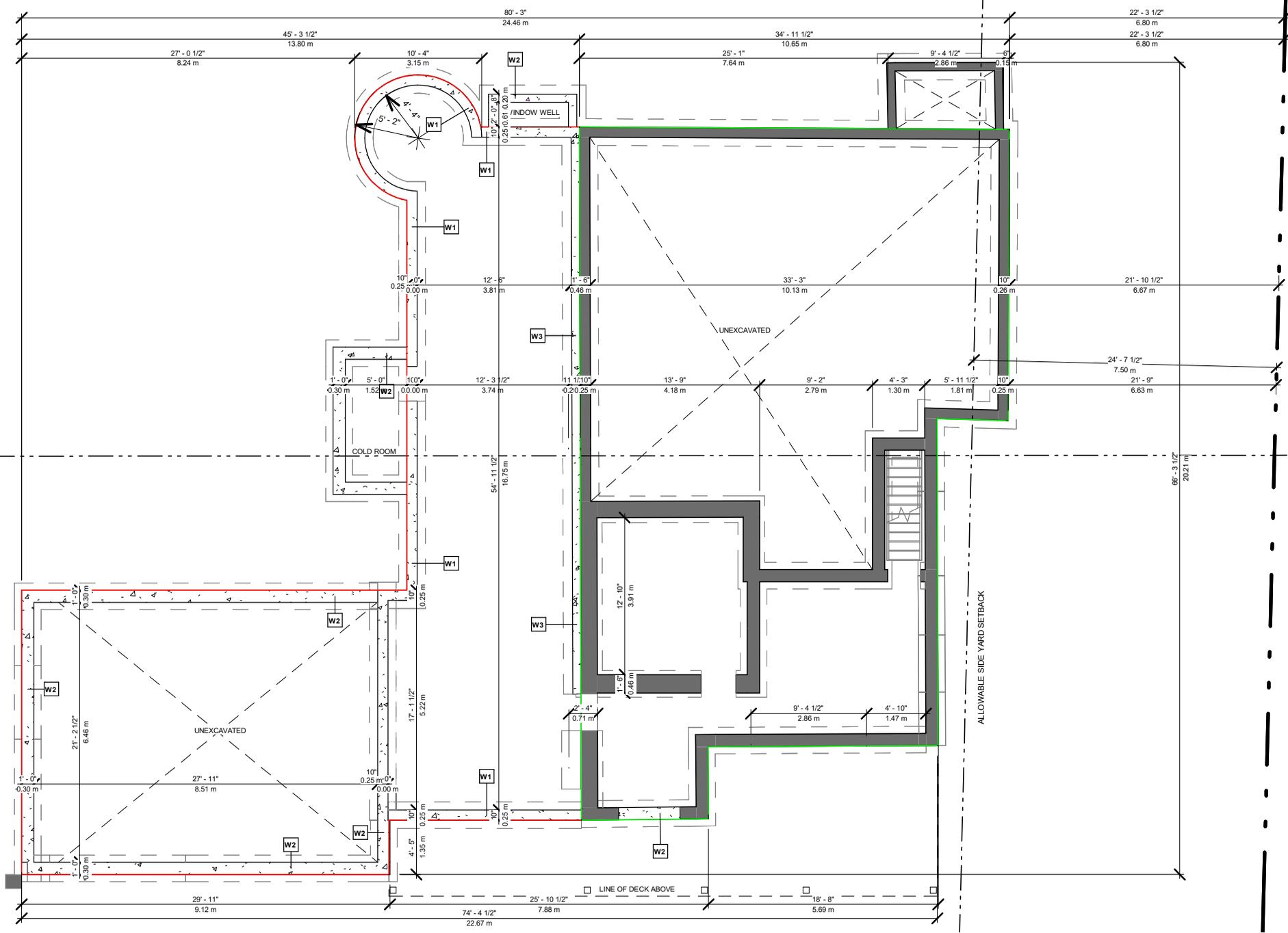


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CONSTRUCTION NOTES			
PROJECT NUMBER	200155	ISSUED FOR PUBLIC NOTICE	
DATE	04/26/24		
DRAWN	CD	SCALE	REVISION 01
CHECKED	SA	SCALE	REVISION 01

4/26/2024 2:00:20 PM



WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

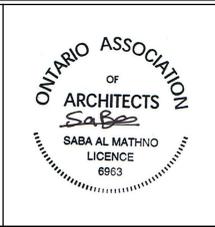
14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A1-00

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

ARCHITECTS

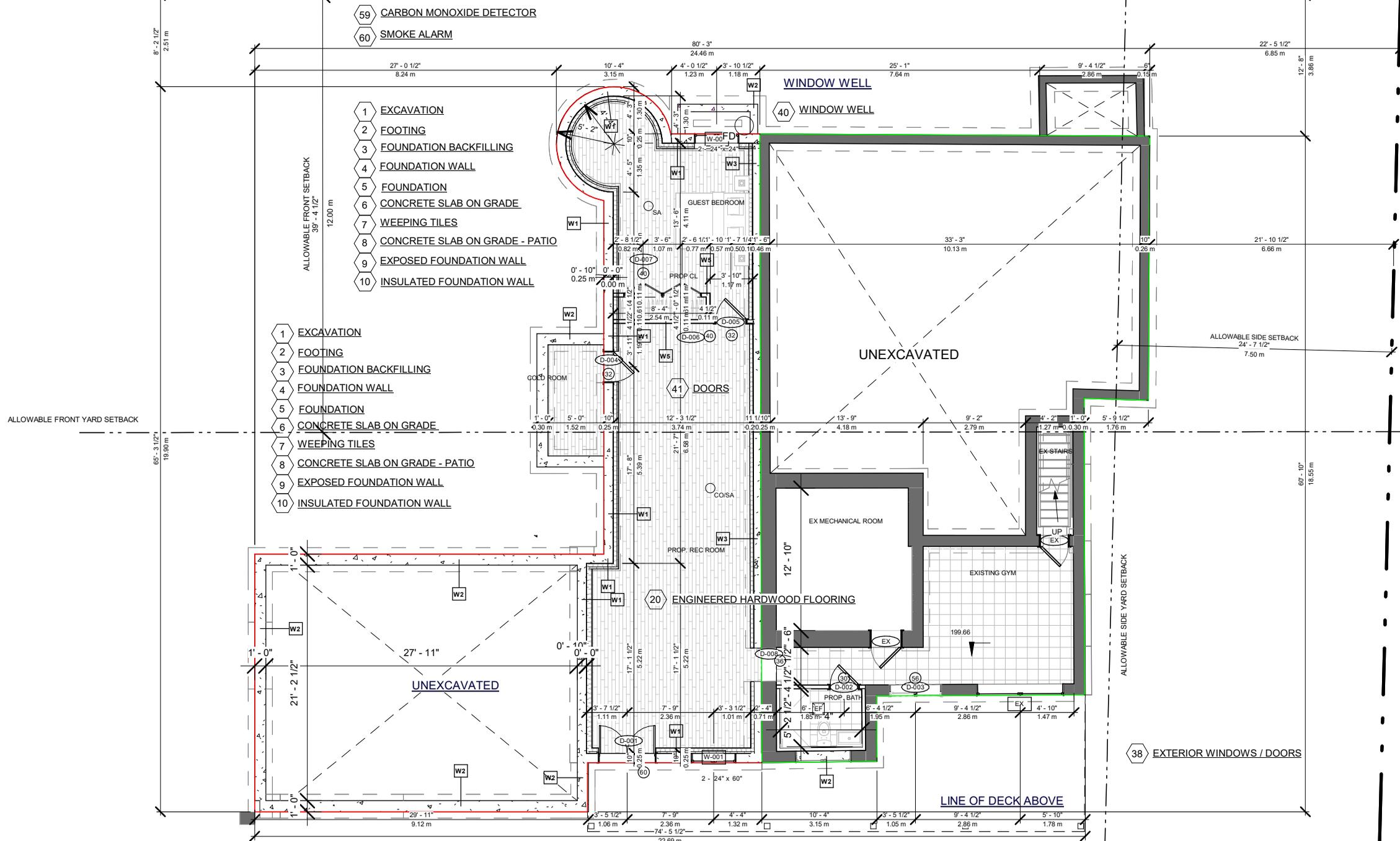
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PROP. FOUNDATION PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/21/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:20 PM



- 59 CARBON MONOXIDE DETECTOR
- 60 SMOKE ALARM

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 CONCRETE SLAB ON GRADE
- 7 WEEPING TILES
- 8 CONCRETE SLAB ON GRADE - PATIO
- 9 EXPOSED FOUNDATION WALL
- 10 INSULATED FOUNDATION WALL

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 CONCRETE SLAB ON GRADE
- 7 WEEPING TILES
- 8 CONCRETE SLAB ON GRADE - PATIO
- 9 EXPOSED FOUNDATION WALL
- 10 INSULATED FOUNDATION WALL

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A1-01

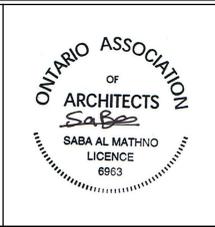
No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

ARCHITECTS

QBS ARCHITECTS

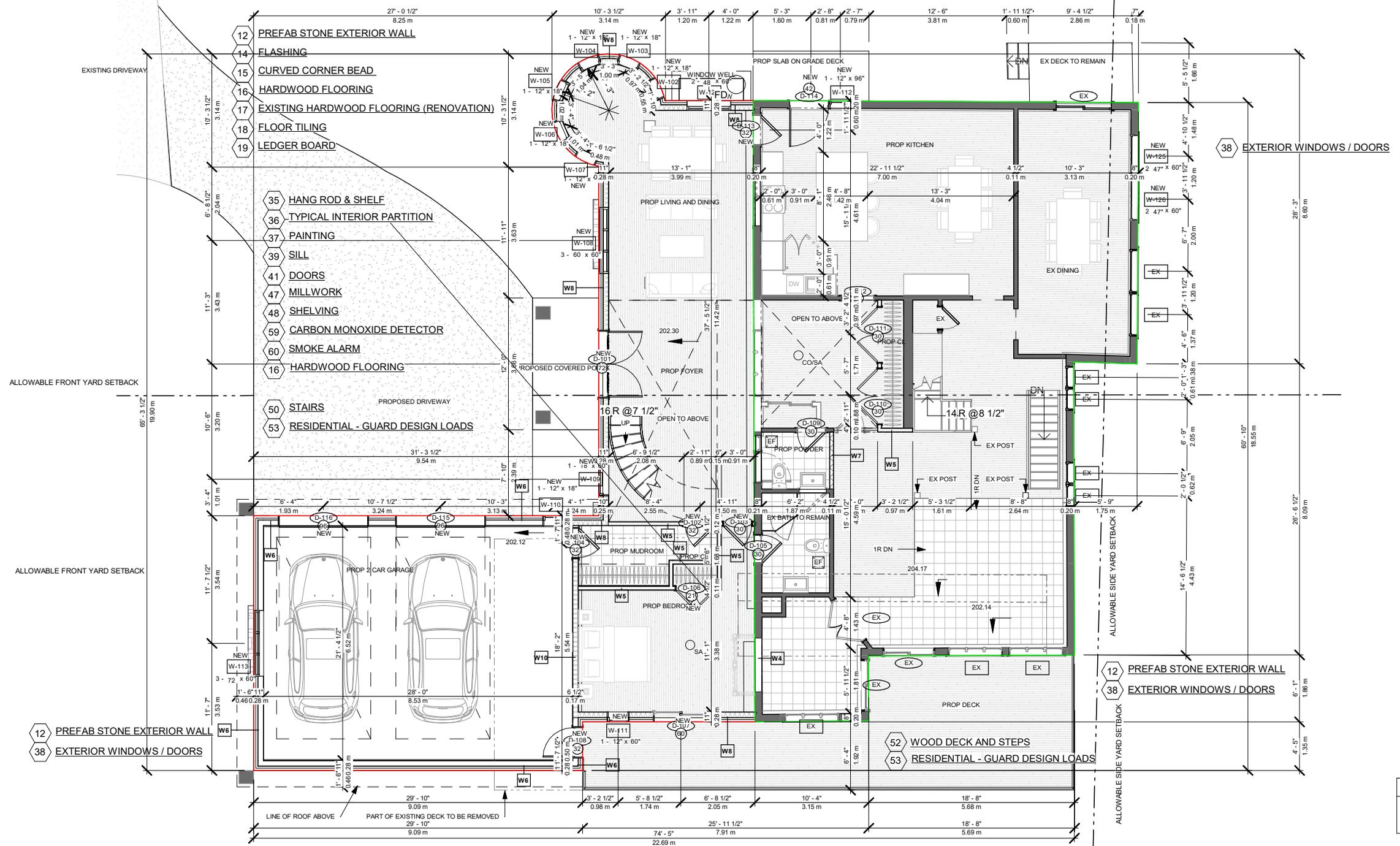
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PROP. UNFINISHED BASEMENT			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/03/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

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14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A1-02

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

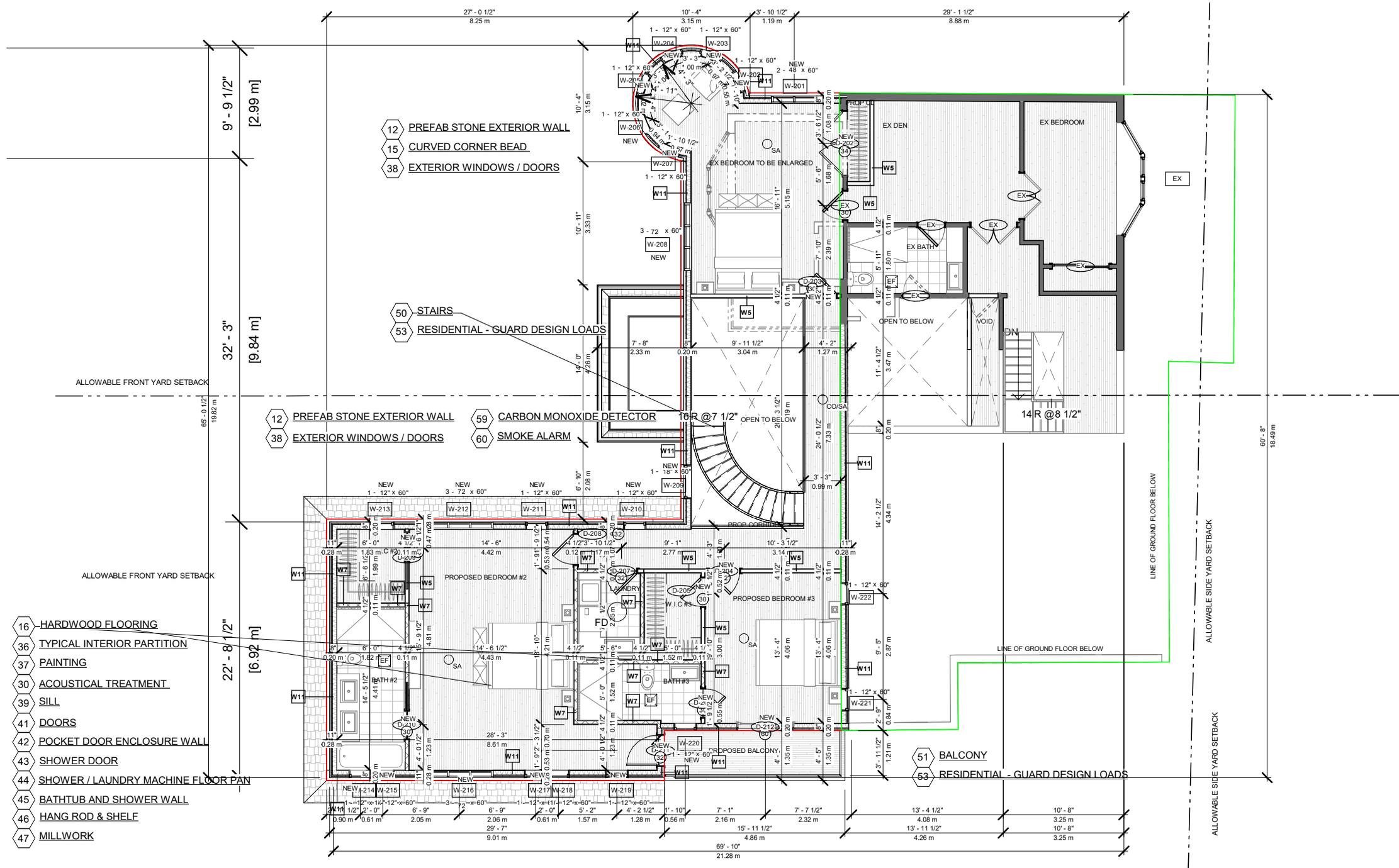
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PROP. GROUND FLOOR			
PROJECT NUMBER	200155	DRAWING STATUS	ISSUED FOR PUBLIC NOTICE
DATE	11/03/23	SCALE	3/32" = 1'-0"
DRAWN	PP	REVISION	01
CHECKED	SA		

4/26/2024 2:00:23 PM



WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE	DRAWING NO.
COFA	A1-03

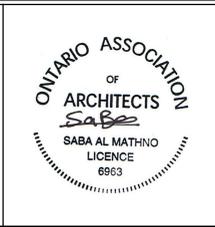
No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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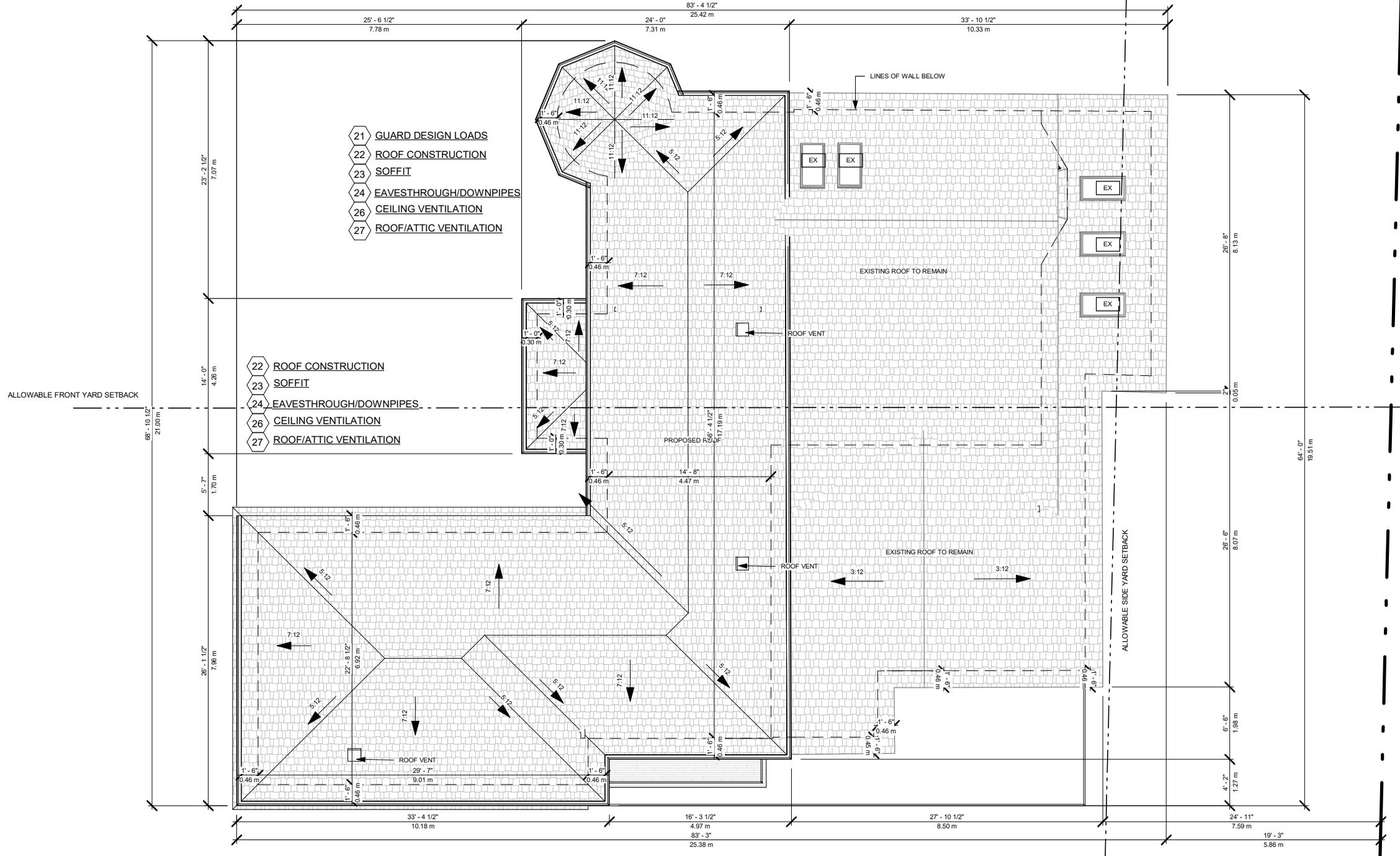
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PROP. SECOND FLOOR			
PROJECT NUMBER	200155	DRAWING STATUS	ISSUED FOR PUBLIC NOTICE
DATE	11/03/23		
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

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14 RIVER ROAD
 BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
 A1-04

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

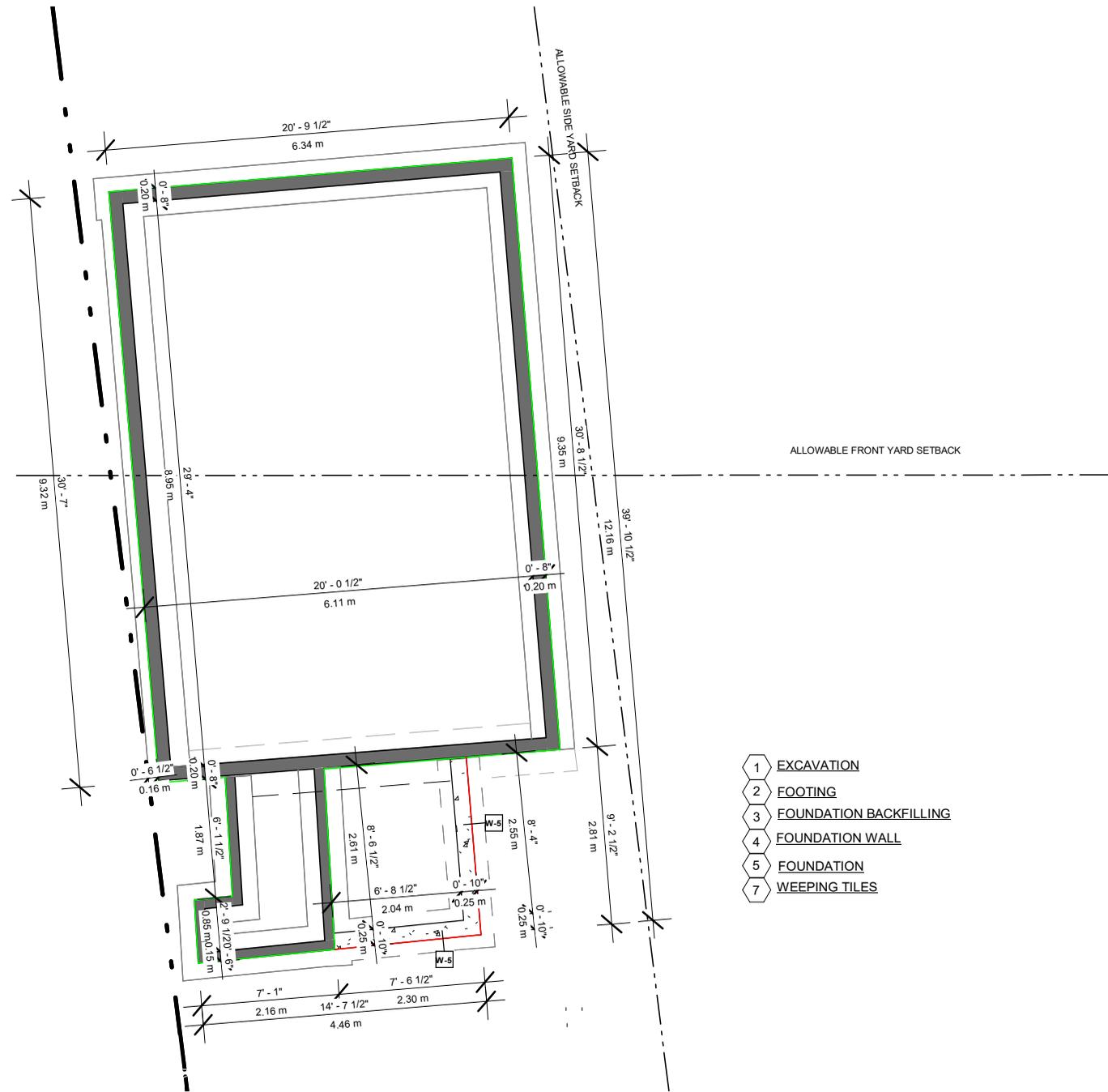
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PROP. ROOF PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	ISSUED FOR PUBLIC NOTICE
DATE	10/20/22		
DRAWN	HH	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

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- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 WEEPING TILES

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

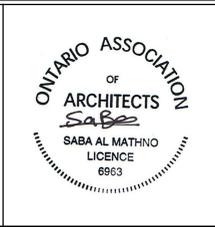
14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A1-05

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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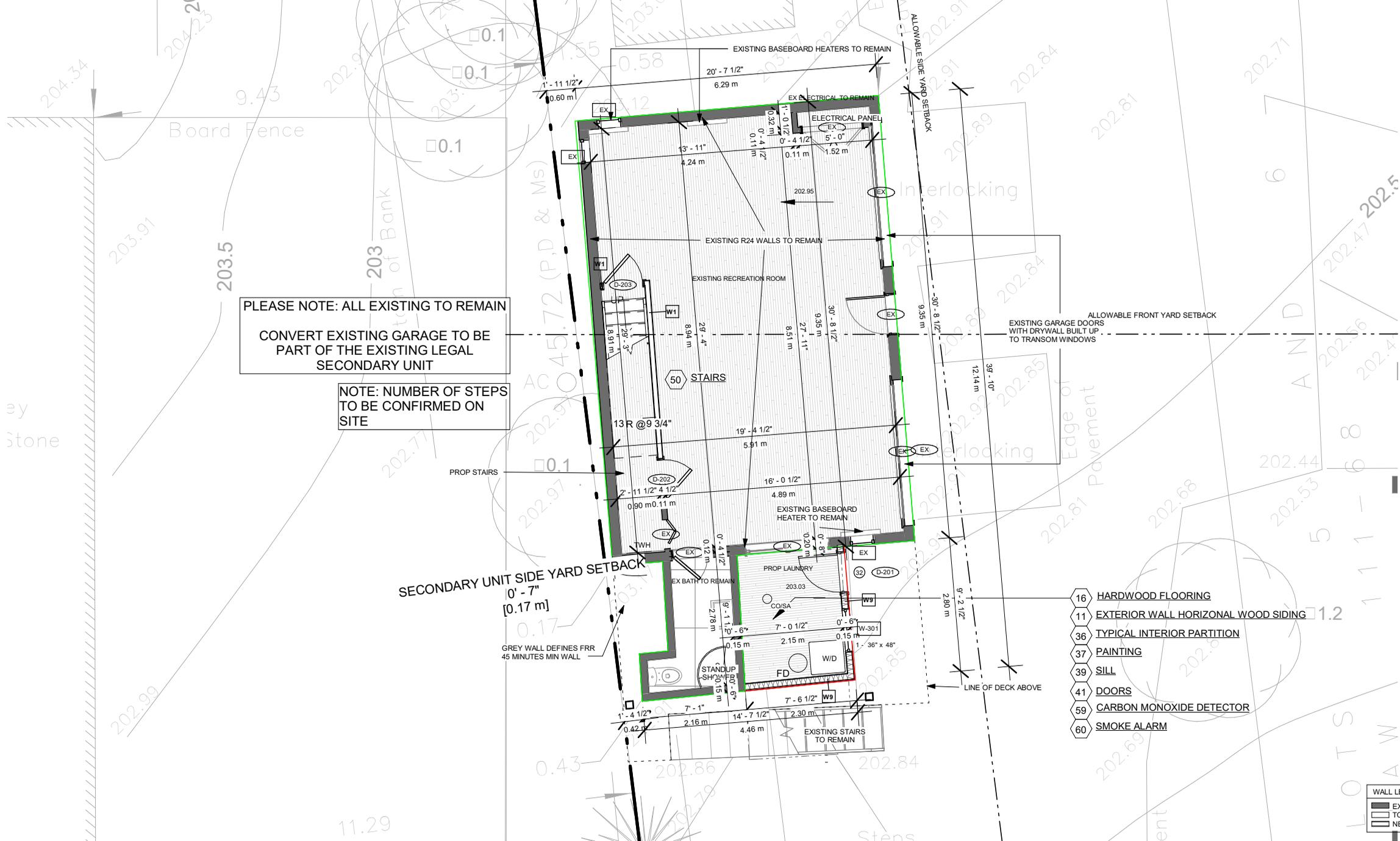
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PROP. SECONDARY UNIT FOUNDATION PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/28/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

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PLEASE NOTE: ALL EXISTING TO REMAIN
 CONVERT EXISTING GARAGE TO BE PART OF THE EXISTING LEGAL SECONDARY UNIT

NOTE: NUMBER OF STEPS TO BE CONFIRMED ON SITE

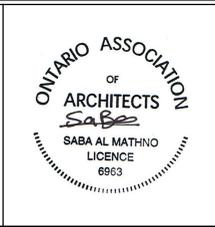
- 16 HARDWOOD FLOORING
- 11 EXTERIOR WALL HORIZONTAL WOOD SIDING
- 36 TYPICAL INTERIOR PARTITION
- 37 PAINTING
- 39 SILL
- 41 DOORS
- 59 CARBON MONOXIDE DETECTOR
- 60 SMOKE ALARM

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A1-06

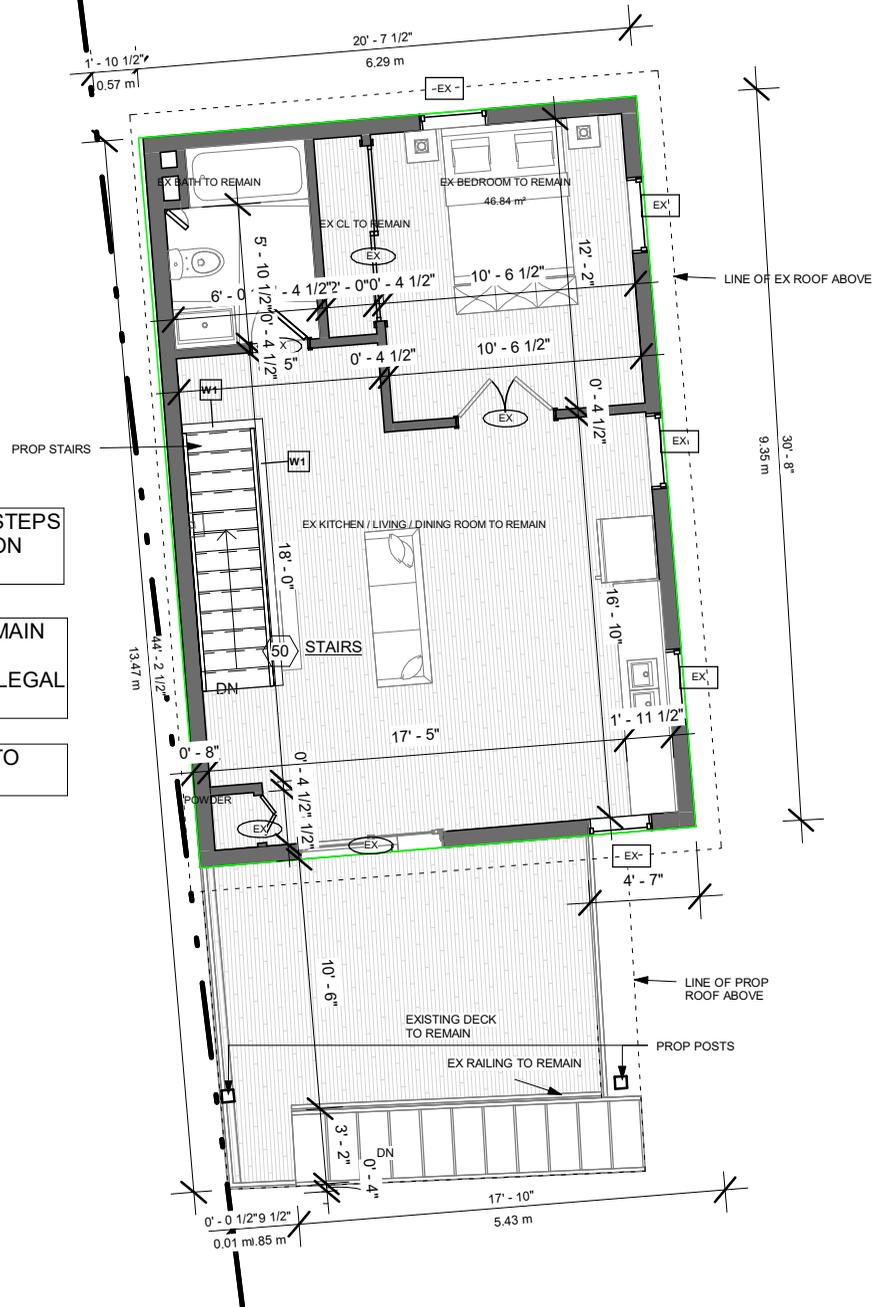
No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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PROP. SECONDARY UNIT GROUND FLOOR PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	06/02/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	JB	REVISION	01

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NOTE: NUMBER OF STEPS TO BE CONFIRMED ON SITE

PLEASE NOTE: ALL EXISTING TO REMAIN EXISTING SECOND FLOOR PART OF LEGAL SECONDARY UNIT

EXISTING ELECTRICAL HEAT PUMP TO REMAIN

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE	DRAWING NO.
COFA	A1-07

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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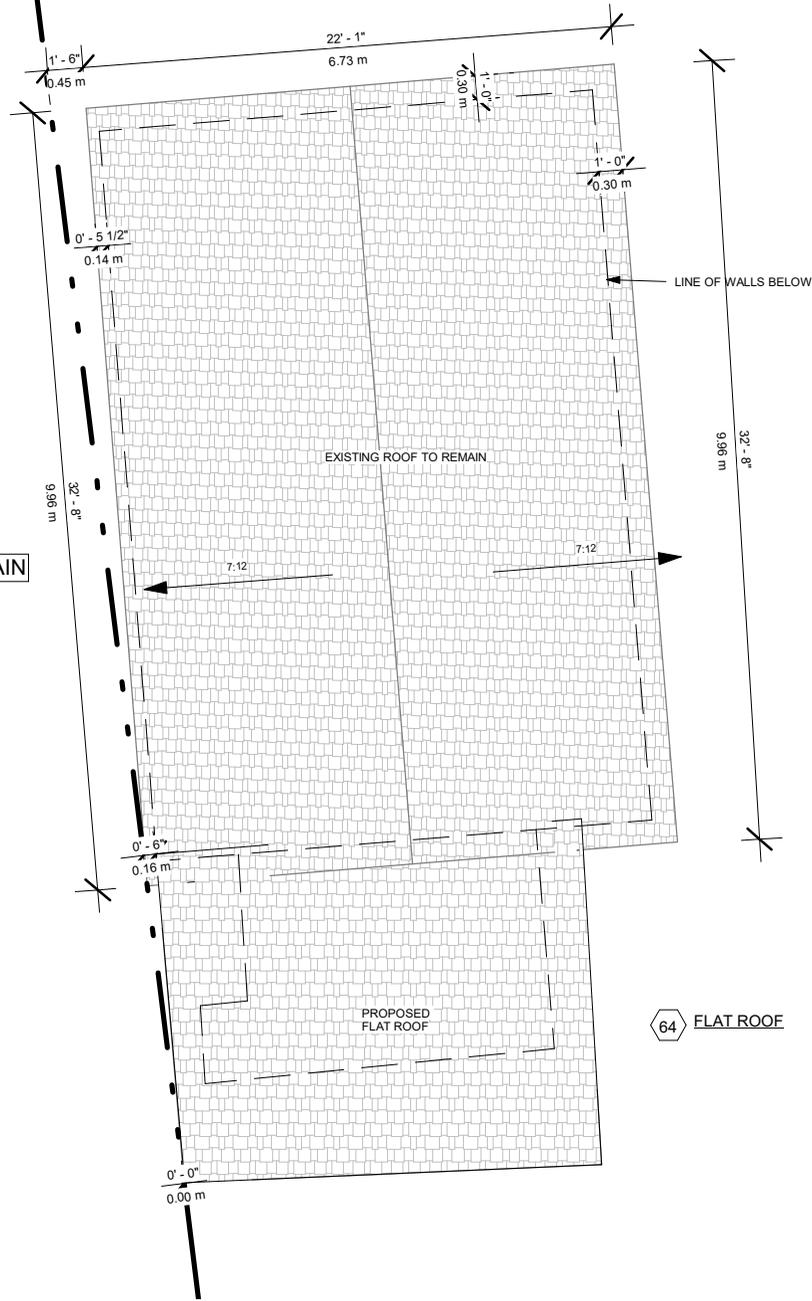
ONTARIO ASSOCIATION
 OF
 ARCHITECTS

 SABA AL MATHINI
 LICENCE
 6963

PROP. SECONDARY UNIT SECOND FLOOR			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	06/02/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	JB	REVISION	01

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PLEASE NOTE: ALL EXISTING TO REMAIN



WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A1-08

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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ONTARIO ASSOCIATION
 OF
 ARCHITECTS

 SABA AL MATHINO
 LICENCE
 6963

PROP. SECONDARY UNIT ROOF PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	06/05/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	JB	REVISION	01

4/26/2024 2:00:27 PM

- 22 ROOF CONSTRUCTION
- 23 SOFFIT
- 24 EAVESTHROUGH/DOWNPIPES
- 26 CEILING VENTILATION
- 27 ROOF/ATTIC VENTILATION



LIMITING DISTANCE - 8.26 FT - 2.52 M
 MAX OPENINGS: 100%
 EXPOSED BUILDING FACE: 1451.12 SQ.F - 134.81 SQ.M
 ALLOWABLE GLAZING: 1451.12 SQ.F - 134.81 SQ.M
 PROPOSED GLAZING AREA (12.49%): 181.36 SQ. F - 16.84 SQ. M

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 CONCRETE SLAB ON GRADE
- 7 WEEPING TILES
- 8 CONCRETE SLAB ON GRADE - PATIO
- 9 EXPOSED FOUNDATION WALL
- 10 INSULATED FOUNDATION WALL

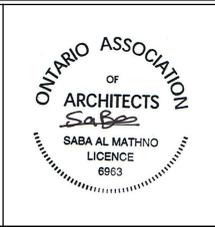
FRONT

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A2-01

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

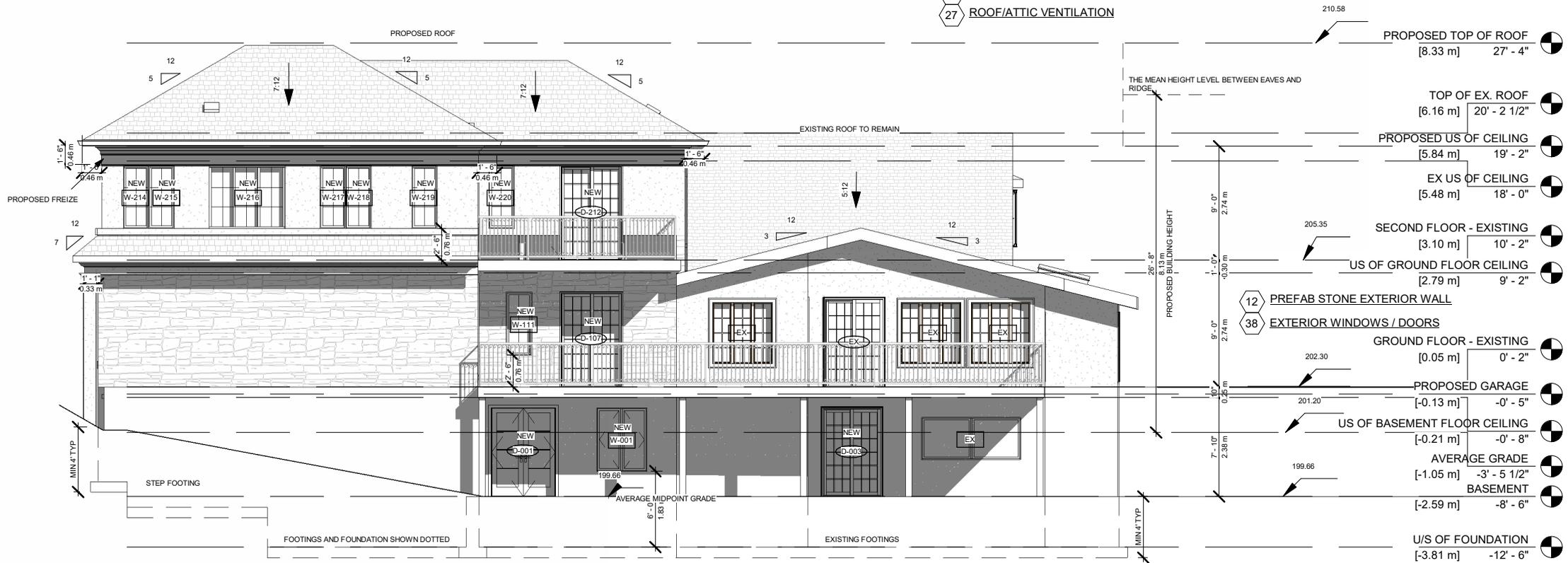
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PROP. FRONT ELEVATION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/03/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP		
CHECKED	SA	SCALE 3/32" = 1'-0"	REVISION 01

4/26/2024 2:00:28 PM

- 22 ROOF CONSTRUCTION
- 23 SOFFIT
- 24 EAVESTHROUGH/DOWNPPIPES
- 26 CEILING VENTILATION
- 27 ROOF/ATTIC VENTILATION



LIMITING DISTANCE : 90.02 FT - 27.44 M
 MAX OPENINGS: 100%
 EXPOSED BUILDING FACE: 1954.55 SQ.F - 181.58 SQ.M
 ALLOWABLE GLAZINGS: 1954.55 SQ.F - 181.58 SQ.M
 PROPOSED GLAZING AREA (15.68%): 306.60 SQ. F - 28.48 SQ. M

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 CONCRETE SLAB ON GRADE
- 7 WEEPING TILES
- 8 CONCRETE SLAB ON GRADE - PATIO
- 9 EXPOSED FOUNDATION WALL
- 10 INSULATED FOUNDATION WALL
- 63 STEP FOOTINGS

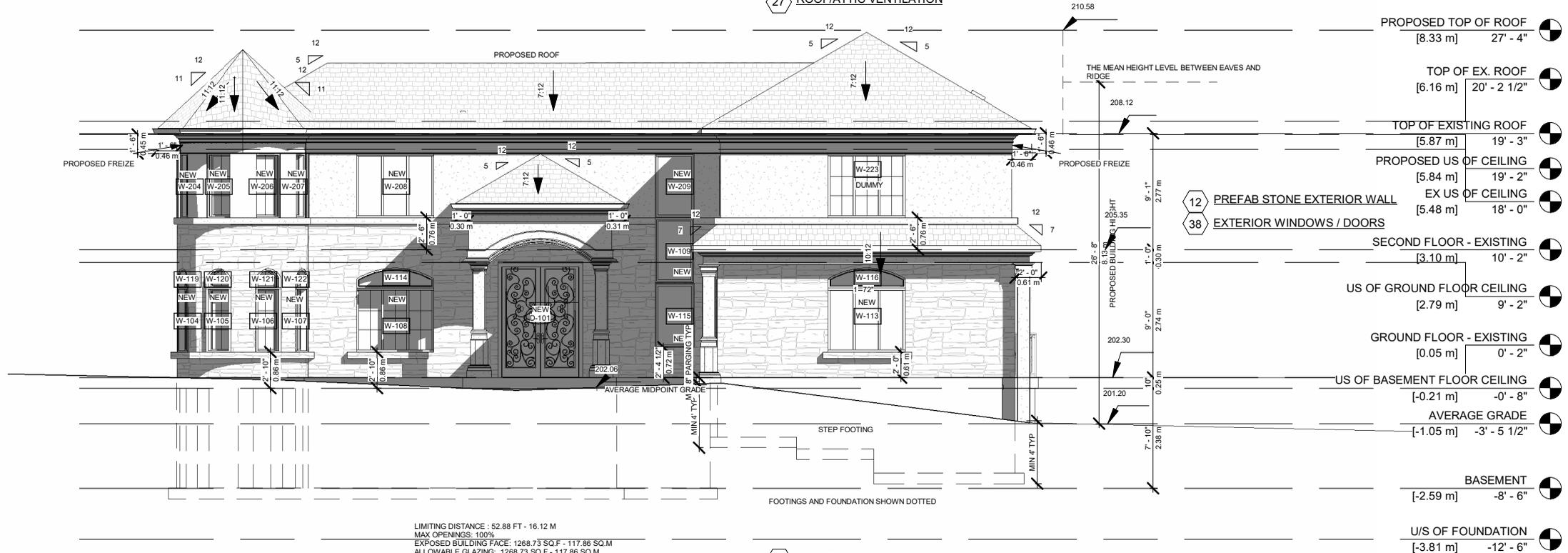
REAR

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com	ONTARIO ASSOCIATION OF ARCHITECTS SABA AL MATHINO LICENCE 6963	PROP. REAR ELEVATION	
STAGE	DRAWING NO.						PROJECT NUMBER	200155
COFA	A2-02				DATE	11/03/23	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26	DRAWN	PP	CHECKED	SA
						SCALE	3/32" = 1'-0"	REVISION

4/26/2024 2:00:29 PM

- 22 ROOF CONSTRUCTION
- 23 SOFFIT
- 24 EAVESTHROUGH/DOWNPipes
- 26 CEILING VENTILATION
- 27 ROOF/ATTIC VENTILATION



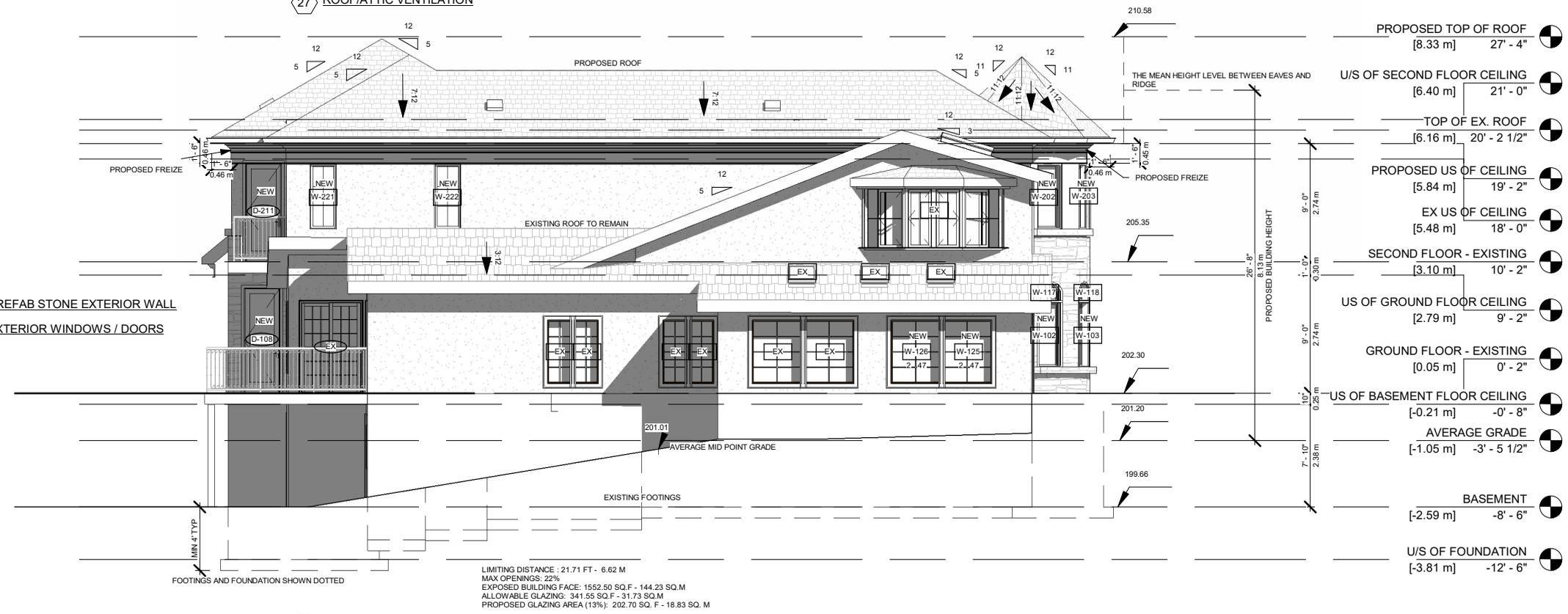
LEFT SIDE

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS TORONTO - CANADA info@qbsarchitects.com	ONTARIO ASSOCIATION OF ARCHITECTS <i>Saba</i> SABA AL MATHINO LICENCE 6963	PROP. LEFT ELEVATION				
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS		
COFA	A2-03	018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DATE	04/26/24	ISSUED FOR PUBLIC NOTICE		
					DRAWN	CD	CHECKED	SA	SCALE 3/32" = 1'-0"	REVISION	01

- 22 ROOF CONSTRUCTION
- 23 SOFFIT
- 24 EAVESTHROUGH/DOWNPIPES
- 26 CEILING VENTILATION
- 27 ROOF/ATTIC VENTILATION

- 12 PREFAB STONE EXTERIOR WALL
- 38 EXTERIOR WINDOWS / DOORS



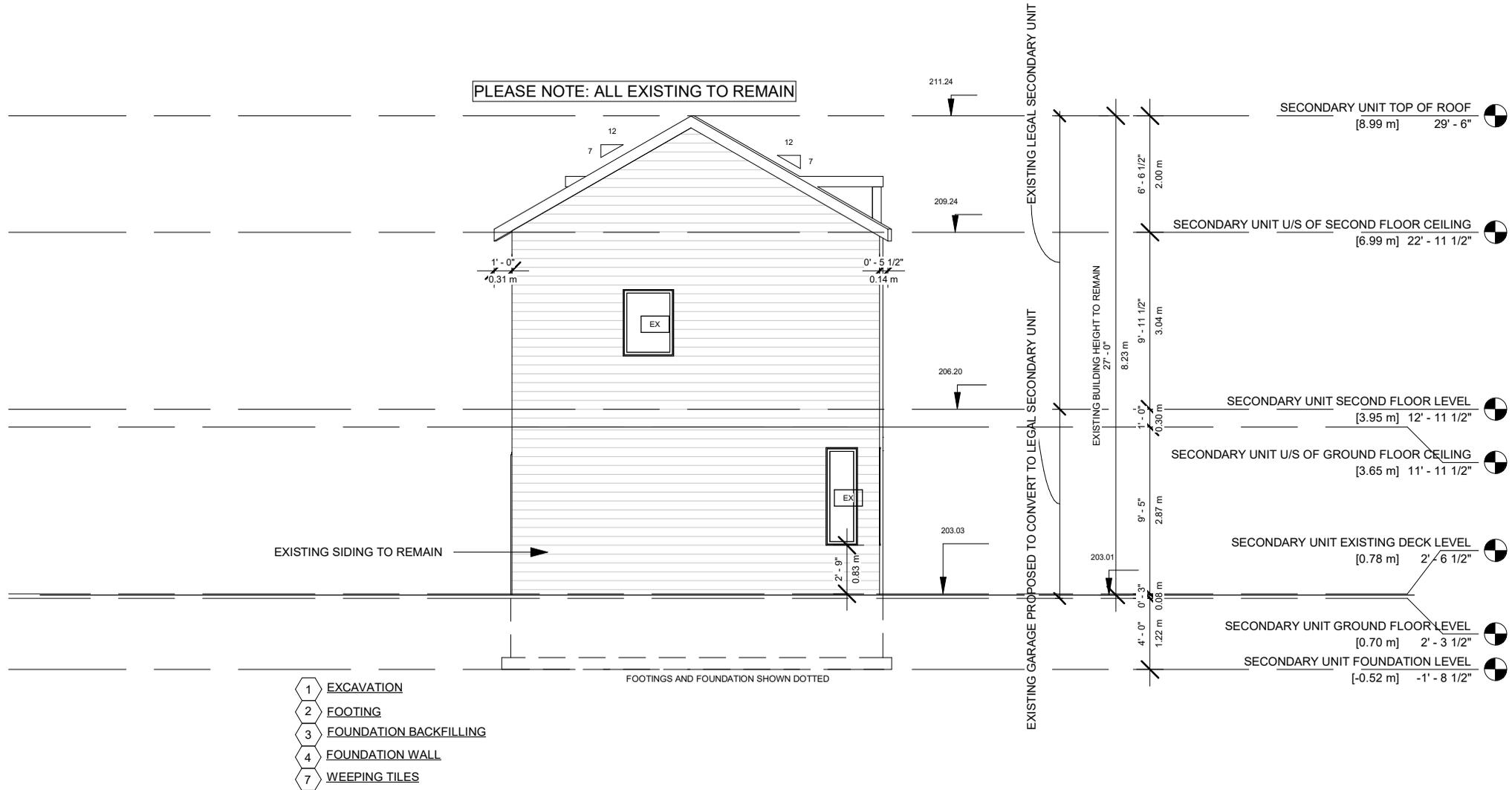
- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 CONCRETE SLAB ON GRADE
- 7 WEEPING TILES
- 8 CONCRETE SLAB ON GRADE - PATIO
- 9 EXPOSED FOUNDATION WALL
- 63 STEP FOOTINGS

RIGHT SIDE

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com	ONTARIO ASSOCIATION OF ARCHITECTS <i>Saba</i> SABA AL MATHINO LICENCE 6963	PROP. RIGHT ELEVATION	
STAGE COFA	DRAWING NO. A2-04	018	ISSUED FOR PUBLIC NOTICE	2024-04-26			PROJECT NUMBER 200155	DRAWING STATUS ISSUED FOR PUBLIC NOTICE
					SCALE 3/32" = 1'-0"	REVISION 01		

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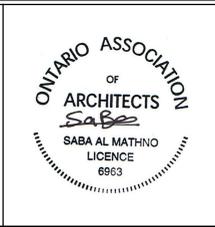
14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A2-05

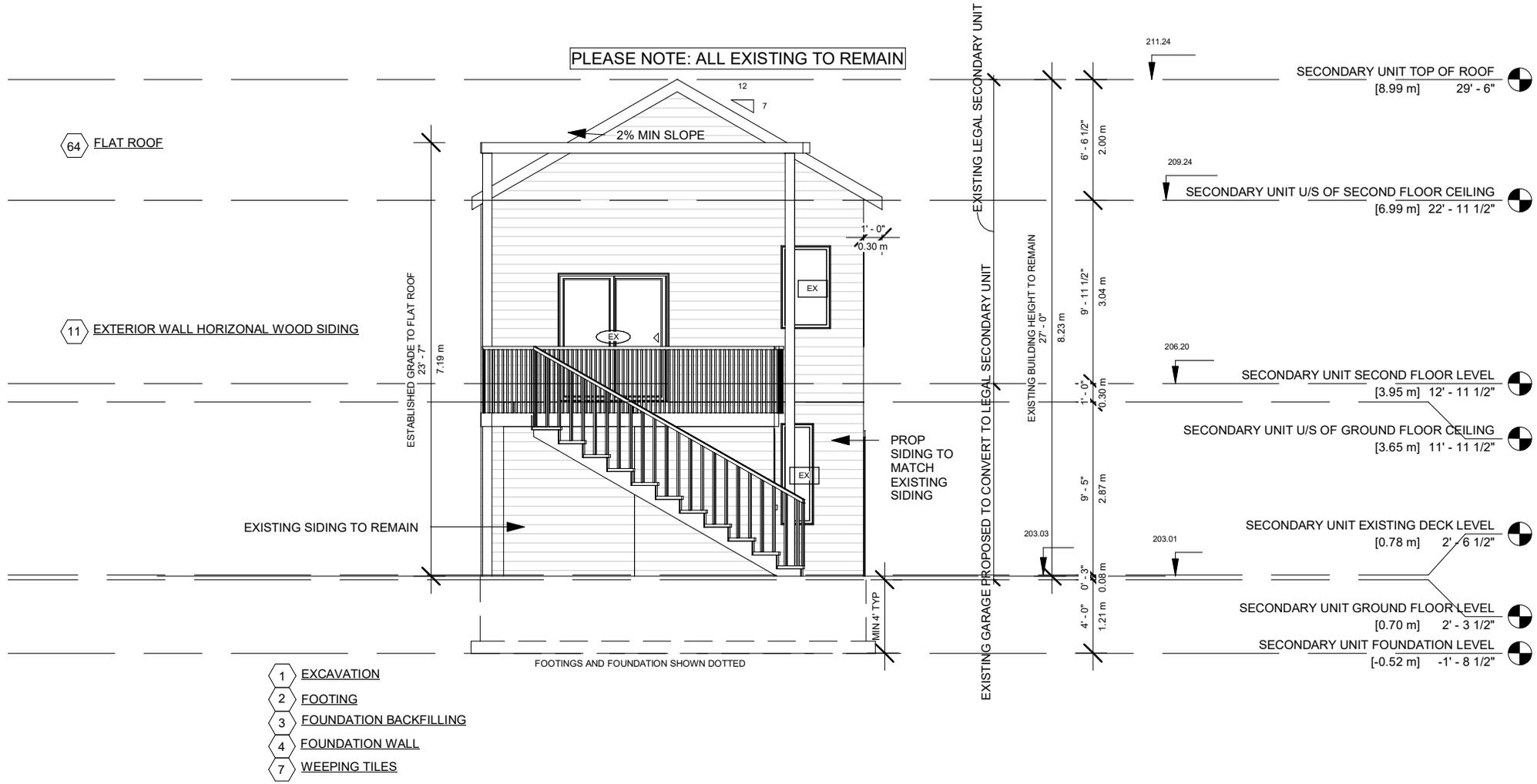
No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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PROP SECONDARY UNIT FRONT ELEVATION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	06/21/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

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14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

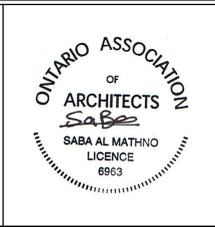
DRAWING NO.
A2-06

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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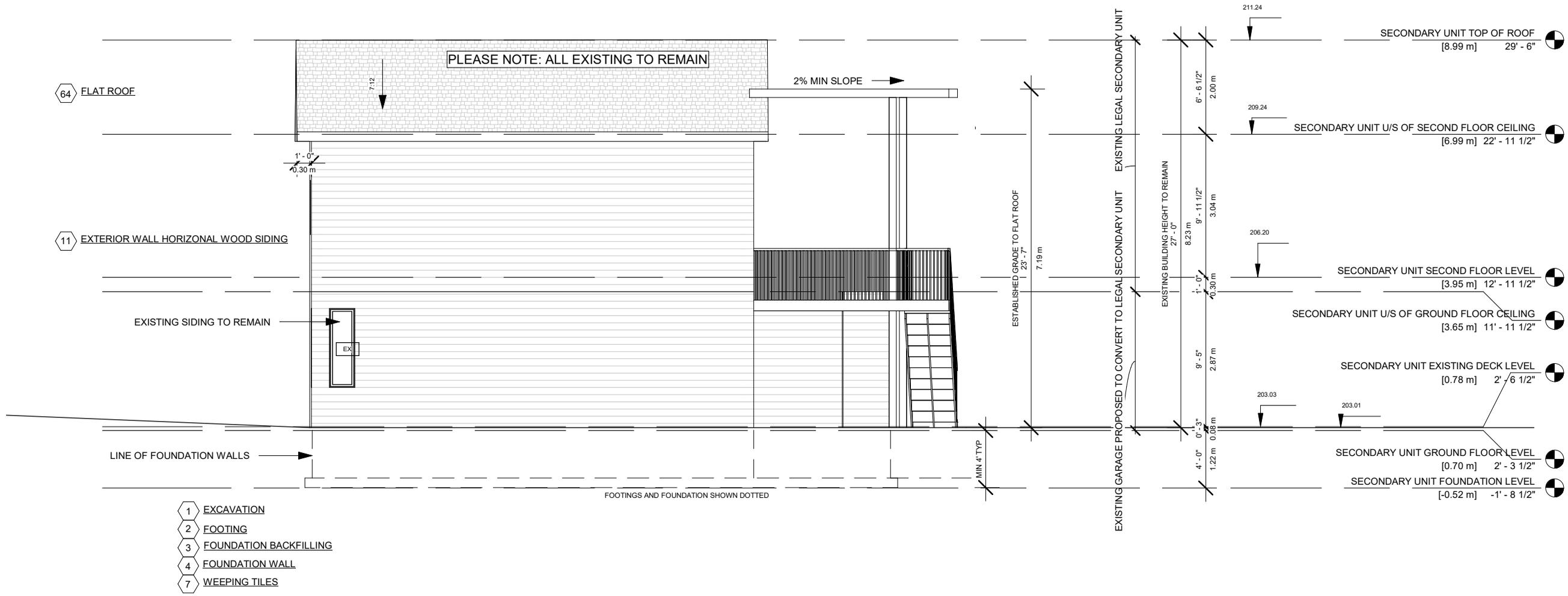
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PROP. SECONDARY UNIT REAR ELEVATION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	06/21/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

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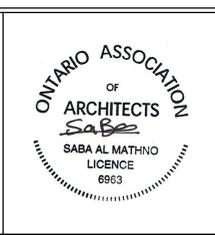
14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A2-07

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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PROP. SECONDARY UNIT LEFT ELEVATION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	04/17/24	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:33 PM

PLEASE NOTE: ALL EXISTING TO REMAIN



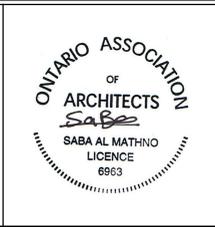
- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 7 WEEPING TILES

FOOTINGS AND FOUNDATION SHOWN DOTTED
 LIMITING DISTANCE : 135.33 FT - 41.25 M
 MAX OPENINGS: 100%
 EXPOSED BUILDING FACE: 956.08 SQ.F - 88.82 SQ.M
 ALLOWABLE GLAZING: 956.08 SQ.F - 88.82 SQ.M
 PROPOSED GLAZING AREA (11.84%): 113.26 SQ. F - 10.52 SQ. M

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A2-08

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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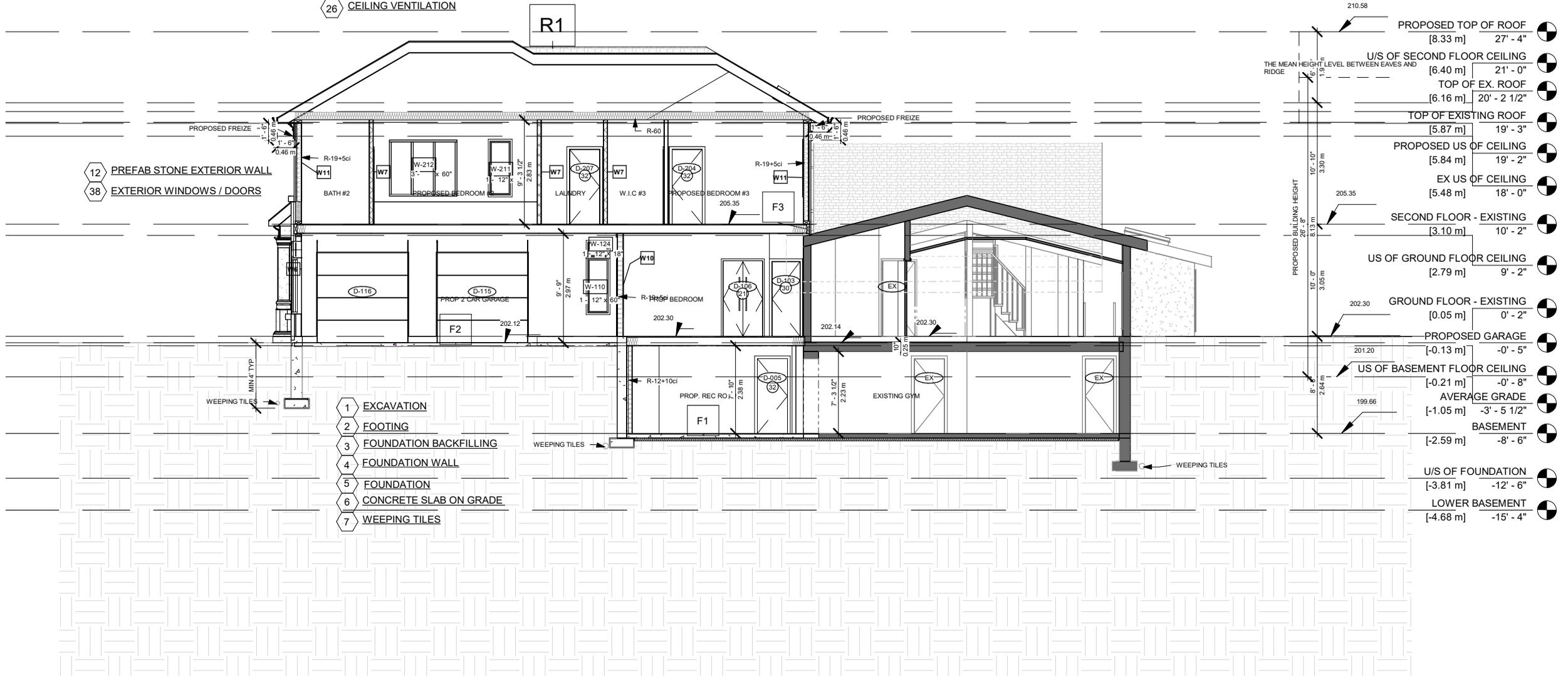
PROP. SECONDARY UNIT RIGHT ELEVATION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	04/17/24	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:33 PM

- 22 ROOF CONSTRUCTION
- 23 SOFFIT
- 24 EAVESTHROUGH/DOWNPIPES
- 26 CEILING VENTILATION

- 12 PREFAB STONE EXTERIOR WALL
- 38 EXTERIOR WINDOWS / DOORS

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 6 CONCRETE SLAB ON GRADE
- 7 WEeping TILES



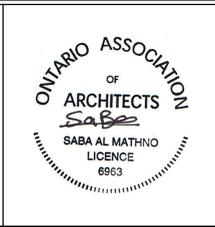
14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A3-01

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

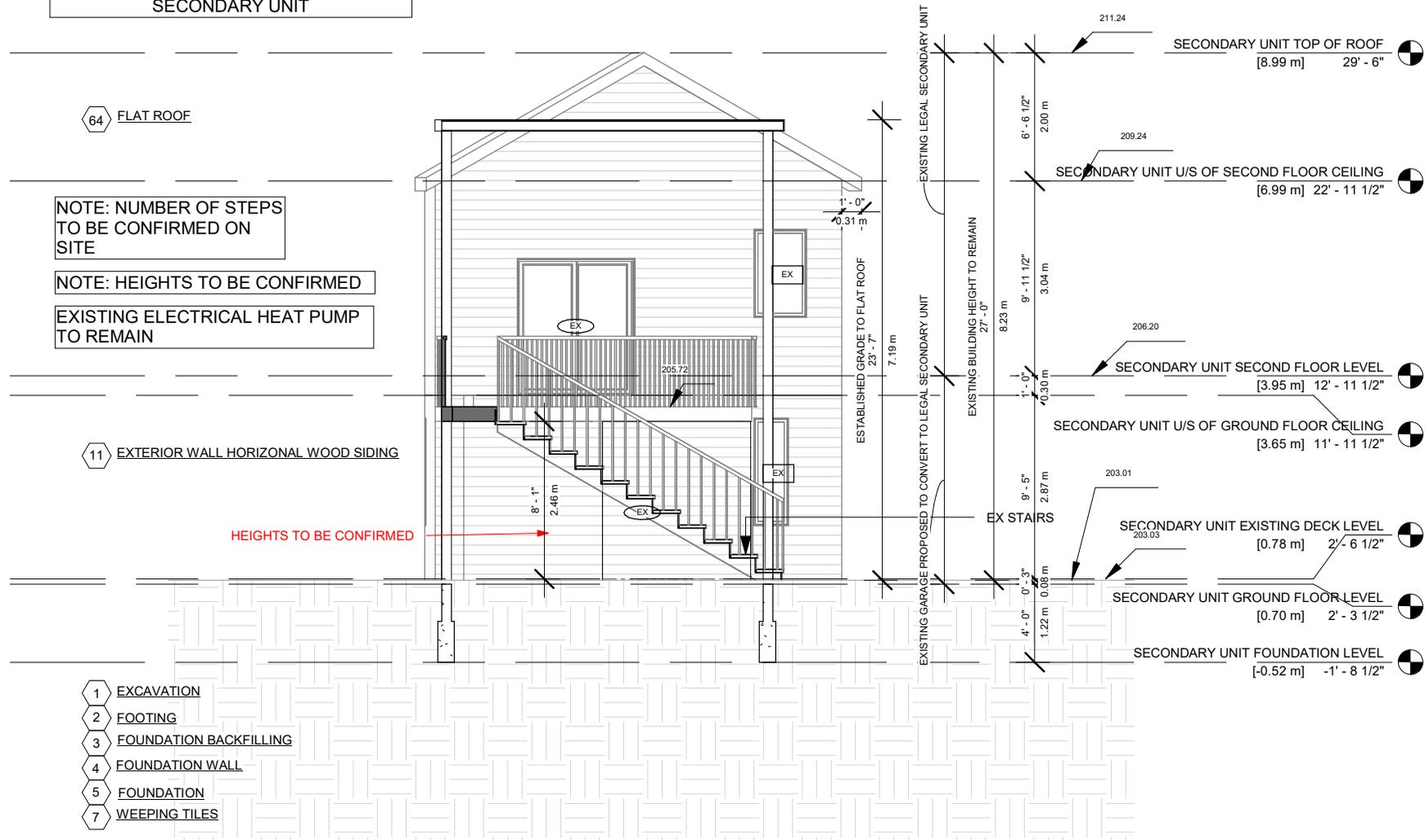
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PROP. SECTION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/21/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	JB	REVISION	01

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PLEASE NOTE: ALL EXISTING TO REMAIN
 CONVERT EXISTING GARAGE TO BE
 PART OF THE EXISTING LEGAL
 SECONDARY UNIT



14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A3-02

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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PROP. SECONDARY UNIT SECTION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	07/19/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	JB	REVISION	01

4/26/2024 2:00:35 PM

NOTE: NUMBER OF STEPS TO BE CONFIRMED ON SITE

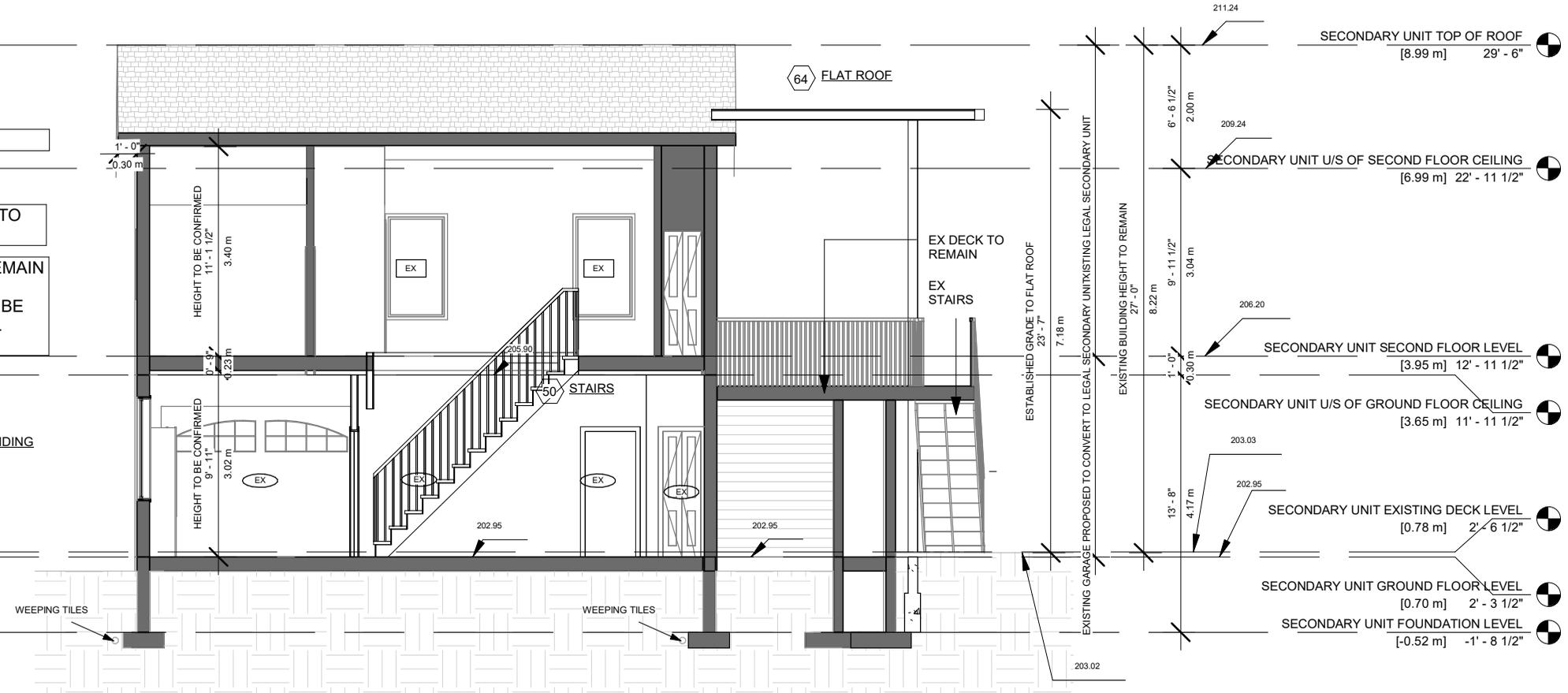
NOTE: HEIGHTS TO BE CONFIRMED

EXISTING ELECTRICAL HEAT PUMP TO REMAIN

PLEASE NOTE: ALL EXISTING TO REMAIN
 CONVERT EXISTING GARAGE TO BE PART OF THE EXISTING LEGAL SECONDARY UNIT

11 EXTERIOR WALL HORIZONTAL WOOD SIDING

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION BACKFILLING
- 4 FOUNDATION WALL
- 5 FOUNDATION
- 7 WEEPING TILES



14 RIVER ROAD
 BRAMPTON, ON L6X 0A6

STAGE: COFA
 DRAWING NO.: A3-03

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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PROP. SECONDARY UNIT SECTION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	04/17/24	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:35 PM

DOOR SCHEDULE

Mark	Level	Width	Height	From Room	To Room	Operation
D-001	BASEMENT	5' - 0"	7' - 0"		PROP. REC ROOM	DOUBLE DOOR
D-002	BASEMENT	2' - 6"	6' - 8"	PROP. BATH	EXISTING GYM	SINGLE SWING
D-003	BASEMENT	4' - 8"	7' - 0"		EXISTING GYM	SLIDING DOOR
D-004	BASEMENT	2' - 8"	6' - 8"	COLD ROOM	PROP. REC ROOM	SINGLE SWING
D-005	BASEMENT	2' - 8"	6' - 8"	PROP. REC ROOM	GUEST BEDROOM	SINGLE SWING
D-006	BASEMENT	3' - 4"	7' - 0"	PROP CL	GUEST BEDROOM	DOUBLE DOOR
D-007	BASEMENT	3' - 4"	7' - 0"	PROP CL	GUEST BEDROOM	DOUBLE DOOR
D-008	BASEMENT	3' - 0"	6' - 8"	PROP. REC ROOM	EXISTING GYM	OPENING
D-101	GROUND FLOOR - EXISTING	6' - 0"	8' - 0"	PROP FOYER		DOUBLE DOOR
D-102	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP FOYER	PROP MUDROOM	SINGLE SWING
D-103	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP FOYER	PROP BEDROOM	SINGLE SWING
D-104	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP 2 CAR GARAGE	PROP MUDROOM	SINGLE SWING
D-105	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP BEDROOM	EX BATH TO REMAIN	SINGLE SWING
D-106	GROUND FLOOR - EXISTING	1' - 9"	6' - 8"	PROP CL	PROP BEDROOM	DOUBLE DOOR
D-107	GROUND FLOOR - EXISTING	5' - 0"	7' - 6"		PROP BEDROOM	SLIDING DOOR
D-108	GROUND FLOOR - EXISTING	2' - 8"	8' - 0"		PROP 2 CAR GARAGE	SINGLE SWING
D-109	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP FOYER	PROP POWDER	SINGLE SWING
D-110	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CL	PROP FOYER	DOUBLE DOOR

DOOR SCHEDULE

Mark	Level	Width	Height	From Room	To Room	Operation
D-111	GROUND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CL	PROP FOYER	DOUBLE DOOR
D-112	GROUND FLOOR - EXISTING	3' - 0"	6' - 8"	PROP FOYER	PROP KITCHEN	OPENING
D-113	GROUND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP LIVING AND DINING	PROP KITCHEN	SINGLE SWING
D-114	GROUND FLOOR - EXISTING	3' - 6"	8' - 0"		PROP KITCHEN	SINGLE SWING
D-115	PROPOSED GARAGE	8' - 0"	8' - 0"		PROP 2 CAR GARAGE	ROLL UP
D-116	PROPOSED GARAGE	8' - 0"	8' - 0"		PROP 2 CAR GARAGE	ROLL UP
D-202	SECOND FLOOR - EXISTING	2' - 10"	6' - 8"	PROP CL	EX BEDROOM TO BE ENLARGED	DOUBLE DOOR
D-203	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROP CORRIDOR	EX BEDROOM TO BE ENLARGED	SINGLE SWING
D-204	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	PROPOSED BEDROOM #3	SINGLE SWING
D-205	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #3	W.I.C #3	SINGLE SWING
D-206	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"		PROPOSED BEDROOM #3	SINGLE SWING
D-207	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	LAUNDRY	SINGLE SWING
D-208	SECOND FLOOR - EXISTING	2' - 8"	6' - 8"	PROP CORRIDOR	PROPOSED BEDROOM #2	SINGLE SWING
D-209	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	PROPOSED BEDROOM #2	W.I.C #2	POCKET
D-210	SECOND FLOOR - EXISTING	2' - 6"	6' - 8"	BATH #2	PROPOSED BEDROOM #2	POCKET
D-211	SECOND FLOOR - EXISTING	2' - 8"	7' - 6"			SINGLE SWING
D-212	SECOND FLOOR - EXISTING	5' - 0"	7' - 6"		PROPOSED BEDROOM #3	SLIDING DOOR

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date
STAGE	DRAWING NO.			
COFA	A4-01	018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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DOOR SCHEDULE			
PROJECT NUMBER	200155	ISSUED FOR PUBLIC NOTICE	
DATE	11/23/23		
DRAWN	PP		
CHECKED	SA	REVISION	01

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Window Schedule 2

Mark	Level	Sill Height	Height	Width	From Room: Name
W-001	BASEMENT	2' - 0"	5' - 0"	4' - 0"	PROP. REC ROOM
W-002	BASEMENT	5' - 6"	2' - 0"	4' - 0"	GUEST BEDROOM
W-101	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	4' - 0"	PROP LIVING AND DINING
W-102	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING
W-103	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING
W-104	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING
W-105	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING
W-106	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING
W-107	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP LIVING AND DINING
W-108	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	6' - 0"	PROP LIVING AND DINING
W-109	GROUND FLOOR - EXISTING	7' - 5 1/2"	5' - 0"	3' - 0"	
W-110	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	2' - 0"	PROP 2 CAR GARAGE
W-111	GROUND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROP BEDROOM
W-112	GROUND FLOOR - EXISTING	0' - 0"	8' - 0"	2' - 0"	PROP KITCHEN
W-113	GROUND FLOOR - EXISTING	2' - 0"	5' - 0"	6' - 0"	PROP 2 CAR GARAGE
W-114	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	10' - 0"	PROP LIVING AND DINING
W-115	GROUND FLOOR - EXISTING	2' - 4 1/2"	5' - 0"	3' - 0"	PROP FOYER
W-116	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	10' - 0"	PROP 2 CAR GARAGE
W-117	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING
W-118	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING
W-119	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING
W-120	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING
W-121	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING
W-122	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP LIVING AND DINING
W-123	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	4' - 0"	EX BEDROOM TO BE ENLARGED
W-124	GROUND FLOOR - EXISTING	7' - 0"	1' - 6"	2' - 0"	PROP 2 CAR GARAGE
W-125	GROUND FLOOR - EXISTING	0' - 8"	5' - 0"	3' - 11"	EX DINING
W-126	GROUND FLOOR - EXISTING	0' - 8"	5' - 0"	3' - 11"	EX DINING

Window Schedule 2

Mark	Level	Sill Height	Height	Width	From Room: Name
W-201	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	4' - 0"	EX BEDROOM TO BE ENLARGED
W-202	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED
W-203	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED
W-204	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED
W-205	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED
W-206	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED
W-207	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	EX BEDROOM TO BE ENLARGED
W-208	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	EX BEDROOM TO BE ENLARGED
W-209	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	3' - 0"	
W-210	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROP CORRIDOR
W-211	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2
W-212	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	PROPOSED BEDROOM #2
W-213	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	W.I.C #2
W-214	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	BATH #2
W-215	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	BATH #2
W-216	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	6' - 0"	PROPOSED BEDROOM #2
W-217	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2
W-218	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #2
W-219	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	
W-220	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	
W-221	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #3
W-222	SECOND FLOOR - EXISTING	2' - 6"	5' - 0"	2' - 0"	PROPOSED BEDROOM #3

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS  TORONTO - CANADA info@qbsarchitects.com	 OF ARCHITECTS SABA AL MATHINO LICENCE 6963	WINDOW SCHEDULE				
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS		
COFA	A4-02						DATE	04/26/24	ISSUED FOR PUBLIC NOTICE		
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26					DRAWN	CD	
						CHECKED	SA	REVISION 01			

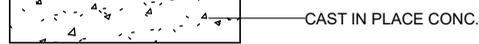
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WALL ASSEMBLIES

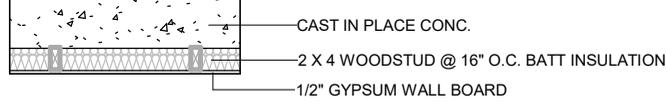
W1 (R12 +10CI)



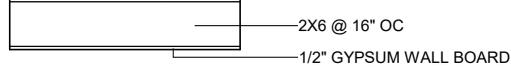
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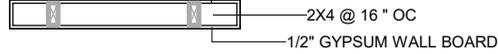
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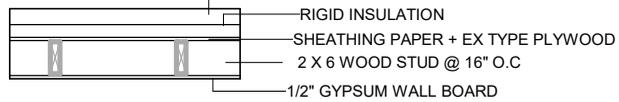
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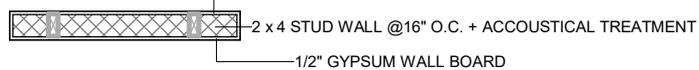
W5



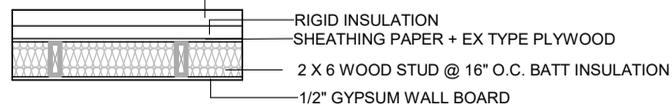
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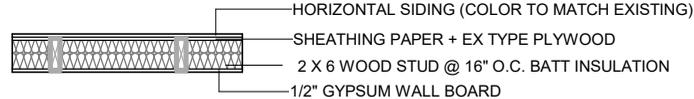
W7



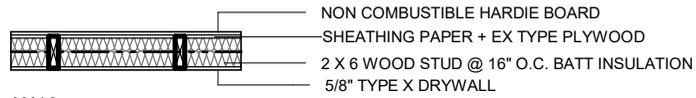
W8 (R19+5ci)



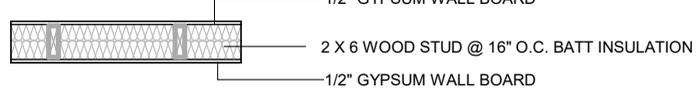
W9 (R19+5ci)



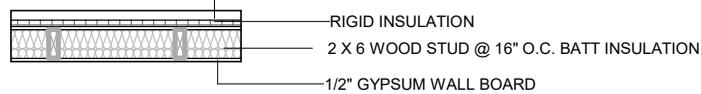
W9b (R19+5ci) FRR 45 MINUTES MIN WALL



W10

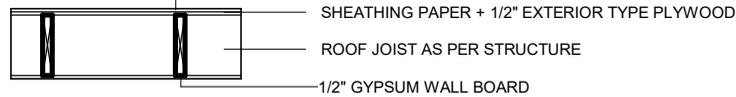


W11 (R19+5ci)

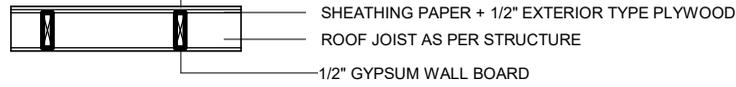


ROOF ASSEMBLIES

R1



R2



FLOOR ASSEMBLIES

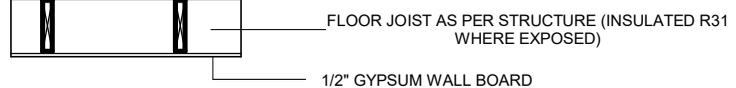
F1



F2



F3



14 RIVER ROAD
BRAMPTON, ON L6X 0A6

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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ASSEMBLIES

PROJECT NUMBER	200155
DATE	04/26/24
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REVISION 01

STAGE
COFA

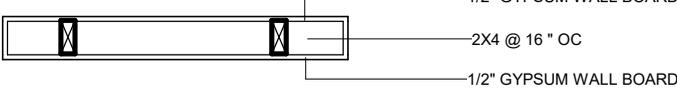
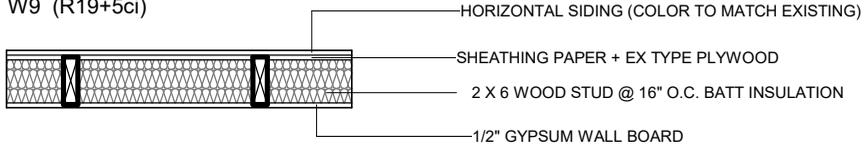
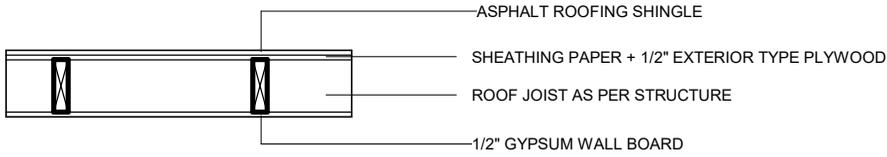
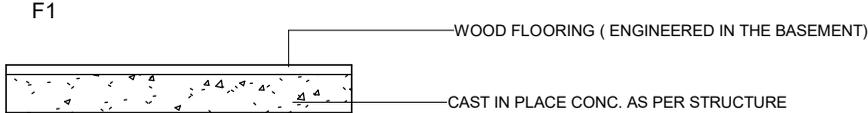
DRAWING NO.
A4-03

DOOR SCHEDULE SECONDARY SUITE

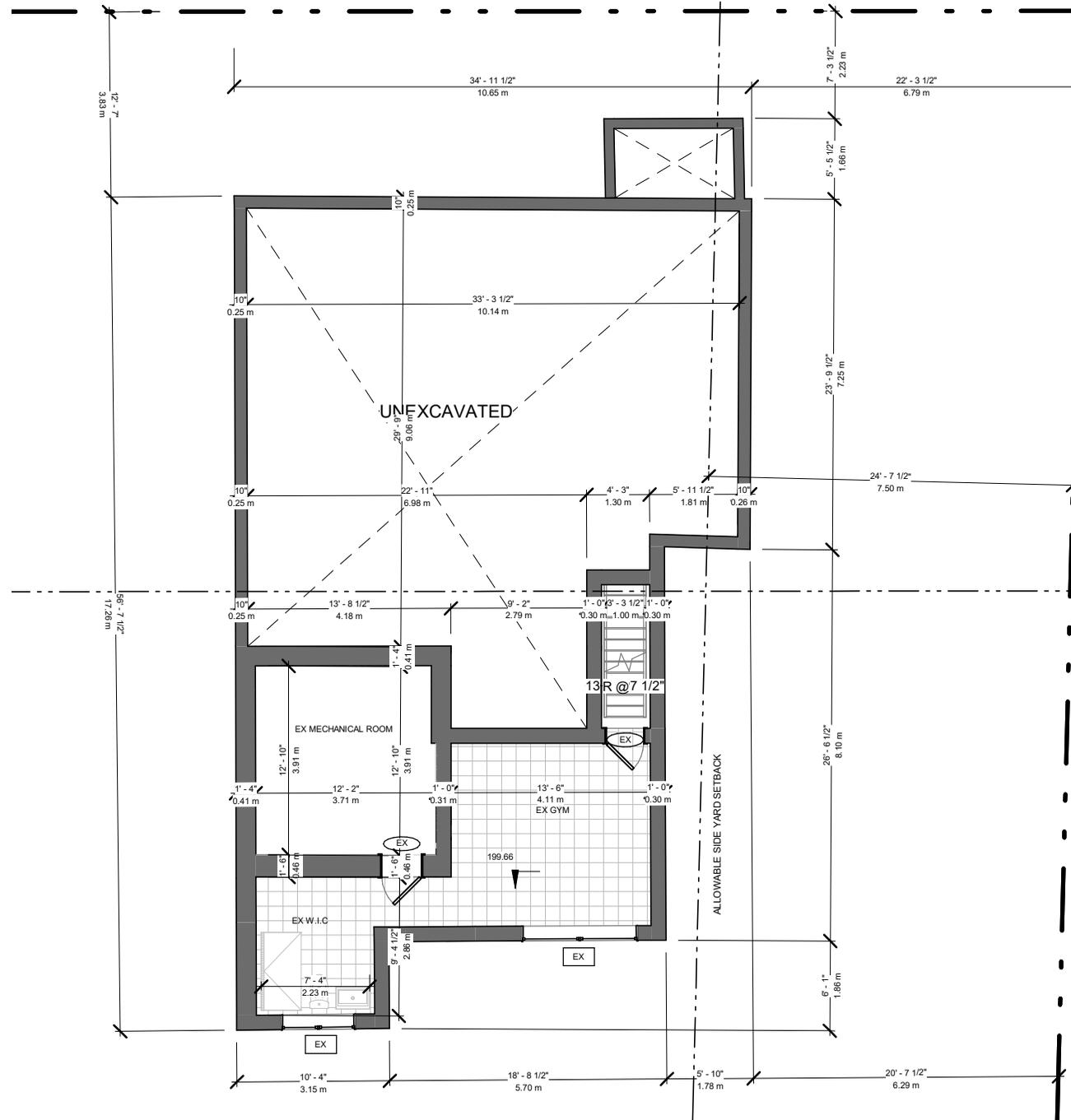
Mark	Level	Width	Height	From Room	To Room	Operation
D-201	SECONDARY UNIT GROUND FLOOR LEVEL	2' - 8"	8' - 0"	PROP LAUNDRY	EXTERIOR	SINGLE SWING
D-202	SECONDARY UNIT GROUND FLOOR LEVEL	2' - 8"	6' - 8"	EXISTING RECREATION ROOM	EXISTING RECREATION ROOM	SINGLE SWING
D-203	SECONDARY UNIT GROUND FLOOR LEVEL	2' - 8"	6' - 8"	EXISTING RECREATION ROOM	EXISTING RECREATION ROOM	SINGLE SWING

Window Schedule SECONDARY SUITE

Mark	Level	Sill Height	Height	Width	From Room: Name
W-301	SECONDARY UNIT GROUND FLOOR LEVEL	4' - 0"	4' - 0"	3' - 0"	PROP LAUNDRY

WALL ASSEMBLIES	ROOF ASSEMBLIES
<p>W1</p>  <p>1/2" GYPSUM WALL BOARD 2X4 @ 16" OC 1/2" GYPSUM WALL BOARD</p> <p>W5</p>  <p>CAST IN PLACE CONC.</p> <p>W9 (R19+5ci)</p>  <p>HORIZONTAL SIDING (COLOR TO MATCH EXISTING) SHEATHING PAPER + EX TYPE PLYWOOD 2 X 6 WOOD STUD @ 16" O.C. BATT INSULATION 1/2" GYPSUM WALL BOARD</p>	<p>R1</p>  <p>ASPHALT ROOFING SHINGLE SHEATHING PAPER + 1/2" EXTERIOR TYPE PLYWOOD ROOF JOIST AS PER STRUCTURE 1/2" GYPSUM WALL BOARD</p>
	FLOOR ASSEMBLIES
	<p>F1</p>  <p>WOOD FLOORING (ENGINEERED IN THE BASEMENT) CAST IN PLACE CONC. AS PER STRUCTURE</p>

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS  TORONTO - CANADA info@qbsarchitects.com	 OF ARCHITECTS SABA AL MATHINO LICENCE 6963	DOOR WINDOW SCHEDULE & WALL ASSEMBLIES - SECONDARY UNIT			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS ISSUED FOR PUBLIC NOTICE	
COFA	A4-05						DATE	04/17/24		
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	CD	CHECKED	SA



WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A5-01

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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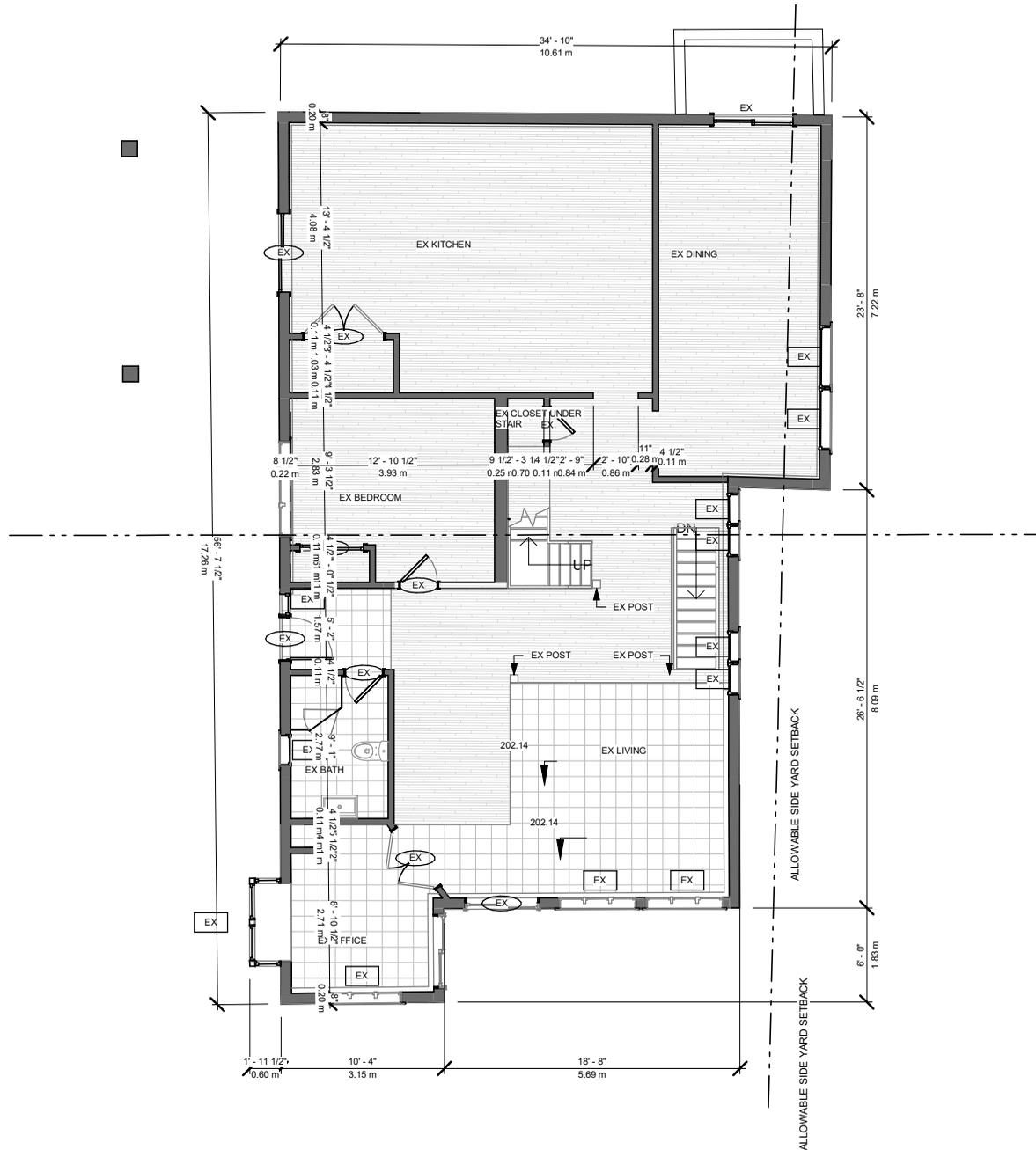
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N PN



EXISTING BASEMENT			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:38 PM



WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A5-02

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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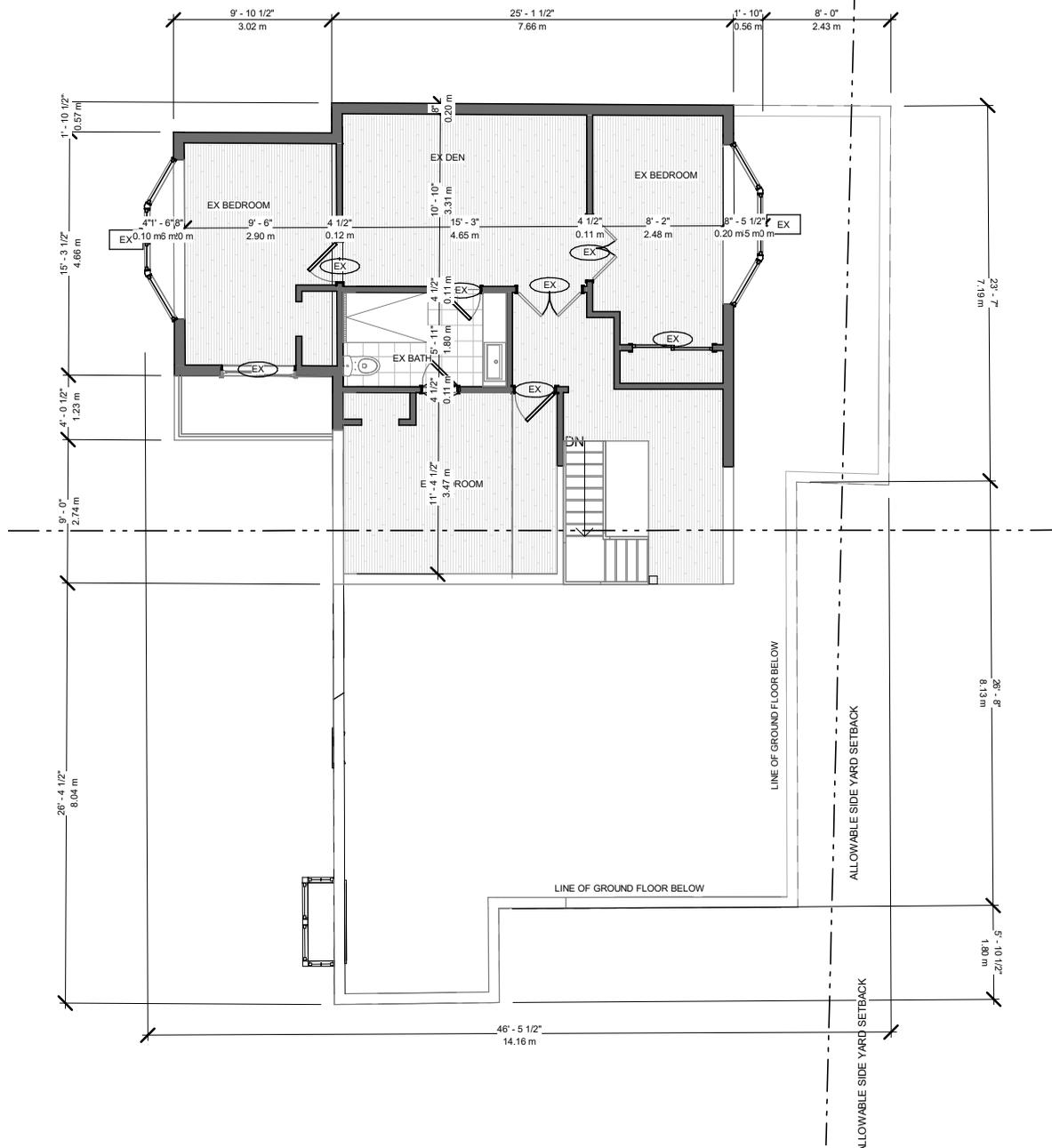
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EXISTING GROUND FLOOR PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

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WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

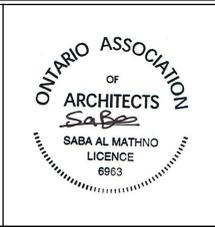
STAGE
COFA

DRAWING NO.
A5-03

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

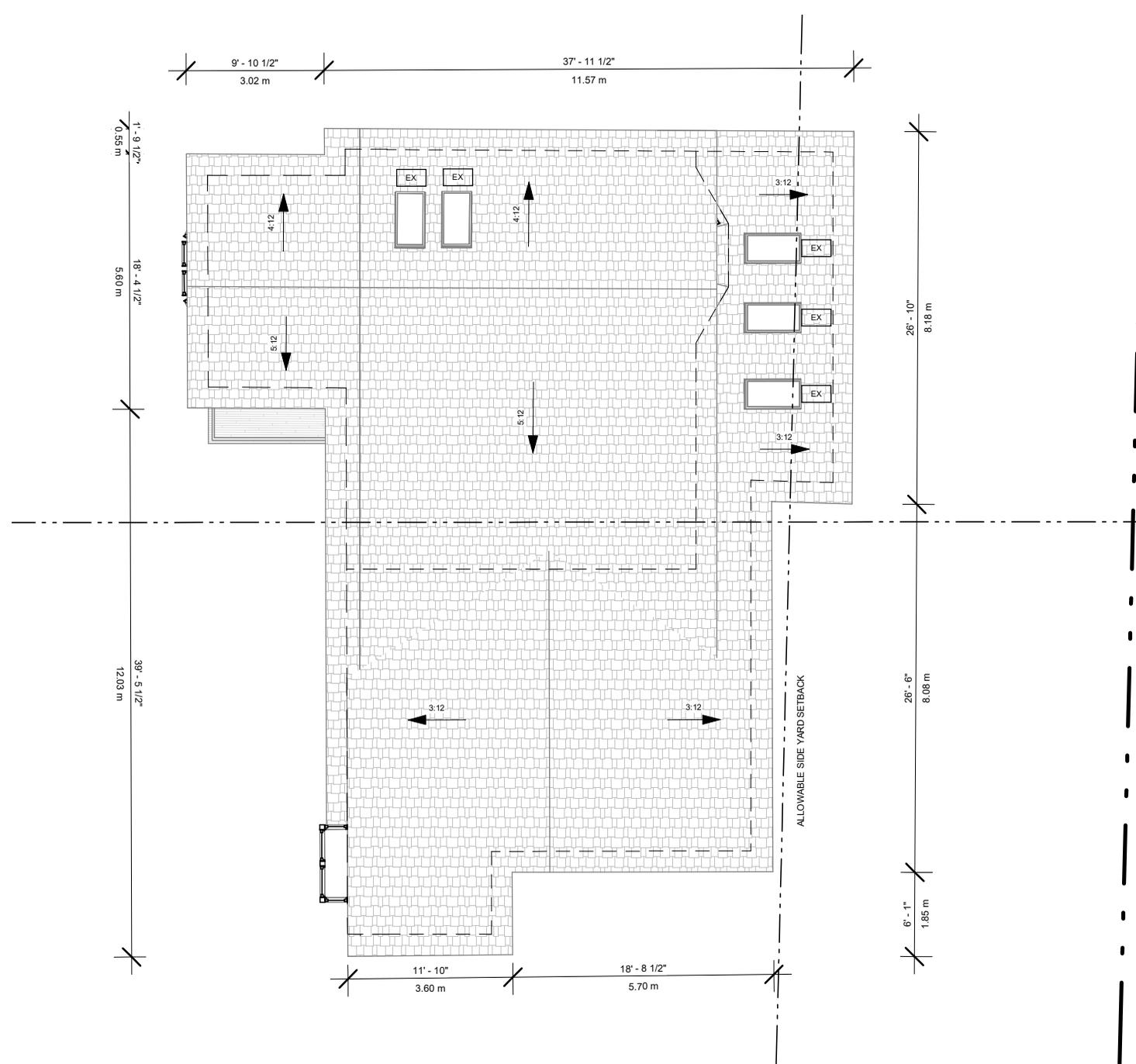
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N PN



EXISTING SECOND FLOOR PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

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14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE
COFA

DRAWING NO.
A5-04

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

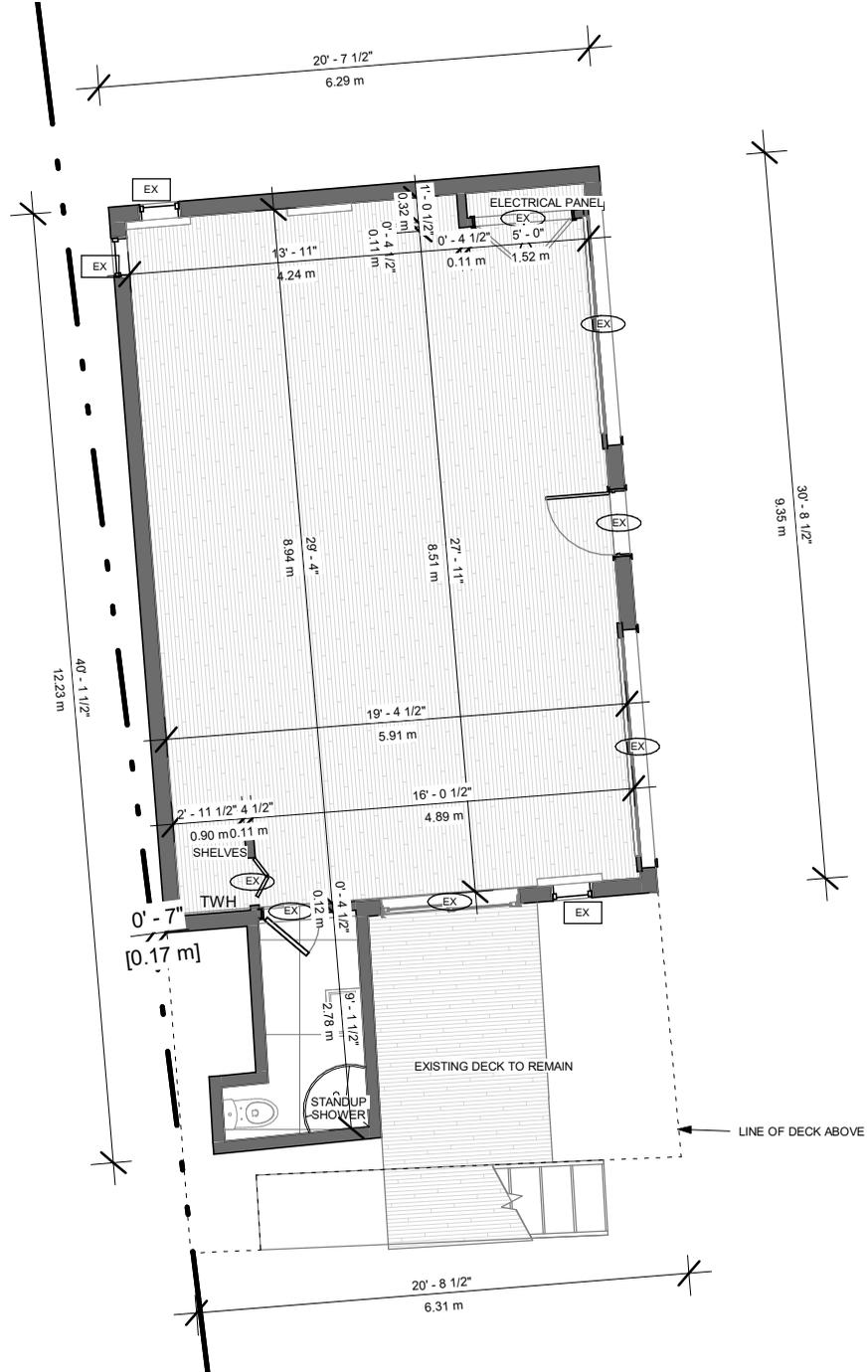
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info@qbsarchitects.com

N PN



EXISTING ROOF PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	3/32" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:39 PM



WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A5-05

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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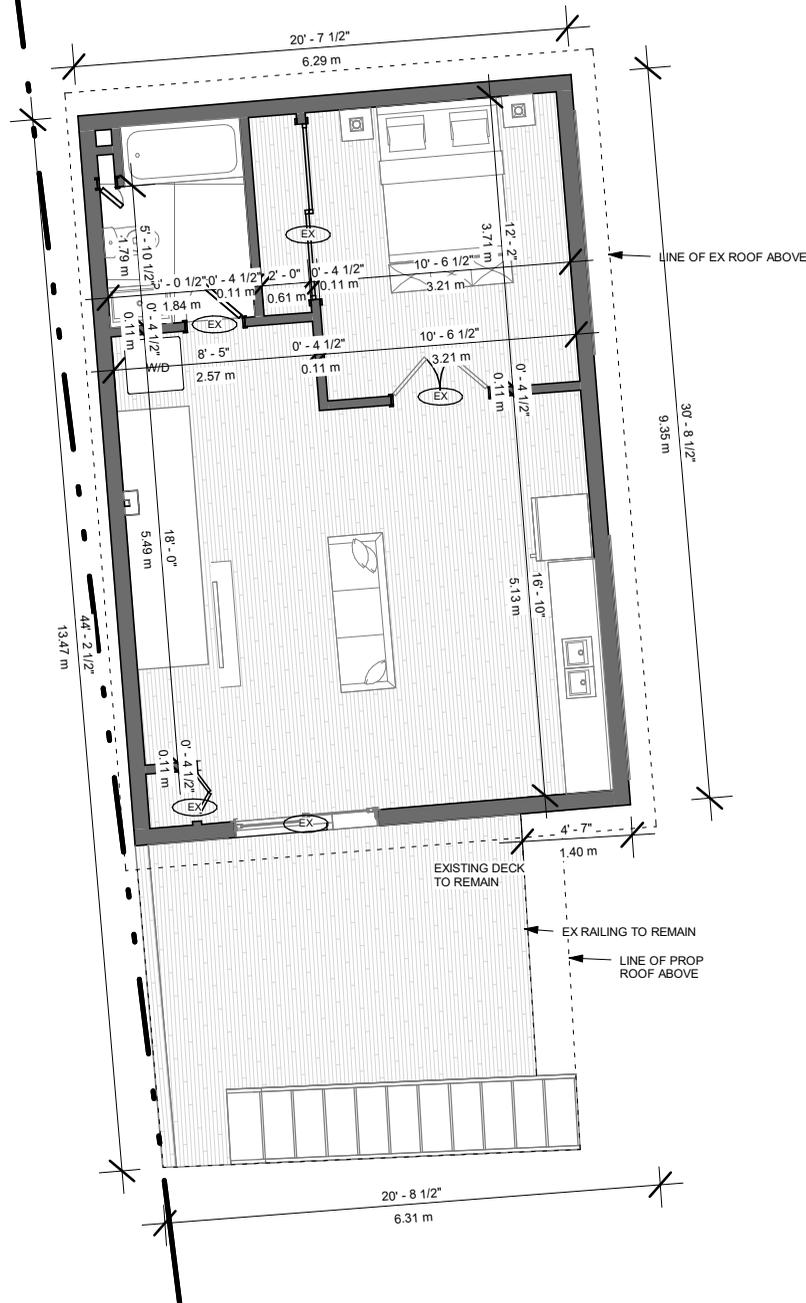
N PN

ONTARIO ASSOCIATION
 OF
 ARCHITECTS

 SABA AL MATHANO
 LICENCE
 6963

EXISTING SECONDARY UNIT GROUND FLOOR PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

4/26/2024 2:00:39 PM



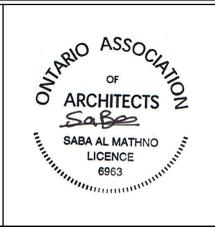
WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE	DRAWING NO.
COFA	A5-06

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

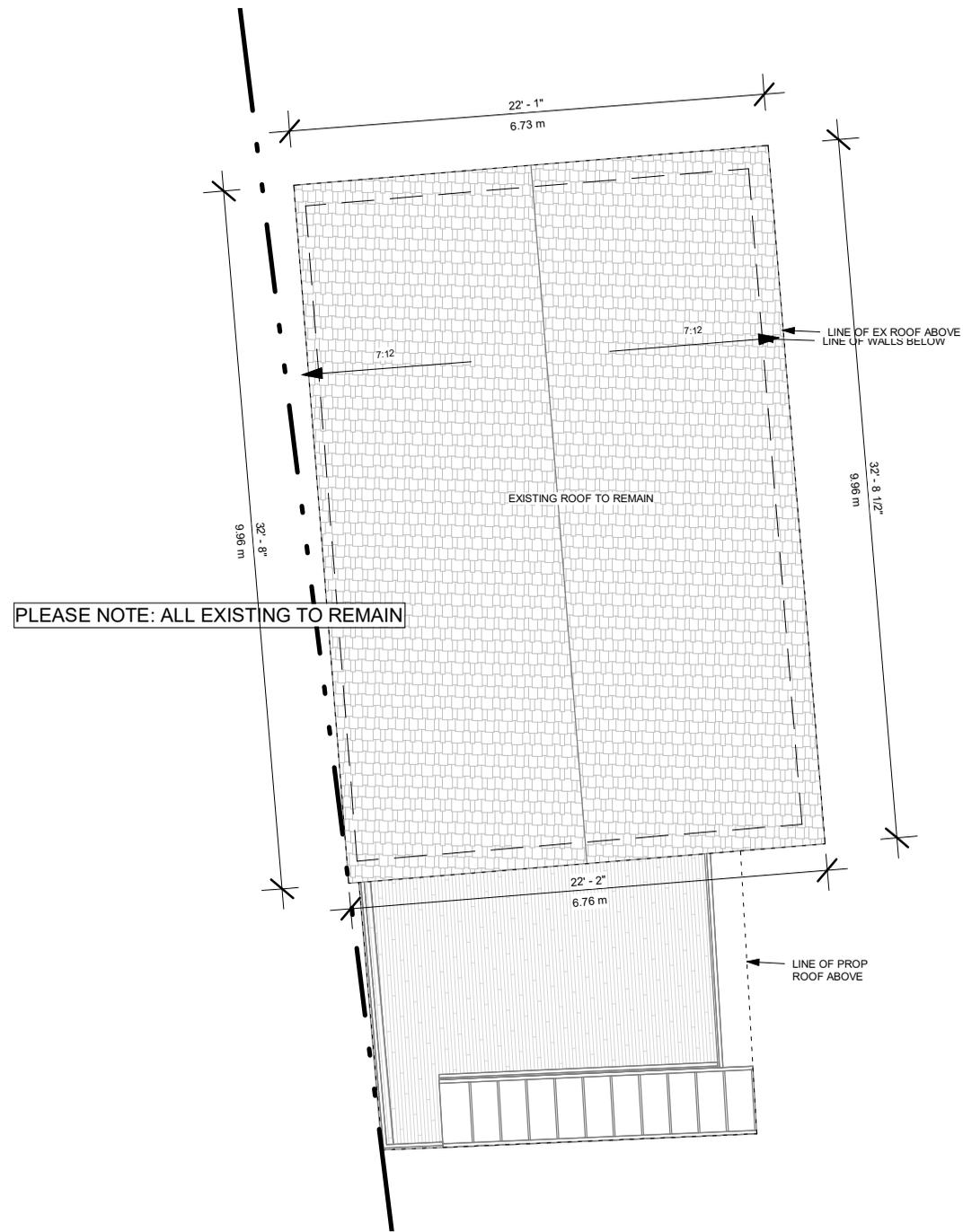
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EXISTING SECONDARY UNIT FIRST FLOOR PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

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PLEASE NOTE: ALL EXISTING TO REMAIN

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A5-07

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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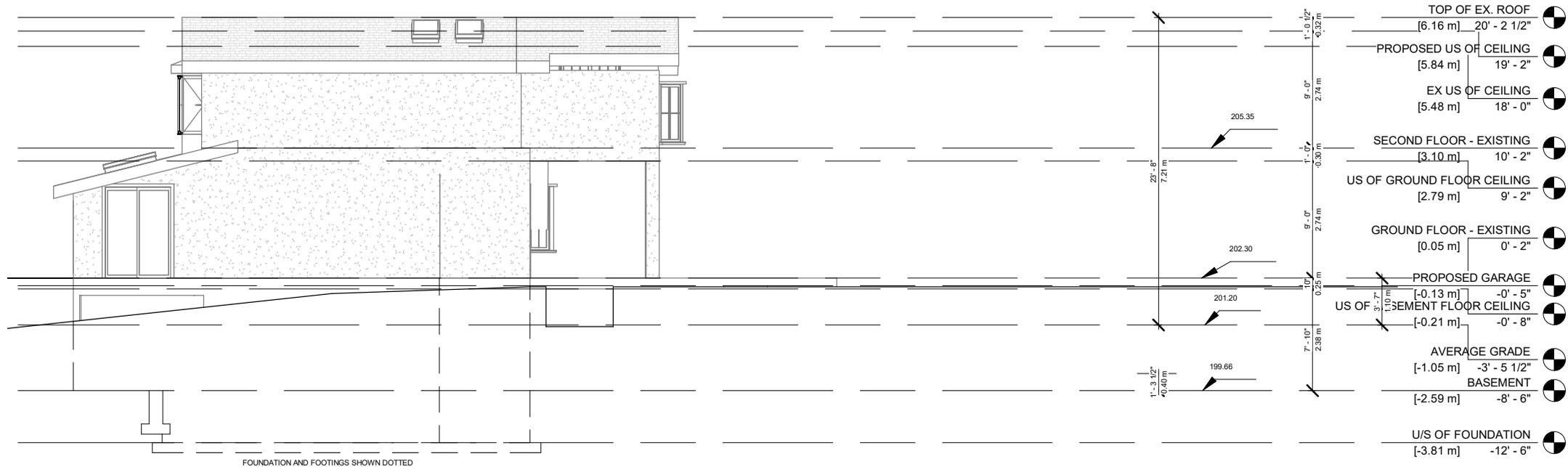
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 LICENCE 6963

EXISTING SECONDARY UNIT ROOF PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	PP	SCALE	1/8" = 1'-0"
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FRONT EX

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC TORONTO - CANADA info@qbsarchitects.com		EXISTING FRONT ELEVATION			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS	
COFA	A6-01						DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	PP	CHECKED	SA



REAR EX

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com		EXISTING REAR ELEVATION			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS	
COFA	A6-02						DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	PP	CHECKED	SA

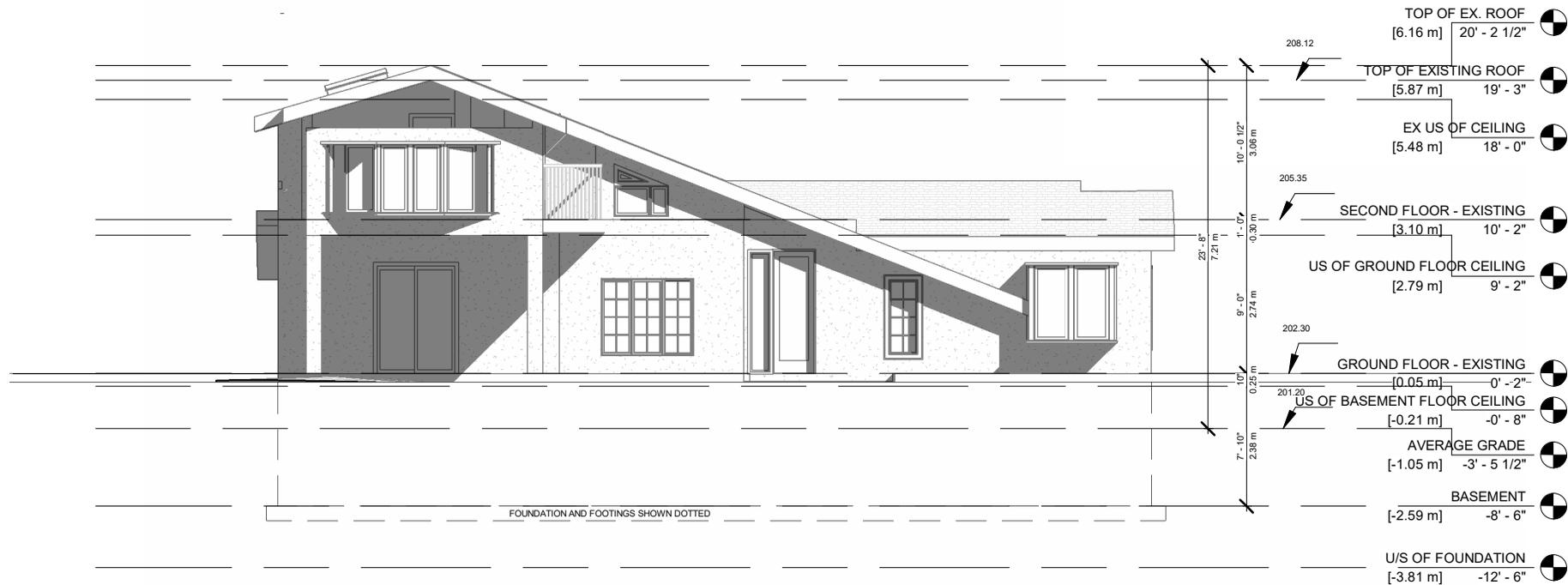
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LEFT EX

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com		EXISTING LEFT ELEVATION			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS	
COFA	A6-03						DATE	04/26/24	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	CD	CHECKED	SA

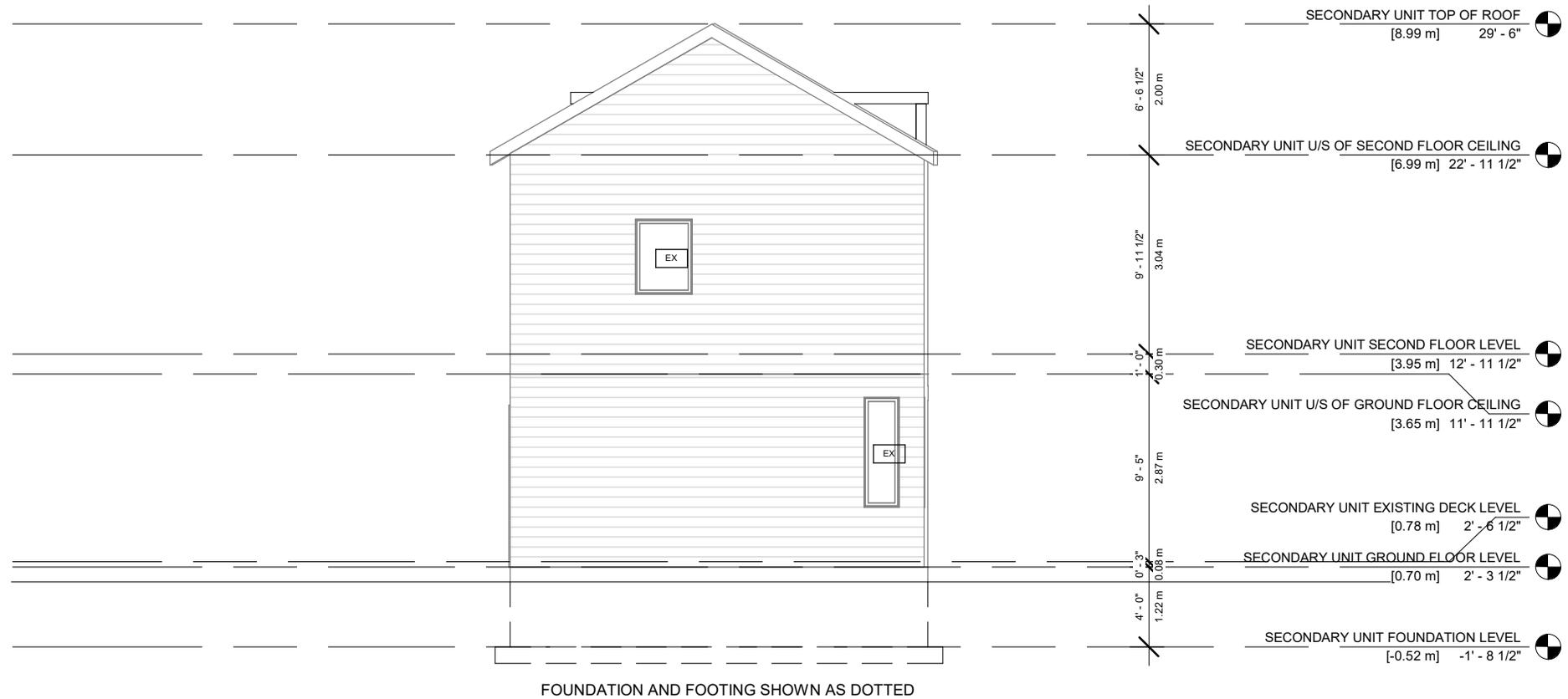


RIGHT EX

3/32" = 1'-0"

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com		EXISTING RIGHT ELEVATION			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS	
COFA	A6-04						DATE	04/26/24	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	CD	CHECKED	SA

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FOUNDATION AND FOOTING SHOWN AS DOTTED

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS TORONTO - CANADA info@qbsarchitects.com	 SABA AL MATHINO LICENCE 6963	EXISTING SECONDARY UNIT FRONT ELEVATION			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS	
COFA	A6-05						DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	CD	CHECKED	SA



FOUNDATION AND FOOTING SHOWN AS DOTTED

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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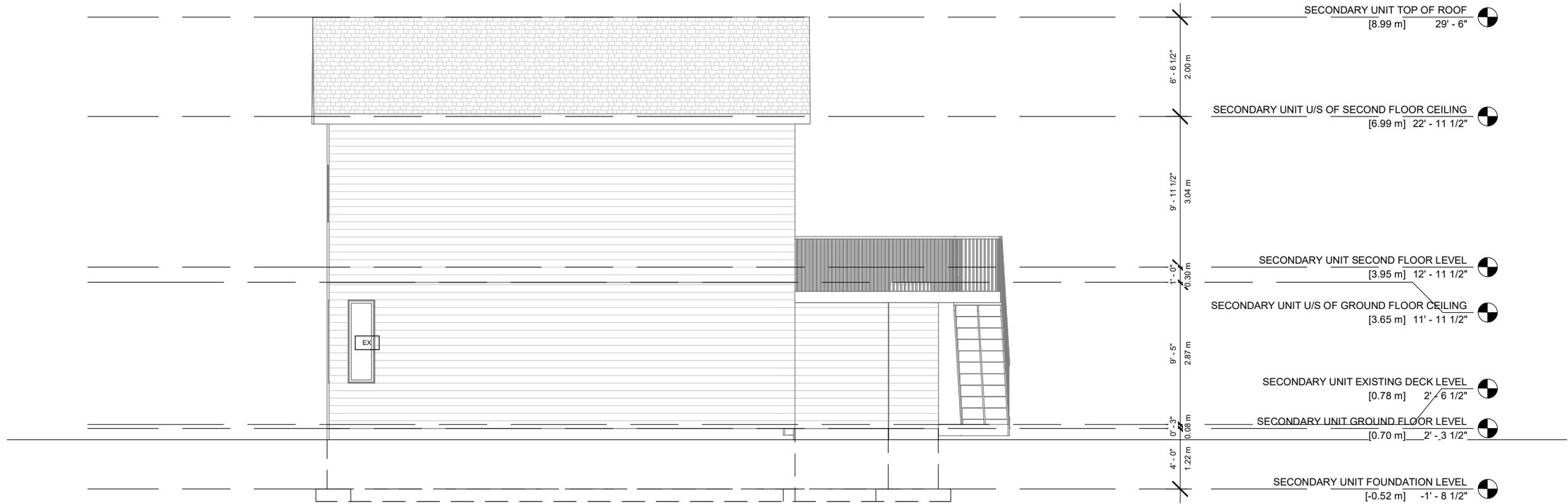
EXISTING SECONDARY UNIT REAR ELEVATION

PROJECT NUMBER	200155	DRAWING STATUS	
DATE	11/20/23	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD	SCALE	1/8" = 1'-0"
CHECKED	SA	REVISION	01

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STAGE
COFA

DRAWING NO.
A6-06



FOUNDATION AND FOOTING SHOWN AS DOTTED

14 RIVER ROAD BRAMPTON, ON L6X 0A6	
STAGE COFA	DRAWING NO. A6-07

No.	Description	Date
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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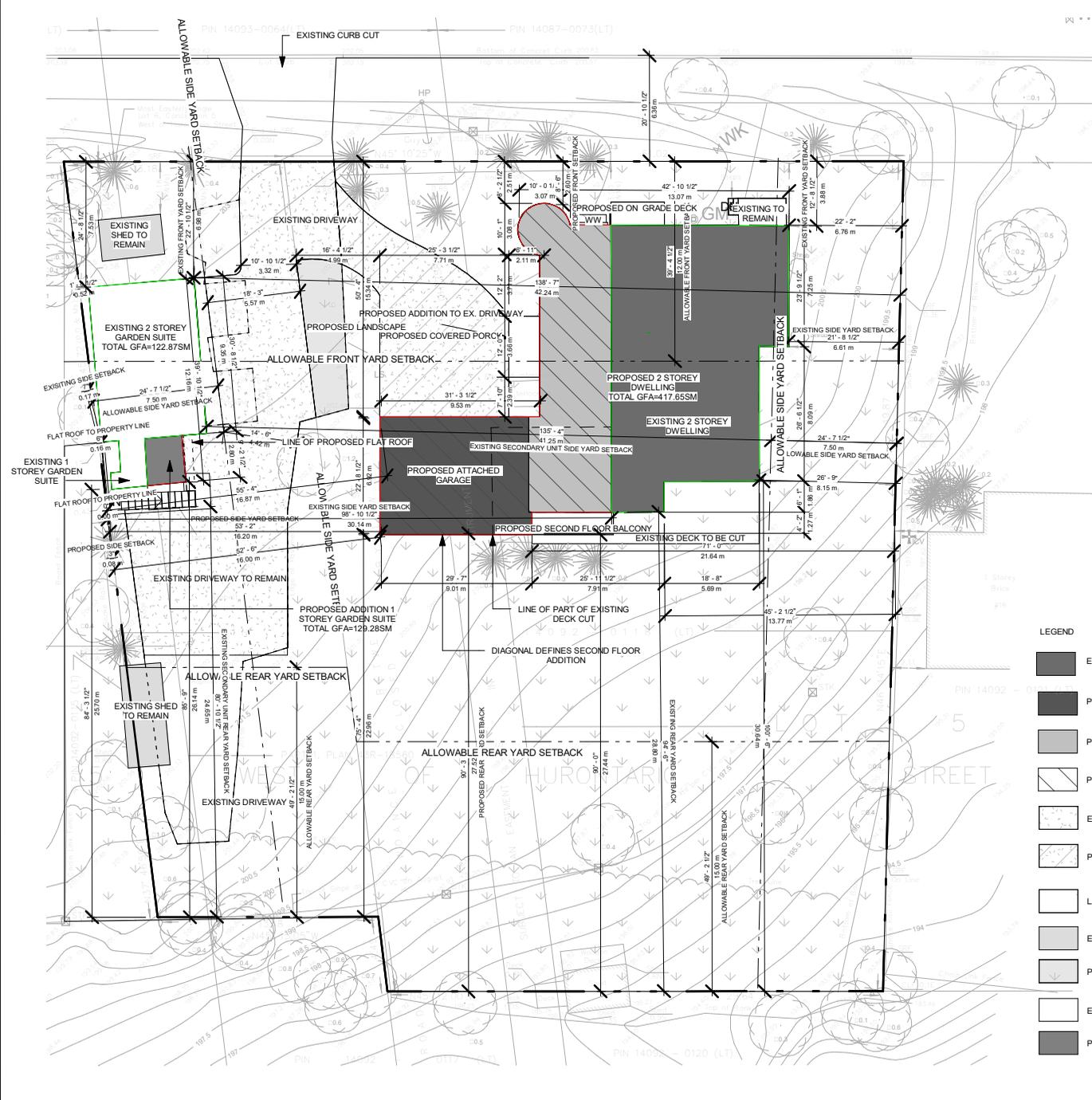
EXISTING SECONDARY UNIT LEFT ELEVATION			
PROJECT NUMBER	200155	DRAWING STATUS	
DATE	04/17/24	ISSUED FOR PUBLIC NOTICE	
DRAWN	CD		
CHECKED	SA	SCALE 1/8" = 1'-0"	REVISION 01

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FOUNDATION AND FOOTING SHOWN AS DOTTED

14 RIVER ROAD BRAMPTON, ON L6X 0A6		No.	Description	Date	ARCHITECTS QBS ARCHITECTS INC. TORONTO - CANADA info@qbsarchitects.com		EXISTING SECONDARY UNIT RIGHT ELEVATION			
STAGE	DRAWING NO.						PROJECT NUMBER	200155	DRAWING STATUS	
COFA	A6-08						DATE	04/17/24	ISSUED FOR PUBLIC NOTICE	
		018	ISSUED FOR PUBLIC NOTICE	2024-04-26			DRAWN	CD	CHECKED	SA



ZONING INFO.

ZONING INFORMATION FOR (14 RIVER ROAD) BY-LAW 204-2010					
ZONING: RHm1 (RESIDENTIAL HAMLET ONE)					
MIN LOT AREA	4000 m ²	43055.64 SF			
MIN LOT WIDTH	45 m	147.638 FT			
LOT AREA	2259.38 m ²	24320 SF			
PROPOSED DWELLING INFORMATION					
EX GROUND FLOOR	154.61 m ²	1664.20 SF			
GROUND FLOOR ADDITION	82.62 m ²	889.32 SF			
EX SECOND FLOOR	63.86 m ²	687.43 SF			
SECOND FLOOR ADDITION	116.56 m ²	1254.60 SF			
PROP. GFA	417.65 m ²	4495.54 SF			
PROP DWELLING UNIT COVERAGE	300.59 m ²	3236 SF			
SETBACKS	EXISTING	ALLOWABLE	PROPOSED		
	(m)	(ft)	(m) (ft)	(m)	(ft)
FRONT:	3.88	12.72	12.00 39.37	2.60	8.53
REAR:	28.80	94.48	15.00 49.21	27.52	90.28
SIDE (RIGHT):	6.61	21.68	7.50 24.60	16.20	EXISTING TO REMAIN
SIDE(LEFT):	30.14	98.88	7.50 24.60	16.20	53.14
BUILDING HEIGHT:	7.21	23.65	10.60 34.77	8.13	26.67

EXISTING GARDEN SUITE INFORMATION			
PROP. LEGAL GARDEN SUITE GROUND FLOOR AREA	70.36 m ²	757.38 SF	
PROP LEGAL GARDEN SUITE SECOND FLOOR AREA	58.92 m ²	634.22 SF	
TOTAL: 2	129.28 m ²	1391.60 SF	
PROP. GARDEN SUITE COVERAGE	70.36/2259.38 = 3.11%	70.36 m ²	757 SF
SETBACKS	EXISTING	PROPOSED	
	(m)	(ft)	(m) (ft)
FRONT:	6.98	22.90	EXISTING TO REMAIN
REAR:	24.65	80.87	EXISTING TO REMAIN
SIDE (RIGHT):	0.17	0.55	EXISTING TO REMAIN
SIDE(LEFT):	41.25	135.33	EXISTING TO REMAIN
BUILDING HEIGHT:			EXISTING TO REMAIN

14 RIVER ROAD
BRAMPTON, ON L6X 0A6

STAGE: **COFA**
DRAWING NO.: **A0-03**

No.	Description	Date
020	ISSUED FOR ZONING	2024-07-23
019	ISSUED FOR CONSULTANTS	2024-05-06
018	ISSUED FOR PUBLIC NOTICE	2024-04-26

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SITE PLAN			
PROJECT NUMBER	200155	DRAWING STATUS	ISSUED FOR ZONING
DATE	11/03/23		
DRAWN	PP		
CHECKED	SA	SCALE As indicated	REVISION 01

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