

FINAL REPORT:

Scoped Heritage Impact Assessment

8990 McLaughlin Road South, City of Brampton,
Ontario



**LHC Heritage
Planning &
Archaeology Inc.**

Kingston | Toronto | Ottawa

837 Princess Street, Suite 400
Kingston, ON
K7L 1G8

Phone: 613-507-7817
Toll Free: 1-833-210-7817
E-mail: info@lhcheritage.com
www.lhcheritage.com

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Project # LHC0443

LHC

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Report prepared for: Kaushal Patel
New Facilities Development Services
2 Wellington Street West
City of Brampton, Ontario
L6Y 4R2

Report prepared by: Ben Daub, MA (Plan), CAHP Intern

Graphics prepared by: Jordan Greene, BA

Reviewed by: Christienne Uchiyama, MA, CAHP
Benjamin Holthof, MPI, MMA, MCIP, RPP, CAHP

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REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A Qualifications.

All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not a structural engineering assessment of the buildings unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.

The purpose of this report is to assess different options for the retention of heritage attributes for the building on the Property. This assessment uses previous heritage building assessment reports, designated substance reports, and heritage impact assessments to frame possible options. The authors are fully aware that there may be additional information that has not been included. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 30 April 2024 by the Public Works and Engineering Department at the City of Brampton (the '**Owner**') to prepare a Scoped Heritage Impact Assessment (**Scoped HIA**) for the former Ontario Provincial Police Administration building (the '**Property**') located at 8990 McLaughlin Road South in the City of Brampton, Ontario (the '**City**').

The Property is currently designated under Section 29, Part IV of the *Ontario Heritage Act (OHA)* under City of Brampton by-law 57-2006. A motion and resolution to de-designate the Property to allow for the demolition of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre. At the time of writing, the building remains designated under Section 29, Part IV of the *OHA*. This Scoped HIA considered the following options to retain heritage attributes to the greatest extent possible:

- Option 1. Retention *in situ* and reuse;
- Option 2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade;
- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby;
- Option 4. Retention of central section of north façade, lobby, and rotunda;
- Option 5. Façade retention of only the building's primary, north elevation;
- Option 6. Façade retention of only part of the building's primary, north elevation;
- Option 7. Demolition, salvage, and reintegration into new development; and,
- Option 8. Demolition, commemoration, and interpretation.

The preferred option from a heritage conservation perspective is Option 2, retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade. This option is preferred because it allows for the retention of the highest number of heritage attributes and presents an opportunity for the salvage and reuse of materials from other areas of the building for selected repair/replacement. Since this option retains many of the building on the Property's heritage attributes, direction for refurbishing, maintaining, repairing, and replacing materials is provided in Table 4 of this report. This table identifies recommendations from ERA

Architects Inc.'s *Heritage Building Assessment Report* and includes supplemental direction from Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

In the event that retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade are not possible within the development of the Brampton Arts and Culture Centre, the following options should be pursued –in order of preference:

- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby
- Option 4. Retention of central section of north façade, lobby, and rotunda
- Option 5. Façade retention of only the building's primary, north elevation
- Option 6. Façade retention of only part of the building's primary, north elevation
- Option 7. Demolition, salvage, and reintegration into new development

Option 8, demolition, commemoration, and interpretation should only be considered as an option of last resort if all other options are demonstrated not to be viable.

The following mitigation measures are recommended to be implemented (as relevant) regardless of the option chosen by the City:

- As design of the Brampton Arts and Culture Centre progresses, the project team should consider the relevant Standards outlined in Section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4. The design should also be informed by the existing building. Design elements such as the pattern and colour palette of the terrazzo floor in the building's lobby and hallway, polished chrome air vent grilles, polished chrome handrails and door hardware, and acoustic ceiling tiles in the rotunda, should all be considered for reincorporation or to guide the design of the forthcoming development.
- A Conservation Plan/Heritage Building Protection Plan is recommended to be prepared by a qualified heritage professional to guide any retention in situ of portions of the building and their re-integration into a new development.
- Prior to any changes to the building, a Salvage and Documentation Plan is recommended to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse.
- Regardless of the option selected, a Commemoration and Interpretation Plan is recommended to be prepared for the new development. It is recommended that the Commemoration Strategy make use of salvaged materials.

An addendum to this Scoped HIA will be required once a proposed development for the Property has been prepared.

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1. BACKGROUND AND INTRODUCTION TO THE SUBJECT PROPERTY

1.1 Background

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 30 April 2024 by the Public Works and Engineering Department at the City of Brampton (the '**Owner**') to prepare a Scoped Heritage Impact Assessment (**Scoped HIA**) for the former Ontario Provincial Police Administration building (the '**Property**') located at 8990 McLaughlin Road South in the City of Brampton, Ontario (the '**City**').

The Property is currently designated under Section 29, Part IV of the *OHA* under City of Brampton by-law 57-2006. A motion and resolution to de-designate the Property to allow for the demolition of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre. At the time of writing, the building remains designated under Section 29, Part IV of the *OHA*.

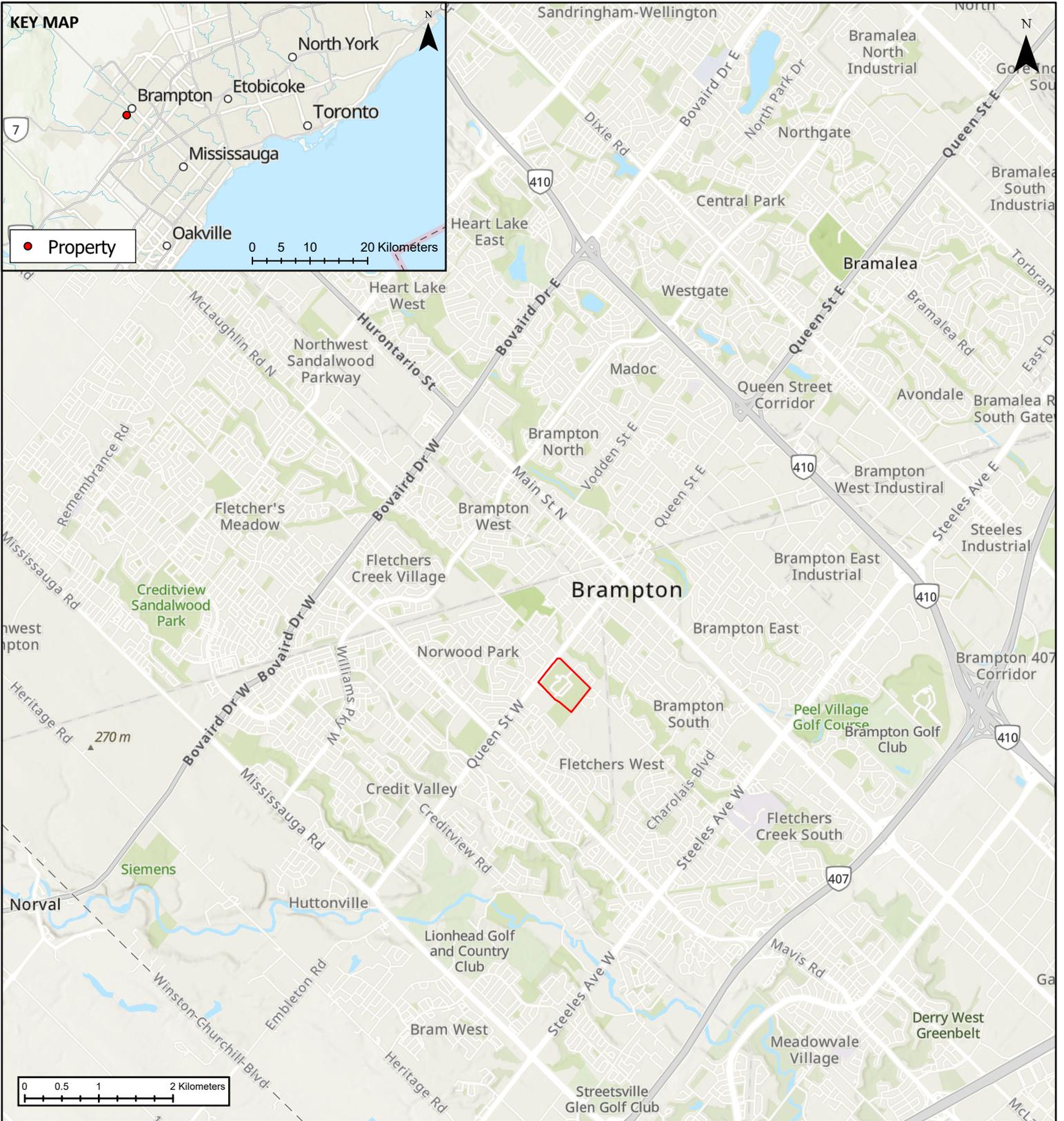
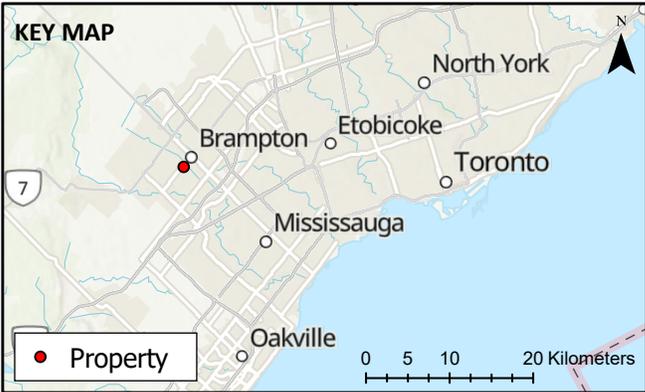
To support the preparation of this Scoped HIA, City staff provided a scoped version of the City's *Heritage Impact Assessment Terms of Reference*. City staff also provided the City's '*Heritage Report: Statement of Reason for Heritage Designation*' prepared in January 2006 and a '*Heritage Building Assessment Report*' prepared by ERA Architects Inc. in February 2024. Using these documents, as well as several others found in the public domain, this Scoped HIA evaluates the advantages and disadvantages of proposed mitigation measures/options for the Property and identifies salvageable materials that can be used as part of the Brampton Arts and Culture Centre or for other future development.

1.2 Property Location

The Property is located to the south of the intersection of McLaughlin Road North/McLaughlin Road South and Queen Street West (Figure 1 and Figure 2). The Property is legally described as Part of Lots 4 and 5, Concession 2 WHS, designated as Parts 1,2,3 and 4 on Plan 43R-23285.

1.3 Property Heritage Status

The Property is designated under Section 29, Part IV of the *OHA* under City of Brampton by-law 57-2006.



Legend

 Property

NOTE(S) 1. All locations are approximate.
 REFERENCE(S) 1. Esri, NASA, NGA, USGS, FEMA, Esri, CGIAR, USGS, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, NRCan, Parks Canada, City of Toronto, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, FAO, METI/NASA, USGS, EPA, NPS, NRCan, Parks Canada
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TITLE
 Location of the Property

CLIENT
 City of Brampton

PROJECT
 Scoped Heritage Impact Assessment
 8990 McLaughlin Road South, City of Brampton, Ontario

PROJECT NO. LHC0443



YYYY-MM-DD

5/30/2024

FIGURE #

1



Legend

- Property
- 8990 McLaughlin Rd S, Building Footprint

TITLE
Current Conditions of the Property

CLIENT
City of Brampton

PROJECT
Scoped Heritage Impact Assessment
8990 McLaughlin Road South, City of Brampton, Ontario

PROJECT NO. LHC0443

NOTE(S) 1. All locations are approximate.
 REFERENCE(S) 1. Peel Region, Town of Oakville, Maxar
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YYYY-MM-DD

5/30/2024

FIGURE #

2

2 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning, and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (S&Gs) and the MCM's *Ontario Heritage Tool Kit*.¹ Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation and evaluation—when necessary.
- Understanding the setting, context and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

2.1 City of Brampton Scoped Heritage Impact Assessment Terms of Reference

This Scoped HIA has been completed using a scoped version of the *City's Heritage Impact Assessment Terms of Reference*. The requirements of this Scoped HIA are included in Appendix C.

2.2 Legislation and Policy Review

This Scoped HIA includes a review of provincial and municipal policy that is directly related to the Property. The legislation and policy review also identifies city council decisions regarding the future use of the Property.

2.3 Site Visit

A site visit was conducted on 9 May 2024 by Principal and Manager of Heritage Consulting Services Christienne Uchiyama and Heritage Planner Ben Daub. Access to the Property was granted by the Owner. The purpose of this site visit was to document and gain an understanding of the Property and its surrounding context. Unless otherwise attributed all photographs in this Scoped HIA were taken during the site visit. A selection of photographs from the site visit that document the Property are included in Section 5.

2.4 Impact Assessment

The impact assessment considers the proposed site alteration in relation to the heritage resource and identifies possible impacts. The *City's Heritage Impact Assessment Terms of*

¹ Canada's Historic Places. "Standards and Guidelines for the Conservation of Historic Places in Canada." 2010. Accessed 19 December 2023. <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>. 3; and Ministry of Citizenship and Multiculturalism. "Heritage Property Evaluation." Ontario Heritage Tool Kit." 2006. Accessed 19 December 2023. <https://www.publications.gov.on.ca/heritage-property-evaluation-a-guide-to-listing-researching-and-evaluating-cultural-heritage-property-in-ontario-communities>. 18.

Reference identifies seven potential negative impacts to be considered with any proposed development or site alteration – in line with those identified in the Ministry of Citizenship and Multiculturalism’s *Info Sheet #5 Heritage Impact Assessments and Conservation Plans*.

Per the Scoped HIA requirements prepared for this project, the Scoped HIA focuses on the following impacts:

- **Destruction** of any part of any significant heritage attribute or features;
- **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship; and,
- **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features.

3 POLICY AND LEGISLATION CONTEXT

3.1 Ontario Heritage Act, R.S.O 1990, c. O.18

The *Ontario Heritage Act, R.S.O. 1990, c O.18* (*Ontario Heritage Act* or *OHA*) enables the provincial government and municipalities powers to conserve, protect, and preserve the heritage of Ontario.² The *OHA* (consolidated on 4 December 2023) and associated regulations establish the protection of cultural heritage resources as a key consideration in the land-use planning process, set minimum standards for the evaluation of heritage resources in the province, and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest. Individual heritage properties are designated by municipalities under Part IV, Section 29 of the *OHA*. Generally, an *OHA* designation applies to real property rather than individual structures.³

Under Section 31 of the *OHA*, municipal council may repeal a designation by-law (de-designate) for a property designated under Section 29, Part IV of the *OHA*.

Section 33 (1) of the *OHA* prohibits the owner of a property designated under Section 29, Part IV of the *OHA* from altering, or permitting the alteration of, the property if the alterations is likely to affect heritage attributes unless the owner applies to municipal council and receives written consent. Section 34 (1) of the *OHA* prohibits the owner of a property designated under Section 29, Part IV of the *OHA* from demolishing or removing, or permitting the demolition or removal of, any of the property's heritage attributes. Section 34 (1) also prohibits the removal of a building or structure on a property designated under Section 29, Part IV of the *OHA* regardless of the removal's impact to any of the property's heritage attributes. A property owner must apply and receive consent from council before any demolition or removal.

² Since 1975 the Ontario ministry responsible for culture and heritage has included several different portfolios and had several different names and may be referred to by any of these names or acronyms based on them:

- Ministry of Culture and Recreation (1975-1982),
- Ministry of Citizenship and Culture (1982-1987),
- Ministry of Culture and Communications (1987-1993),
- Ministry of Culture, Tourism and Recreation (1993-1995),
- Ministry of Citizenship, Culture and Recreation (1995-2001),
- Ministry of Tourism, Culture and Recreation (2001-2002),
- Ministry of Culture (2002-2010),
- Ministry of Tourism, Culture and Sport (2011-2019),
- Ministry of Heritage, Sport, Tourism and Culture Industries (2019-2022),
- Ministry of Tourism, Culture and Sport (2022),
- Ministry of Citizenship and Multiculturalism (2022-present).

³ Province of Ontario. "Ontario Heritage Act R.S.O. 1990, c. O. 18." Last Modified 4 December 2023. Accessed 6 May 2024. <https://www.ontario.ca/laws/statute/90o18>.

3.2 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 through By-law 20-2022 and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022.

The *ROP's* purpose is to guide land use planning policies and “provide a holistic approach to planning through an overarching sustainable development framework that integrates environmental, social, economic and cultural imperatives.”⁴ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities. Section 3.6 of the *ROP* establishes policies surrounding the identification and management of cultural heritage resources, the lower tier municipalities’ ability to require a HIA when an infrastructure project is proposed, and the requirement of lower tier municipalities to adopt official plan policies requiring sufficient documentation for projects affecting cultural heritage resources.⁵

3.3 Brampton Plan: Your Vision Our Future (2023)

The *Brampton Plan: Our Vision Your Future (BP)* was adopted by City Council on 1 November 2023 under By-law 195-2023 and is currently pending approval from the Region of Peel. The *BP* will guide growth and development in the City until 2051. Policies pertaining to cultural heritage are in Section 3.6.3 of the *BP*. The following policies are identified:

3.6.3.5 Retention, integration, and adaptive reuse of heritage resources will be the overriding objectives in cultural heritage resource planning while insensitive alteration, removal and demolition will be avoided.

3.6.3.6 Cultural heritage conservation is a form of environmental sustainability, and the City encourages conservation, adaptive reuse, material salvage, and repurposing as contributing toward climate change mitigation.

3.6.3.25 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment, the Ontario Heritage Toolkit, applicable City Property Standards By-laws, other recognized heritage protocols and standards, and any recommendations within an approved Heritage Building Protection Plan or Heritage Conservation Plan.⁶

⁴ Region of Peel. “*Region of Peel Official Plan*,” Last modified 4 November 2022. Accessed 20 November 2023. https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

⁵ Region of Peel. “Region of Peel Official Plan.”

⁶ City of Brampton. “Brampton Plan: Our Vision Your Future.” Last Consolidated 2022. Accessed 6 May 2024.

This Scoped HIA has been prepared in accordance with these three policies. Mitigation measures and options, as well as the identification of salvageable materials, have been prepared to help mitigate the effects of forthcoming development on the cultural heritage value or interest of the Property.

3.4 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020. Policies pertaining to cultural heritage are in Section 4.10 of the *OP*. Section 4.10.1 includes the following policies regarding built heritage:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.8.3 City-owned heritage resources shall be integrated into the community and put to adaptive reuse, where feasible.

4.10.8.5 When the potential re-use or a change in function of a City-owned heritage resource is being contemplated, the potential adverse impacts to the heritage attributes and significance shall be carefully considered and mitigated.⁷

This Scoped HIA has been prepared in accordance with these policies. Mitigation measures and options, as well as the identification of salvageable materials, have been prepared to help

<https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA7%20Downtown%20Brampton.pdf>. 3-148; 3-152.

⁷ City of Brampton. "City of Brampton Official Plan." Last Consolidated September 2020. Accessed 6 May 2024. https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf. 4.10-3; 4.10-12.

mitigate the effects of forthcoming development on the cultural heritage value or interest of the Property.

3.5 City of Brampton Culture Master Plan (2018)

The *City of Brampton Culture Master Plan (CMP)* was adopted by City Council in 2018 for the purposes of strengthening the City's arts and culture sector to help improve the quality of life for inhabitants and support economic development. The *CMP* identifies goals, themes, and strategies/actions to support growth of the arts and culture sector. Relevant strategies and actions include:

Space, Strategy 3: Explore new opportunities to adaptively reuse City-owned spaces for cultural purposes and identify spaces to be leveraged for the co-location of stakeholders and multi-purposes use (i.e. performance, display, rehearsal, administrative). Identify appropriate operating models and develop formal management agreements. Consider the repositioning of the Bramalea Civic Centre as a cultural hub.⁸

3.6 City of Brampton: Budget Committee Decision Regarding the Former Ontario Provincial Police Administration Building

On 27 February 2023, the City's Budget Committee resolved that the City de-designate the former Ontario Provincial Police Administration Building at 8990 McLaughlin Road South to allow for the demolition of the building while retaining heritage attributes to the greatest extent possible. The resolution stated:

Whereas Brampton City Council recognizes the benefits of Arts and Culture to the City of Brampton and the valuable contributions of the local creative community;

Whereas Council approved the City's first Culture Master Plan in 2018, which identified a critical need to expand spaces for Creative Production and Presentation in Brampton;

Whereas staff were directed to identify municipally-owned properties to expand dedicated cultural space in the City;

Whereas the heritage-designated former OPP Administration building at Flower City Community campus, with a civic address of 8990 McLaughlin Road, Brampton, Ontario, is beyond the reasonable state of repair and not economical to remediate;

Whereas the boarded building referenced above is impacted by mold, asbestos and other hazardous substances, and was estimated in 2020 to require a minimum of \$1,000,000 to establish safe access to the facility;

⁸ City of Brampton. "Culture Master Plan." Dated June 2018. Accessed 30 May 2024. <https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Services/documents/cultural-master-plan/city%20of%20brampton%20-final%20culture%20master%20plan.pdf>. 33.

Therefore, Be It Resolved That:

1. The City de-designate the heritage property located at 8990 McLaughlin Road, Brampton, Ontario, to allow for demolition of the existing heritage building while retaining heritage elements to the greatest extent possible;
2. That a new capital project be included in the 2023 Capital Budget in the amount of \$2,600,000 for the demolition of the building identified above and the design of an Arts and Culture Centre, including accommodations for community space, to be funded from Reserve #4 – Repair and Replacement;
3. That Capital Project #236811-001 - Brampton Arts and Culture Hub Feasibility Study currently included in the Proposed 2023 Capital Budget in the amount of \$60,000 with funding from Reserve #4 – Repair and Replacement, be removed;
4. Council delegate authority to the CAO or his designate to expedite the actions necessary to prepare the site, issue an RFP to solicit consulting services and evaluate the needs of the arts and cultural sectors in the community and determine the size, scope and funding strategy for a purpose-built Arts & Culture Centre, including accommodations for community space, at 8990 McLaughlin Road, Brampton.⁹

⁹ City of Brampton Budget Committee. “Minutes, Budget Committee, The Corporation of the City of Brampton.” Dated 27 February 2023. Accessed 6 May 2024. <https://pub-brampton.escribemeetings.com/Meeting.aspx?Id=8c0f8096-9093-4217-9a43-ad12ac6dc563&Agenda=PostMinutes&lang=English>.

4 FINDINGS FROM PREVIOUS RELEVANT REPORTS

4.1 City of Brampton Heritage Designation Report (2006)

A *Heritage Report: Statement of Reason for Heritage Designation (Heritage Report)* dated 10 January 2006 was prepared by Jim Leonard of the City's Planning, Design and Development Department. This report included a Statement of Reason for Heritage Designation, Description of Cultural Heritage Attributes, Heritage Evaluation Note, Alterations and Physical Integrity Note, Rarity Note, and Recommendations.¹⁰

4.1.1 Statement of Reason for Heritage Designation

The first section of the *Heritage Report* is the statement of reason for heritage designation. This section of the *Heritage Report* forms the statement regarding the reason for designation of the Property and heritage attributes as adopted under City of Brampton By-law 57-2006 (see Section 6).

4.1.2 Description of Heritage Attributes

The second section of the *Heritage Report* details the Property's cultural heritage attributes connected with its design value or physical value, historical value, and contextual value. The attributes described in this section generally match those from section 1 of the *Heritage Report*. This section provides additional justification for the inclusion of each heritage attribute.

Section 2.1 describes the building's Modern Classicism design. It suggests that the Modern Classicism style was favoured by all levels of government around the Great Depression era because it allowed for a balance of modern aesthetics, frugality, and tradition. It further identifies architectural details common of the Modern Classicism style, including symmetrical, rectangular massing; incorporation of pilasters, entablatures, columns, and plinths; brick and ashlar exterior walls; and the presence of towers or rotundas. Architectural characteristics of the Art Deco and Art Moderne styles is also provided, including a stepped or setback massing; flat, uninterrupted roofline; steel industrial windows (that can wrap around corners); glass block windows; and use of relief panels. Using these descriptions, the following list of attributes was generated:

- Stepped-back profile to main façade;
- symmetrical, rectangular massing;
- footprint of building on diagonal facing street corner;

¹⁰ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." Dated 10 January 2006. Provided by the Owner.

- flat roof punctuated only by large, central rotunda;
- central pavilion where the main entrance and rotunda is situated;
- abstracted fluted pilasters flank a slightly recessed entrance;
- large, square transom topping double leaf wooden doors;
- slender fixed windows on either side of the doorway provide additional light into interior vestibule;
- Coat of Arms of the Province of Ontario rendered in cast concrete;
- pavilion section capped with two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory);
- cut stone knee wall, with gently angled Rama limestone coping and U-shaped stone drainage spout on each side of wall, plus coursed Rama ashlar stone dressing throughout;
- basement windows with metal railings;
- Unadorned metal "industrial" casement windows in steel framing, including some corner windows;
- masonry walls laid in Fleming bond;
- coursed ashlar stone water table around entire building; plain stone cornice capping the roofline;
- glass block window at rear;
- rear basement window wells with metal railings.¹¹

Section 2.1 also identifies internal attributes characteristic of the Art Deco and Art Moderns architectural styles, including:

- metal staircase railings in main entrance vestibule;
- double leaf glass doors in vestibule and lobby area;
- air vents covered with decorative chrome grilles;
- emerald green, burgundy red and speckled beige terrazzo flooring;

¹¹ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 5-6.

- terrazzo follows simple geometric motif of uniformly intersecting lines and circles through lobby and main hallways;
- red terrazzo serves as baseboard through lobby;
- terrazzo baseboard in hallways gently curve up from floor;
- stone dado and some sections of lobby walls dressed in polished marble;
- interior doors with large transoms, stone surrounds;
- all interior door surrounds are terrazzo and repeat green and red colour scheme;
- all interior doors in lobby area that retain original hardware;
- two storey rotunda lit with glass block windows (clerestory);
- rotunda ceiling with what appears to be applied acoustical tiles with repeating geometric motif of diamond lozenges and squares arranged in a tight grid pattern;
- walls of rotunda which appear to retain original sea foam green paint colour;
- frieze band of repeating scalloped stone blocks delineate the bottom edges of rotunda ceiling;
- scalloped stone pattern under sill of lobby reception wickets and in the horizontal section of main door architrave leading into vestibule;
- metal "industrial" windows and window hardware;
- all curved metal handrails on staircases, all glass block walls and windows.¹²

Section 2.2 describes the building's historical value, discussing its links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School", and Canada's participation in the Second World War. This section also recognizes the building's architect, James Henry Craig, who was known for his use of the Art Moderne, International, and Georgian/Colonial Revival architectural styles. No specific, tangible components of the building are identified as attributes within this section.

Section 2.3 describes the building's contextual value, articulating that the building has constantly been the focal point of the 300-acre property. The following contextual attributes are defined:

- The original site plan provided a long sweeping setback;

¹² City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 11.

- building, with its narrow, rectangular, stepped-back profile was set on a diagonal facing corner of Queen Street and McLaughlin Road;
- access to building was up a long, tree-lined laneway intersecting with a circular driveway in front of building - forming a "Grand Avenue";
- remnants of stone bases for light standards are still present on the front façade.¹³

Section 1 of the Heritage Report and the Property's designation by-law do not include an identical list of heritage attributes to this section.

4.1.3 Heritage Evaluation Note

The third section of the *Heritage Report* comments on previous assessments for cultural heritage value or interest that have been prepared for the Property. It reports that the Property was assessed in 2001 by Unterman-McPhail Associates and in 2004 by City staff. Both reports determined the Property to be a 'Class A' resource worthy of heritage designation.

4.1.4 Alterations and Physical Integrity Note

The fourth section of the *Heritage Report* comments on the building on the Property's integrity. It was found that the building is well preserved overall. It is reported that the:

[V]estibule, lobby, rotunda and main hallways retain virtually all Art Moderne decorative elements; upper walls of rotunda appear to retain an original or early 'sea foam' green paint colour scheme; glass block windows, industrial metal windows and related hardware are intact and in good working order.¹⁴

It was also reported that the basement has flooded, leading to mould growth; several windows have been damaged; masonry and stone required repointing and repair; and external lights have been removed from the Property and building.

4.1.5 Rarity Note

The fifth section of the *Heritage Report* comments on the building on the Property's rarity. It identifies that the building on the Property is "...the only academically pure example of Modern Classicism in the City"¹⁵ and one of few buildings designed in a modernist architectural style. It further describes that the building on the Property has one of the better-preserved Art Deco interiors in the Greater Toronto Area.

¹³ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 22.

¹⁴ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 23.

¹⁵ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 24.

4.2 ERA Architects Inc. Heritage Building Assessment Report (2024)

ERA Architects Inc. prepared a *Heritage Building Assessment Report* that focused on the building on the Property's heritage attributes, as identified in City of Brampton by-law 57-2006. In their assessment, they used the following description of observed conditions:

- **Good:** functioning as intended, normal deterioration observed, no maintenance anticipated within the next 5 years.
- **Fair:** functioning as intended, moderate deterioration observed, maintenance will be required within the next 5 years.
- **Poor:** not functioning as intended, deterioration and distress observed, maintenance and some repairs required in the next 1 or 2 years.
- **Defective:** not functioning as intended; significant deterioration and major distress observed, with possible damage to support structure; may present a risk, must be dealt with promptly.¹⁶

These descriptions were applied to the building on the Property's stone, brick, doors, glass block windows, and steel windows on its external elevations and its glass block partitions, paint, plaster, ceiling, metalwork, terrazzo floor, and terrazzo wall elements within the building. A description of the condition of these attributes, as well as their condition, required level of intervention, and a description of the required remediation measures, are presented in Table 1. These descriptions are in verbatim from ERA Architects Inc.'s report.

¹⁶ ERA Architects Inc. "Heritage Building Assessment Report." Dated 3 May 2024. Provided by the Owner. 11.

Table 1: ERA Architects Inc. Condition Assessment¹⁷

Heritage Attribute	Description of Attribute Condition	Conditions	Level of Intervention	Description of Required Remediation Measures
Stone	<p>The exterior stone elements, including the parapet copings, door surrounds, window sills, and base banding, were found in poor condition with varying levels of discolouration and detachment.</p> <p>Throughout the stone base, significant delamination was observed on the upper banding where the bedding layers of the stone were exposed on the ledge. As a result, the upper courses of stone have visible cracks and spalled faces. Efflorescence, organic growth and carbon staining were observed throughout.</p> <p>The stone copings and window sills were exposed without cap flashings. Discolouration was observed in moist areas that are not protected from water runoff. Rust stains were located near the railings at the east porch and at the basement windows. Graffiti was observed on the north and south walls.</p> <p>The north porch had stone steps and a knee wall with discolouration, cracks and detached units.</p>	Poor	High	Extensive repairs and replacement
Brick	<p>The exterior brick wall was found in fair condition, with varying levels of discolouration, cracks, and detachment.</p> <p>Black stains and hairline cracks were observed on the bricks located below the stone window sills. The sills were flushed with the adjacent bricks and included a curved metal drip edge below. The sill detail did not provide an effective way to shed water, given the condition of the bricks at these locations.</p> <p>Stains were evident around the rusting elements, including the window grates on the south wall.</p> <p>Efflorescence was also observed near the parapet.</p> <p>Spalling bricks were observed near the stone copings and window sills, where the fireskin of the brick has spalled off.</p>	Fair	Medium	Selective repairs and replacement
Doors	<p>The main door was in poor condition. It was difficult to operate, had alignment issues, broken glass and rusting hinges. On the exterior, the door pulls were missing, and new locks were installed. On the interior, the door handles remain, and new top strike locks were installed. The perimeter weather sealing systems, including the gaskets around the jambs and the door thresholds were deformed. The door transoms had missing glass panes. The paint around the door was peeling.</p>	Poor	High	Extensive repairs and replacement
Steel Windows	<p>In the rotunda, the clerestory glass block windows were found in poor condition. Two were defective, with only one row of glass block remaining. On the south wall, there was a clerestory glass block window above an exit door opening. This was found defective and had six missing units.</p>	Poor	High	Extensive repairs and replacement
Glass Block Windows	<p>The steel windows were found in poor condition. There were missing sashes, missing and broken panes, as well as deteriorated glazing putty. Paint was peeling on the frames, and the sealant around the windows were mostly missing. The window hardware was rusting or painted shut. In the rotunda, there was two clerestory steel windows with no glass panes.</p> <p>Previous modifications were found, especially at the rear. Some were infilled with brick, converted into doors, or modified to incorporate mechanical vents or fans.</p>	Poor	High	Extensive repairs and replacement

¹⁷ ERA Architects Inc. "Heritage Building Assessment Report." Dated 3 May 2024. Provided by the Owner. 15-29.

Heritage Attribute	Description of Attribute Condition	Conditions	Level of Intervention	Description of Required Remediation Measures
Glass Block Partitions	Glass block partitions were found in the hallways, and were in fair condition, with minor deterioration. There were scratches, adhesive residue and missing units.	Fair	Medium	Selective repairs and replacement
Paint	The paint was in defective condition. In the rotunda, almost the entire painted surface was already peeling. The outermost paint film already separated from the previous coat.	Defective	High	Full replacement
Plaster	The plaster was in defective condition. Detachment, cracks, disintegration were observed. Large sections of plaster were missing on areas in the south vestibule, washrooms, and in some areas around the windows.	Defective	High	Full replacement
Ceiling	The acoustical ceiling tiles in the north vestibule and rotunda were found to be intact and in fair condition. Only a few tiles were missing. The acoustical ceiling tiles were rendered in burgundy and had repeating geometric motifs of diamond lozenges and squares. ERA did not provide a close inspection and could not describe their surface conditions. While the acoustical ceiling tiles appeared intact, they were previously identified to contain asbestos.	Fair	Medium	Selective repairs and replacement
Metalwork	The interior metal elements were mostly found in good condition, however, there were a few defective units. The polished chrome grilles in the rotunda and north vestibule were in good condition, however there were two defective units that were detached and deformed. The metal handrails in the north vestibule were in good condition. The door hardware, including the pulls and handles in the rotunda were in good condition, however, the hinges and kickplates were rusting.	Good	Low	Refurbish and maintain
Terrazzo Floor	The terrazzo flooring and baseboards in the rotunda and hallways, as well as the terrazzo stairs in the north vestibule, were found in fair condition. The terrazzo floor surface in the heritage building had a smooth and polished appearance and appeared cast-in-place. Terrazzo is a very durable material. Normal forms of deterioration would be limited to discolouration (staining or pigment fading) and some material loss (abrasion, chipping and cracks). At the time of review, the terrazzo floor surface was covered with debris. It was difficult to identify any surface deterioration. However, they appeared levelled and stable with only minor deterioration. In select locations, the emerald green and burgundy rendering can still be clearly distinguished.	Fair	Medium	Selective repairs and replacement
Terrazzo Wall Elements	The terrazzo wall trims and panels were mostly found in the rotunda and were in fair condition. These include the beige-speckled wainscoting, the emerald green and burgundy door trims, and window trims. However, those on the east, west and south walls exhibited cracks and water damage. Above these walls, there were unprotected clerestory steel windows.	Fair	Medium	Selective repairs and replacement

4.2.1 OHE Consultants Hazardous Building Materials Survey (2020)

Section 2.1 of ERA Architects Inc. includes a brief review of OHE Consultants *Hazardous Building Materials Survey*. The following findings are presented:

- Asbestos-Containing Materials (“ACMs”) were identified in plaster and window putty and may be present in refractory materials. Overall, the ACMs were noted to be in good to poor condition.
- Lead-containing paint was identified at the heritage building and may be present in wiring connectors, electrical cable sheathing, and solder joints on copper piping. Lead may be present in ceramic building products like floor and wall tiles.
- Three mercury-containing thermostats were observed in the boiler room, and mercury was also present as a vapour and in the fluorescent light bulbs. It may be present in other electrical equipment.
- Silica may be present in materials like fillers for paints and mastic, and in bricks, ceramics, masonry, concrete and mortar.
- Fluorescent light fixtures were observed with manufacturing labels indicating “No PCBs”.
- Water damage and mould growth was observed on the walls and the ceilings throughout the Site and additional water damage and mould impacted materials are likely present in wall cavities, under flooring.
- Man-made mineral fibres were observed.
- Equipment containing ozone depleting substances and above ground/underground storage tanks were not observed. Urea formaldehyde foam insulation was not observed, however may be present in the wall cavities.¹⁸

4.2.2 GBCA Architects Existing Conditions Drawings (2005)

Section 2.2 of ERA Architects Inc. includes a brief review of GBCA’s *Existing Condition Drawings*. The following findings are presented:

¹⁸ OHE Consultants. “Hazardous Building Materials Survey.” as discussed in ERA Architects Inc. “Heritage Building Assessment Report.” Dated November 2020. Provided by the Owner. 9.

- various forms of masonry deterioration were identified, including the presence of water/moisture at the parapet and stone base, cracks below the window sills, incompatible brick repairs above the windows, and efflorescence and spalling.¹⁹

4.2.3 GBCA Architects Renovation Drawings (2006)

Section 2.3 of ERA Architects Inc. includes a brief review of GBCA's *Renovation Drawings* for the building on the Property. The following recommendations are presented:

- removing efflorescence/staining at various locations including the stone base and the facade;
- replacing and/or reinstate damaged stone units to match existing at areas of bulging/spalling;
- remove electrical fixture and patch masonry; rebuild the existing brick with salvaged or new brick units; and,
- cleaning rust stains.²⁰

4.3 ECOH Management Inc. Pre-Demolition Designated Substances and Hazardous Materials Survey (2023)

ECOH Management Inc. prepared a *Pre-Demolition Designated Substances and Hazardous Materials Survey*. The following substances were found in the building:

- Asbestos
 - Plaster observed on the walls and ceilings throughout the interior of the Project Area is confirmed to be asbestos-containing (0.5% Chrysotile) (friable) (approximately 20,000 SF).
 - Boiler Insulation observed on the Boiler within the Basement Boiler Room (Loc. 0-04) is confirmed to be asbestos-containing (60% Chrysotile) (friable) (approximately 15 SF).
 - Refractory brick within the interior of the Boiler within the Basement Boiler Room (Loc. 0-04) is presumed to be asbestos-containing (friable).

¹⁹ GBCA Architects. "Existing Condition Drawings." As discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated 2005. Provided by the Owner. 10.

²⁰ GBCA Architects. "Renovation Drawings." As discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated 2006. Provided by the Owner. 10.

- Off-white caulking observed on exterior windows throughout the Project Area is confirmed to be asbestos-containing (8% Chrysotile) (non-friable) (approximately 300 LF).
 - Grey putty observed on exterior windows throughout the Project Area is confirmed to be asbestos-containing (3% Chrysotile) (non-friable) (approximately 200 LF).
 - Bell and spigot joint packing throughout the Project Area is presumed to be asbestos-containing (non-friable) (approximately 165 units).
 - Roofing materials within the Project Area is presumed to be asbestos-containing (non-friable) (approximately 8000 SF).
 - Lead
 - Brown paint on door frames (>1.0 mg/cm²).
 - Grey paint on walls (>1.0 mg/cm²).
 - Red paint on handrails (>1.0 mg/cm²).
 - Red paint on the boiler in the Basement Boiler Room (Loc. 0-04) (>1.0 mg/cm²).
 - White paint on windows (>1.0 mg/cm²).
 - Ceramic tile (>1.0 mg/cm²).
 - Red paint on floors (3.0% wt).
 - Biocontamination Hazard
 - Animal droppings were observed throughout the Project Area. Contaminated surfaces include floors, within wall cavities, and other concealed locations.
 - Mould
 - Extensive mould was observed throughout the Project Area.
 - Polychlorinated Biphenyls
 - Approximately fifty (50) fluorescent light fixtures were observed within the Project Area. Two (2) light ballasts were previously inspected. These ballasts had labels stating to be manufactured by Ultra Miser and Advance Transformer Co. and do not contain PCBs.
 - Transformers were observed in the Project Area. Based upon transformer nameplates, it was determined that the transformers do not contain PCBs.
-

- Mercury
 - The presence of mercury within assembled units (e.g. thermostat bulbs and fluorescent light tubes) should not be considered a hazard provided that the assembled units remain sealed and intact. Avoid direct skin contact with mercury and avoid inhalation of mercury vapour. Dispose of mercury following applicable legislative requirements.
- Silica
 - Free crystalline silica, in the form of common construction sand, is present in all concrete and masonry products within the Project Area. Silica is also present within foam glass insulation.
- Ozone Depleting Substances
 - Ozone depleting substances are assumed to be present in all refrigeration/freezer units and cooling equipment throughout the Project Area.
- Other Designated Substances and Hazardous Materials
 - Other DSHM that were identified in insignificant quantities or forms, if at all, include the following; Acrylonitrile, Arsenic, Benzene, Coke Oven Emissions, Ethylene Oxide, Isocyanates, Radioactive materials, Urea Formaldehyde Foam Insulation (UFFI) and Vinyl Chloride Monomer.²¹

4.4 GBCA Architects Heritage Impact Assessment for 8950 McLaughlin Road South (2022)

GBCA prepared a *Heritage Impact Assessment* for the former Ontario Provincial Policy Administration Building on the Property in support of a site plan application for the property at 8950 McLaughlin Road South. The report reviewed the Property's historical and cultural and architectural background. The report discusses the Property's historic uses including its initial development and use as the 'Ontario Mental Tubercular Hospital', its use as the #24 Basic Training Centre for the Royal Canadian Army, its use as the Ontario Reformatory, Brampton/ Brampton Adult Training Centre, and its use as the Ontario Provincial Police Administration Building. The report then discusses the building on the Property's architectural value, citing it as a Modern Classicism structure.²²

²¹ ECOH Management Inc. "Pre-Demolition Designated Substances and Hazardous Materials Survey." Dated 24 July 2023. Provided by the Owner. i-iii.

²² GBCA Architects. "Heritage Impact Assessment for 8950 McLaughlin Road South". Dated 31 August 2022.

5 EXISTING CONDITIONS

5.1 Surrounding Context

The Property is located in the City of Brampton, in Peel County, in the Greater Toronto Region. The building on the Property is approximately 0.4 kilometres northwest of the Ontario Correctional Institute and 1.5 metres southwest of Brampton City Hall. The Property is east of the City of Brampton's downtown core and is south of the intersection of McLaughlin Road South and Queen Street West.

The area surrounding the Property is composed of a mix of land uses. To the northeast, Service Commercial (SC), Residential Holding (RH), Residential Single Detached B (R1B), and Residential Detached D (R1D) zones are present. To the northwest, Commercial 3 (C3) and Residential Single Detached B (R1B) zones are present. Buildings on the commercial properties to the northeast and northwest of the Property are generally one-storey in height and deeply setback from the street. Buildings are separated from the street by a concrete sidewalk, boulevard with manicured grass and mature deciduous and coniferous trees, and parking lots with asphalt surfaces. Buildings are typically rectangular in shape, have a flat roof, and are clad in brick, metal siding, stone veneer, or tile. To the southeast and southwest, several properties zoned Institutional 2 zone are present. Two schools, Queen Street Public School and Sir William Gage Middle School, and a prison, the Ontario Correctional Institute are in this area. Both schools are two storey and moderately setback from the street. They are separated by the street by a concrete sidewalk, boulevard with manicured grass and mature deciduous and coniferous trees, and parking lots/drop-off lanes with asphalt surfaces. The McCleave Forest Conservation Area is also located to the southwest of the Property and is zoned Institutional 2. It is a woodlot measuring approximately 275 metres by 275 metres that is densely populated with mature deciduous and coniferous trees.

The Property is bounded by McLaughlin Road South to the northeast, the Ontario Correctional Institute to the southeast, the McCleave Forest Conservation Area and Academic Drive to the southwest, and Queen Street West to the northwest.

McLaughlin Road South is approximately 195 metres northeast of the former Ontario Provincial Police Administration Building on the Property. It is a minor arterial road that extends between the City's northern border with the Town of Caledon and the City's southern border with the City of Mississauga. Near the Property, McLaughlin Road South has two northwest-bound and two southeast-bound lanes. At its intersection with Bufford Drive and Queen Street West, right-hand and left-hand turning lanes are present. The road has an asphalt driving surface. At its intersection with Bufford Drive, a narrow concrete median is present. A concrete curb, concrete sidewalk, and streetlight are present on the northeast side of the road. A narrow boulevard

with manicured grass is present to the southeast of McLaughlin Road South's intersection with Bufford Drive. The boulevard also continues approximately 50 metres to the northeast of this intersection. A concrete curb, asphalt strip, boulevard with manicured grass, concrete sidewalk and electrical poles are present on the southwest side of the road to the northwest of McLaughlin Road South's intersection with Bufford Drive. To the southeast of McLaughlin Road South's intersection with Bufford Drive, there is no sidewalk.

Academic Drive is approximately 195 metres northwest of the former Ontario Provincial Police Administration Building on the Property. It is a local road providing access between Queen Street West and the Property's driveway. Near the Property, Academic Drive has one northwest-bound and one southeast-bound lane. It has an asphalt driving surface, concrete curb, and concrete sidewalk on both sides. A narrow boulevard with manicured grass extends the length of the roads northeast side. A boulevard is also present on the southwest side of the road, but only for a stretch of approximately 110 metres along the southmost section of the road. Streetlights are on the southwest side of the road.

Queen Street West is approximately 155 metres northwest of the former Ontario Provincial Police Administration Building on the Property. It is a major arterial road that extends between the City's eastern border with the City of Vaughan and the City's western border with the Town of Halton Hills. Near the Property, Queen Street West has two northeast-bound lanes and two southwest-bound lanes. The road has an asphalt driving surface. At its intersections with McLaughlin Road North and Academic Drive, turning lanes are present and the road is divided by narrow concrete medians, concrete curbs, stamped concrete strip, and boulevard with manicured grass.

The Ontario Correctional Institute is a prison. It is on an approximately 110-acre parcel of land.

5.2 Adjacent Heritage Properties

The City's Municipal Register of Cultural Heritage Resources Designated Under the Ontario Heritage Act, Municipal Register of Cultural Heritage Resources, and Brampton Planning Viewer were reviewed for adjacent heritage properties.

The City's *Official Plan* does not define 'adjacent'. Accordingly, the definitions from the *PPS* and the *Region of Peel Official Plan* were used to inform the search. In the context of cultural heritage, the *PPS* defines 'adjacent as': "...lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan" and the *Region of Peel Official Plan* defines 'adjacent' as land "contiguous to a protected heritage property or as otherwise defined in a local municipal official plan." Using these definitions, no adjacent heritage properties are present.

5.3 The Property

The Property at 8990 McLaughlin Road South comprises a section of the property municipally known as the 'Flower City Community Campus' at 8850-8990 McLaughlin Road South. The 'Flower City Community Campus' is a rectangular lot with an approximate area of 26.0 hectares occupied by eight buildings, numerous outdoor sports facilities, open space, and numerous parking areas and driveways. Following buildings occupy the property:

- Former Ontario Provincial Police Administration Building (northmost building on the campus; see Section 5.3.1).
- Three sports administration buildings (middle of the campus).
- Lawn bowling facility (southwest-most building on the campus).
- Vehicle inspection facility (between the lawn bowling facility and the Bob Callahan Flower City Seniors Centre).
- Bob Callahan Flower City Seniors Centre (northeast of the lawn bowling facility, southwest of the Enforcement and By-Law Services and Building Division building).
- Enforcement and By-Law Services and Building Division building (northeast of the Bob Callahan Flower City Seniors Centre).

Sports facilities are located around the property's perimeter. A baseball diamond, cricket pitch, lawn bowling green, and several soccer fields are present. Parking and green space is generally interspersed throughout the middle of the property between the buildings.

5.3.1 Ontario Provincial Police Administration Building

Exterior

The former Ontario Provincial Police Administration Building on the Property is a single detached, one-storey rectangular building with a full below grade basement. The building's primary, north elevation has a symmetrical, stepped back massing divided into eleven bays (Photo 1). The main exterior wall is composed of coursed Rama limestone and buff brick set in Flemish bond (Photo 2). Decorative elements on the building's north elevation include a Coat of Arms for the Province of Ontario rendered in cast concrete is situated above the building's primary entrance and a datestone reading '1937' located on the north elevation to the east of the main entrance (Photo 3 and Photo 4). The building has a flat roof with a stone parapet. An octagonal rotunda composed of stone is centrally located on the building's roof. The rotunda is composed of stone, has a flat roof with stone parapet, and has glass block windows in each of its eight sides. A large, buff brick chimney is centrally located on the building's south elevation. Only the base of the chimney remains.

First storey and rotunda windows have a flatheaded opening and plain stone slip sill. Basement windows are set into flatheaded opening and have no trim (Photo 1 and Photo 2).

The building's main entrance is centrally located on its north elevation. The doorway is narrowly recessed from the façade, has a flatheaded opening, a flatheaded transom, and abstracted fluted pilasters on both sides. The doorway has a solid two-leaf, metal door. The main entrance is accessed from a pavilion. The pavilion has a cut stone knee wall and stone deck (Photo 5).



Photo 1: View southeast showing part of the building's primary, north elevation



Photo 2: View southwest showing the building's external materials



Photo 3: View south showing the Coat of Arms above the building's main entrance



Photo 4: View southwest showing the building's datestone



Photo 5: View southeast showing the building's main entrance and pavilion

Interior

The building's primary entrance provides access to a vestibule and staircase that leads to the lobby. The vestibule and staircase have a terrazzo floor, painted walls with speckled beige terrazzo wainscotting, and a smooth painted ceiling. The interior side of the main entrance has an emerald green and burgundy red terrazzo surround. The lobby is accessed from a door at the top of the vestibule's stairs. The doorway has a flatheaded opening, a flatheaded transom, and emerald green and burgundy red terrazzo surround. The doorway has a two-leaf, metal door with central lights and chrome door pulls. The building's lobby is octagonal in shape and directly aligns with rotunda (Photo 6). It has a terrazzo floor rendered in emerald green, burgundy red, and speckled beige (Photo 7) and burgundy red terrazzo baseboard. Walls typically have speckled beige terrazzo wainscotting and smooth paint. One area on the south wall is clad in beige tile (Photo 8). Four metal grates are located on the north wall (Photo 9). The interior walls of the rotunda have a scalloped stone frieze band and walls painted sea foam green (Photo 10). The lobby's ceiling has acoustical tiles in repeating geometric motif of diamond lozenges and squares (Photo 11).

Each of the lobby's eight walls have an opening. The north wall leads to the main entrance and the south opening leads to a nondescript back room. The east and west openings lead to

hallways that extend the length of the building. Each of these four openings have a door with an emerald green and burgundy red terrazzo surround and a single leaf door with central light and chrome door pulls (Photo 12). The northeast and northwest walls have doorways that lead to nondescript rooms. These opening have a door with a burgundy red terrazzo surround and a single leaf door with central light and chrome door pulls (Photo 12). The southeast and southwest walls have wickets with burgundy red terrazzo surrounds (Photo 12).

The east and west hallways share the same general configuration. They have a terrazzo floor rendered in emerald green, burgundy red, and speckled beige; burgundy red terrazzo baseboard; and painted wall and ceiling. Select wall sections on the south wall are composed of glass blocks (Photo 13). Nondescript rooms are located on both sides of the hallways. Rooms typically have concrete floor, painted concrete baseboards, painted walls, and concrete ceiling clad in acoustic paneling (Photo 14).

The building's basement is accessed from a stairway near the terminus of the west hallway on its south side. The stairway is "U" shaped and is composed of concrete. It has tiled walls with speckled beige terrazzo wainscotting, and a smooth painted ceiling (Photo 15). The stairway leads to a central hallway in the basement. The hallway has a concrete floor and painted concrete baseboards, walls, and ceiling (Photo 16). The basement's ceiling is unfinished, and mechanical and electrical equipment is visible in several locations. The basement is typically composed of large, open rooms with nondescript uses. Basement rooms share the same material configuration as the basement hallway (Photo 17). The building's mechanical room is centrally located on the south wall of the basement. Mechanical and electrical equipment is located in this room including a furnace and water heaters (Photo 18). The walls in the centre of the basement are octagonal in shape and align with the building's lobby and rotunda (Photo 19).



Photo 6: View southeast showing the building's lobby and rotunda



Photo 7: View of a section of the lobby's terrazzo floor



Photo 8: View south showing a tiled wall section in the building's lobby



Photo 9: View north showing a typical metal grate in the lobby



Photo 10: View northwest showing the material use in the rotunda

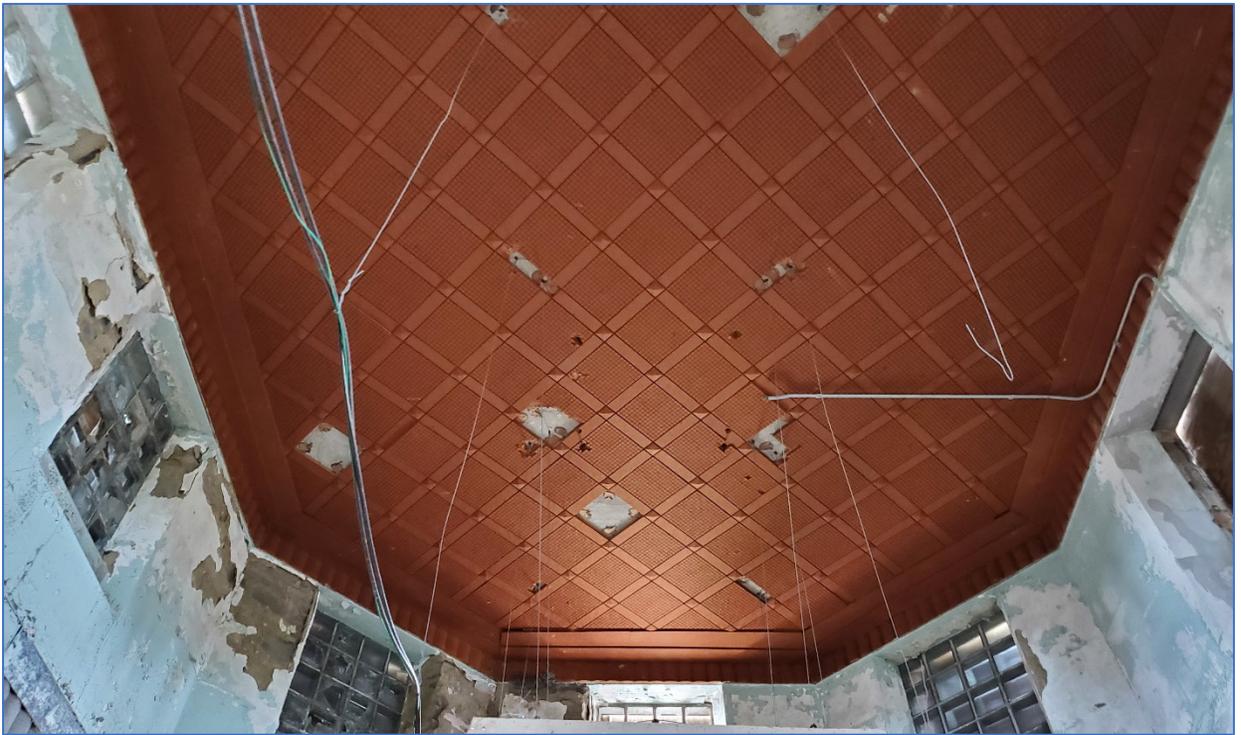


Photo 11: View of the ceiling in the rotunda



Photo 12: View east showing openings on the lobby's northeast (left; nondescript room), east (centre; hallway), and southeast (right; wicket) walls



Photo 13: View west showing the east hallway



Photo 14: View northwest of a typical first storey room



Photo 15: View north showing the basement stairway



Photo 16: View west showing the basement hallway



Photo 17: View east showing an open room in the east side of the basement



Photo 18: View south showing the furnace in the building's basement



Photo 19: View east showing an angled wall section that aligns with the lobby and rotunda

6 CULTURAL HERITAGE VALUE OR INTEREST

Heritage designation By-law 57-2006 has the following statement regarding the reason for designation of the Property and heritage attributes.

The former Administration Building of the "Ontario Mental Tubercular Hospital" is a noteworthy landmark located at McLaughlin Road South and Queen Street West. The building is a remarkably well-preserved example of civic architecture in the early modernist form. It was built in 1938 for the Government of Ontario, and was to be the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township.

The exterior of the building exhibits the distinctive architectural design elements of Modern Classicism, a variant of Art Deco, favoured by government for public building projects in the Great Depression era. The Brampton building is highly illustrative of this important architectural form. Art Deco and its variants such as Art Moderne and Modern Classicism are quite rare in the City of Brampton.

The one storey hospital administration building retains most of its original exterior detailing such as: buff brick masonry walls trimmed with coursed ashlar stone, stepped-back symmetrical profile, flat roof and metal industrial casement windows in steel frames.

The interior rotunda of the building stands as one of the best-preserved Art Deco/Art Moderne interiors in the Greater Toronto Area (outside of Toronto itself).

The building was designed by prominent Canadian architect, James Henry Craig (1889-1954). Craig's works include several well-known Toronto landmarks: Connaught Laboratory in Downsview Park (1917), Earl Haig High School (1929), the Dominion Public Building on Front Street (1935) and the "Hollywood Bowl" band shell on the CNE grounds (1936). Craig also designed the Thomas Foster Memorial in Uxbridge (1936). The Brampton Administration building is a good example of the work of this noted architect.

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's Participation in the Second World War.

The Ontario Mental Tubercular Hospital Administration Building (Former OPP Administration Building) possesses considerable cultural heritage value. Heritage designation under Part IV of the Ontario Heritage Act is recommended for architectural, historical and contextual reasons.

Certain attributes contribute to the cultural heritage significance of the subject property and should be preserved. They include the following:

Architectural Heritage Attributes:

Exterior architectural elements include: symmetrical, stepped-back front facade; central pavilion where the main entrance is situated; abstracted fluted pilasters flanking the recessed entrance; large, square transom topping double leaf wooden doors; Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance; central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion; buff masonry smoke stack at central portion of rear elevation; coursed ashlar Rama limestone dressing; basement windows with metal railings.

Interior architectural elements include: Art Deco/Art Moderne design elements in octagonal rotunda and main hallways; terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige; polished chrome grilles over air vents; chrome hand rails and other original door hardware; lobby reception wickets with stone surrounds; marble wainscoting; acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares; clerestory glass block windows in rotunda ceiling; a scalloped stone frieze band and early "sea foam" green walls in rotunda; concrete block construction designed to enhance its fireproofing properties.

Historical Heritage Attributes:

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

The lands that the Administration Building occupies are located in the former Township of Chinguacousy. As early as 1859 settler John Elliott has title to the land. By 1877 it was owned by John McClure. McClure had structures on the property. As recently as the mid 1930's foundations of an earlier structure were noted on the property directly adjacent to the present location of the Administration Building. The McClure family sold the property to Robert Sterritt in June 1926. The Province of Ontario purchased the entire 300-acre property in August 1937.

In 1937 the Ontario Government launched an expansion and reform program of its psychiatric healthcare facilities. In Brampton, the Government planned a large scale "Ontario Hospital" complex specializing in the treatment of mentally ill patients suffering from tuberculosis. Construction began in the winter of 1938 and was near completion by June 1938. According to the Toronto Star (March 19, 1938) the Brampton facility would be "the first hospital of its kind on this continent". It was to be known as the "Ontario Mental Tubercular Hospital". The subject building was to serve as the Administration Building for the new healthcare facility. It was to

provide office space for doctors and administrators, outpatient facilities, the admissions centre and a pre-admission screening centre. Full-scale construction of the hospital was halted however with the outbreak of the Second World War in September 1939.

In 1939 the entire 300-acre site was loaned to the Department of National Defense and used as a basic training centre (#24 Basic Training Centre) for the Royal Canadian Army. The Army erected barracks, drill halls and other support buildings. The administration building served as a 'detention facility'. The basic training centre opened in June 1942 and was designed to accommodate 1200 soldiers. R.V. Conover was the first commanding officer. After the War the lands reverted to the Government of Ontario.

In January 1947 the property was incorporated into a new provincial minimum-security reformatory or "training school". The government of Ontario had established an operational blueprint for penal reform known as "the Ontario Plan" that promoted education over incarceration. This site became the first such facility in Ontario. It was built as an "open facility" where inmates were not under constant supervision. By 1967 there were five similar "Training School" correctional facilities operating in Ontario. There were no security fences or other barriers. The facility operated from 1947 to 1979.

In the summer of 1981, the Ontario Provincial Police (OPP) converted the property into the Ontario Provincial Police Training and Development Centre. Premier William Davis officially opened the facility on October 16, 1981. The OPP intended to use the property on a temporary basis of no longer than five years. However, their occupancy extended over fifteen years. They relocated to a permanent training academy in Orillia in May 1997.

In August 1997 the City of Brampton acquired the entire property including the Administration Building.

Early in the 20th century the Government of Ontario acquired the property. The City of Brampton assumed ownership in the 1990s.

Contextual Heritage Attributes - Cultural Heritage Landscape:

The administration building and grounds form an important cultural landscape in the City. The building has always been the physical and architectural focal point of the entire 300-acre property. Symmetrical, stepped-back massing, sweeping setback, long laneway or "Grand Avenue", a circular driveway with various mixed plantings intended to create an ordered setting for the building. The setting is integral to the cultural heritage significance of this property as a whole.²³

²³ City of Brampton. "By-law 57-2006." Dated 27 February 2006. Accessed 6 May 2024. <https://www.heritagetrust.on.ca/oha/details/file?id=12028>.

7 DESCRIPTION AND EXAMINATION OF PROPOSED DEVELOPMENT /SITE ALTERATION

A proposed development has not yet been prepared for the Property. As described in Section 3.5, however, demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary to allow for the development of the Brampton Arts and Cultural Hub. To retain heritage attributes to the greatest extent possible, the following list of options has been considered:

- Option 1. Retention *in situ* and reuse;
- Option 2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade;
- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby;
- Option 4. Retention of central section of north façade, lobby, and rotunda;
- Option 5. Façade retention of only the building's primary, north elevation;
- Option 6. Façade retention of only part of the building's primary, north elevation;
- Option 7. Demolition, salvage, and reintegration into new development; and,
- Option 8. Demolition, commemoration, and interpretation.

8 IMPACT ASSESSMENT

LHC finds that the proposed demolition of the building on the Property will result in the destruction and complete loss of all heritage attributes embodied within the building. Impacts for the remaining attributes are considered in Table 2 below.

Table 2: Impact Assessment for 8990 McLaughlin Road South's Heritage Attributes that are Not Embodied within the Building

Heritage Attribute	Potential Impact	Type of Impact	Discussion
Sweeping setback	Unknown, possible depending on design of forthcoming building(s) and site plan	Destruction, alteration, isolation, and/or direct or indirect obstruction possible	Negative impacts to this heritage attribute are possible but cannot be determined with available information. Potential impacts will need to be reassessed when a proposed building and site plan have been prepared.
Long laneway or "Grand Avenue"	Unknown, possible depending on design of forthcoming building(s) and site plan	Destruction, alteration, isolation, and/or direct or indirect obstruction possible	Negative impacts to this heritage attribute are possible but cannot be determined with available information. Potential impacts will need to be reassessed when a proposed building and site plan have been prepared.
Circular driveway with various mixed plantings intended to create an ordered setting for the building	Unknown, possible depending on design of forthcoming building(s) and site plan	Destruction, alteration, isolation, and/or direct or indirect obstruction possible	Negative impacts to this heritage attribute are possible but cannot be determined with available information. Potential impacts will need to be reassessed when a proposed building and site plan have been prepared.

9 MITIGATION OPTIONS, CONSERVATION METHODS, AND PROPOSED ALTERNATIVES

The proposed options for the building on the Property identified in Section 7 were considered. All options have been considered in relation to the applicable planning framework outlined in Section 3 and the results of other planning reports prepared for the Property outlined in Section 4.

9.1 Concentrations of Heritage Attributes (High Priority Areas)

When considering proposed alternatives and options for the building on the Property, the location and concentration of heritage attributes was considered. Three specific areas of the building including the central section of the building's north façade; the building main entrance, stairway, and lobby; and the building's rotunda are notable areas with a high concentration of heritage attributes (see Section 9.1.1, Section 9.1.2, and Section 9.1.3). The conservation of these three areas has guided the proposed alternatives and options identified in Section 9.2.

9.1.1 Central Section of the Building's North Façade

Heritage attributes located in the central section of the building's north façade include:

- Symmetrical, stepped-back front façade (in part);
- Central pavilion where the main entrance is situated;
- Abstracted fluted pilasters flanking the recessed entrance;
- Large, square transom topping double leaf wooden doors;
- Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance;
- Central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); and,
- Cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion.

9.1.2 Main Entrance, Stairway, and Lobby

Heritage attributes located in the building's main entrance, stairway, and lobby include:

- Large, square transom topping double leaf wooden doors;
- Terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige (in part);
- Polished chrome grilles over air vents;

- Chrome hand rails and other original door hardware; and,
- Lobby reception wickets with stone surrounds.

9.1.3 Rotunda

Heritage attributes located in the building's rotunda include:

- Central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory);
- Acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares;
- Clerestory glass block windows in rotunda ceiling; and,
- Scalloped stone frieze band and early "sea foam" green walls in rotunda.

9.2 Proposed Alternatives and Options

Table 3 identifies the advantages and disadvantages of each option, identifies which heritage attributes would be retained with each option, and provides a brief description of the condition and presence of designated substances for retained heritage attributes for each of the options. The proposed options are identified in order of preference, from a purely heritage conservation perspective. To supplement Table 3, Figure 3 through Figure 8 visually display sections of the building that would be retained in four of the proposed options. Each diagram shows section to be retained in yellow and sections to be demolished in red.

Mitigation measures and next steps –regardless of the option selected –are outlined in Section 9.5. Comparable projects that illustrate the use of these options are presented in Appendix D Comparable Projects to the Proposed Options for 8990 McLaughlin Road South.

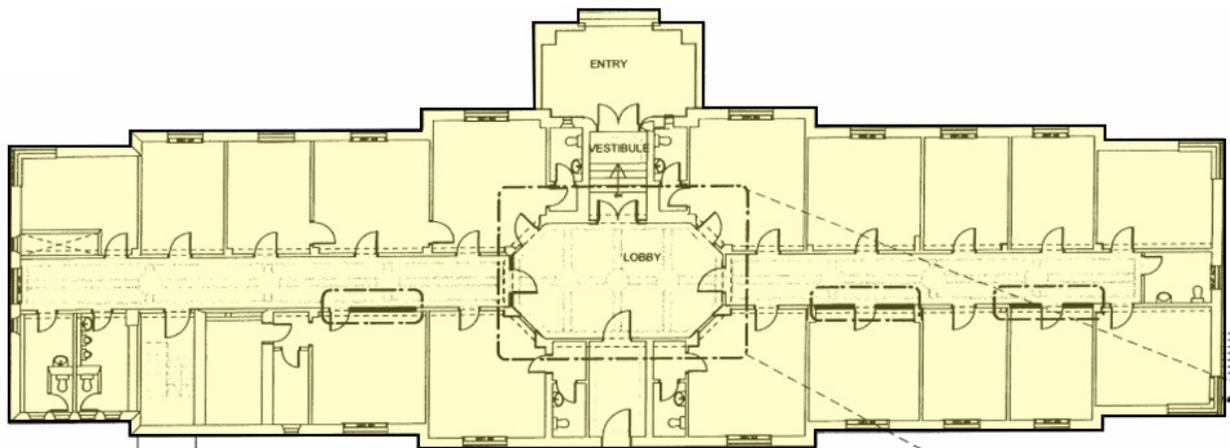


Figure 3: Diagram showing retained sections of the building for Option 1 'retention *in situ* and reuse'

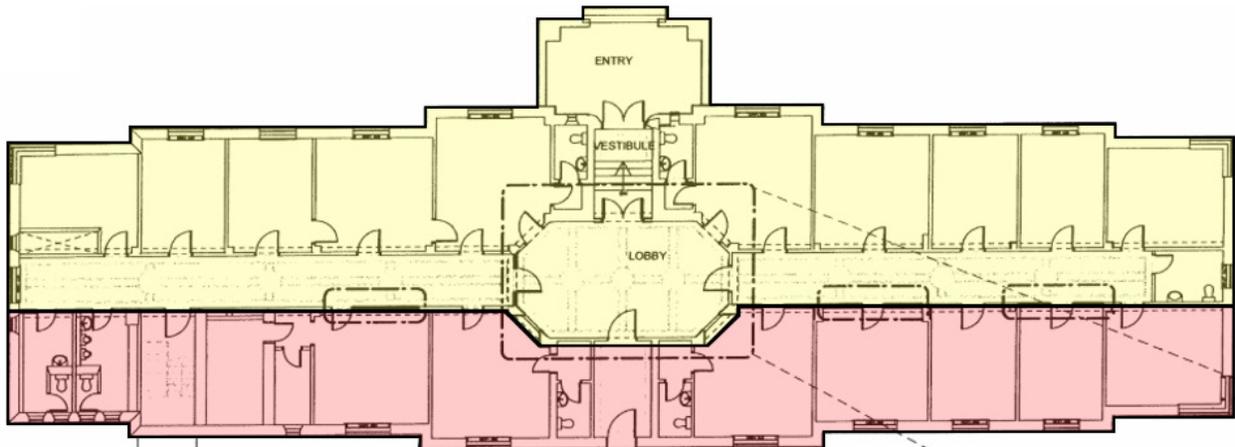


Figure 4: Diagram showing retained sections of the building for Option 2 'retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade'

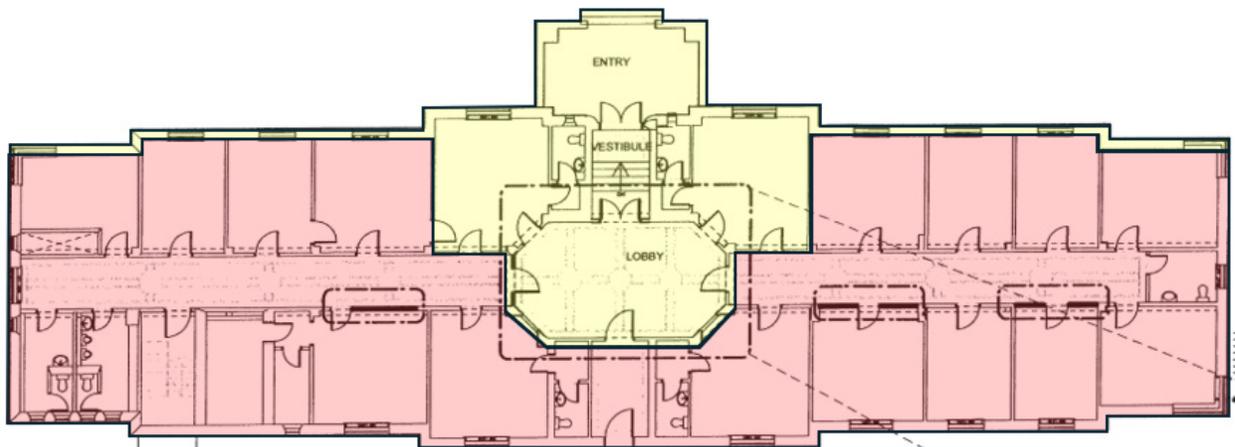


Figure 5: Diagram showing retained sections of the building for Option 3 'retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby'

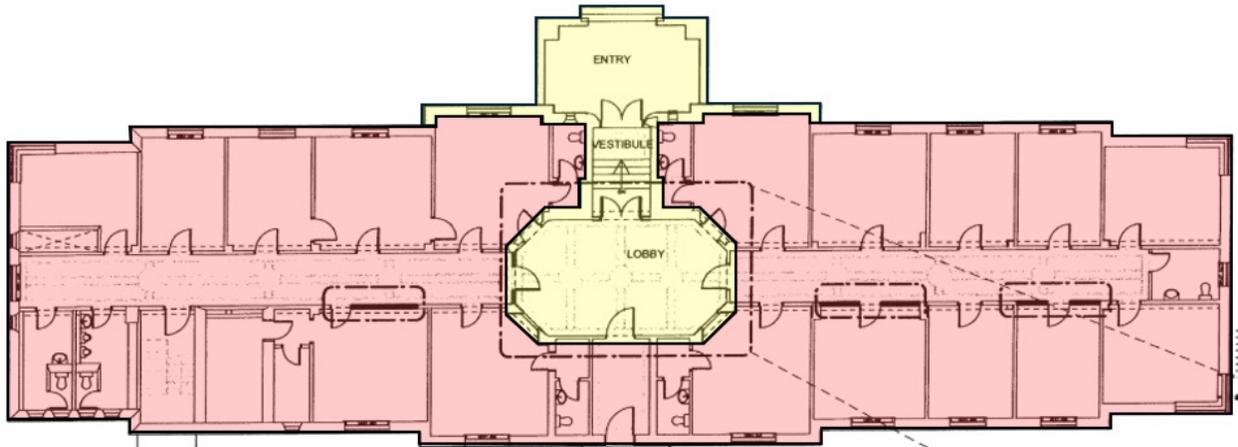


Figure 6: Diagram showing retained sections of the building for Option 4 'retention of central section of north façade, lobby and rotunda'

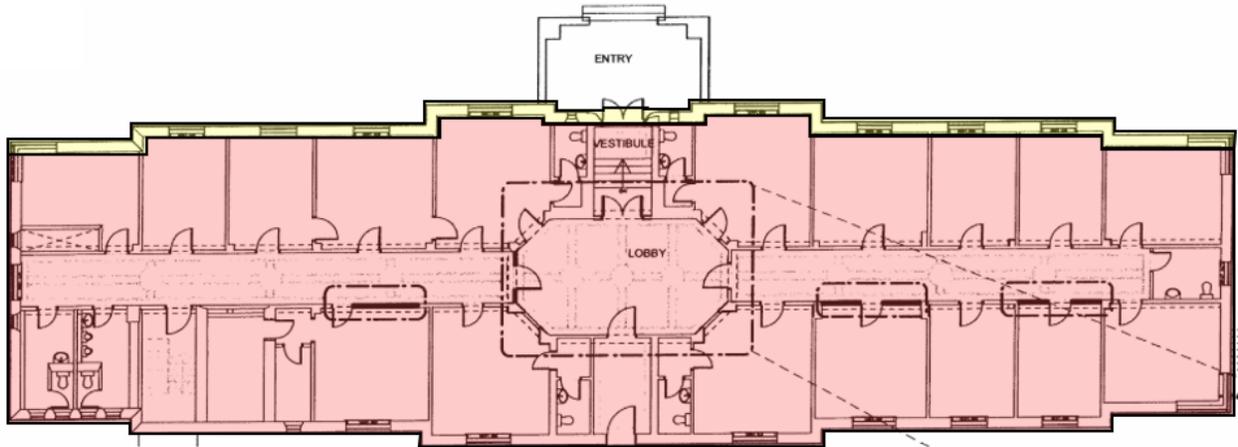


Figure 7: Diagram showing retained sections of the building for Option 5 'façade retention of only the building's primary, north elevation'

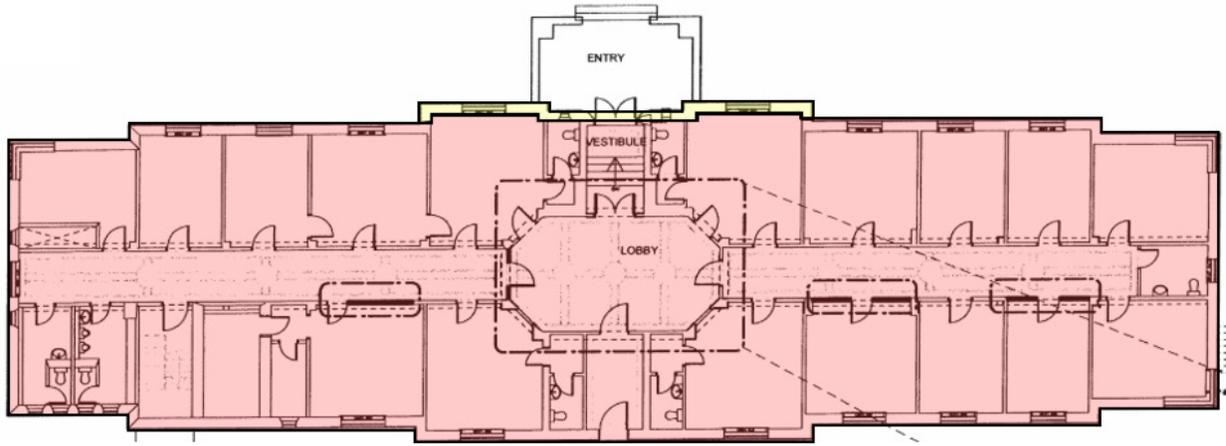


Figure 8: Diagram showing retained sections of the building for Option 6 'façade retention of only part of the building's primary, north elevation'

Table 3: Mitigation Measures and Options for the building on the Property at 8990 McLaughlin Road South

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
<p>1. Retention <i>in situ</i> and reuse (see Figure 3)</p>	<p>Allows for the retention of all heritage attributes and allows the building to function as is.</p>	<p>Significant intervention to improve the building would be required to enable the building’s ongoing function. Repair and replacement of exterior and interior building materials would be required, as described in ERA Architects Inc.’s <i>HBAR</i>. Complete abatement of designated substances would also be required.</p> <p>This option may affect the ability of the site to support the planned Brampton Arts and Culture Centre.</p>	<p>All heritage attributes would be retained.</p>	<p>All repair, replacement, and refurbishment identified by ERA Architects Inc. would be required.</p> <p>All designated substances identified by ECOH Management Inc. would require abatement.</p>	<p>The building has been determined to be beyond the reasonable state of repair and not economical to remediate.</p> <p>In the context of the forthcoming development, this option has been determined not to be viable.</p>
<p>2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building’s north façade (see Figure 4)</p>	<p>Allows for the retention of many of the building’s attributes including building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda. Also maximizes retention of internal heritage attributes, including the terrazzo floor.</p> <p>Allows for a significant section of the existing building to be retained and incorporated into the forthcoming development on the property.</p> <p>Reduces the presence of designated substances on the Property.</p> <p>This option also allows for the salvage of materials from the remainder of the building for selective replacement.</p>	<p>Several heritage attributes on the building’s east, west, and south elevations would be negatively affected, including the coursed ashlar Rama limestone dressing and basement windows with metal railings.</p> <p>This option may also prove to be prohibitively costly within the context of the new development as it seeks to retain a substantial portion of the building.</p>	<p>All attributes included in the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda would be retained.</p> <p>The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained.</p> <p>Sections of the coursed ashlar Rama limestone dressing and basement windows with metal railings on the building’s north elevation would be retained. Basement windows on the building’s east and west elevations may also be retained, in part.</p>	<p>Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required.</p> <p>Extensive repair and/or replacement of the building’s primary entrance, steel windows, and glass block windows would be required.</p> <p>Retained glass block partitions, ceiling, terrazzo floor, and terrazzo wall elements would require selective repair and/or replacement.</p> <p>Retained metalwork would require refurbishment and maintenance.</p> <p>Retained areas with paint and plaster would require full replacement. They contain designated substances.</p>	<p>In the context of the forthcoming development, this option is preferred because it retains most of the Property’s heritage attributes while allowing for the proposed development to proceed.</p>

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
<p>3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby (see Figure 5)</p>	<p>Allows for the retention of many of the building’s attributes including building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda.</p> <p>Allows for a legible section of the existing building to be retained and incorporated into the forthcoming development on the property.</p> <p>Reduces the presence of designated substances on the Property.</p> <p>This option also allows for the salvage of materials from the remainder of the building for selective replacement.</p>	<p>Several heritage attributes on the building’s east, west, and south elevations would be negatively affected, including the coursed ashlar Rama limestone dressing and basement windows with metal railings. Internal attributes, including the terrazzo floor in the hallways, would also be negatively affected.</p> <p>This option may also prove to be prohibitively costly within the context of the new development as it seeks to retain a substantial portion of the building.</p>	<p>All attributes included in the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda would be retained.</p> <p>The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained.</p> <p>Sections of the coursed ashlar Rama limestone dressing and basement windows with metal railings on the building’s north elevation would be retained. Basement windows on the building’s east and west elevations may also be retained, in part.</p>	<p>Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required.</p> <p>Extensive repair and/or replacement of the building’s primary entrance, steel windows, and glass block windows would be required.</p> <p>Retained glass block partitions, ceiling, terrazzo floor, and terrazzo wall elements would require selective repair and/or replacement.</p> <p>Retained metalwork would require refurbishment and maintenance.</p> <p>Retained areas with paint and plaster would require full replacement. They contain designated substances.</p>	<p>In the context of the forthcoming development, if Option 2 is not possible, this option is preferred because it retains the sections of highest concentration of the Property’s heritage attributes in a legible manner while allowing for the proposed development to proceed.</p>
<p>4. Retention of central section of north façade, lobby, and rotunda (see Figure 6)</p>	<p>Allows for the retention of many of the building’s attributes including the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda.</p> <p>Allows for a legible section of the existing building to be retained and incorporated into the forthcoming development on the property.</p> <p>Reduces the presence of designated substances on the Property.</p>	<p>Several heritage attributes on the building’s east, west, and south elevations would be negatively affected, including the coursed ashlar Rama limestone dressing and basement windows with metal railings. Internal attributes, including the terrazzo floor in the hallways, would also be negatively affected.</p>	<p>All attributes included in the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda would be retained.</p> <p>The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained.</p> <p>Sections of the coursed ashlar Rama limestone dressing and basement windows with metal railings on the</p>	<p>Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required.</p> <p>Extensive repair and/or replacement of the building’s primary entrance, steel windows, and glass block windows would be required.</p> <p>Retained glass block partitions, ceiling, terrazzo floor, and terrazzo wall</p>	<p>In the context of the forthcoming development, if Option 3 is not possible, this option is preferred because it retains the sections of highest concentration of the Property’s heritage attributes in a legible manner while allowing for the proposed</p>

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
	<p>This option also allows for the salvage of materials from the remainder of the building for selective replacement.</p>		<p>building’s north elevation would be retained. Basement windows on the building’s east and west elevations may also be retained, in part.</p>	<p>elements would require selective repair and/or replacement. Retained metalwork would require refurbishment and maintenance. Retained areas with paint and plaster would require full replacement. They contain designated substances.</p>	<p>development to proceed.</p>
<p>5. Façade retention of only the building’s primary, north elevation (see Figure 7)</p>	<p>Allows for the retention of the heritage attributes located on the building’s primary, north elevation. Allows for some of the existing building to be retained and incorporated into the forthcoming development on the property. Eliminates the presence of designated substances on the Property.</p>	<p>Only heritage attributes on the building’s primary, north elevation would be retained. All internal attributes and attributes on the building’s east, west, and south elevations would be removed. The building’s rotunda would also be removed.</p>	<p>All attributes included in the central section of the building’s north façade would be retained. The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained. Coursed ashlar Rama limestone dressing and basement windows with metal railings on the building’s north elevation would be retained.</p>	<p>Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required. Extensive repair and/or replacement of the building’s primary entrance and steel windows on its north elevation would be required.</p>	<p>This option is not preferred unless Option 4 is determined to be impractical or unfeasible.</p>
<p>6. Façade retention of only part of the building’s primary, north elevation (see Figure 8)</p>	<p>Allows for the retention of the heritage attributes located in the central section of the building’s north façade. Allows for some of the existing building to be retained and incorporated into the forthcoming development on the property. Eliminates the presence of designated substances on the Property.</p>	<p>Only heritage attributes located in the central section of the building’s north façade would be retained. All internal attributes and attributes on the building’s east, west, and south elevations would be removed. Attributes on the north elevation that are not in its central section would be removed. The building’s rotunda would be removed.</p>	<p>All attributes included in the central section of the building’s north façade would be retained.</p>	<p>Extensive repair and/or replacement of stone would be required. Extensive repair and/or replacement of the building’s primary entrance would be required.</p>	<p>This option is not preferred unless Option 5 is determined to be impractical or unfeasible.</p>

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
<p>7. Demolition, salvage, and reintegration into new development</p>	<p>Allows for the salvage of select materials and heritage attributes into the proposed new development.</p> <p>Offers increased flexibility in determining which attributes to retain.</p> <p>Offers increased flexibility in the design of the proposed new development.</p> <p>Can reduce or eliminate the presence of designated substances on the Property.</p>	<p>Depending on the extent of material salvage and reintegration, the Property’s heritage integrity may be affected.</p> <p>Abatement of designated substances would also be required, depending on which heritage attributes are salvaged.</p>	<p>Salvage and reintegration are best suited to materials in fair or good condition. Internal glass block partitions, ceiling, metalwork, terrazzo floor, and terrazzo wall elements are all in fair to good condition and could be salvaged.</p> <p>Other materials including stone, brick, doors, steel windows, and glass block windows could also be salvaged and reintegrated; however, extensive repair would be required. Specific stone elements including the fluted pilasters and Coat of Arms should be salvaged.</p> <p>All or part of the building’s primary, north elevation could be retained as a monument or landscaped feature.</p>	<p>Depending on which attributes are salvaged repair, replacement, and refurbishment identified by ERA Architects Inc. would be required.</p> <p>Salvaged elements that contain designated substances identified by ECOH Management Inc. would require abatement.</p>	<p>This option can be used alongside any of the façade retention options to further mitigate impacts to the property’s heritage attributes and cultural heritage value or interest.</p>
<p>8. Demolition, commemoration, and interpretation</p>	<p>Allows for the greatest flexibility regarding the forthcoming development.</p> <p>Eliminates the presence of designated substances on the Property.</p>	<p>All heritage attributes would be destroyed.</p>	<p>No heritage attributes would be retained.</p>	<p>All materials would be destroyed and removed from the Property.</p>	<p>This option is not preferred. It is an option of last resort.</p>

9.3 Building Attribute Management Through Redevelopment

Direction on the management of the building on the Property's heritage attributes is considered in Table 4. This direction has been informed by ERA Architects Inc.'s *Heritage Building Assessment Report* and ECOH Management Inc.'s *Pre-Demolition Designated Substances and Hazardous Materials Survey*.

The management of attributes has been informed by the *Standards and Guidelines for the Conservation of Historic Places in Canada*. Relevant Standards referenced in Table 4 include:

1. (a) Conserve the heritage value of an historic place. (b) Do not remove, replace or substantially alter its intact or repairable character-defining elements. (c) Do not move a part of an historic place if its current location is a character-defining element.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
5. Find a use for an historic place that requires minimal or no change to its character-defining elements.
7. (a) Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. (b) Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. (a) Maintain character-defining elements on an ongoing basis. (b) Repair character-defining elements by reinforcing their materials using recognized conservation methods. (c) Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. (a) Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. (b) Document any intervention for future reference.
10. (a) Repair rather than replace character-defining elements. (b) Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. (c) Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.
13. (a) Repair rather than replace character-defining elements from the restoration period.
(b) Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

Table 4: Building Attribute Management²⁴

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Abstracted fluted pilasters flanking the recessed entrance	Stone	<p>The exterior stone elements were found to be in poor condition with varying levels of deterioration.</p> <p>Gentle cleaning methods should be administered in order to remove areas of soiling, discolouration and biological growth on the stone elements found on all facades of the building. Low-pressure water washing or specialized stone cleaners may be used for larger, more stubborn stains.</p> <p>Stone units that show a large amount of spalling and delamination will need to be repaired. Carefully remove loose or spalled stone sections before repairing the damaged surfaces. Re-dress the damaged stone units using compatible mortars or fillers.</p> <p>Employing patch repairs or dutchman repairs may be required for larger spalled units. Some damage stone units may need to be replaced completely with new stone units to match.</p>	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.6, 4.5.1, 4.5.3	<p>Conserve the abstracted fluted pilasters flanking the recessed entrance by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i>. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.</p>	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No

²⁴ Parks Canada. "Standards and Guidelines for the Conservation of Historic Places in Canada." Second Addition. 2010. Accessed 6 May 2024. <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>.

²⁵ Asterisk identifies that the retention on an attribute is possible.

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
		Areas where water tends to collect should be identified, and proper flashing should be installed in these areas. Drip edges on the stone sills, stone band, and stone coping should be repaired or replaced to prevent further moisture damage to the stone.											
Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance	Stone	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.6, 4.5.1, 4.5.3	Conserve the Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion	Stone	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.4, 4.3.6, 4.5.1, 4.5.3	Conserve the cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No
Coursed ashlar Rama limestone dressing	Stone	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.4, 4.5.1, 4.5.3	Conserve the coursed ashlar Rama limestone dressing by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the	Yes	Yes	Yes	Yes	Yes	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Buff masonry smokestack at central portion of rear elevation	Brick	<p>The exterior brick walls were found to be in fair condition. The goal of this preservation effort is to repair the exterior brick. This involves addressing specific issues such as efflorescence, discolouration, spalling bricks, and cracks along the mortar joints. The objective is to achieve a natural and uniform finish without damaging the surface of the bricks or removing the inherent patina that contributes to the masonry's historic character.</p> <p>Efflorescence and organic soiling and atmospheric soiling can be cleaned using low-pressure water washing or gentle cleaning agents that do not cause damage to the surface of the brick.</p> <p>Spalling bricks, which have surface flaking or chipping, can be restored using mortars or fillers that match the</p>	7, 9, 10, 13, 14	4.5.1, 4.5.3	Conserve the buff masonry smokestack at central portion of rear elevation by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	No	No	No	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
		original brick material's texture, colour, and porosity. Areas where damage to the brick is worse can be addressed by carefully replacing the damaged bricks with compatible new ones to maintain uniformity. Cracks along mortar joints should be repointed using compatible mortar materials											
Large, square transom topping double leaf wooden doors	Windows	<p>The existing windows were found in poor condition and the intent of the repairs is to improve the soundness and stability of the metal elements, while conserving the maximum amount of existing fabric and its existing character.</p> <p>Replace any damaged or missing glass panes as needed on the windows. Allow for replacement windows, as needed, to be consistent and compatible with the original windows.</p>	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.5, 4.3.6, 4.5.1, 4.5.6	<p>Conserve the large, square transom topping double leaf wooden doors by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i>. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.</p>	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Basement windows with metal railings	Windows	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.5, 4.5.1, 4.5.6	Conserve the basement windows with metal railings by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	No	Yes*	No
Clerestory glass block windows in Rotunda ceiling	Glass Blocks	The glass blocks were found in fair condition. Clean the existing glass blocks using a specialized glass cleaner and a soft cloth. Avoid using abrasive cleaners or materials that might scratch the glass. If the grout between the glass blocks is damaged or worn out, carefully remove the old grout using a scraper. Apply new grout according to the manufacturer's instructions. Ensure the grout matches the existing colour and texture for a	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.5, 4.5.1, 4.5.6	Conserve the clerestory glass block windows in rotunda ceiling by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind,	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
		seamless finish. Minor scratches on glass blocks might be buffed out by polishing. Allow for replacement of severely damaged glass blocks as needed.			and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige	Terrazzo	The terrazzo elements were generally found in good condition. Conduct a thorough cleaning of the terrazzo flooring, trims and baseboards in the rotunda and hallways to assess its true condition and restore its aesthetic appeal. Allow for crack repairs, patch repairs, and polishing. Address visible cracks, staining, and discolouration on the terrazzo wainscoting in the rotunda. Polish the terrazzo to its original sheen through cleaning and repair processes tailored for terrazzo materials.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.2, 4.3.7, 4.5.1, 4.5.4	Conserve the terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No
Lobby reception wickets with stone surrounds	Terrazzo	Same as above.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1	Conserve the lobby reception wickets with stone surrounds by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Polished chrome grilles over air vents	Metalwork	Repair or replace deteriorated metal grilles covering air vents. Repair or replace missing or damaged door hardware, including handrails and kickplates, to maintain historical authenticity. New metalwork should match existing in size, colour and profile.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1, 4.5.5	Conserve the polished chrome grilles over air vents by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Chrome handrails and other original door hardware	Metalwork	Same as above.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1, 4.5.5	Conserve the chrome hand rails and other original door hardware by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No
Acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares	Ceiling	Replace any damaged or missing acoustic ceiling tiles in the rotunda to preserve the overall aesthetic of the ceiling.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1	Conserve the acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Scalloped stone frieze band and early "sea foam" green walls in rotunda	Ceiling	Same as above.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1	Conserve the scalloped stone frieze band and early "sea foam" green walls in rotunda by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Symmetrical, stepped-back front façade	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.5.1	Conserve the symmetrical, stepped-back front façade by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	No	No	No
Central pavilion where the main entrance is situated	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the central pavilion where the main entrance is situated by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind,	Yes	Yes	Yes	Yes	Yes	Yes	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory)	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory) by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Art Deco/Art Moderne design elements in octagonal rotunda and main hallways	n/a – general description	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.5.1	Conserve the Art Deco/Art Moderne design elements in octagonal rotunda and main hallways by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No
Concrete block construction designed to enhance its fireproofing properties	Concrete (structure)	n/a	1, 3, 5, 6, 7, 9, 10, 11, 12	4.3.8, 4.5.1	Conserve the concrete block construction designed to enhance its fireproofing properties by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted	Yes	Yes	Yes	No	No	No	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Symmetrical, stepped-back massing	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the symmetrical, stepped-back massing by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	No	Yes	No	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Sweeping setback	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the sweeping setback by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes*							
Long laneway or "Grand Avenue"	n/a – siting and landscaping attribute	n/a	1, 3, 5, 6, 7, 11, 12		Conserve the long laneway or "Grand Avenue" by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and	Yes*							

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Circular driveway with various mixed plantings intended to create an ordered setting for the building	n/a – siting and landscaping attribute	n/a	1, 3, 5, 6, 7, 11, 12		Conserve the circular driveway with various mixed plantings intended to create an ordered setting for the building by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes*							

9.4 Preferred Option

Option 2 is the preferred option, from a heritage conservation perspective. Should Option 2 be determined not to be viable within the context of the Brampton Arts and Culture Centre project, Options 3 through 7 –listed in order of preference –should be considered. Option 8, demolition, commemoration, and interpretation should only be considered as an option of last resort if all other options are demonstrated not to be viable.

9.5 Mitigation Measures and Next Steps

As design of the Brampton Arts and Culture Centre progresses, the project team should consider the Standards outlined, above, in Section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4. The design should also be informed by the existing building. Design elements such as the pattern and colour palette of the terrazzo floor in the building's lobby and hallway, polished chrome air vent grilles, polished chrome handrails and door hardware, and acoustic ceiling tiles in the rotunda, should all be considered for reincorporation or to guide the design of the forthcoming development.

A Conservation Plan/Heritage Building Protection Plan is recommended to be prepared by a qualified heritage professional to guide any retention in situ of portions of the building and their re-integration into a new development.

Prior to any changes to the building, a Salvage and Documentation Plan is recommended to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse.

Regardless of the option selected, a Commemoration and Interpretation Plan is recommended to be prepared for the new development. It is recommended that the Commemoration Strategy make use of salvaged materials.

10 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 30 April 2024 by Kaushal Patel on behalf of the Public Works and Engineering Department at the City of Brampton to prepare a Scoped HIA for the former Ontario Provincial Police Administration building located at 8990 McLaughlin Road South in the City of Brampton, Ontario.

The Property is currently designated under Section 29, Part IV of the *OHA* under City of Brampton by-law 57-2006. A motion and resolution to de-designate the Property to allow for the demolition of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre. At the time of writing, the building remains designated under Section 29, Part IV of the *OHA*. This Scoped HIA considered the following options to retain heritage attributes to the greatest extent possible:

- Option 1. Retention *in situ* and reuse;
- Option 2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade;
- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby;
- Option 4. Retention of central section of north façade, lobby, and rotunda;
- Option 5. Façade retention of only the building's primary, north elevation;
- Option 6. Façade retention of only part of the building's primary, north elevation;
- Option 7. Demolition, salvage, and reintegration into new development; and,
- Option 8. Demolition, commemoration, and interpretation.

The preferred option from a heritage conservation perspective is Option 2, retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade. This option is preferred because it allows for the retention of the highest number of heritage attributes. Since this option retains many of the building on the Property's heritage attributes, direction for refurbishing, maintaining, repairing, and replacing materials is provided in Table 4 of this report. This table identifies recommendations from ERA Architects Inc.'s *Heritage Building Assessment Report* and includes supplemental direction from Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Should Option 2 be determined not to be viable within the context of the Brampton Arts and Culture Centre project, Options 3 through 7 –listed in order of preference –should be considered. Option 8, demolition, commemoration, and interpretation should only be considered as an option of last resort if all other options are demonstrated not to be viable.

As design of the Brampton Arts and Culture Centre progresses, the project team should consider the Standards outlined, above, in Section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4. The design should also be informed by the existing building. Design elements such as the pattern and colour palette of the terrazzo floor in the building's lobby and hallway, polished chrome air vent grilles, polished chrome handrails and door hardware, and acoustic ceiling tiles in the rotunda, should all be considered for reincorporation or to guide the design of the forthcoming development.

A Conservation Plan/Heritage Building Protection Plan is recommended to be prepared by a qualified heritage professional to guide any retention in situ of portions of the building and their re-integration into a new development.

Prior to any changes to the building, a Salvage and Documentation Plan is recommended to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse.

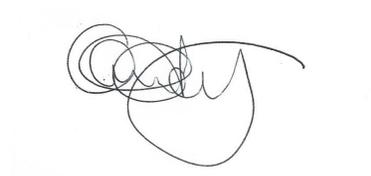
Regardless of the option selected, a Commemoration and Interpretation Plan is recommended to be prepared for the new development. It is recommended that the Commemoration Strategy make use of salvaged materials.

An addendum to this Scoped HIA will be required once a proposed development for the Property has been prepared.

SIGNATURES

A handwritten signature in black ink, appearing to read "Ben Daub". The signature is fluid and cursive, with the first name "Ben" being more prominent than the last name "Daub".

Ben Daub, MA (Plan), CAHP Intern
Heritage Planner

A handwritten signature in black ink, appearing to read "Christienne Uchiyama". The signature is highly stylized and cursive, with a large, circular flourish at the beginning.

Christienne Uchiyama, MA, CAHP
Principal, Manager Heritage Consulting
Services

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APPENDIX A QUALIFICATIONS

Ben Daub, MA (Plan), CAHP Intern – Heritage Planner

Ben Daub is a heritage planner with LHC. He holds a Bachelor of Applied Technology in Architecture – Project and Facility Management from Conestoga College and a Master of Arts in Planning from the University of Waterloo. His master’s thesis analyzed the relationship between urban intensification and the ongoing management of built heritage resources using both qualitative and quantitative methods.

During his academic career, Ben gained a detailed understanding of the built environment through exposure to architectural, engineering, and urban planning processes. His understanding of the built environment ranges from building specific materials and methods to large scale planning initiatives.

Ben has been the primary or contributing author of over 45 technical cultural heritage reports with LHC. He has worked on Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Environmental Assessments, Heritage Conservation District Studies, Municipal Heritage Register Reviews, and Official Plan Amendments. He has worked with properties with cultural heritage value recognized at the municipal, regional, provincial, and federal levels and has prepared reports for urban, suburban, and rural sites.

In addition to his work at LHC, Ben instructs the Urban and Community Planning course in Conestoga College’s Architecture – Project and Facility Management degree program and has presented his master’s thesis research to ICOMOS Canada. Ben is an intern member of the Canadian Association of Heritage Professionals and a candidate member with the Ontario Professional Planners Institute.

Christienne Uchiyama, MA CAHP - Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments.

She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Jordan Greene, B.A. (Hons) – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

APPENDIX B GLOSSARY

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Region of Peel Official Plan (ROP)*, and the *City of Brampton Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are:

- a) contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature or area. The extent of the adjacent lands may be recommended by the Province or based on municipal approaches which achieve the same objectives; and
- b) contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Adjacent Lands means lands that are contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature, or area. The extent of the adjacent lands to specific natural heritage features or areas are provided in Ontario Ministry of Natural Resources' Natural Heritage Reference Manual (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and "alteration" has a corresponding meaning ("transformer", "transformation") (*OHA*).

Archaeological Resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the *Ontario Heritage Act (PPS)*.

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. Archaeological resources may include the remains of a building, structure, activity or cultural feature or object which, because of the passage of time, is on or below the surface of land or water and is of significance to the understanding of the history of a people or place (*ROP*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*PPS*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*ROP*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*ROP*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*PPS*).

Cultural Heritage Resources means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act, but does not include:

- c) activities that create or maintain infrastructure authorized under an environmental assessment process;
- d) works subject to the Drainage Act; or
- e) for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a) (*PPS*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*ROP*).

Development means the subdivision of land, or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*OP*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (*PPS*).

Heritage Attributes means in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; (“attributs patrimoniaux”) (*OHA*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., views or vistas to or from a protected heritage property) (*ROP*).

Property means real property and includes all buildings and structures thereon (*OHA*).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (*PPS*).

Significant in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (*OP*).

APPENDIX C SCOPED HERITAGE IMPACT ASSESSMENT TERMS OF REFERENCE

TERMS OF REFERENCE - SCOPED HERITAGE IMPACT ASSESEMENT (HIA)

8990 MCLAUGHLIN (FORMER OPP BUILDING), BRAMPTON

A scoped heritage impact assessment is required for the subject property at 8990 McLaughlin. The contents for the scoped heritage impact assessment are recommended as per the scoped Terms of Reference below:

3. Content of Heritage Impact Assessments

3.1 Background (REQUIRED)

3.1.1 Provide a brief background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.

3.1.2 Briefly outline the methodology used to prepare the assessment.

3.2 Introduction to the Subject Property (PARTIALLY REQUIRED)

3.2.1 Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated. (REQUIRED)

3.2.2 Briefly document and describe the subject property, identifying all significant features, buildings, landscapes, and vistas. (n/a)

3.2.3 Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources) (REQUIRED)

3.2.4 Document and describe the context including adjacent properties, land uses, etc. (n/a)

3.2.5 Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns, as well as the integrity of standing buildings and structures found on the subject property. (n/a)

3.2.6 If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments must be conducted by qualified professionals with heritage property experience. (n/a)

3.3 Evaluation of Cultural Heritage Value or Interest (NOT REQUIRED)

3.3.1 Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources.

3.3.2 Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.

3.3.3 Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject property.

3.3.4 Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e. site plan as opposed to subdivision). Also include historical photos, drawings, or other archival material that is available and relevant.

3.3.5 Using Regulation 9/06 of the Ontario Heritage Act (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.

3.3.6 Provide a summary of the evaluation in the form of a table (see Appendix 1) outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.

3.4 Description and Examination of Proposed Development/Site Alterations (PARTIALLY REQUIRED)

3.4.1 Provide a description of the proposed site alteration in relation to the heritage resource.

3.4.2 Indicate how the proposed site alteration will impact the heritage resource(s) and neighbouring properties. These may include:

- Destruction of any, or part of any, significant heritage attributes or features;
- Alteration to the historic fabric and appearance;
- ~~Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden;~~
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- Impact on significant views or vistas within, from, or of built and natural features;
- ~~A change in land use where the change in use may impact the property's cultural heritage value or interest;~~
- ~~Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.~~

3.4.3 Submit a drawing indicating the subject property streetscape and properties to either side of the subject lands, if applicable. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and how it integrates with the adjacent properties from a streetscape perspective. Thus, the drawing must show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees and/or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in. **(n/a)**

3.5 Mitigation Options, Conservation Methods, and Proposed Alternatives (PARTIALLY REQUIRED)

3.5.1 Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource. **(n/a)**

3.5.2 Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure/option. The mitigation options may include, but are not limited to: **(PARTIALLY REQUIRED)**

- ~~Alternative development approaches;~~
- ~~Appropriate setbacks between the proposed development and the heritage resources;~~
- ~~Design guidelines that harmonize mass, setback, setting, and materials;~~
- Limiting height and density;
- Compatible infill and additions;
- Refer to Appendix 2 for additional mitigation strategies.

3.5.3 Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and/or enhanced by the development or redevelopment. **(n/a)**

3.5.4 If relocation, removal, demolition or other significant alteration to a heritage resource is proposed by the landowner and is supported by the heritage consultant, provide clear rationale and justification for such recommendations. **(n/a)**

3.5.5 If retention is recommended, outline short-term site maintenance, conservation, and critical building stabilization measures. **(n/a)**

3.5.6 Provide recommendations for follow-up site-specific heritage strategies or plans such as a Conservation Plan, Adaptive Reuse Plan, and/or Structural/Engineering Assessment. **(n/a)**

3.5.7 If a heritage property of cultural heritage value or interest cannot be retained in its original location, consider providing a recommendation for relocation by the owner to a suitable location in reasonable proximity to its original siting. **(n/a)**

3.5.8 If no mitigation option allows for the retention of the building in its original location or in a suitable location within reasonable proximity to its original siting, consider providing a recommendation for relocation to a more distant location. **(n/a)**

3.5.9 Provide recommendations for advertising the sale of the heritage resource. For example, this could include listing the property on the Architectural Conservancy of Ontario (ACO) website in order to allow interested parties to propose the relocation of the heritage resource. Acceptable timelines and any other requirements will be determined in consultation with City staff. The link to the ACO's Historic Architectural Linking Program is provided below:

http://www.arconserv.ca/buildings_at_risk_for_sale.cfm **(n/a)**

3.5.10 If a property cannot be retained or relocated, alternatives will be considered for salvage and mitigation. Only when other options can be demonstrated not to be viable will options such as reunification or symbolic conservation be considered. Detailed documentation and commemoration (e.g. a heritage interpretative plaque) may also be required. Salvage of material must also occur, and a heritage consultant may need to provide a list of features of value to be salvaged. Materials may be required to be offered to heritage-related projects prior to exploring other salvage options. Ruinification allows for only the exterior of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development or using a symbolic design method to depict a theme or remembrance of the past. **(REQUIRED)**

3.5.11 If the subject property abuts to one or more listed or designated heritage properties, identify development impacts and provide recommended mitigation strategies to ensure the heritage resources on the adjacent properties are not negatively impacted. Mitigation strategies include, but are not limited to: **(n/a)**

- vegetation screening;
- fencing;
- buffers;
- site lines;
- an architectural design concept for the massing and façade treatment of proposed buildings to ensure compatibility with the adjoining property and the like.

3.5.12 An implementation schedule and reporting/monitoring system for implementation of the recommended conservation or mitigation strategies may be required. **(n/a)**

3.6 Recommendations (PARTIALLY REQUIRED)

3.6.1 Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it. **(REQUIRED)**

3.6.2 Clearly state whether the subject property is worthy of heritage designation under the Ontario Heritage Act. **(n/a)**

3.6.3 The following questions must be answered in the final recommendation of the report: **(n/a)**

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?
- Why or why not does the subject property meet the criteria for heritage designation?
- Regardless of the failure to meet criteria for heritage designation, can the structure or landscape be feasible integrated into the alteration/development?

3.6.4 Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

3.7 Executive Summary (REQUIRED)

3.7.1 Provide an executive summary of the assessment findings at the beginning of the report.

3.7.2 Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.

*** All other sections shall be followed unless otherwise indicated***

APPENDIX D COMPARABLE PROJECTS TO THE PROPOSED OPTIONS FOR 8990 MCLAUGHLIN ROAD SOUTH

Option 1: 150 Symes Road, Toronto, Ontario

The building on the property at 150 Symes Road, also known as the former “Symes Road Incinerator” building, was retained *in situ* and adaptively reused as commercial space. This property is designated under Section 29, Part IV of the *OHA* and has external heritage attributes. The building on the property was retained *in situ* and was rehabilitated. Few external modifications have been made to the building and its heritage attributes (Figure 9).



Figure 9: Photograph showing a section of the former Symes Road Incinerator building²⁶

²⁶ Architectural Conservancy of Ontario. “Symes Road Incinerator.” 2024. Accessed 16 May 2024. <https://www.acotoronto.ca/building.php?ID=10711>.

Option 2: 234 Bay Street, Toronto, Ontario

The building on the property at 234 Bay Street, also known as the former “Toronto Stock Exchange Building” and the “Toronto Design Exchange”, was included as part of the property’s redevelopment. This property is designated under Section 29, Part IV of the *OHA* and has internal and external heritage attributes.

The building on the property was retained *in situ* and its primary elevation was retained as a prominent characteristic of the redeveloped property. Its side elevations and interior were also kept through the property’s redevelopment (Figure 10). This approach retained the buildings external and internal heritage attributes.



Figure 10: Photograph showing the integration of the former Toronto Stock Exchange building into a new development.²⁷

²⁷ Wikipedia. “Toronto Stock Exchange.” Last updated 16 February 2024. Accessed 16 May 2024. https://en.wikipedia.org/wiki/Toronto_Stock_Exchange.

Option 3 and Option 4: 545 Lake Shore Boulevard West, Toronto, Ontario

The building on the property at 545 Lake Shore Boulevard West, also known as the “Crosse and Blackwell Building”, was included as part of a redevelopment proposal. This property is listed under Section 27, Part IV of the *OHA* and has external heritage attributes. The project included the use of the building as part of a mixed-use redevelopment.

A high concentration of the building’s heritage attributes are located on an enclosed, hexagonal pavilion at the main entrance. The proposed redevelopment retains the pavilion *in situ* and focuses new construction towards the rear of the property (Figure 11).



Figure 11: Rendering of the proposed redevelopment of 545 Lake Shore Boulevard West²⁸

²⁸ City of Toronto. “Alterations to a Heritage Property and Authority to Enter into a Heritage Easement Agreement - 545 Lake Shore Boulevard West.” Dated 4 January 2022. Accessed 16 May 2024. <https://www.toronto.ca/legdocs/mmis/2022/te/bgrd/backgroundfile-176348.pdf>.

Option 5 and Option 6: 180 Metcalfe Street, Ottawa, Ontario

The building on the property at 180 Metcalfe Street, also known as the former “Medical Arts Building”, was included as part of a redevelopment proposal for a mixed-use development. This property is designated under Section 29, Part IV of the *OHA* and has external attributes.

The property’s redevelopment retains the building’s primary elevation and sections of its side elevations (Figure 12). The retained sections of the external wall will be rehabilitated and most of the building’s internals will be demolished.



Figure 12: Rendering of the proposed redevelopment of 180 Metcalfe Street.²⁹

²⁹ Robertson Martin Architects. “CULTURAL HERITAGE IMPACT STATEMENT R2 & CONSERVATION PLAN: MEDICAL ARTS BUILDING DEVELOPMENT.” Dated 27 July 2018. Accessed 16 May 2024. <https://pub-ottawa.escribemeetings.com/filestream.ashx?documentid=58111>.

Option 7: 484 Spadina Avenue, Toronto, Ontario

The property at 484 Spadina Avenue, also known as the “Silver Dollar Room”, was included as part of a 15-storey mixed-use development. This property is designated under Section 29, Part IV of the *OHA* and has internal and external heritage attributes. The project included the demolition and reconstruction of the heritage building (Figure 13).

The properties external attributes, including its location on Spadina Avenue; scale, form, and massing of the building; flat roof; circular lit sign with the words “The Silver Dollar Room”; and the original location of the entrance were each generally retained. Internal attributes, including the open volume of the performance and bar space at the east end of the building including the bar, the stage and the terrazzo floor with raised areas, was also retained. Per a staff report prepared by City of Toronto Planning staff:

On the interior the heritage attributes of the Silver Dollar Room are the open volume of the performance and bar space including the bar, the stage and the terrazzo floor with raised areas. The coved ceiling and original ceiling height of the Silver Dollar Room are important features that help define the volume of the performance and bar space). The interior dimensions and configuration of the original Silver Dollar Room have been closely replicated in the new ground floor entertainment space (Attachment No.3).

In the context of the major redevelopment of this property, temporary removal of the interior attributes off-site is essential to their conservation. The painted murals will be carefully removed in as large pieces as possible, using methods specific to their material composition (glass vs plaster), size (vertical panels) and method of attachment. They will be restored off-site and reinstated on the new interior space to replicate their existing location and spatial arrangement.

The bar will be preserved with minimal intervention to the millwork. Original fabric will be reupholstered with material to match the original as closely as possible. Missing wood moulding will be replaced. The bar and the stainless steel footrest (to be cleaned) will be reinstated in their original location.³⁰

³⁰ City of Toronto. “Demolition and Reconstruction of a Designated Heritage Property - 484 Spadina Avenue (The Silver Dollar Room).” Dated 9 February 2017. Accessed 16 May 2024. <https://www.toronto.ca/legdocs/mmis/2017/te/bgrd/backgroundfile-101946.pdf>.



Figure 13: Photograph showing the redeveloped interior of the “Silver Dollar Room”.³¹

³¹ Tangerine, S. in Trapunski, R. “A first look inside the rebuilt Silver Dollar Room.” Dated 18 September 2021. Accessed 16 May 2024. <https://nowtoronto.com/music/a-first-look-inside-the-rebuilt-silver-dollar-room/>.