

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13

Please Note: You are receiving this notice as you are within 60 meters of the subject property.

Application Number: A-2024-0292
Property Address: 29 New Forest Terrace
Legal Description: Plan 43M2121 Lot 3, Ward 10
Agent: Khalsa Design Inc. c/o Amritpal Bansal
Owner(s): Surjit Singh, Amarjit Kaur, Avtar Singh
Other applications: nil
under the *Planning Act*

Meeting Date and Time: Tuesday, September 17, 2024, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit a rear yard setback of 4.29 metres to a proposed two-storey single detached dwelling, whereas the by-law requires a minimum rear yard setback of 7.5 metres; and
2. To permit a proposed two-storey single detached dwelling having a building height of 12.1 metres, whereas the by-law permits a maximum building height of 10.6 metres.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, September 12, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, September 12, 2024**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 5th day of September 2024

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca

BLOCK

PIN 14219-0095 (L)

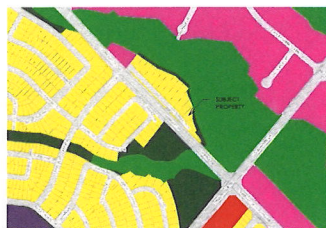
SURVEY NOTE:
EXISTING TOPOGRAPHIC SURVEY
INFORMATION TAKEN FROM
SURVEY PREPARED BY MAURO
GROUP INC.

GRADING NOTE:
REFER TO GRADING PLAN FOR
DETAILS PREPARED BY A&M

SITE STATISTICS		
ZONE AT (IN AS PER 16.4.1)		
LOT WIDTH	6.11	PROPOSED
LOT FRONTAGE	50.00 m	28.88 m
BUILDING AREA		
FRONT YARD	N/A	41.45
REAR YARD	4.8 m (16 ft) to the rear of the property	4.06 m
ADJACENT SIDE YARD	N/A	N/A
SIDE YARD	1.2 m	1.2 m
REAR YARD	7.5 m	4.29 m
BUILDING HEIGHT	10.6 m	12.1 m
PROPOSED DWELLING		297.80 m ²
GARAGE		23.84 m ²
POORCHES		8.87 m ²
DECK		31.93 m ²
TOTAL		412.57 m ²

SITE PLAN APPLICATION NO.

LOT 3
PLAN M-312
CITY OF BRAMPTON
REGION OF PEE



PROJECT NAME
**29 NEW FOREST
TERRACE,
BRAMPTON ON**

PROJECT ADDRESS

29 NEW FOREST TERRACE,
BRAMPTON ON

CLIENT

**FRIENDS REAL
DESIGN**

ARCHITECT

KHALSA DESIGN INC.



BRAMPTON, ON

TELEPHONE: 647-468-2340

CONSULTANTS:

STRUCTURAL ENGINEER:
MEM ENGINEERING INC.

STRUCTURAL SEAL:

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THESE DRAWINGS ARE NOW AND DO
REMAIN THE SOLE PROPERTY OF KHALSA
DESIGN USE OF THESE PLANS OR ANY
FORM OF REPRODUCTION OF THIS
DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS
WRITTEN CONSENT IS PROHIBITED AND
SHALL RESULT IN THE FULLEST EXTENT OF
PROSECUTION UNDER LAW

ARCHITECT SEAL:

Project number 23044
Date 04/13/2024
Drawn by AB
Checked by KDI
Scale As indicated

REVISIONS

No.	Description	Date

SITE PLAN

ASP-1

29 NEW FOREST TERRACE,
BRAMPTON ON

SITE OF BRAMPTON NO. 10

ALL WORKS DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMANCE WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING, PLACED AT THE DWP LINE OF THE TREE, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS OR BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES (EQUIPMENT ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.

SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING DIVISION SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICE INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

THE FORM OF THE DRIVEWAY WITHIN THE MUNICIPAL ROADWAY SHALL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.

AT THE ENTRANCE TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DISCREPANCY WILL BE PROVIDED FOR EACH ENTRANCE.

ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.

ALL DAMAGED LANDSCAPE AREA WILL BE RESTORED WITH TOPSOIL AND SOIL FOLLOWING CONSTRUCTION ACTIVITY. ANY CITY SIDEWALK NEED DAMAGED OR REMOVED ARE TO BE REPLACED WITH FORM CALIPER DISCOURSE WITHIN THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE.

ALL EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY (IF APPLICABLE).

REGION OF PEE NO. 10

ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEE. PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 mm (4") AND LARGER MUST BE P.V.C. CLASS 180 TO AWWA SPEC C900/25 AND COPPER TYPE K FOR 30 DIA. AND SMALLER.

WATERMAIN AND/OR WATER SERVICE ARE TO HAVE A MINIMUM COVER OF 1.7 m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.7 m (5'6") FROM THEMSELVES AND ALL OTHER UTILITIES.

PROVISIONS FOR FURNISHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 30 mm (1") TIE TO A 100 mm (4") AND LARGER LINE. ALL TIES ARE TO BE TIGHTENED PRIOR TO THE END OF CONSTRUCTION IN THE SAME SIZE AS THE LINE. THEY MUST ALSO BE IDEALLY OR PERMITTED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DRIVEWAY OR ON THE PAVED DRIVEWAY. THE WATER MAIN SHALL BE TIGHTENED PRIOR TO THE END OF CONSTRUCTION.

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.

HYDANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND 8.0 m (26') AND 8.0 m (26') AND TO HAVE FAN FAN HOUSING.

WATERMAIN TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.

WATERMAIN MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (1'2") OVER 0.5 m (1'6") UNDER SEWERS AND ALL OTHER UTILITIES WITHIN CROSSING.

ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESURE TESTING AND CHLORINATING/DECHLORINATING SYSTEMS.

ALL LIVE WIRING AND OPERATION OF REGION WATER MAINS SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATING, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF ITS WORK. WHEN SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO EXCAVATING FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THE INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

GRADING AND EROSION CONTROL

1. MAXIMUM GRADIENT OF GRADE SWALES ALONG SIDE AND REAR LOT LINES SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE AND REAR LOT LINES SHALL BE THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 2.0%.

2. THE TOP OF REAR AND SIDE GRADE DIFFERENCE SHALL BE BETWEEN 2.0% AND 3.0% OR A MAXIMUM OF 75% OF THE REAR YARD AND SLOPES OF 3:1 HORIZONTAL AND 1 VERTICAL MAXIMUM TO THE REAR LOT LINE.

3. EDGE OF THE DRIVEWAYS ARE A MINIMUM OF 1.0 m FROM EDGE OF STREET CATCH BASIN AND STREET FURNITURE. THE BUILDING IS TO VERIFY THE LOCATION AND TO REMOVE THE EXISTING IF THE DIMENSION CANNOT BE MAINTAINED PRIOR TO EXCAVATION FOR THE FOOTINGS.

4. BRICK LINES SHALL BE 0.15 m ABOVE SOIL ELEVATION.

5. ALL NEW FENCES REQUIRED ADJACENT PUBLIC LANDS AND OR EXISTING PROPERTIES SHALL BE CONSTRUCTED WITH MATERIAL INCLUDING FORMATION SOILS ONLY ON PRIVATE LANDS AND TOTALLY CONFORM TO THE CITY OF BRAMPTON STANDARD SPECIFICATIONS.

6. SOIL CONDITIONS VERIFICATION REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED ALL TOLLS.

7. THE BUILDER MUST VERIFY THE ALL CONSTRUCTED ON SANITARY AND STORM SERVICES INVERTS AND INFORM THE ENGINEER IF THE MINIMUM 2.0% GRADE CANNOT BE MAINTAINED PRIOR TO PLACING OF CONCRETE FOOTINGS.

8. BUILDER TO VERIFY LOCATION ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MINIMUM CLEARANCES ARE NOT MAINTAINED BUILDER IS TO REDUCE AT THE OWN EXPENSE.

9. BUILDER TO TAKE UP DRIVEWAY CURB DEPRESSION AT THE TOP OF CURB INSTALLATION.

10. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.

11. THE PROPOSED GRADING IS IN CONFORMANCE WITH THE GRADING PLANS APPROVED FOR THE LOT SPECIFIC AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.

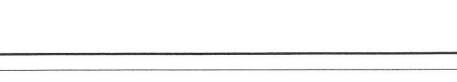
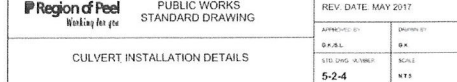
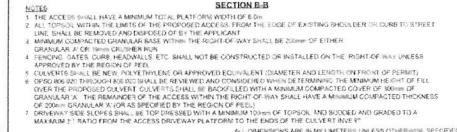
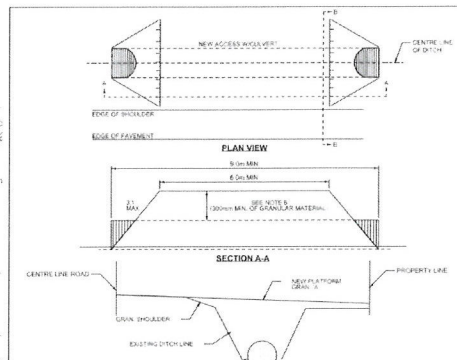
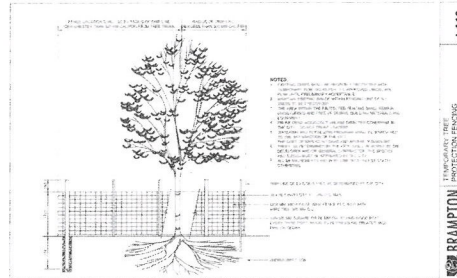
12. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.

13. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR FROM EDGE OF DRIVEWAY, INCLUDING STREET CATCH BASIN.

14. APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONFORMANCE WITH THE GRADING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF KHALSA DESIGN INC.

15. UNLESS NOTED ON BUILDING PERMIT OR ON APPROVED PERMIT DRAWINGS AND CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS ARE TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR THE FINISH FLOOR ON THE FINISH AND GRADING PLAN. THE FINISH OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION IN THICKNESS FOR MASONRY VENEER AS REQUIRED.

THE BUILDER / APPLICANT AGREES THAT BY RECEIVING THE LOT GRADING CERTIFICATION BEFORE THE AVAILABILITY OF INVERT CONNECTION, THE BUILDER / APPLICANT ASSUMES ALL RESPONSIBILITIES FOR ANY POTENTIAL COMPLICATIONS DUE TO THE ULTIMATE SEWER CONNECTION ELEVATIONS AT THE STREET LINE.



REGISTERED

LOT 3

AREA = 1209 Sq.m.

CE

17 Sq.m.
RVE)

PROPOSED 2 STOREY
SINGLE FAMILY DWELLING
FFE = XXX.XX
GFE = XXX.XX
BFE = XXX.XX

1 Site
3/32" = 1'-0"