

Flower City



brampton.ca

FILE NUMBER: A-2024-0293

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

- 1. Name of Owner(s)** SAVERA, VIRK / GURPREET SINGH / KULWINDER SINGH / BALBIR KARR
Address 38 BURLWOOD RD
BRAMPTON, ON
Phone # _____ **Fax #** _____
Email _____
- 2. Name of Agent** AMRITPAL BANSAL / KHALSA DESIGN INC.
Address 3 FOREST HILL LANE, EAST GARAFRAXA ON L9W 7S4
Phone # 647-468-2940 **Fax #** _____
Email abansal@tkgeast.ca
- 3. Nature and extent of relief applied for (variances requested):**
front yard setback of 4.06 m whereas 4.5m is required.
rear yard setback at certain points of the rear of the building of 4.29m whereas 7.5m is required.
Building height of 12.1m whereas 10.6m is required.
- 4. Why is it not possible to comply with the provisions of the by-law?**
irregular shaped lots at the end of a dead-end circle. In order to maintain the streetscape of similar
size/style and scale of the existing homes the setback reliefs are requested. Due to the change in grade
from front to rear of the property, average grade is lowered naturally which results in a request of a
building height relief.
- 5. Legal Description of the subject land:**
Lot Number LOT 4 NEW FOREST TERRACE
Plan Number/Concession Number PLAN M-312
Municipal Address 31 NEW TERRACE, BRAMPTON ON
- 6. Dimension of subject land (in metric units)**
Frontage 20.11
Depth 77.66
Area 1747.74
- 7. Access to the subject land is by:**
Provincial Highway _____ Seasonal Road _____
Municipal Road Maintained All Year ☒ YES Other Public Road _____
Private Right-of-Way _____ Water _____

0. Particulars of all buildings and structures on or proposed for the subject land:
(specify in metric units ground floor area, gross floor area, number of storeys,
width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

VACANT LANDS

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NEW PROPOSED 2 STOREY SINGLE FAMILY DWELLING

1. Location of all buildings and structures on or proposed for the subject lands:
(specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback

Rear yard setback

Side yard setback

Side yard setback

PROPOSED

Front yard setback

4.06

Rear yard setback

4.29

Side yard setback

1.2

Side yard setback

1.2

0. Date of Acquisition of subject land: OCT 2023
1. Existing uses of subject property: VACANT LANDS
2. Proposed uses of subject property: RESIDENTIAL
3. Existing uses of abutting properties: RESIDENTIAL
4. Date of construction of all buildings & structures on subject land: N/A
5. Length of time the existing uses of the subject property have been continued: N/A

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

Swales

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes

☒ No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes

No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes

☒ No

Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Mississauga
THIS 12 DAY OF June, 2024

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Suman Virdi, Garpreet Singh,
Kulwinder Singh, Dalbir Kaur OF THE city OF Brampton
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Mississauga

IN THE Province OF

Ontario THIS 12 DAY OF

June, 2024

[Signature]
A Commissioner etc.

DALBIR SINGH KELLEY
Barrister, Solicitor & Notary Public

1200 Derry Road East, Unit #15
Mississauga, Ontario, Canada, L5T 0B3 FOR OFFICE USE ONLY
Tel: 905-362-0755 Fax: 905-362-0754
Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

July 24, 2024

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 31 NEW TERRACE BRAMPTON ON (LOT 4 PLAN M-312)

SAVERA VIRK / GURPREET SINGH / KULWINDER SINGH / BALBIR KAUR
I/We, VIRK SAVERA, SINGH GURPREET, SINGH KULWINDER/KAUR BALBIR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

AMRITPAL BANSAL / KHALSA DESIGN INC.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application
for **minor variance** with respect to the subject land.

Dated this 12 day of June, 2024

Kulwinder Singh Gurt Singh, Saver Virk Balbir Kaur -
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 31 NEW TERRACE BRAMPTON ON (LOT 3 PLAN M-312)

I/We, SAVERA VIKR/GURPREET SINGH/KULWINDER SINGH/BALBIR KAUR
VIRK SAVERA, SINGH GURPREET, SINGH KULWINDER/KAUR BALBIR
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12 day of June, 2024.

Kulwinder Singh, Gurt Singh, Saveria Viree, Balbir Kaur
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



KHALSA DESIGN INC.
www.tkgeast.ca abansal@tkgeast.ca 647.468.2940
www.tkgeast.com

LOT 4 - NEW FOREST TERRACE, BRAMPTON, ON
SRAI RESIDENCE

23044
6512 SF EXCLUDING OPEN SPACE & GARAGE

All drawings, specifications, related documents and design are the copyright property of Khalsa Design Inc. (KDI). Reproduction of this property in whole or in part is strictly prohibited without KDI's written permission.

BUILDER

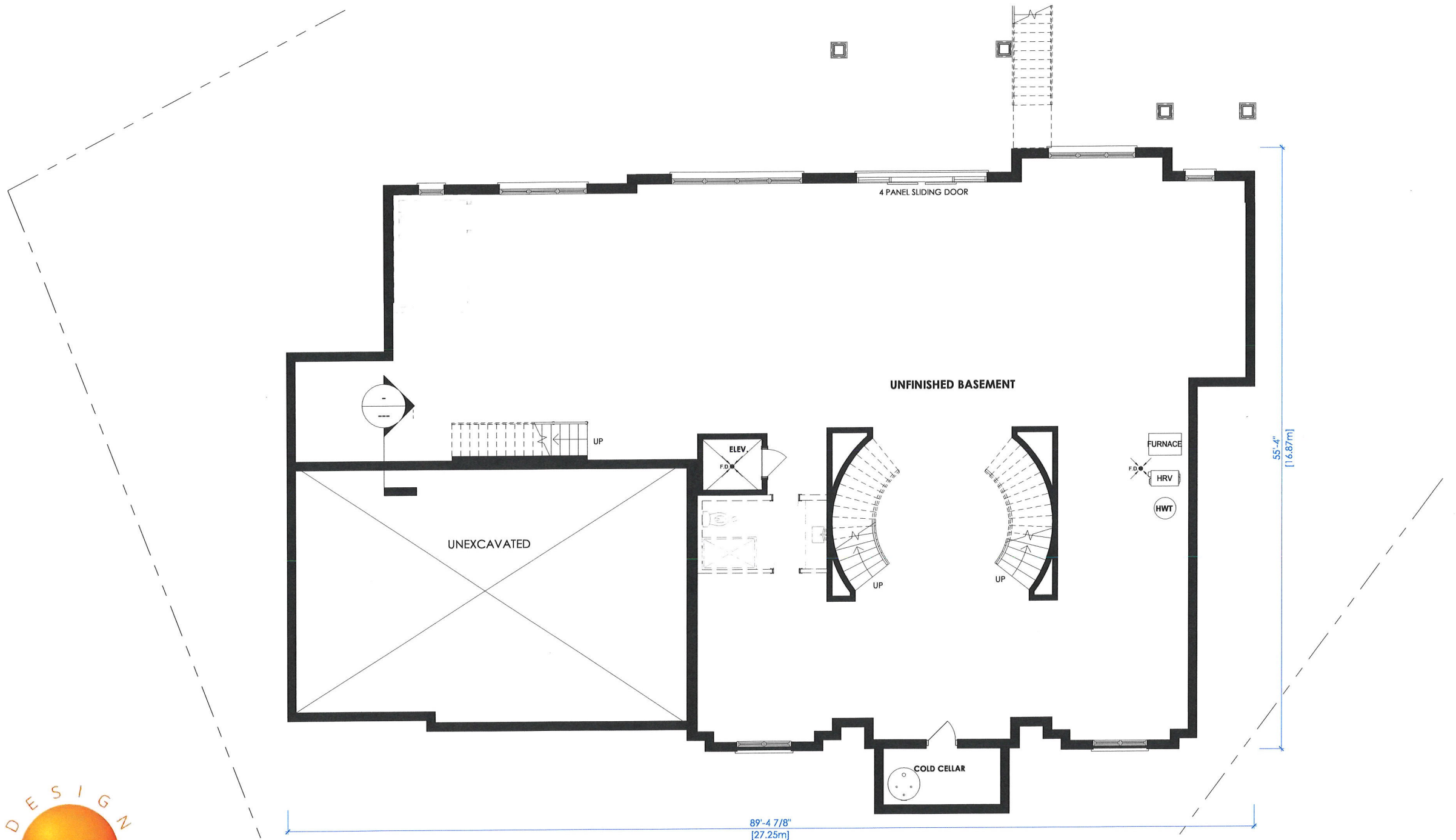
SCALE:
1/8" = 1'-0"
DATE:
12/19/2023
DRAWN BY:
ASB

DRAWING TITLE:

BASEMENT FLOOR

SHEET NO.

A0





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647.468.2940

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BUILDING

SCALE:
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DRAWN BY:
ASB

DRAWING TITLE

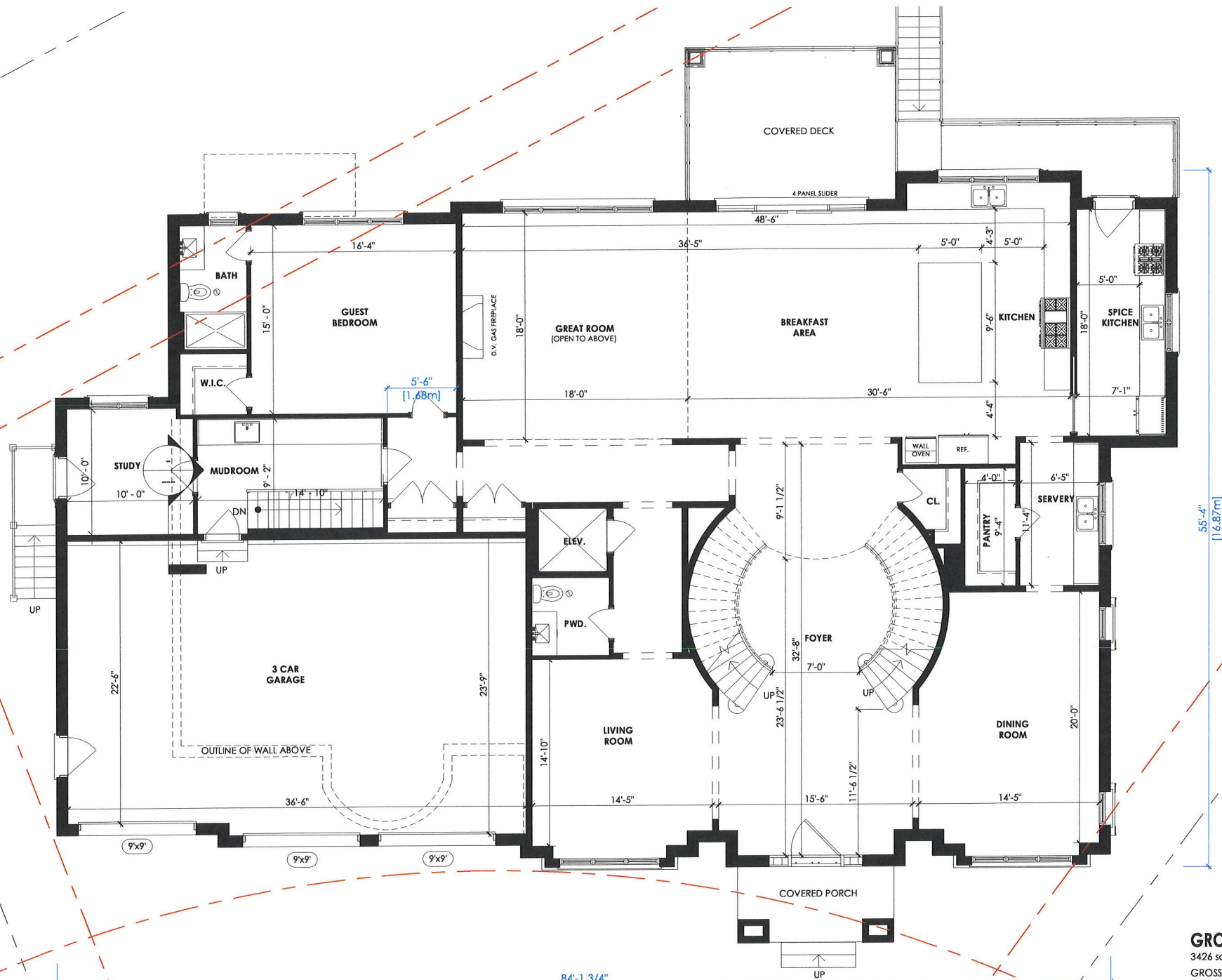
GROUND FLOOR

SHEET NO.

A1

GROUND FLOOR

3426 sq ft	
GROSS FLOOR AREA	3440 sq ft
DEDUCT OPEN AREAS	14 sq ft
COVERAGE W/O PORCH	4340 sq ft
COVERAGE W/ PORCH	4594 sq ft





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DRAWING TITLE

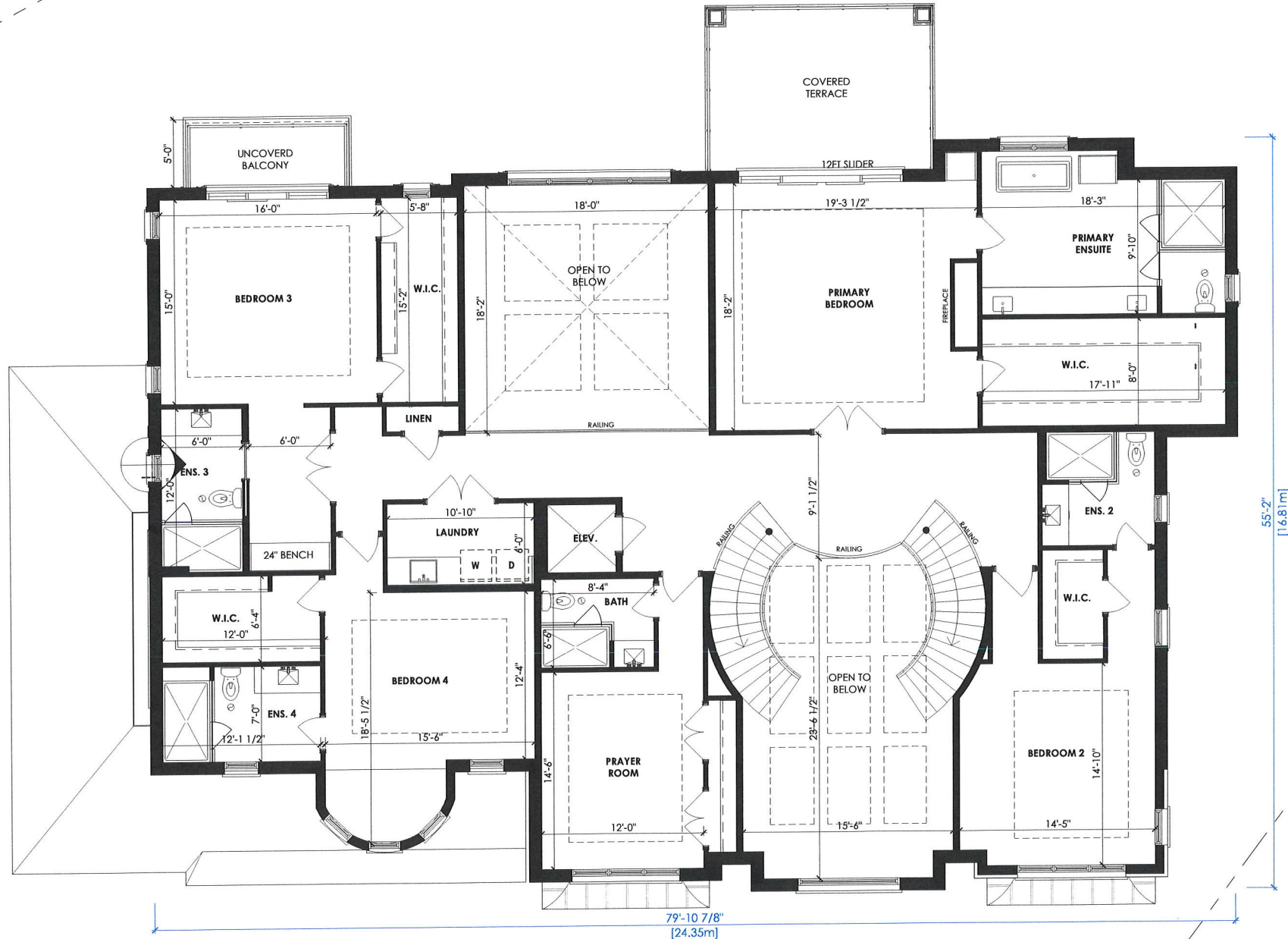
SECOND FLOOR

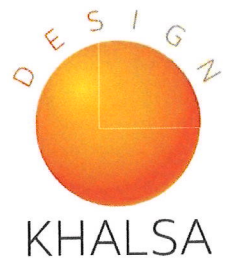
SECOND FLOOR

3086 sq ft	
GROSS FLOOR AREA	3837 sq ft
DEDUCT OPEN AREAS	751 sq ft
NET AREA	3086 sq ft

SHEET NO.

A2





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LOT 4 - NEW FOREST TERRACE, BRAMPTON, ON
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BUILDER

SCALE:
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DRAWING TITLE:
FRONT ELEVATION

SHEET NO.

A3.0



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DRAWING TITLE

REAR ELEVATION

SHEET NO.

A3.1





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LOT 4 - NEW FOREST TERRACE, BRAMPTON, ON
SRAI RESIDENCE **23044**
 6512 SF EXCLUDING OPEN SPACE & GARAGE

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BUILDER

SCALE:
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DRAWING TITLE

**RIGHT SIDE
 ELEVATION**

SHEET NO.

A3.2



- TOP PLATE 434.46 m
- 2nd Floor 431.38 m
- 1st Floor 427.7 m
- MUDROOM 427.32 m
- Basement 424.63 m



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SCALE
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DRAWING TITLE

**LEFT SIDE
ELEVATION**

SHEET NO.

A3.3



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REVISION

SCALE

DATE
 12/19/2023
 DRAWN BY
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DRAWING TITLE

PERSPECTIVES

SHEET NO

A3.4



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DRAWING TITLE

FRONT ELEVATION

SHEET NO.

A3.0



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ASB

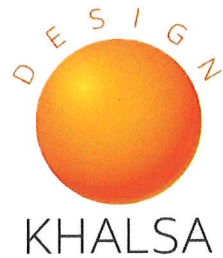
DRAWING TITLE

REAR ELEVATION

SHEET NO.

A3.1





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LOT 4 - NEW FOREST TERRACE, BRAMPTON, ON
SRAI RESIDENCE

23044
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BUILDER

SCALE:
1/8" = 1'-0"
DATE:
12/19/2023
DRAWN BY:
ASB

DRAWING TITLE
**RIGHT SIDE
ELEVATION**

SHEET NO
A3.2

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BUILDER

SCALE:
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DATE:
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DRAWING TITLE
**LEFT SIDE
ELEVATION**

SHEET NO.
A3.3

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LOT 4 - NEW FOREST TERRACE, BRAMPTON, ON
SRAI RESIDENCE

23044
6512 SF EXCLUDING OPEN SPACE & GARAGE

BUILDER

SCALE

DRAWING TITLE

SHEET NO.

DATE:
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PERSPECTIVES

A3.4

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Zoning Non-compliance Checklist

File No.
A-2024-0293

Applicant: Amritpal Bansal
Address: 31 New Forest Terrace
Zoning: R1E-20-2909
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS - REAR	To permit a rear yard setback of 4.84m to a proposed two-storey single detached dwelling,	whereas the by-law requires a minimum rear yard setback of 7.5m.	13.4.2(g)
BUILDING SIZE			
BUILDING HEIGHT	To permit a two-storey single detached dwelling having a building height of 12.1m,	whereas the by-law permits a maximum building height of 10.6m.	13.4.2(h)
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/07/17

Date