



Report Committee of Adjustment

Filing Date: August 16, 2024

Hearing Date: September 17, 2024

File: A-2024-0319

Owner/ Sunfield Dixie JV Inc.

Applicant: Miko Urban Consulting Inc. c/o Peter Chee

Address: 9124 Dixie Road

Ward: 7

Contact: Megan Fernandes, Assistant Development Planner

Recommendations:

That application A-2024-0319 is supportable, subject to the following conditions being imposed:

1. That the extent of the variance be limited to that shown on the sketch attached to the Notice of Decision;
 2. That a clause be included within the Agreement of Purchase and Sale for each of the subject properties advising of the variance affecting the property. In the event the property has been sold, the applicant shall provide written confirmation to the Secretary-Treasurer that the purchaser(s) of the property acknowledge and accept the variance;
 3. That the owner finalize site plan approval under City File SP09-048.000, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
 4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.
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Background:

The subject lands has an approximate site area of 0.44 hectares and is proposed to be developed for 11 (eleven) residential units consisting of 10 semi-detached units and 1 detached residential unit. The property was recently subject to a Zoning By-law Amendment and Draft Plan of Subdivision application (C03E06.016) approved by the Ontario Land Tribunal (Case No: PL110363). Zoning By-law

Amendment By-law number OLT ZB3-2021 approved the Residential Semi-Detached A (R2A) - Special Section 3018 (R2A - 3018)' and Open Space (OS), zoning designation on the lands. A related Site Plan Approval application (SP09-048.000) is currently being reviewed by City Staff to facilitate the proposed development.

As outlined by the applicant's cover letter and submitted materials, the two requested variances in this application is due to an oversight in the Site-Specific Zoning By-law. From Staff's review of the application, only two corner lots are impacted by the proposed variances.

Existing Zoning:

The property is zoned 'Residential Semi-Detached A – Special Section 3018 (R2A-3018)', according to By-law 270-2004, as amended.

Requested Variances:

The applicant is requesting the following variance:

1. To permit 1.2 metre setback from a garage door opening to the flankage lot line, whereas the by-law requires a minimum setback of 6 metres from a garage door opening to the flankage lot line;
2. To permit a minimum distance of 3 metres between the edge of a driveway and the actual or projected point of intersection of two streets, whereas the by-law requires a minimum distance of 6 metres between the edge of a driveway and the projected point of intersection of two streets.

Current Situation:

1. Maintains the General Intent and Purpose of the Official Plan

The subject lands are designated as 'Community Areas' (Schedule 1A – City Structure), 'Neighbourhood' (Schedule 2 – Designations) and located within the QUE-5 MTSA Area (Schedule 1B – Major Transit Station Areas) in the Brampton Plan. On May 16th, 2024, the Region of Peel formally issued a notice of approval with modifications for the City of Brampton's new Official Plan, known as the 'Brampton Plan.' The Plan was scheduled to take effect on June 6th, 2024, except for any sections that may be subject to appeal. Schedules 1A and 2 have been appealed on a city-wide basis and therefore the 2006 Official Plan designations are in effect until the appeal is resolved. The subject lands are designated as 'Residential' in the Official Plan and 'Medium Density Residential' in the Bramalea Secondary Plan (Area 3). The requested variances have no impact within the context of the policies of the Official Plan.

2. Maintains the General Intent and Purpose of the Zoning By-law

The property is zoned 'Residential Semi-Detached A – Special Section 3018 (R2A-3018)', according to By-law 270-2004, as amended.

Variance 1 is requested to permit 1.2 metre setback from a garage door opening to the flankage lot line, whereas the by-law requires a minimum setback of 6 metres from a garage door opening to the flankage lot line. The intent of regulating the flankage yard is to ensure adequate separation from the street, provide a safe distance for visibility at the corner and ensure that a dwelling does not dominate the streetscape. In this instance, the proposed dwellings are two corner units identified as Part 2 and Part 3 on the Site Plan. The proposed dwelling has a flankage yard setback of 1.2 metres and the proposed additions will extend 4.8 metres beyond the what the Zoning By-law permits. The elevations in Appendix B provides a visual representation of the projection of the proposed garages. Staff are of the opinion that the requested variance is minor and will not have a negative impact on public realm or adjacent or surrounding properties.

Variance 2 is requested to permit a minimum distance of 3 metres between the edge of a driveway and the actual or projected point of intersection of two streets, whereas the by-law requires a minimum distance of 6 metres between the edge of a driveway and the projected point of intersection of two streets. The intent of the by-law with regard to regulating the distance of driveways from intersections is to allow for unobstructed sight lines for safe vehicular travel. The application has been reviewed with Transportation Planning staff to ensure that safe sightlines are provided. Staff have reviewed the proposed reduction in the distance between the driveway and the intersection, and a 3m distance is considered to be satisfactory from a functional safety perspective.

The corner lots, identified as Part 2 and Part 3 are the only units within the proposed development that require the aforementioned variances. It is recommended that a condition be included that the variances only apply to Part 2 and Part 3. It is also recommended that a clause be included within the Agreement of Purchase and Sale for these lots advising future purchasers of the variances affecting the properties. With these conditions, both variances maintain the general intent and purpose of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The proposed setback of the garage door opening to the flankage lot line and the distance between the edge of a driveway and the actual or projected point of intersection of two streets on the lots would not negatively affect the streetscape or create safety issues by blocking sightlines. It is recommended that there be a condition requiring measures to be put in place to advise future purchasers of the property of the variances. Furthermore, a condition of approval is provided, that the applicant obtain Site Plan Approval under City File SP09-048.000, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services. Subject to the recommended conditions, the proposed variances are desirable for the appropriate development of the land.

4. Minor in Nature

The proposed variances are not anticipated to negatively impact the daily function and operation of the subject lands or adjacent properties. The variances are not anticipated to generate significant adverse impacts on-site or off-site or limit the functionality of the site. Subject to the recommended conditions of approval, the variances are minor in nature.

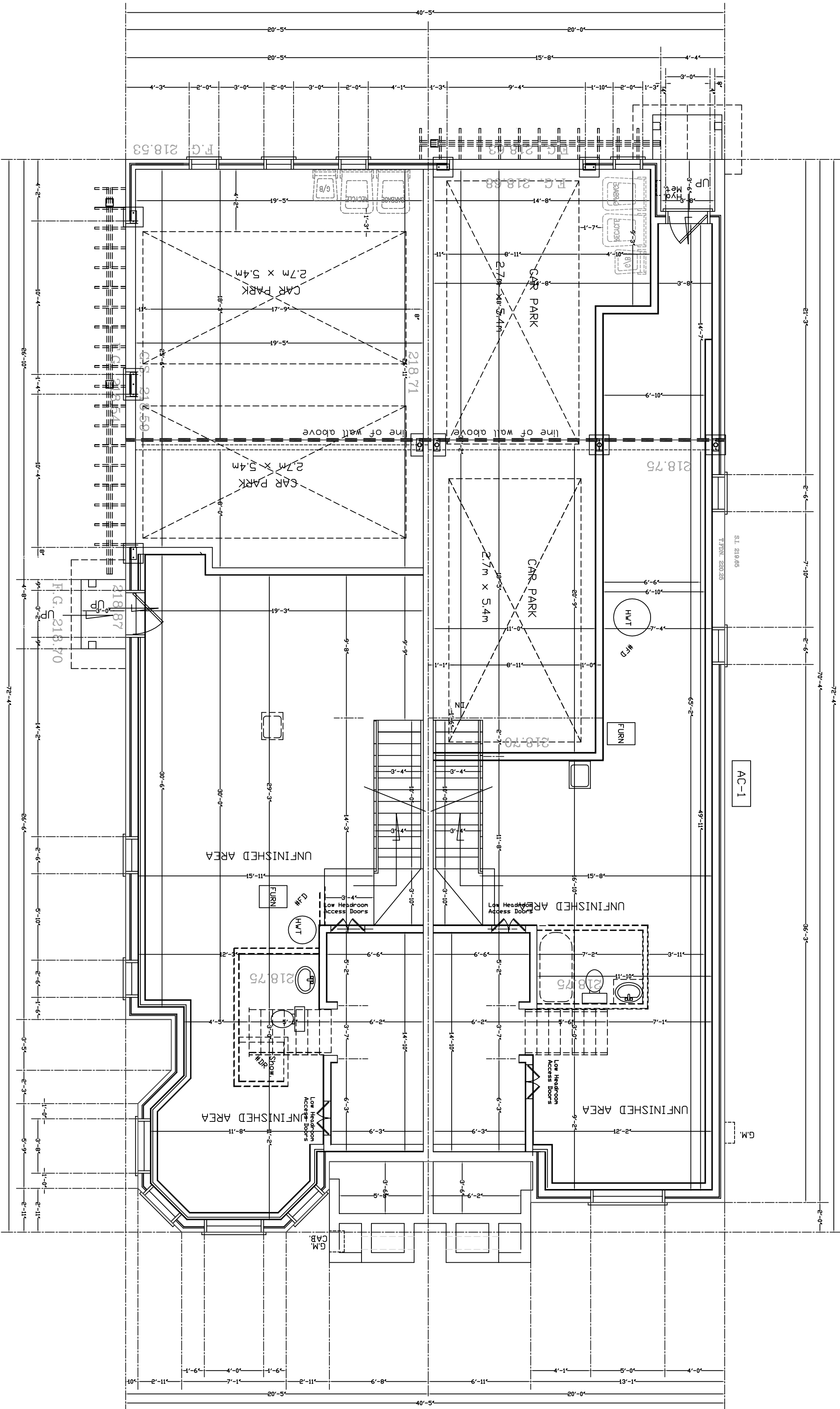
Respectfully Submitted,

Megan Fernandes

Megan Fernandes, Assistant Development Planner

Appendix A – Site Visit Photos





PART 1
PART 2

Water Consumption Notes:
The maximum flow rate for the following fixtures

- 1) Toilets 4.8 L/P
2) Faucets 8.3 L/M
3) Showerheads 8.3 L/M

LEGEND

- DENOTED GRADE ELEVATIONS (Metric) 218.40
- DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
RECYCLING 2'-11"x2'-3"x3'-11"
DRAINAGE 2'-11"x2'-3"x3'-11"

12	SITE PLAN RESUBMISSION	JAN 04/04 PC
11	Basement Windows Revised Roof Line New 04/02 PC	
10	City Comments 03/03	NOV 11/03 PC
9	UAT SUBMISSION - 1	SEP 06/03 PC
8	DM/LPAT SUBMISSION - 4	JAN 06/03 PC
7	As per Virtual Planning Meeting	NOV 01/03 PC
6	DM/LPAT SUBMISSION - 4	OCT 07/03 PC
5	DM SUBMISSION - 2	FEB 11/03 PC
4	SITE PLAN RE-SUBMISSION	AUG 00/01 PC
3	Revision due to Site Plan Changes	May 01/01 PC
2	Revision due to TCCA List of Requirements	Nov 01/01 PC
1	Revision due to Grade Changes	Oct 18/01 PC
NO.	REVISIONS	DATE BY

General Notes:
1) CONTRACTOR TO CHECK ALL DIMENSIONS SPECIFICATIONS, AND DISCREPANCIES TO THE ENGINEER'S DRAWINGS.
2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR USED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
3) ALL WORKS TO BE IN ACCORDANCE TO THE DRAINAGE BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

DRAWN:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

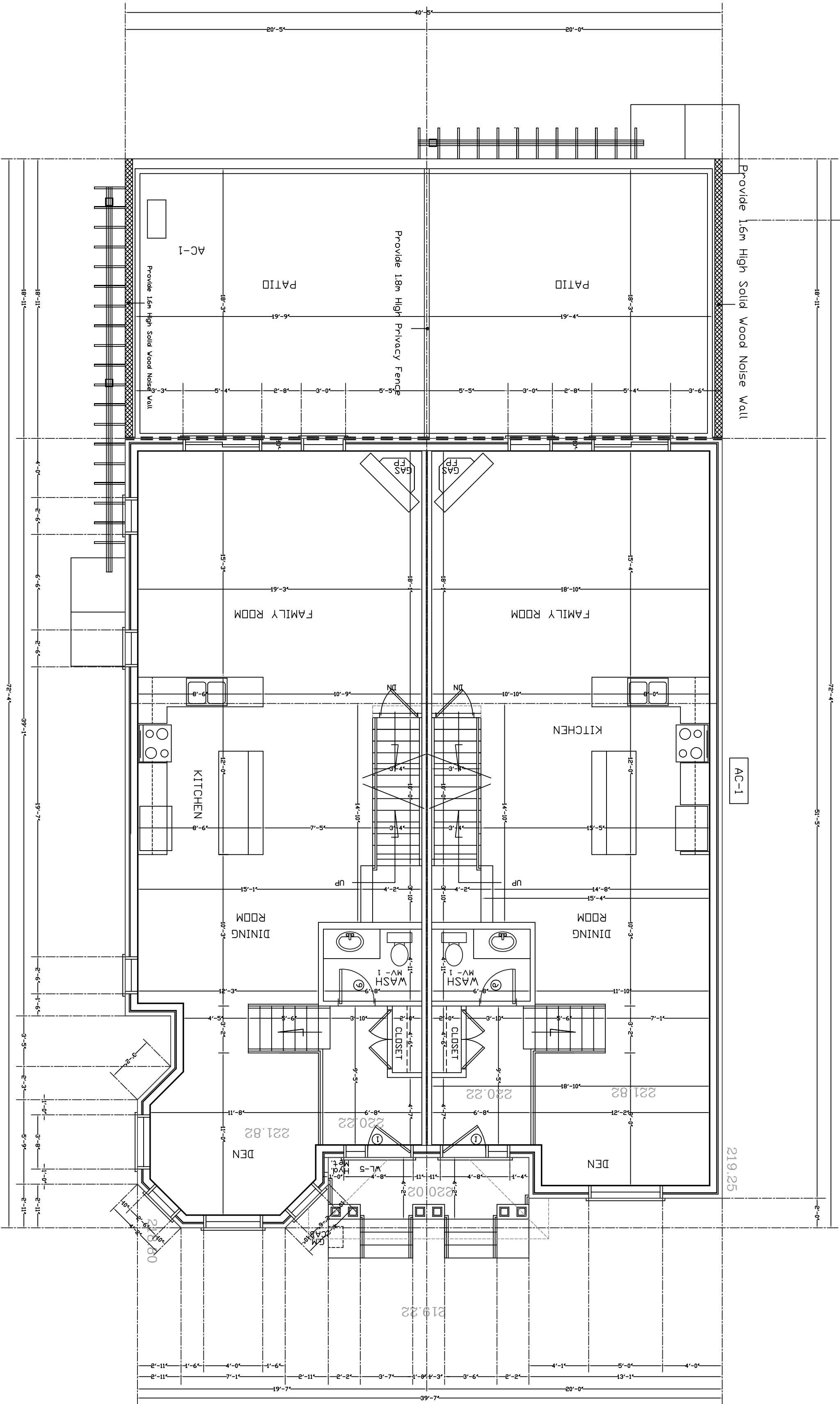
PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
BASEMENT PLAN
PARTS 1 & 2

Mi-Ko Urban Consulting
Professional Planning Design Consultants Inc.
18 HIGH STREET
TORONTO, ONTARIO
M5E 1B5
TEL: 416-250-4053 FAX: 416-250-4054
EMAIL: info@mi-ko.com

DRAWN	CHECKED	SCALE	SHEET NO.
NOV 2008	NOV 2008	3/16-1/4"	1/2E
DATE	PROJECT NO.	DRAWING NO.	



PART 1
PART 2

11	Basement Windows Revised Roof Line	Nov 20/20	PC
10	City Comments 2020	Nov 17/20	PC
9	LPAT SUBMISSION - 1	Sept 26/19	PC
8	DM/LPAT SUBMISSION - 4	Jan 18/19	PC
7	As per Virtual Planning Meeting	Nov/18	PC
6	DM/LPAT SUBMISSION - 4	Oct 27/18	PC
5	DM SUBMISSION - 2	Feb 11/18	PC
4	SITE PLAN RE-SUBMISSION	Aug 20/17	PC
3	Revision due to Site Plan Changes	May 8/16	PC
2	Revision due to TPCA List of Revisions	Mar 21/15	PC
1	Revision due to Grade Changes	Oct 18/12	PC
NO.	REVISIONS	DATE	BY

General Notes:
1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. PROVIDED BY THE DESIGNER AND TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
3) ALL WORKS TO BE IN ACCORDANCE TO THE DRYDEN BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

DRAWN:
Sunfield Dixie JV Inc,
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:
RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
1ST FLOOR PLAN
PARTS 1 & 2

Mi-Ko Urban Consulting
Professional Planning Design Consultants Inc.

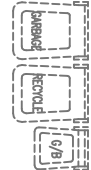
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- 3) Showerheads 8.3 L/M

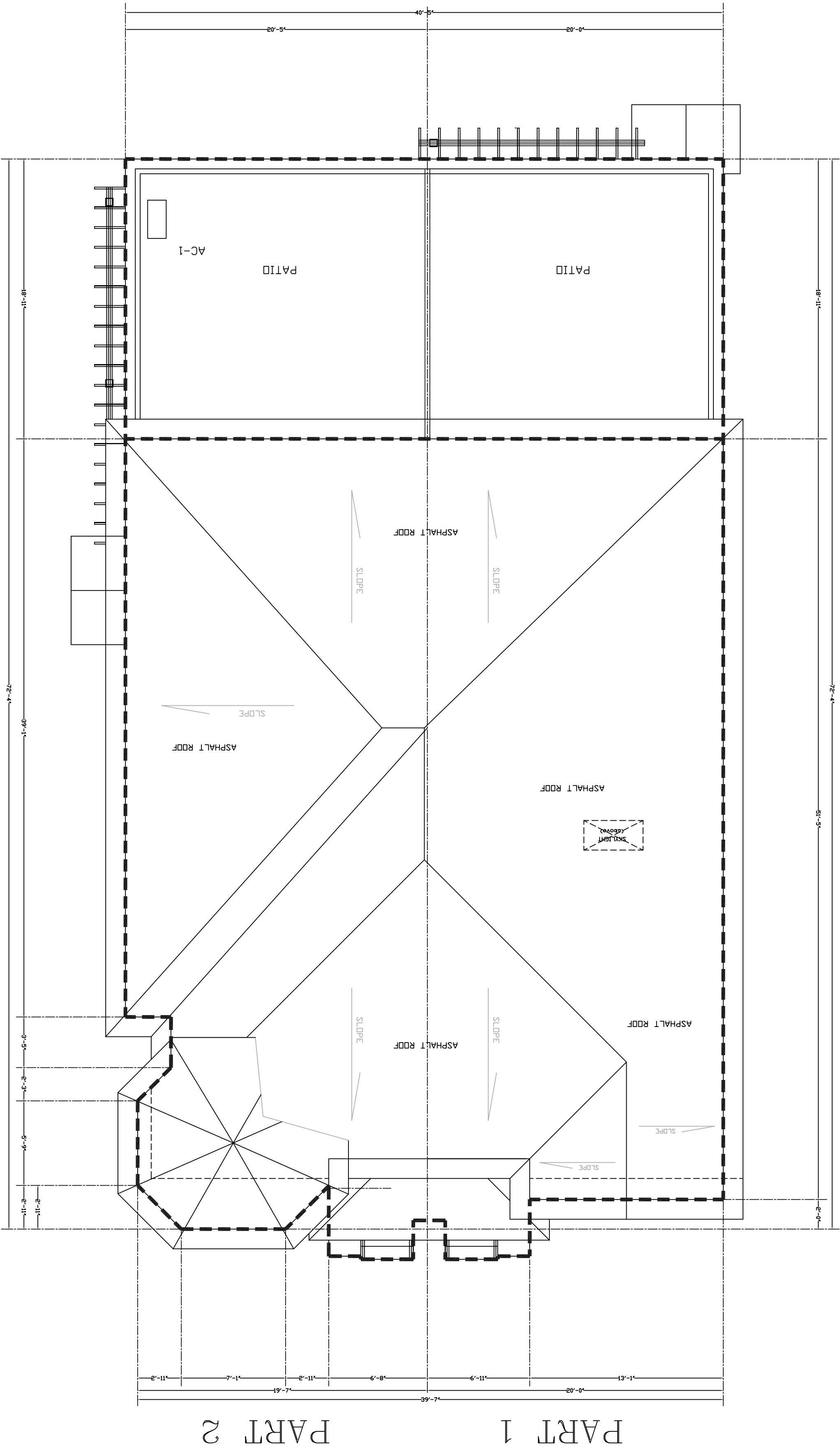
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GARBAGE: 2'-11"x2'-3"x3'-11"



DRAWN	CHECKED	SCALE	SHEET NO.
NOV. 2008	3/18-11-07	PROJECT NO.	1/3E
DATE	NOV. 2008	PROJECT NO.	1/3E



PART 1
PART 2

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-11"x2'-3"x3'-11"
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Water Consumption Notes:

The maximum flow rate for the following fixtures

Shall be: 4.8 L/P
2) Toilets: 8.3 L/M
3) Showers: 8.3 L/M

11	SITE PLAN RESUBMISSION	JAN 08/04	P/C
10	City Comments 2008	NOV 11/08	P/C
9	PLAN SUBMISSION - 1	SEP 06/09	P/C
8	DEVELOPMENT SUBMISSION - 4	JAN 08/09	P/C
7	As per Virtual Planning Meeting	NOV 07/08	P/C
6	DEVELOPMENT SUBMISSION - 4	OCT 07/08	P/C
5	DEVELOPMENT SUBMISSION - 2	FEB 11/08	P/C
4	SITE PLAN RE-SUBMISSION	AUG 08/07	P/C
3	Revision due to Site Plan Changes	NOV 07/08	P/C
2	Revision due to TCCA List of Revisions	NOV 07/08	P/C
1	Revision due to Grade Changes	OCT 08/08	P/C
NO.	REVISIONS	DATE	BY

General Notes:

1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, AND DISTANCES ON THE ENTIRE SITE AND TO CORRECT ANY ERRORS BEFORE CONSTRUCTION.

2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

3) ALL WORKS TO BE IN ACCORDANCE TO THE DETAILED BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

DRAWN:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:

ROOF PLAN
PARTS 1 & 2

Mi-Ko Urban Consulting
Professional Planning Design Consultants Inc.

18 HIGH STREET
TORONTO, ONTARIO
M5E 1B5
TEL: 416-260-4060 FAX: 416-260-4061
EMAIL: info@mi-ko-urban.com

DRAWN	CHECKED	SCALE	SHEET NO.
NOV 2008	NOV 2008	3/16-1/4"	1/5E
DATE	PROJECT NO.	DRAWING NO.	

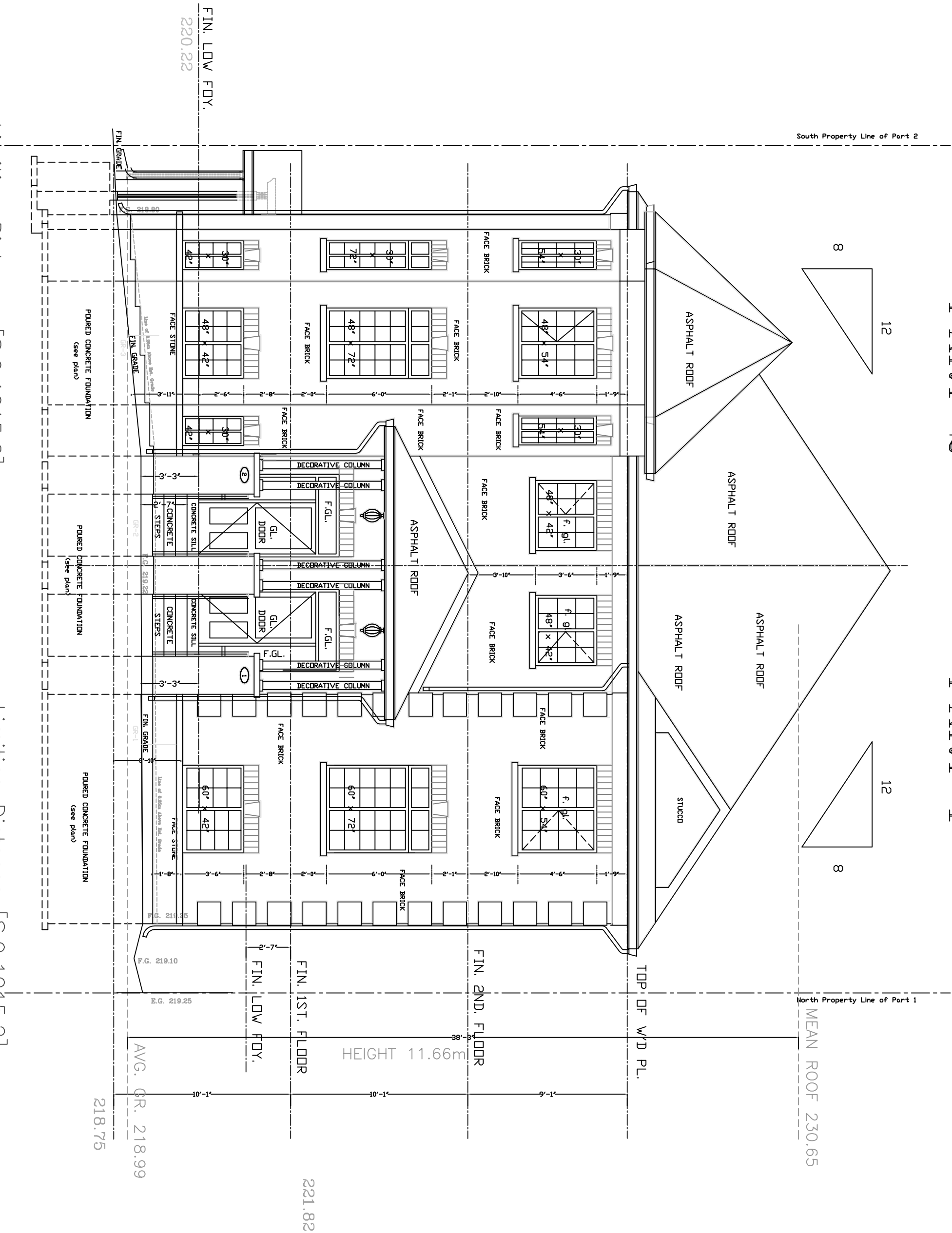
BUILDING HEIGHT shall mean the vertical distance between the established grade, and:

BUILDING HEIGHT shall mean the vertical distance between the established grade, and:

- (d) in the case of a flat roof, the highest point of the roof surface,
- (e) in the case of a mansard roof, the deck line, or
- (f) in the case of a peaked, gabled, hip or gambrel roof, the mean height level between eaves and ridge.

(c) in the case of a peaked, gabled, hip or gambrel roof, the mean height level between eaves and ridge.

PART 1



Brick: Brompton Brick, Windsor

Brick Accent: (same)

Stone: Brampton Bridge

Man Door Colour: Dulux, Be Y

Garage Door: Richard—Wilcox, Style: Shakespeare, Co.

Aluminium Soffit/Facia: Kaycan-Upper; Pearl Grey

Lower: Ivory

Aluminium Eaves and Downspouts: Kaycan—Upper; Chocolate Brown

Lower: Ivory

Stucco: DuRock: Finish—Marble Coat Colour—Wicker (4535)

Roof: Iko, Style Cambridge, Colour: Charcoal Grey

11	SITE PLAN REVISION	JUN 06/24
10	City Comments: 8/20	NOV 11/20
9	LPAI SUBMISSION -1	SEPT 8/6/19
8	DM/PAI SUBMISSION - 4	JUN 18/19
7	As per workshop and Public Hearing (Nov. 5, 2018)	OCT 29/18
6	DM/PAI SUBMISSION - 4	NOV 2/18
5	DM SUBMISSION - 2	FEB 11/18
4	SITE PLAN RE-SUBMISSION	MAY 30/17
3	Revision due to Site Plan Changes	MAY 8/16
2	Revision due to TCM List of Development	MAY 21/15
1	Revision due to Grade Changes	OCT 18/14
ND.	REVISIONS	DATE

General Notes:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR ANY ERRORS AND OMISSIONS AND SHALL BE RESPONSIBLE TO THE ENGINEER AND/OR DESIGNER
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE ENGINEER AND/OR DESIGNER. NO PARTS OF THESE PLANS ARE TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT BEING RETURNED UPON REQUEST. THESE PLANS ARE NOT TO BE USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
- 3) ALL WORKS TO BE IN ACCORDANCE TO THE DATED BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

OWNER:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE :
FRONT ELEVATION

Mi-Ko Urban Consulting
Professional Planning-Design Consultants Inc.

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Water Consumption Notes:

The maximum flow rate for the following fixtures

shall be:
1) Toilets: 4.8 L/F

2) Faucets: 8.3 L/M

3) Showerheads: 8.3 L/M

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

Note:

All uncovered exterior lighting shall be hooded and equipped with LED lightbulbs and photocell sensors.

Limiting Distance [S.9.1015.2]:

UNIT 1

Area (R.Facade):

A– 48.1542 square ft. (4.4737m2)

Limiting Distance: 6.546m

Allowable Glazed Openings: 100% [48.1542 s.f.]

Prop.Glazing: 5.27 S.F.

B– 405.2495 square ft. (37.6489m2)

Limiting Distance: 12.5230m

Allowable Glazed Openings: N/A

Prop.Glazing: 73.75 S.F.

Limiting Distance [S.9.1015.2]:

UNIT 2

Area (R.Facade):

C– 413.7677 square ft. (38.4403m2)

Limiting Distance: 12.530m

Allowable Glazed Openings: N/A

Prop.Glazing: 73.75 S.F.

Exterior Facade:

Brick: Brampton Brick, Windsor

Brick Accent: (same)

Stone: Brampton Brick, Milano

Man Door Colour: Dulux, Be Yourself (DUX 1218-7)

Garage Door: Richard–Wilcox, Style: Shakespeare, Colour: Beige

Aluminium Soffit/Facia: Kaycan–Upper; Pearl Grey

Lower: Ivory

Aluminium Eaves and Downspouts: Kaycan–Upper; Chocolate Brown

Lower: Ivory

Stucco: DuRock: Finish–Marble Coat Colour–Wicker (4535)

Roof: Iko, Style Cambridge, Colour: Charcoal Grey

PART 1PART 2

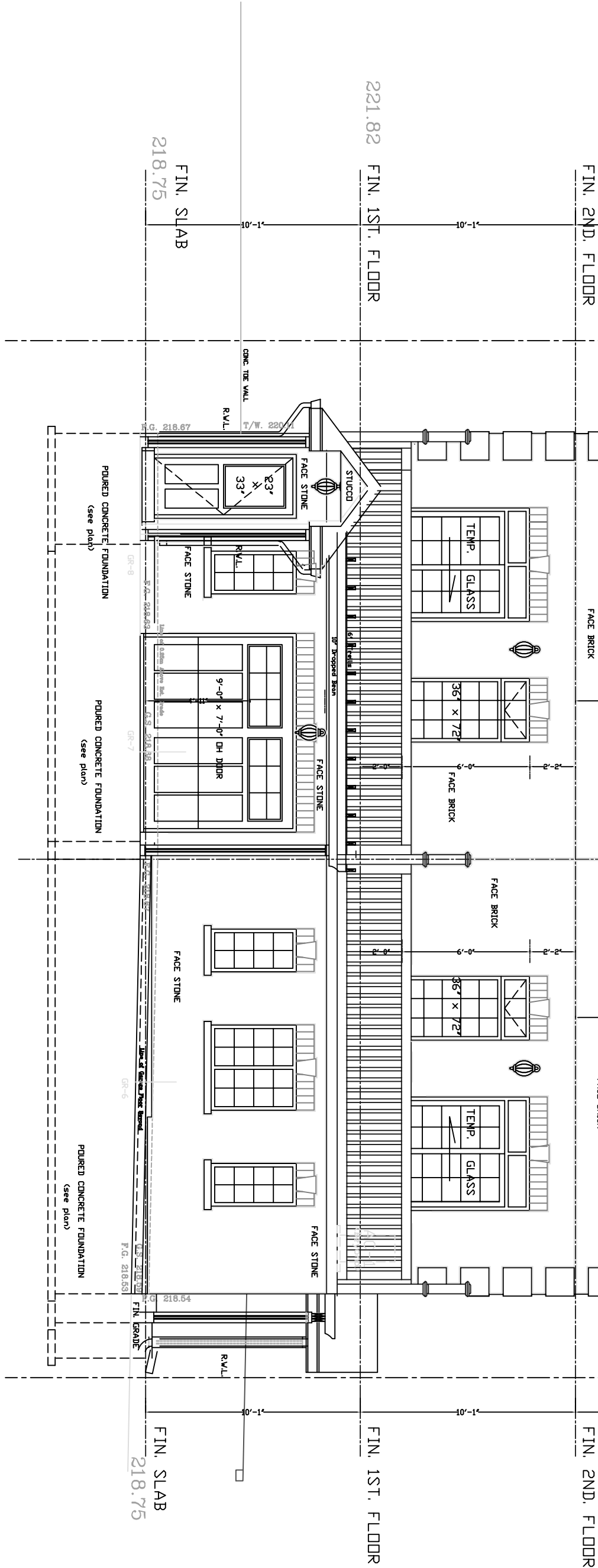
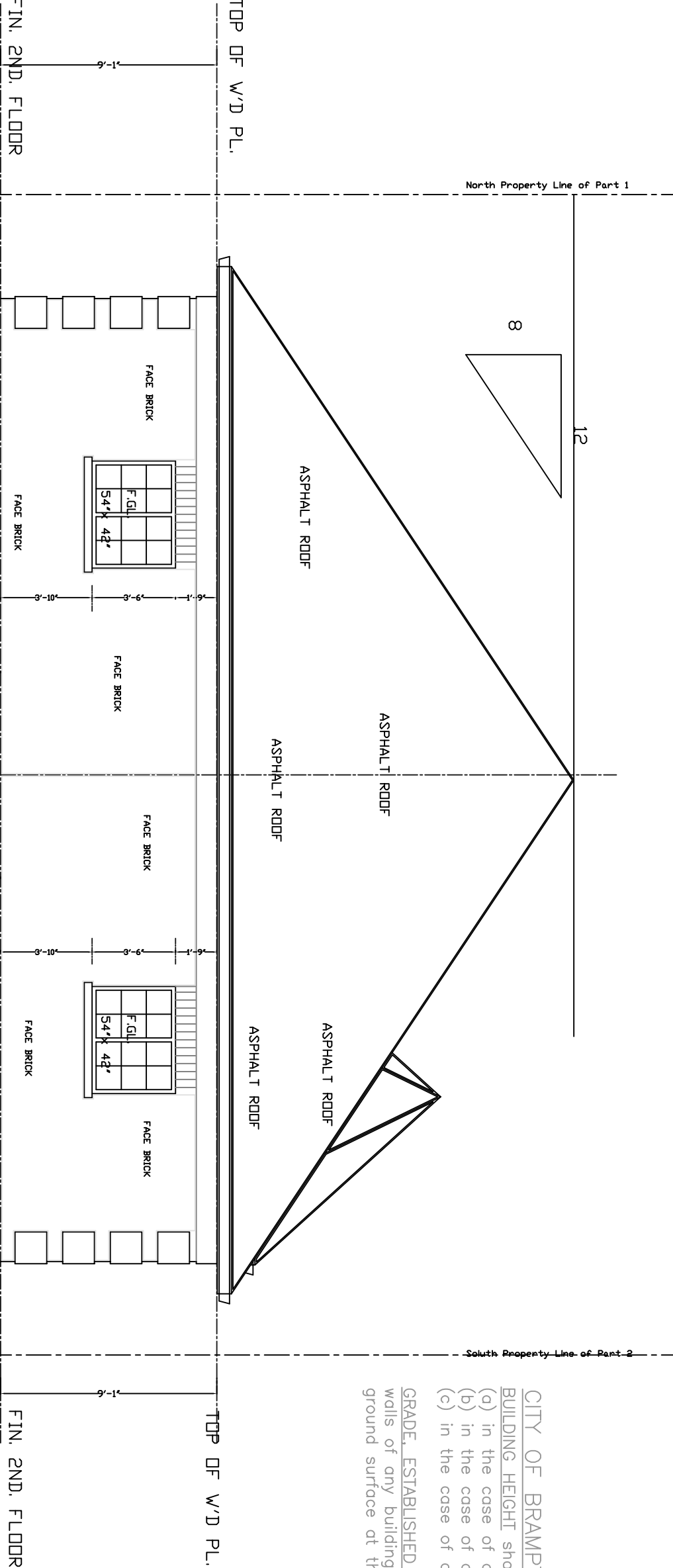
FOR SITE PLAN ONLY
Not for Construction

CITY OF BRAMPTON'S ZONING BYLAW 270–2004 SECTION 5.0. DEFINITIONS

BUILDING HEIGHT shall mean the vertical distance between the established grade, and:

- (c) in the case of a flat roof, the highest point of the roof surface,
- (b) in the case of a mansard roof, the deck line, or
- (c) in the case of a peaked, gabled, hip or gambrel roof, the mean height level between eaves and ridge.

GRADE, ESTABLISHED or GRADE, FINISHED shall mean the overage finished surface elevation at the outside walls of any building or structure, which is determined by taking the arithmetic mean of the levels of the finished ground surface at the midpoint of each of those outside walls



Note:

All uncovered exterior lighting shall be hooded and equipped with LED lightbulbs and photocell sensors.

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

Water Consumption Notes:

The maximum flow rate for the following fixtures:
37 Taps, 48 L/F
27 Faucets, 83 L/F
37 Showerheads, 83 L/F

11	SITE PLAN RESUBMISSION	JAN 06/04	PC
10	City Comments 2008	NOV 11/08	PC
9	1 ST SUBMISSION - 1	SEPT 06/06	PC
8	DEV/PLAN SUBMISSION - 4	JUN 18/03	PC
7	As per Virtual Planning Meeting	NOV/01/03	PC
6	DEV/PLAN SUBMISSION - 4	OCT 07/03	PC
5	DEV SUBMISSION - 2	FEB 11/03	PC
4	SITE PLAN RE-SUBMISSION	AUG 00/07	PC
3	Revision due to Site Plan Changes	MAY 01/06	PC
2	Revision due to TICA Limit of Development	MAY 01/05	PC
1	Revision due to Grade Changes	OCT 18/02	PC
NO.	REVISIONS	DATE	BY

General Notes:
1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, AND DISCREPANCIES TO THE ENGINEER'S DRAWINGS. ANY DISCREPANCIES TO THE ENGINEER'S DRAWINGS ARE TO BE CORRECTED BY THE CONTRACTOR AT HIS OWN RISK.
2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE ENGINEER. ANY REVISIONS TO THESE PLANS MUST BE REQUESTED IN WRITING AND APPROVED BY THE ENGINEER. ANY REVISIONS TO THESE PLANS MUST BE REQUESTED IN WRITING AND APPROVED BY THE ENGINEER. ANY REVISIONS TO THESE PLANS MUST BE REQUESTED IN WRITING AND APPROVED BY THE ENGINEER.
3) ALL WORKS TO BE IN ACCORDANCE TO THE DRAFTED BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

DRAWER:

Sunfield Dixie JV Inc,
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccece

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
REAR ELEVATION
PARTS 1 & 2

Mi-Ko Urban Consulting
Professional Planning Design Consultants Inc.
18 HIGH STREET
TORONTO, ONTARIO
M5E 1A5
TEL: 416-260-4088 FAX: 416-260-4089
WWW.MIKO-URBAN.COM

DRAWN	CHECKED	SCALE	SHEET NO.
PRO	3/16-11-07	1/8"=1'-0"	1/7E
DATE	NOV. 2008	PROJECT NO.	DX17n-08

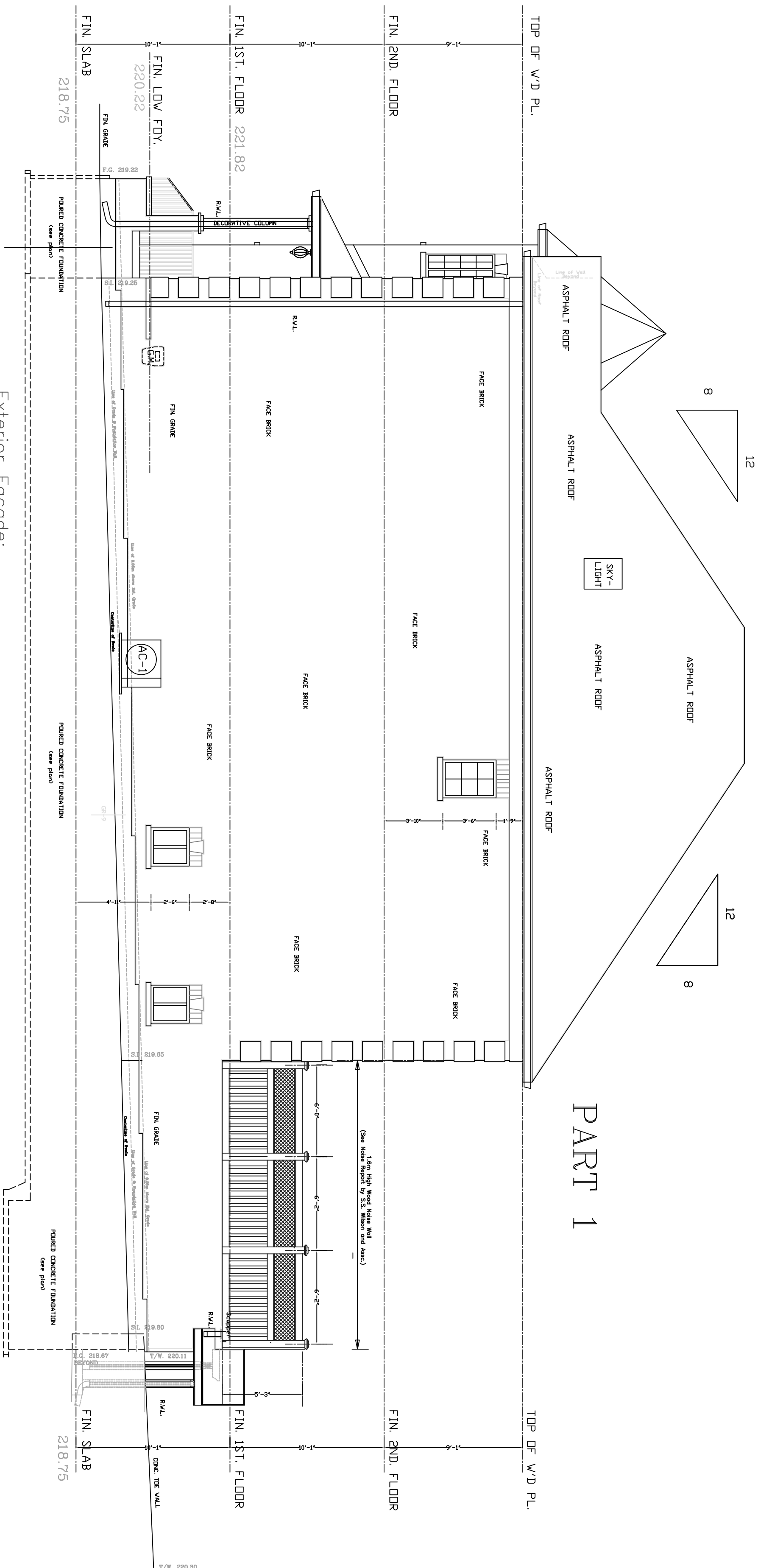
Limiting Distance [S.9.1015.2]:
UNIT 1

Area (N. Facade): 1381.3822 square ft. (128.3346m²)

Limiting Distance: 1.2m

Allowable Glazed Openings: 7% [96.6967]

Prop. Glazing: 21.25 S.F.



Exterior Facade:

Brick: Brompton Brick, Windsor

Brick Accent: (same)

Stone: Brampton Brick, Milana

Man Door Colour: Dulux, Be Yourself (DUX 1218-7)

Garage Door: Richard—Wilcox, Style: Shakespeare, Colour: Beige

Aluminium Soffit/Facia: Kaycan-Upper; Pearl Grey

Lower: Ivory

Aluminium Eaves and Downspouts: Kaycan—Upper; Chocolate

Brown

Stucco: DuRock: Finish—Marble Coat Colour—Wicker (4535)

Root: Iko, Style Cambridge, Colour: Charcoal Grey

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS

GARBAGE: 2'-11"x2'-3"x3'-11"
 RECYCLING: 2'-11"x2'-3"x3'-11"
 ORGANIC: 3'-11"x8"x3'-3"

☐ WASTE
☐ RECYCLE
☐ G/B

Water Consumption Notes:

The maximum flow rate for the following fixtures

shall be:
1) Toilets: 4.8 L/F

2) Faucets: 8.3 L/M

STROMER HEUDES, O.O. L/M

DRAWING TITLE:

NORTH ELEVATION

PARTS 1 & 2

Mi-ko Urban Consulting

16 HIGH STREET
TORONTO, ONTARIO

MAY 3N8
 PH. 416-230-6835 EMAIL: mikourban@progeta.com

DATE	DRAWN	CHECKED	SCALE	SHEET N
	PKC		3/16"=1'-0"	1/01

11	Statement Windows Shared Local Line	MM 8/2/20
10	City Connects 2020	MM 11/2/20
9	LAAT SUBMISSION -1	SEPT 8/6/19
8	DM/LAAT SUBMISSION - 4	Jan 18/19
7	As per Without Prejudice Meeting (Nov. 5, 2018)	Nov/18
6	DM/LAAT SUBMISSION - 4	OCT 29/18
5	DM SUBMISSION - 2	FEB 11/18
4	SIT PLAN RE-SUBMISSION	MAY 30/17
3	Revision due to Site Plan Changes	Nov 6/16
2	Revision due to NCL Lists of Replacements	MAY 2/15
1	Revision due to Grade Changes	Jan 18/16
NCL	REVISIONS	DATE

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPRESENTING ANY DISCREPANCY TO THE ENGINEER AND/OR DESIGNER.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE ENGINEER AND DESIGNER. NO PARTS OF THESE PLANS ARE TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
- 3) ALL WORKS TO BE IN ACCORDANCE TO THE OUTDATED BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

OWNER:

Sunfield Dixie JV Inc
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

BRAMPTON, ONT.

Limiting Distance [S.9.1015.2]:
UNIT 2

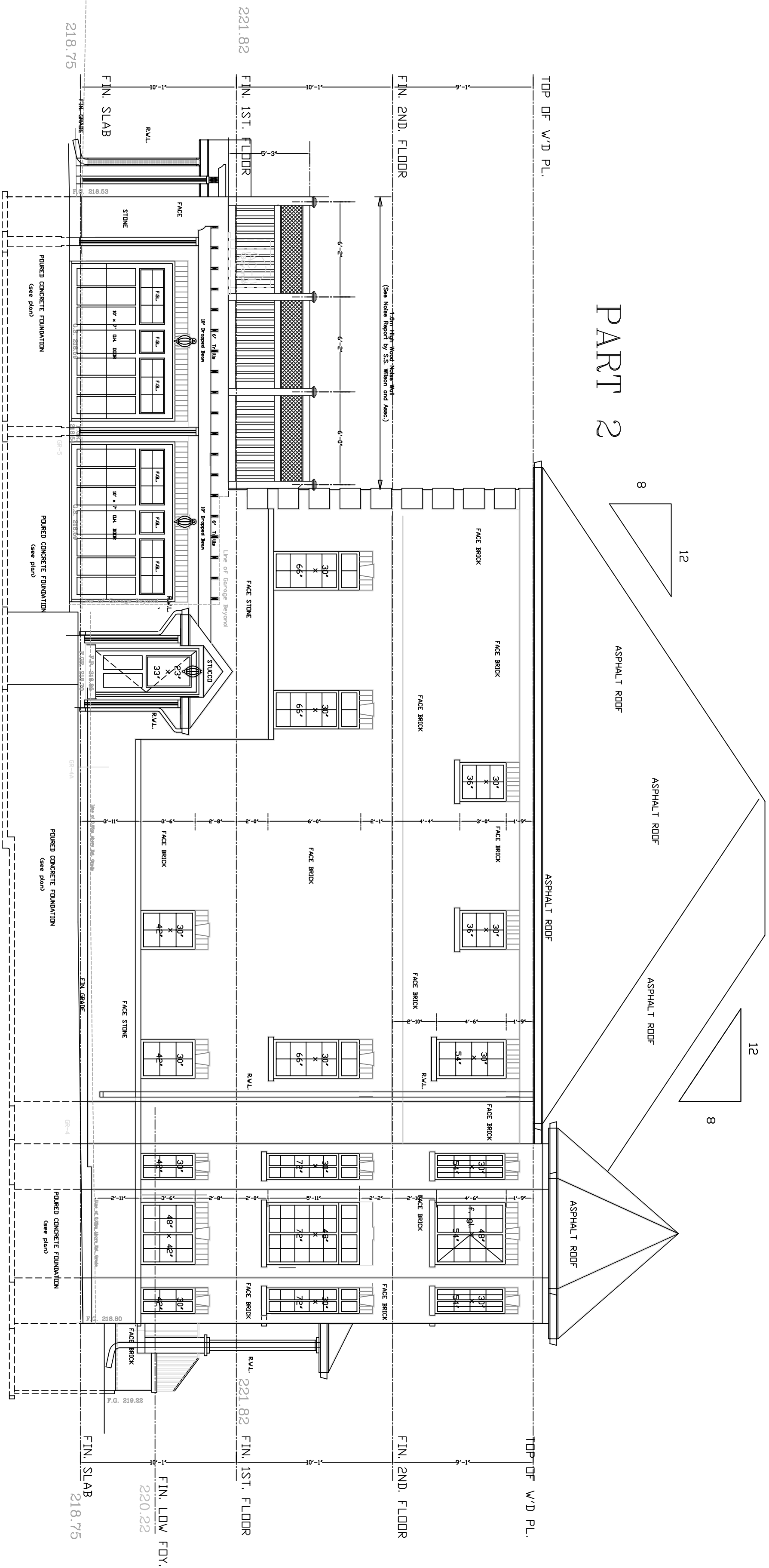
UNIT 2

Area (S. Facade): 1478.64 square ft. (137.3699m2)

Limiting Distance: 6.475m

Allowable Glazed Openings: 19% [280.9412]

Prop. Glazing: 91.5208 S.F.



Exterior Facade:

Brick: Brompton Brick, Windsor

Brick Accent: (same)

Stone: Brompton Brick, Milano

Man Door Colour: Dulux, Be Yourself (DUX 1218-7)

Garage Door: Richard-Wilcox, Style: Shakespeare, Colour: Beige

Aluminium S

Lower: Ivory

Alumina

Brown

Lower: Ivory

Stucco: DuRock: Finish—Marble Coat Colour—Wicker

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS

RECYCLING: 2'-11"x2'-3"x3'-11"

Water Consumption Notes:
The maximum flow rate for the follow

The maximum flow rate for the following fixtures

1) Toilets: 4.8 L/F

2) Faucets: 8.3 L/M

3) Showerheads: 8.3 L/M

12	SITE PLAN RE-SUBMISSION	JUN 26/24	PC
11	Basement Windows Elevated Roof Line	MAY 28/23	PC
10	CITY COMMENTS 2RD	NOV 11/20	PC
9	LAAT SUBMISSION - 1	SEP 26/20	PC
8	DMB/CPA SUBMISSION - 4	JUN 18/17	PC
7	As per Without Public Hearing Meeting (NOV. 5 2020)	NOV/18	PC
6	DMB/CPA SUBMISSION - 4	OCT 29/16	PC
5	DMB SUBMISSION - 2	FEB 11/18	PC
4	SITE PLAN RE-SUBMISSION	MAY 20/15	PC
3	Revision due to Site Plan Changes	MAY 21/15	PC
2	Revision due to TRCA Limit of Development	NOV 21/15	PC
1	Revision due to Grade Changes	OCT 28/15	PC
MD	REVIEWS	DATE	BY

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/OR DESIGNER.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE ENGINEER AND DESIGNER. NO REPRODUCTION OR RETURNEE UPON REQUEST THESE PLANS ARE NOT TO BE USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
- 3) ALL WORKS TO BE IN ACCORDANCE TO THE DUTKAND BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

OWNER:

Sunfield Dixie JV Inc,
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccese

PROJECT:

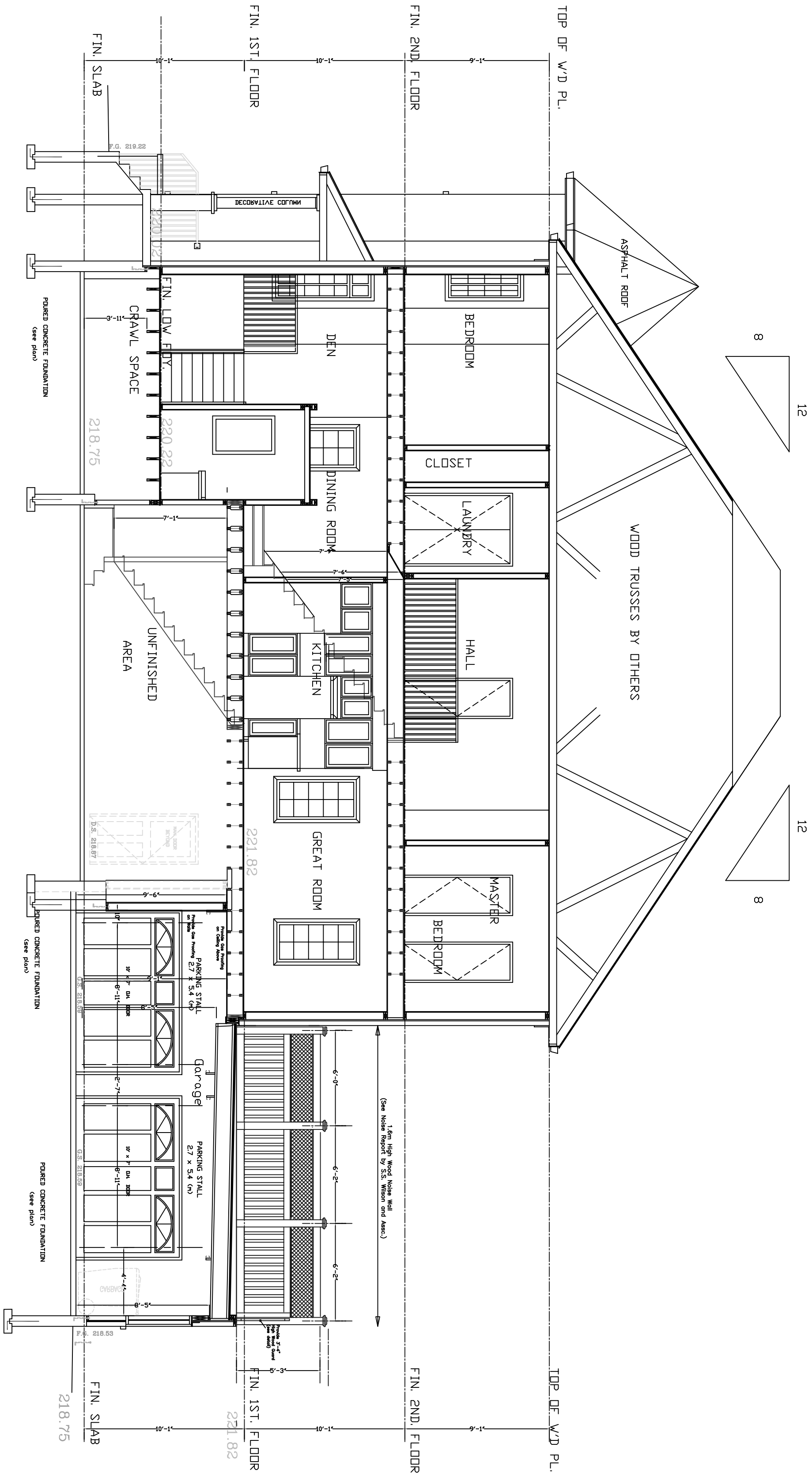
RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE :
SOUTH ELEVATION
PARTS 1 & 2

Mi-ko Urban Consulting
Professional Planner-Design Consultants Inc.[illegible]

16 HIGH STREET
TORONTO, ONTARIO
M5Y 3N8
PH. 416-230-6835 EMAIL: mikourban@rogers.com

PKC		3/16"=1'-0"	1/8E
DATE	Nov, 2008	PROJECT NO. DixTh-08	



LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-11"x2'-3"x3'-3"

Water Consumption Notes:
The maximum flow rate for the following fixtures shall be:

- 1) Toilets 4.8 L/P
- 2) Faucets 8.3 L/M
- 3) Showerheads 8.3 L/M

Site Plan # SP09-048.000

12	SITE PLAN RESUBMISSION	JAN 06/04 P.C.
11	Basement Windows Revised Roof Line New 20/20 P.C.	
10	City Comments 2003	NOV 11/03 P.C.
9	1 ST SUBMISSION - 1	SEPT 06/03 P.C.
8	DEVELOPER SUBMISSION - 4	JAN 03/03 P.C.
7	As per Virtual Planning Meeting	NOV 01/03 P.C.
6	DEVELOPER SUBMISSION - 4	OCT 01/03 P.C.
5	DEVELOPER SUBMISSION - 2	FEB 11/03 P.C.
4	SITE PLAN RE-SUBMISSION	AUG 00/01 P.C.
3	Revision due to Site Plan Changes	MAY 01/01 P.C.
2	Revision due to TCCA List of Requirements	MAY 01/01 P.C.
1	Revision due to Grade Changes	OCT 18/02 P.C.
NO.	REVISIONS	DATE BY

GENERAL NOTES:
1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. AND SUBMIT TO THE ENGINEER FOR REVIEW.
2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR USED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
3) ALL WORKS TO BE IN ACCORDANCE TO THE DRAFTED BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

DRAWN:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Lecce

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
SECTION (PART 2)
PARTS 1 & 2

Mi-Ko Urban Consulting
Professional Planning Design Consultants Inc.

18 HIGH STREET
TORONTO, ONTARIO
M5E 1B5
TEL: 416-260-4063 FAX: 416-260-4064
WWW.MIKO-URBAN.COM

DRAWN	CHECKED	SCALE	SHEET NO.
NOV 2008	NOV 2008	3/16-1/4"	1/11E
DATE	PROJECT NO.	DATE	
	DK17h-08		

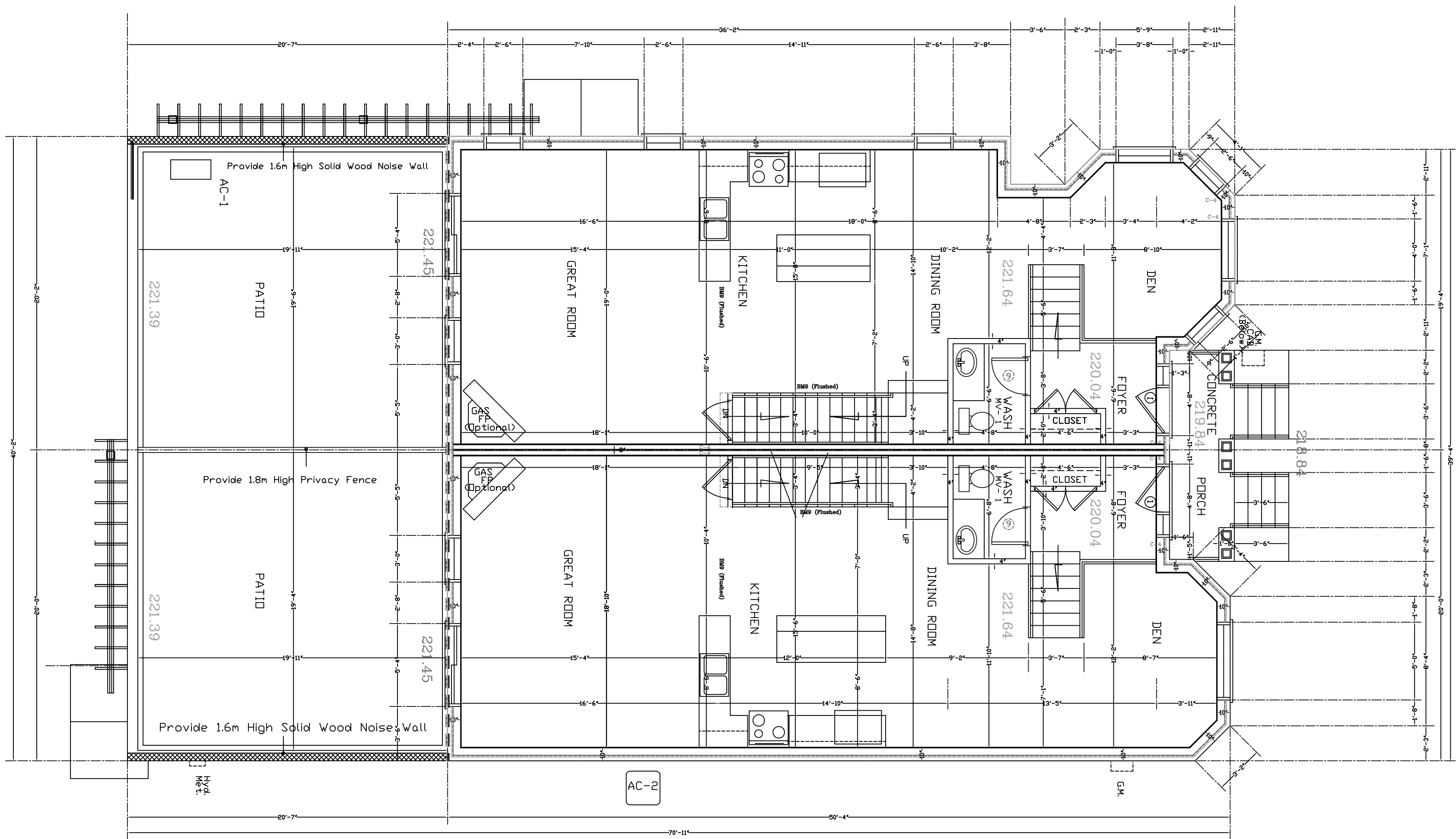


General Notes:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/OR DESIGNER.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER, MIKO URBAN CONSULTING INC., AND MUST BE RETURNED UPON REQUEST. THESE PLANS ARE NOT BE USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER
- 3) ALL WORKS TO BE IN ACCORDANCE TO THE ONTARIO BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

PROJECT:
RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT
CONC.3 E.H.S.
BRAMPTON, ONT.

Site Plan # SP09-048.000



PART 3
PART 4

13	SITE PLAN RESUBMISSION	JUN 08/24	PC
12	SITE PLAN RESUBMISSION	APR 08/24	PC
11	For Structural Review	Aug 8/23	PC
10	City Comments 2020	NOV 11/20	PC
9	LPAT SUBMISSION - 1	SEPT 26/19	PC
8	OMB/LPAT SUBMISSION - 4	JAN 18/19	PC
7	As per Without Prejudice Meeting Nov. 5 2018	Nov.8/18	PC
6	OMB/LPAT SUBMISSION - 4	OCT 29/18	PC
5	OMB SUBMISSION - 2	FEB 11/18	PC
4	SITE PLAN RE-SUBMISSION	AUG 30/17	PC
3	Revision due to Site Plan Changes	May 8/16	PC
2	Revision due to TRCA Limit of Development	Mar 21/15	PC
1	Revision due to Grade Changes	Oct 18/12	PC
NO.	REVISIONS	DATE	BY

General Notes:

- CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/OR DESIGNER.
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- ALL WORKS TO BE IN ACCORDANCE TO THE ONTARIO BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

OWNER:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE: 1ST FLOOR PLAN PARTS 3 & 4			
Mi-ko Urban Consulting Professional Planning-Design Consultants Inc.			
16 HIGH STREET TORONTO, ONTARIO M5Y 3W8			
TEL: 416-230-6935		EMAIL: mikourban@rogers.com	
DRAWN PKG	CHECKED	SCALE 3/16"=1'-0"	SHEET No. 2/3E
DATE Nov. 2008	PROJECT No. DixTh-08		

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

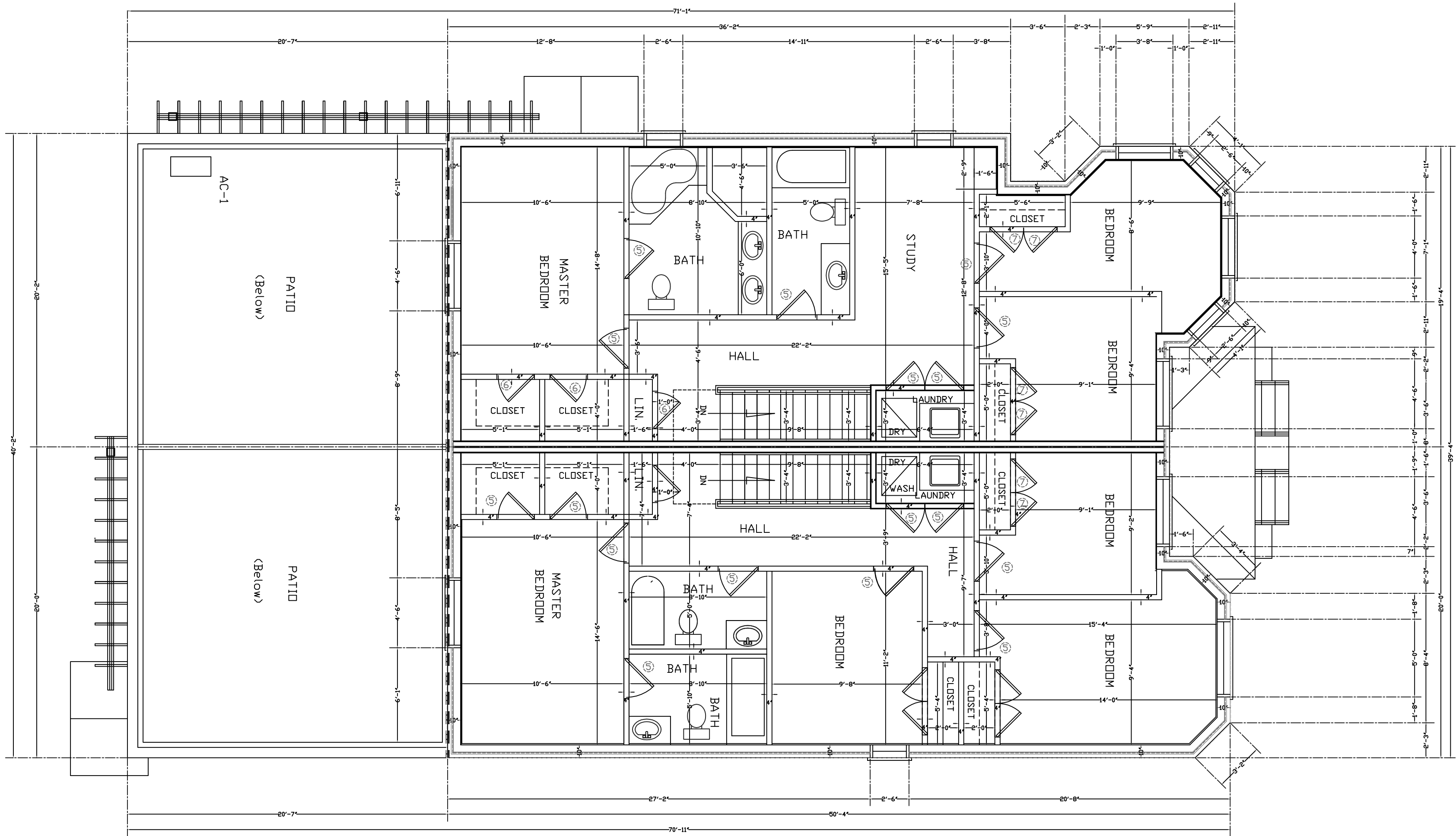
DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.

GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-1x1'-8"x3'-3"

Water Consumption Notes:

The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

Site Plan # SP09-048.000



PART 3

PART 4

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-1x1'-8"x3'-3"

Water Consumption Notes:

The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

11	SITE PLAN RESUBMISSION	JUN 08/24	PC
10	City Comments 2020	NOV 11/20	PC
9	LPAT SUBMISSION -1	SEPT 26/19	PC
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NO.	REVISIONS	DATE	BY

General Notes:

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OWNER:

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120 Whitmore Road, Unit 8
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L4L 6A5
Tel: 905-851-2424
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PROJECT:

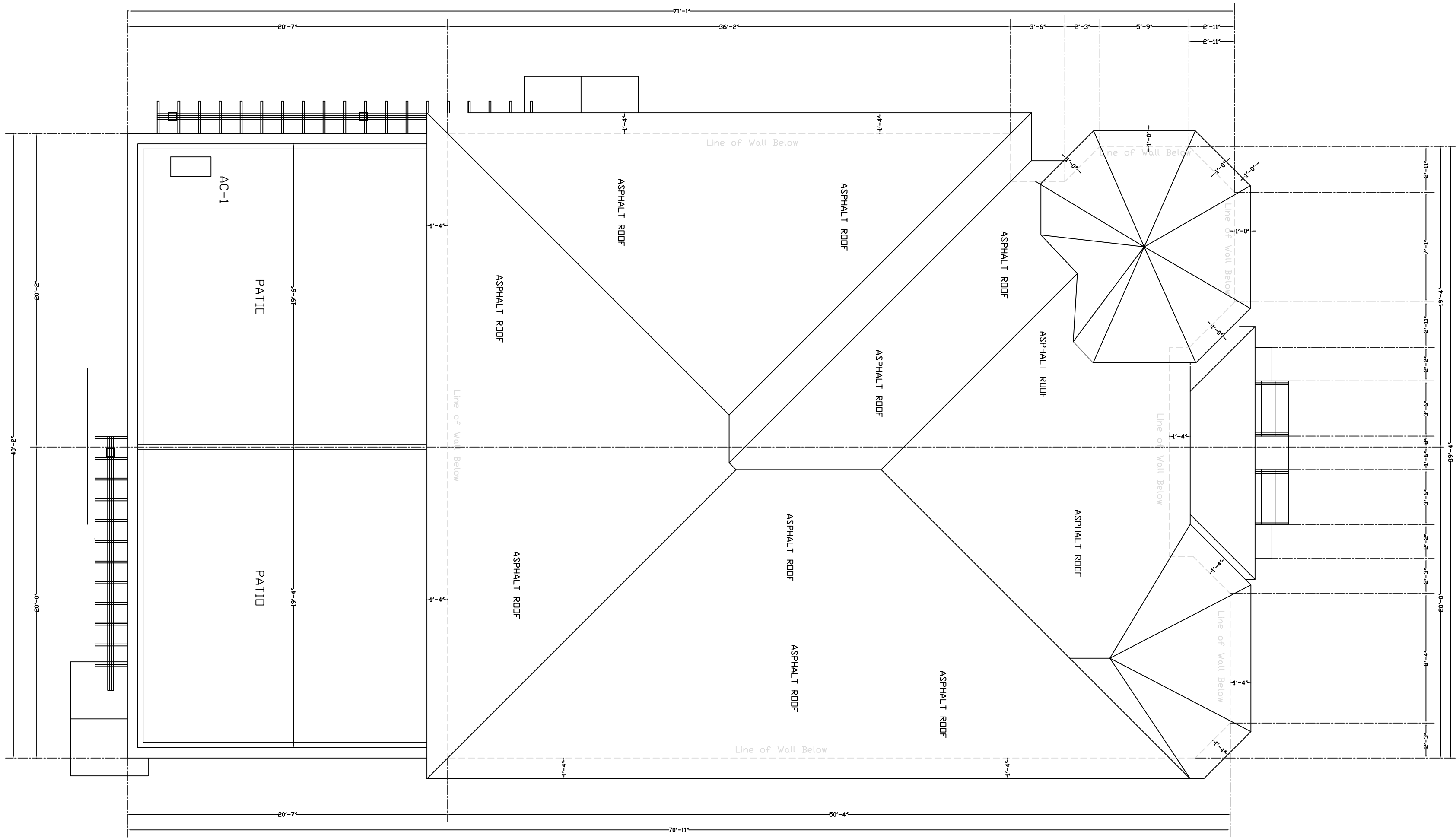
RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
2ND FLOOR PLAN
PARTS 3 & 4

Mi-ko Urban Consulting
Professional Planning-Design Consultants Inc.

16 HIGH STREET
TORONTO, ONTARIO
M5Y 3W8
TEL: 416-290-8935 EMAIL: mikourban@rogers.com

DRAWN PKG	CHECKED	SCALE 3/16"=1'-0"	SHEET No. 2/4E
DATE Nov. 2008	PROJECT No. DixTh-08		



PART 3

PART 4

13	SITE PLAN RESUBMISSION	JUN 08/24	PC
12	SITE PLAN RESUBMISSION	OCT 08/28	PC
11	Basement Windows Revised Roof Line	MAR 20/22	PC
10	City Comments 2020	NOV 11/20	PC
9	LPAT SUBMISSION -1	SEPT 26/19	PC
8	OMB/LPAT SUBMISSION - 4	JAN 18/19	PC
7	As per Without Prejudice Meeting Nov. 5 2018	Nov.8/18	PC
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NO.	REVISIONS	DATE	BY

General Notes:
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OWNER/BUILDER:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
ROOF PLAN
PARTS 3 & 4

Mi-ko Urban Consulting
Professional Planning-Design Consultants Inc.



16 HIGH STREET
TORONTO, ONTARIO
M5Y 3W8
TEL 416-230-6935 EMAIL: mikourban@progers.com

DRAWN PKG	CHECKED	SCALE 3/16"=1'-0"	SHEET No. 2/5E
DATE Nov, 2008	PROJECT No. DixTh-08		

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-1x1'-8"x3'-3"



Water Consumption Notes:

The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

CITY OF BRAMPTON'S ZONING BYLAW 270-2004 SECTION 5.0 DEFINITIONS

BUILDING HEIGHT shall mean the vertical distance between the established grade, and:

- (a) in the case of a flat roof, the highest point of the roof surface,
(b) in the case of a mansard roof, the deck line, or
(c) in the case of a peaked, gabled, hip or gambrel roof, the mean height level between eaves and ridge.

GRADE, ESTABLISHED or GRADE, FINISHED shall mean the average finished surface elevation at the outside walls of any building or structure, which is determined by taking the arithmetic mean of the levels of the finished ground surface at the midpoint of each of those outside walls

Exterior Facade:

Brick: Brampton Brick, Auburn Matt

Brick Accent: (same)

Stone: Brampton Brick, Milano

Man Door Colour: Dulux, Be Yourself (DUX 1218-7)

Garage Door: Richard-Wilcox, Style: Shakespeare, Colour: Beige

Aluminium Soffit/Facia: Kaycan-Upper; Charcoal

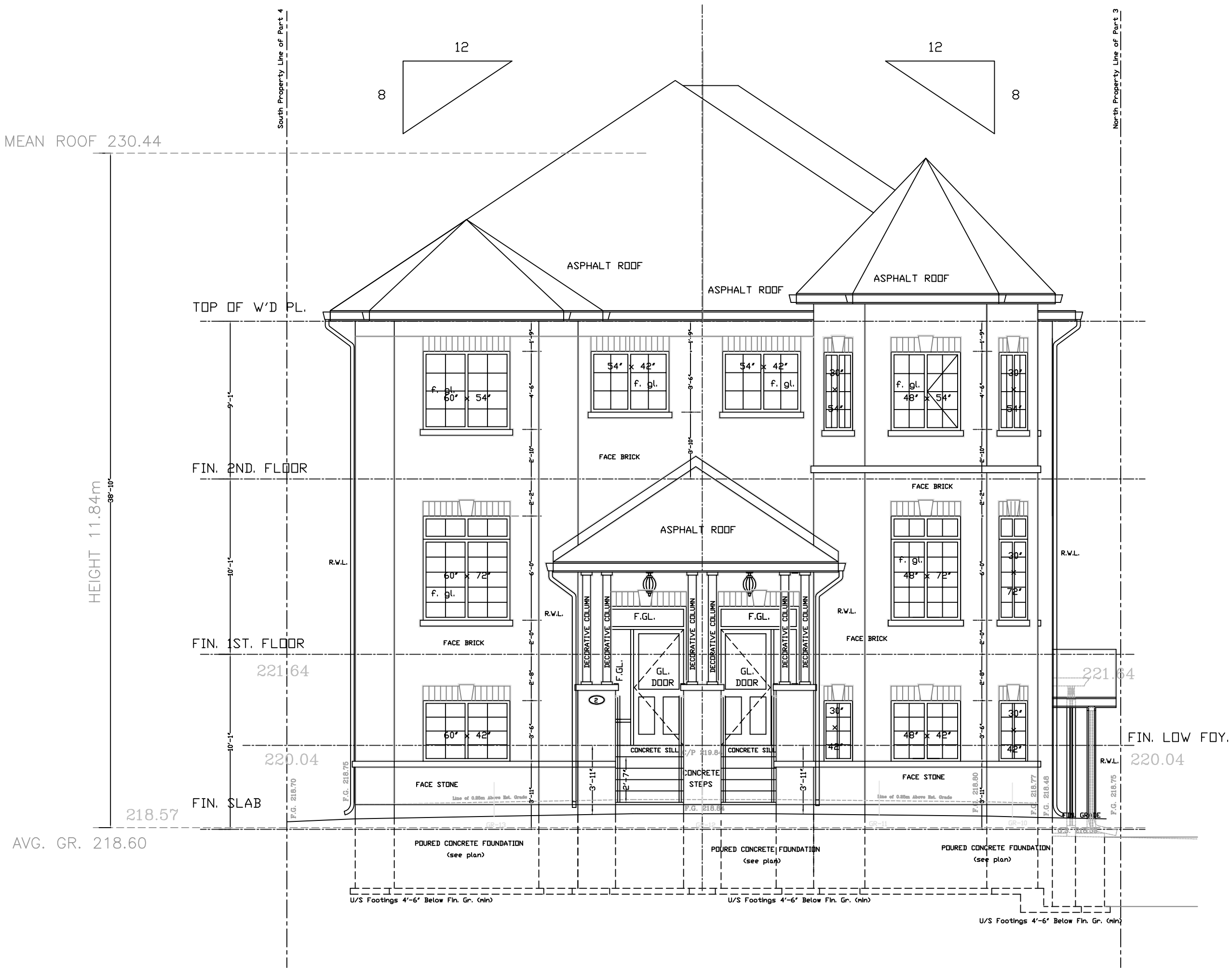
Lower: Ivory

Aluminium Eaves and Downspouts: Kaycan-Upper; Chocolate Brown

Lower: Ivory

Stucco: DuRock: Finish-Marble Coak, Colour-Wicker (4535)

Roof: Iko, Style Cambridge, Colour: Dual Black



Limiting Distance [S.9.1015.2]:

UNIT 4

Area (F.Facade):

A- 569.7460 square ft. (52.9311m2)

Limiting Distance: 26.00m

Allowable Glazed Openings: N/A

Prop.Glazing: 85.75 S.F.

Limiting Distance [S.9.1015.2]:

UNIT 3

Area (F.Facade):

B- 549.7889 square ft. (51.0771m2)

Limiting Distance: 26.12m

Allowable Glazed Openings: N/A

Prop.Glazing: 126.75 S.F.

Note:

All uncovered exterior lighting shall be hooded and equipped with LED lightbulbs and photocell sensors.

LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

Water Consumption Notes:

The maximum flow rate for the following fixtures shall be:

1) Toilets: 4.8 L/F

2) Faucets: 8.3 L/M

3) Showerheads: 8.3 L/M

13	SITE PLAN RESUBMISSION	JUN 08/24	DC
12	For Outation	FEB. 04/23	DC
11	Basement Windows & Revised Roof Line	MAR 20/22	DC
10	City Comments 2020	NOV 11/20	DC
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1	Revision due to Grade Changes	Oct 18/12	DC
NO.	REVISIONS	DATE	BY

General Notes:

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OWNER/BUILDER:

Sunfield Dixie JV Inc.
120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

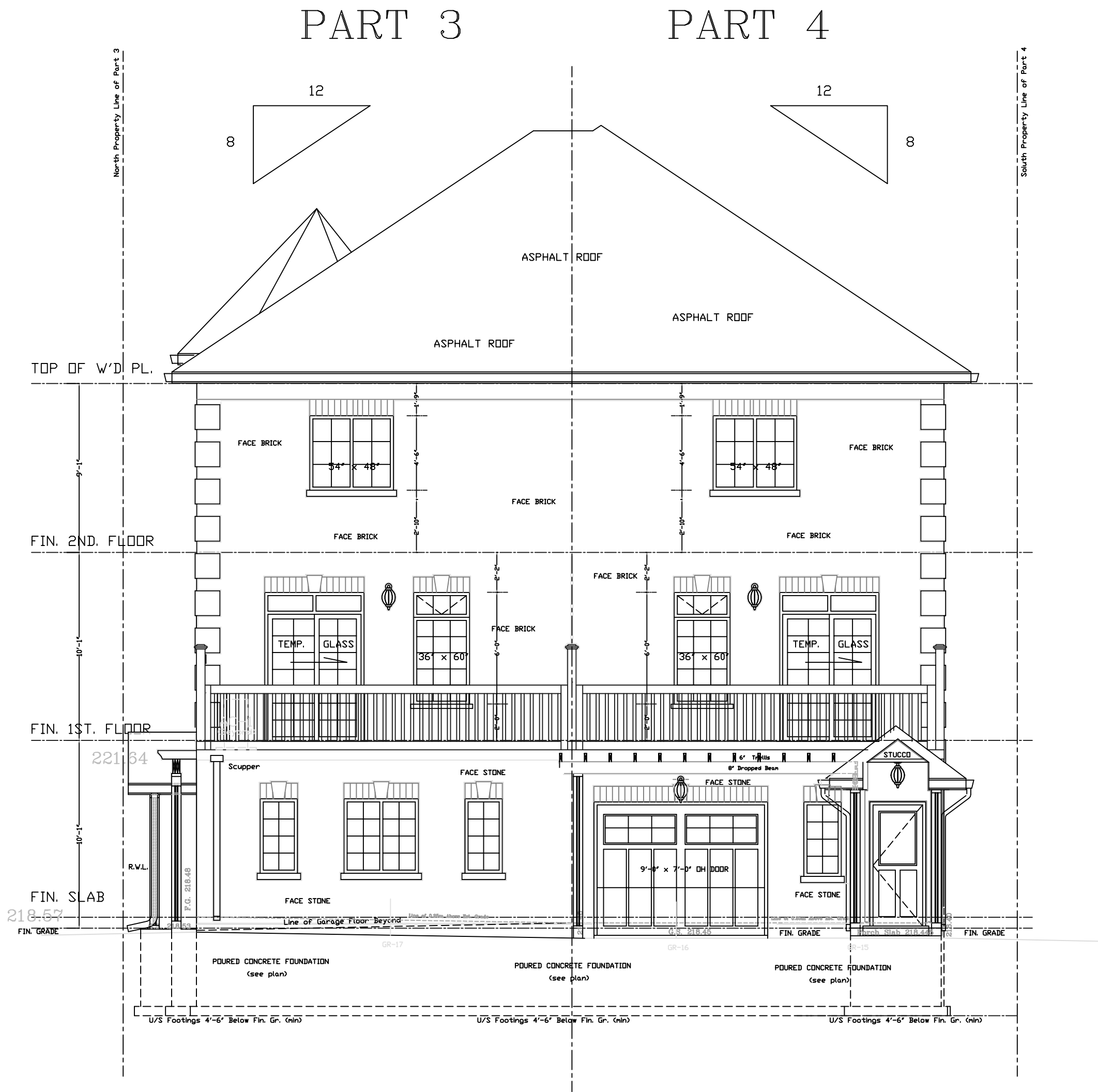
DRAWING TITLE: FRONT ELEVATION PARTS 3 & 4			
Mi-ko Urban Consulting Professional Planning-Design Consultants Inc.			
16 HIGH STREET TORONTO, ONTARIO M5Y 3W8 TEL: 416-230-8935 EMAIL: mikourban@rogers.com			
DRAWN PKG	CHECKED	SCALE 3/16"=1'-0"	SHEET No. 2/6E
DATE Nov. 2008		PROJECT No. DixTh-08	

Limiting Distance [S.9.1015.2]:
UNIT 3
Area (R.Facade):
C- 386.9552 square ft. (35.9493m2)
Limiting Distance: 12.309m
Allowable Glazed Openings: N/A
Prop.Glazing: 88.75

Limiting Distance [S.9.1015.2]:
UNIT 1
Area (R.Facade):
A- 50.6652 square ft. (4.7069m2)
Limiting Distance: 6.546m
Allowable Glazed Openings: 100% [50.6652s.f.]
Prop.Glazing: 5.27 S.F.

B- 383.6568 square ft. (35.6429m2)
Limiting Distance: 12.309m
Allowable Glazed Openings: N/A
Prop.Glazing: 73.00 S.F.

Exterior Facade:
Brick: Brampton Brick, Auburn Matt
Brick Accent: (same)
Stone: Brampton Brick, Milano
Man Door Colour: Dulux, Be Yourself (DUX 1218-7)
Garage Door: Richard-Wilcox, Style: Shakespeare, Colour: Beige
Aluminium Soffit/Facia: Kaycan-Upper; Charcoal
Lower: Ivory
Aluminium Eaves and Downspouts: Kaycan-Upper; Chocolate Brown
Lower: Ivory
Stucco: DuRock: Finish-Marble Cook, Colour-Wicker (4535)
Roof: Iko, Style Cambridge, Colour: Dual Black



Note:
All uncovered exterior lighting shall be hooded and equipped with LED lightbulbs and photocell sensors.

LEGEND
DENOTED GRADE ELEVATIONS (Metric) 218.40

Water Consumption Notes:
The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

13	SITE PLAN RESUBMISSION	JUN 08/24	PC
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NO.	REVISIONS	DATE	BY

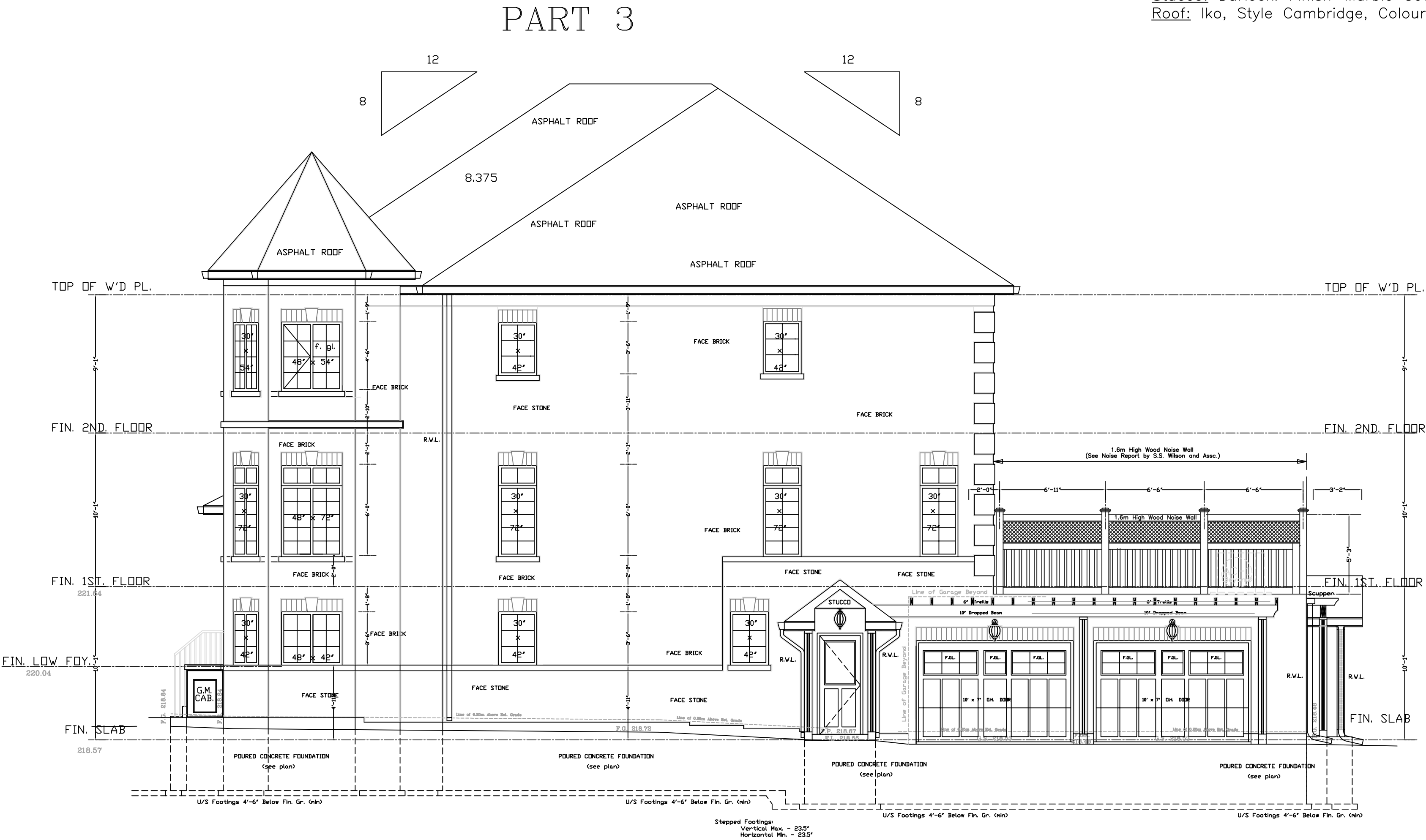
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OWNER/BUILDER:	
Sunfield Dixie JV Inc. 120 Whitmore Road, Unit 8 Brampton, Ontario L4L 6A5 Tel: 905-851-2424 ATTN: Larry Leccee	

PROJECT:	
RESIDENTIAL DEVELOPMENT 9124 Dixie Road PRT. OF EAST 1/2 OF LOT 6 CONC.3 E.H.S. BRAMPTON, ONT.	

DRAWING TITLE: REAR ELEVATION PARTS 3 & 4			
Mi-Ko Urban Consulting Professional Planning-Design Consultants Inc.			
16 HIGH STREET TORONTO, ONTARIO M5Y 2N6 TEL: 416-230-6936 EMAIL: miko@urbanconsulting.com			
DRAWN PKG	CHECKED	SCALE 3/16"=1'-0"	SHEET No. 2/7E
DATE Nov. 2008	PROJECT No. DIXTH-08		

Exterior Facade:
Brick: Brampton Brick, Auburn Matt
Brick Accent: (same)
Stone: Brampton Brick, Milano
Man Door Colour: Dulux, Be Yourself (DUX 1218-7)
Garage Door: Richard-Wilcox, Style: Shakespeare, Colour: Beige
Aluminium Soffit/Facia: Kaycan-Upper; Charcoal
Lower: Ivory
Aluminium Eaves and Downspouts: Kaycan-Upper; Chocolate Brown
Lower: Ivory
Stucco: DuRock: Finish-Marble Cook, Colour-Wicker (4535)
Roof: Iko, Style Cambridge, Colour: Dual Black



13	SITE PLAN RESUBMISSION	JUN 08/24	PC
12	For Outation	FEB. 04/23	PC
11	Basement Windows & Revised Roof Line	MAR 20/22	PC
10	City Comments: 2020	NOV 11/20	PC
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8	DMB/LPAT SUBMISSION - 4	JAN 10/19	PC
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120 Whitmore Road, Unit 8
Brampton, Ontario
L4L 6A5
Tel: 905-851-2424
ATTN: Larry Leccee

PROJECT:
RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE:
NORTH ELEVATION
PARTS 3 & 4

Mi-Ko Urban Consulting
Professional Planning-Design Consultants Inc.

16 HIGH STREET
TORONTO, ONTARIO
M5Y 2N6

PH: 416-230-6936 EMAIL: miko@urbanprogers.com

DRAWN
PKG

CHECKED

SCALE
3/16"=1'-0"

SHEET No.
2/8E

DATE
Nov. 2008

PROJECT No.
DIXTH-08

Note:
All uncovered exterior lighting shall be hooded and equipped with LED lightbulbs and photocell sensors.

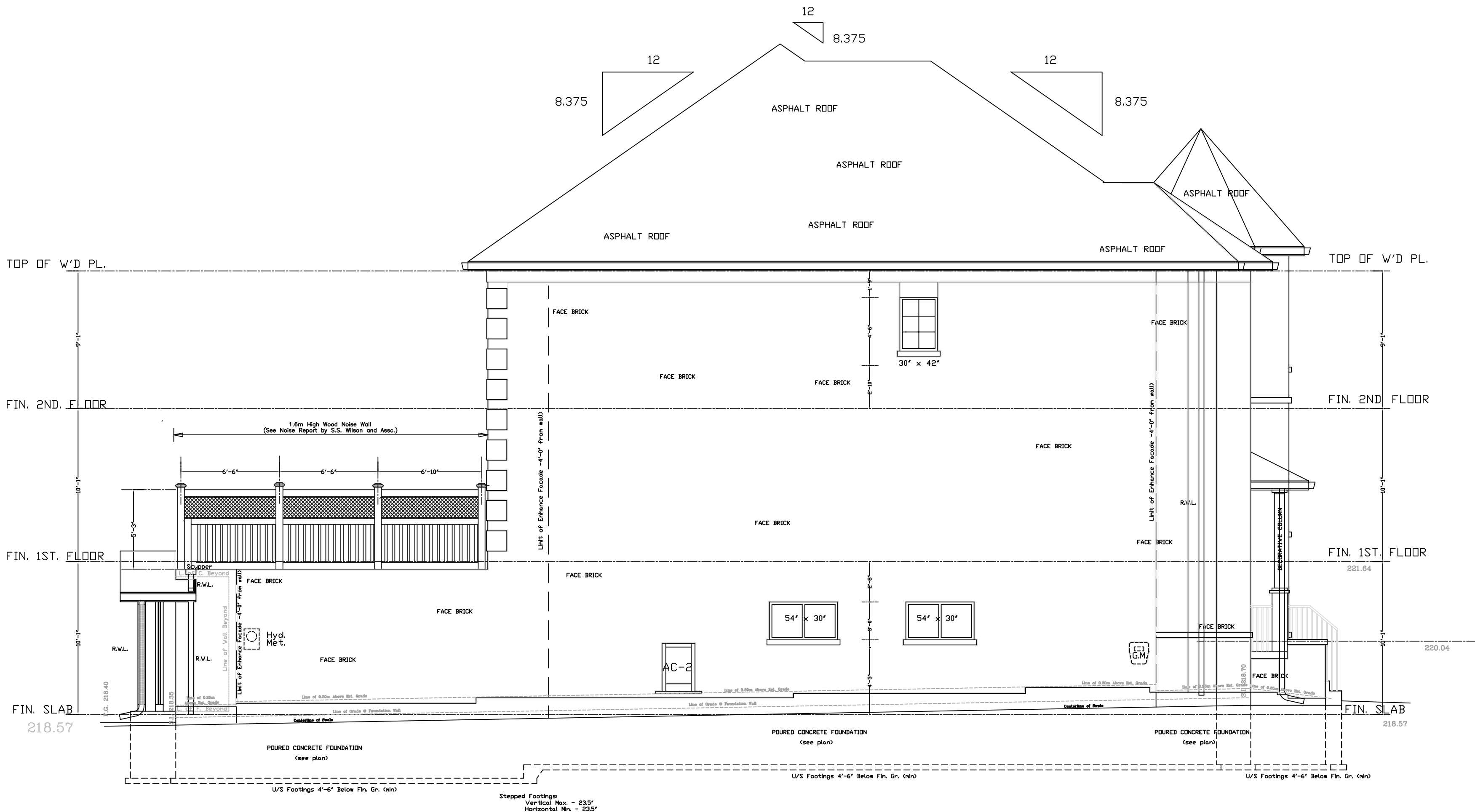
Limiting Distance [S.9.1015.2]:
UNIT 2
Area (N.Facade):
A= 1408.4074 square ft. (130.8453m2)
Limiting Distance: 8.295m
Allowable Glazed Openings: 29% [394.3541 S.F.]
Prop.Glazing: 181.542 S.F.

LEGEND
DENOTED GRADE ELEVATIONS (Metric) 218.40
DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-11"x1'-8"x3'-3"

Water Consumption Notes:
The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

Exterior Facade:
Brick: Brampton Brick, Auburn Matt
Brick Accent: (same)
Stone: Brampton Brick, Milano
Man Door Colour: Dulux, Be Yourself (DUX 1218-7)
Garage Door: Richard-Wilcox, Style: Shakespeare, Colour: Beige
Aluminium Soffit/Facia: Kaycan-Upper; Charcoal
Lower: Ivory
Aluminium Eaves and Downspouts: Kaycan-Upper; Chocolate Brown
Lower: Ivory
Stucco: DuRock: Finish-Marble Cook, Colour-Wicker (4535)
Roof: Iko, Style Cambridge, Colour: Dual Black

PART 4



Note:
All uncovered exterior lighting shall be hooded and equipped with LED lightbulbs and photocell sensors.

Limiting Distance [S.9.1015.2]:
UNIT 4
Area (Side Facade): 1649.7742 square ft. (153.2690m2)
Limiting Distance: 1.2m
Allowable Glazed Openings: 7%
Prop. Glazing: 31.25

LEGEND
DENOTED GRADE ELEVATIONS (Metric) 218.40
DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-11"x2'-3"x3'-11"

Water Consumption Notes:
The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

13	SITE PLAN RESUBMISSION	APR 08/24	DC
12	For Outation	FEB. 04/23	DC
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NO.	REVISIONS	DATE	BY

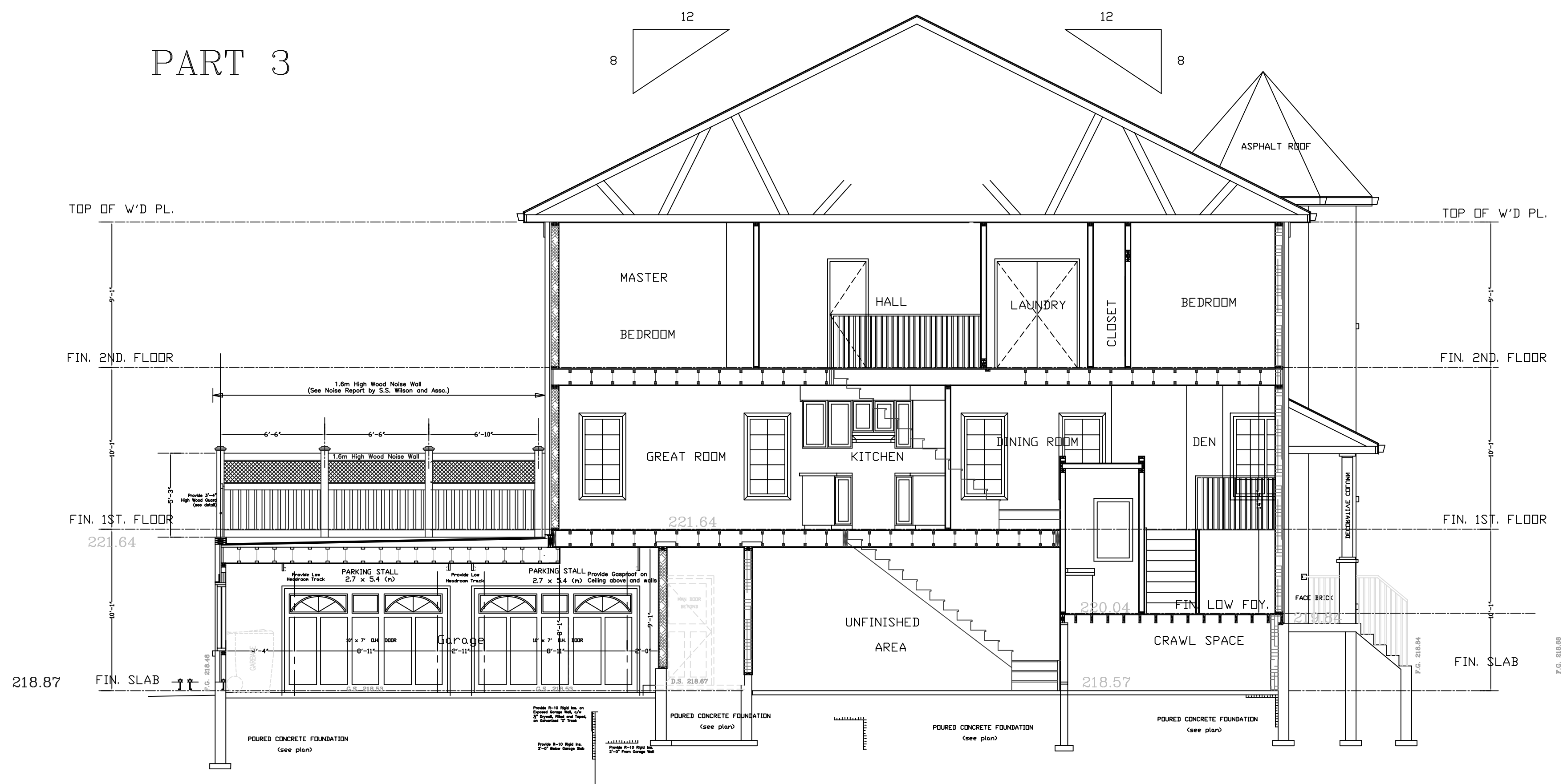
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OWNER/BUILDER:

PROJECT:
RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

DRAWING TITLE: SOUTH ELEVATION PARTS 3 & 4			
Mi-Ko Urban Consulting Professional Planning-Design Consultants Inc.			
16 HIGH STREET TORONTO, ONTARIO M5T 1A6 TEL: 416-230-6936 EMAIL: miko@urbanprogers.com			
DRAWN PKG	CHECKED	SCALE	SHEET No.
DATE Nov. 2008	PROJECT No. DIXTH-08	2/9E	

PART 3



LEGEND

DENOTED GRADE ELEVATIONS (Metric) 218.40

DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-11"x2'-3"x3'-11"

Water Consumption Notes:

The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M

13	SITE PLAN RESUBMISSION	APR 08/24	DC
12	For Outation	FEB. 04/23	DC
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NO.	REVISIONS	DATE	BY

General Notes:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/OR DESIGNER.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER, MKO URBAN CONSULTING INC., AND MUST BE RETURNED UPON REQUEST. THESE PLANS ARE NOT TO BE USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
- 3) ALL WORKS TO BE IN ACCORDANCE TO THE ONTARIO BUILDING CODE AND OTHER APPLICABLE LAWS AND REGULATIONS.

OWNER/BUILDER:

PROJECT:

RESIDENTIAL DEVELOPMENT
9124 Dixie Road
PRT. OF EAST 1/2 OF LOT 6
CONC.3 E.H.S.
BRAMPTON, ONT.

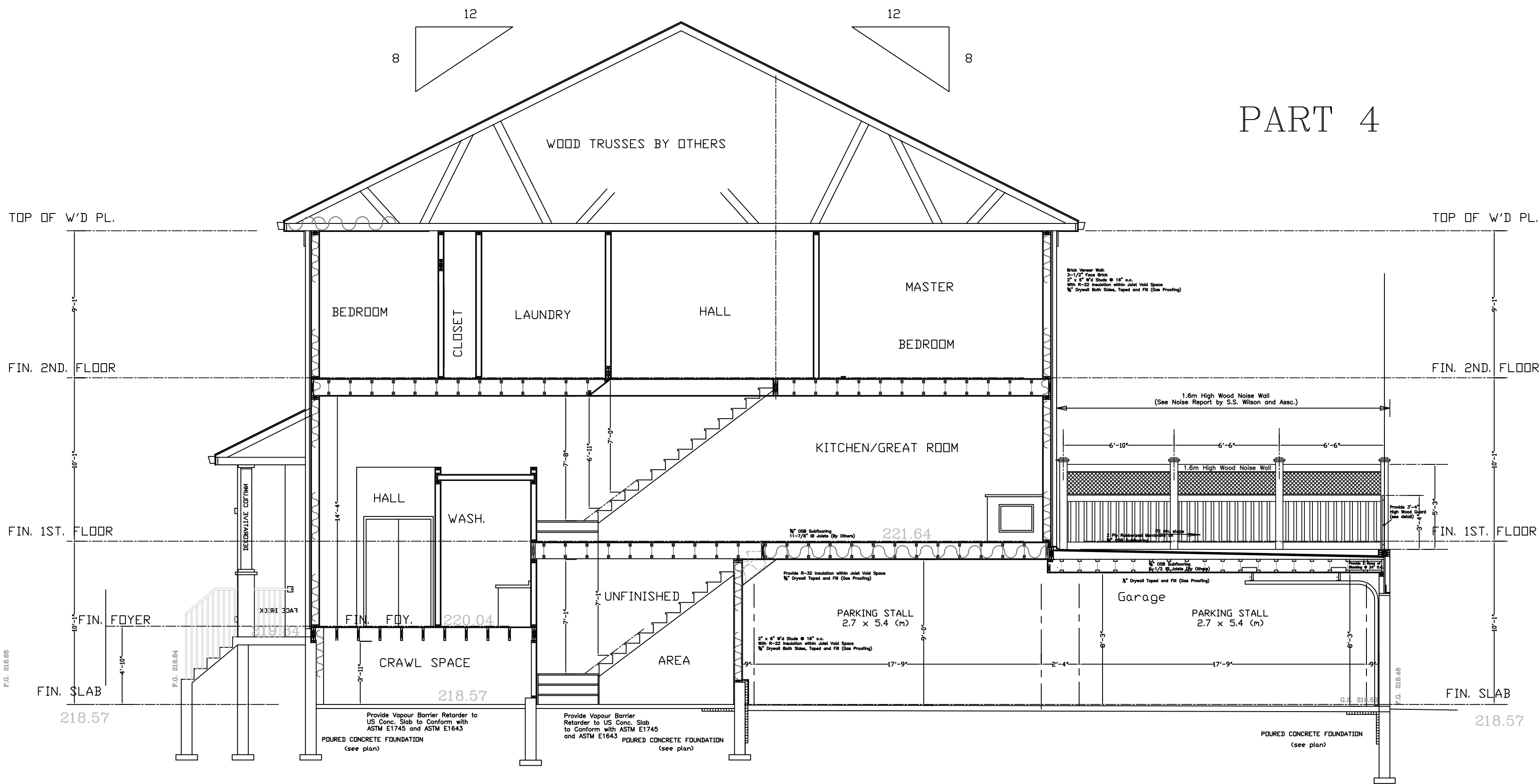
DRAWING TITLE:
SECTION (PART 3)
PARTS 3 & 4

Mi-ko Urban Consulting
Professional Planning-Design Consultants Inc.

16 HIGH STREET
TORONTO, ONTARIO
M5Y 3N8
TEL: 416-230-6936 EMAIL: mikourban@progers.com

DRAWN PKG	CHECKED	SCALE	SHEET No.
DATE Nov. 2008	PROJECT No. DIXTH-08	2/10E	

PART 4



13	SITE PLAN RESUBMISSION	APR 08/24	DC
12	For Outation	FEB 04/23	DC
11	Basement Windows & Revised Roof Line	MAR 20/22	DC
10	City Comments: 2020	NOV 11/20	DC
9	LPAT SUBMISSION -1	SEPT 26/19	DC
8	DMB/LPAT SUBMISSION - 4	JAN 18/19	DC
7	As per Without Prejudice Meeting Nov. 5 2018?	Nov/8/18	DC
6	DMB/LPAT SUBMISSION - 4	OCT 29/18	DC
5	DMB SUBMISSION - 2	FEB 11/18	DC
4	SITE PLAN RE-SUBMISSION	AUG 30/17	DC
3	Revision due to Site Plan Changes	May 8/16	DC
2	Revision due to TRCA Limit of Development	Mar 21/15	DC
1	Revision due to Grade Changes	Oct 18/12	DC
NO.	REVISIONS	DATE	BY

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RESIDENTIAL DEVELOPMENT
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PRT. OF EAST 1/2 OF LOT 6
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BRAMPTON, ONT.

DRAWING TITLE:
SECTION (PART 4)
PARTS 3 & 4

Mi-ko Urban Consulting
Professional Planning-Design Consultants Inc.

16 HIGH STREET
TORONTO, ONTARIO
M5Y 3N5
TEL: 416-230-6935 EMAIL: miko@urbanconsulting.com

DRAWN
PKC

CHECKED

SCALE
1/4"=1'-0"

SHEET No.
2/11E

LEGEND
DENOTED GRADE ELEVATIONS (Metric) 218.40
DENOTED: GARBAGE/RECYCLING/ORGANIC CARTS.
GARBAGE: 2'-11"x2'-3"x3'-11"
RECYCLING: 2'-11"x2'-3"x3'-11"
ORGANIC: 2'-1x1'-8"x3'-3"

Water Consumption Notes:
The maximum flow rate for the following fixtures shall be:
1) Toilets: 4.8 L/F
2) Faucets: 8.3 L/M
3) Showerheads: 8.3 L/M