



FILE NUMBER: A-2024-0288

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** IBRAR HUSSAIN SALMA IBRAR  
**Address** 22 Coronation Cir, Brampton, ON L6Z 4A7  
IBRAR SALMA P.K  
**Phone #** 416-399-0911 **Fax #** \_\_\_\_\_  
**Email** alnoorjewelers@gmail.com

2. **Name of Agent** PRABHJOT KAUR  
**Address** 366 HANSEN ROAD NORTH, BRAMPTON, ON, L6V 3P7  
**Phone #** 437-220-7934 **Fax #** \_\_\_\_\_  
**Email** prabhjothanda1927@gmail.com

3. **Nature and extent of relief applied for (variances requested):**  
TO PERMIT 3.22 M OF REAR YARD SETBACK WHILE BY LAW REQUIRES 7.6 M.

4. **Why is it not possible to comply with the provisions of the by-law?**  
THE CONSTRUCTION IS AS BUILT WITHOUT PERMIT.

5. **Legal Description of the subject land:**  
**Lot Number** 33  
**Plan Number/Concession Number** 43M-753  
**Municipal Address** 22 Coronation Cir, Brampton, ON L6Z 4A7

6. **Dimension of subject land (in metric units)**  
**Frontage** 15.25 METER 35.50 METER  
**Depth** 465.74 SQ.M  
**Area** \_\_\_\_\_

7. **Access to the subject land is by:**  
Provincial Highway \_\_\_\_\_  
Municipal Road Maintained All Year  \_\_\_\_\_  
Private Right-of-Way \_\_\_\_\_  
Seasonal Road \_\_\_\_\_  
Other Public Road \_\_\_\_\_  
Water \_\_\_\_\_

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

EXISTING 2 STOREY BRICK DWELLING HAVING GROSS FLOOR AREA  
EXISTING SHED 2.7M X 5.58 M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ADDITION OF HEATED SPACE OF 4.62M X11.37 M

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.10 M  
Rear yard setback 8.28 M  
Side yard setback 1.79 M  
Side yard setback 2.29 M

PROPOSED

Front yard setback 6.10 M  
Rear yard setback 3.66M  
Side yard setback 1.79M  
Side yard setback 2.29 M

0. Date of Acquisition of subject land: AUG 2018

1. Existing uses of subject property: SINGLE FAMILY DWELLING

2. Proposed uses of subject property: SINGLE FAMILY DWELLING

3. Existing uses of abutting properties: RESIDENTIAL

4. Date of construction of all buildings & structures on subject land:

5. Length of time the existing uses of the subject property have been continued:

16. (a) What water supply is existing/proposed?

Municipal   
Well

Other (specify) \_\_\_\_\_

(b) What sewage disposal is/will be provided?

Municipal   
Septic

Other (specify) \_\_\_\_\_

(c) What storm drainage system is existing/proposed?

Sewers   
Ditches   
Swales

Other (specify) \_\_\_\_\_

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No  Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 22 DAY OF JULY, 20 24.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PRABHJOT KAUR, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
CITY OF BRAMPTON  
IN THE REGION OF  
PEEL THIS 22 DAY OF  
JULY, 2024.

Valerie Low  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires June 21, 2027.

Signature of Applicant or Authorized Agent

  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_  
R1C-310  
Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

JOHN C. CABRAL \_\_\_\_\_ 2024-07-22  
Zoning Officer Date

DATE RECEIVED July 22, 2024

VL

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 22 CORONATION CIRCLE

I/We, IBRAR HUSSAIN <sup>SALMA IBRAR</sup> ~~IBRAR SALMA~~ (PK)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

PRABHJOT KAUR

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 28 day of MAY, 2024.

*Ibrar Hussain*

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 22 CORONATION CIRCLE

I/We, IBRAR HUSSAIN <sup>SALMA IBRAR</sup> IBRAR SALMA (P.K)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 28 day of MAY, 2024.

*Ibrar Hussain*

\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

**BUILDING LOCATION SURVEY OF  
LOTS 30, 31, 32 AND 33, PLAN 43M-753  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL**



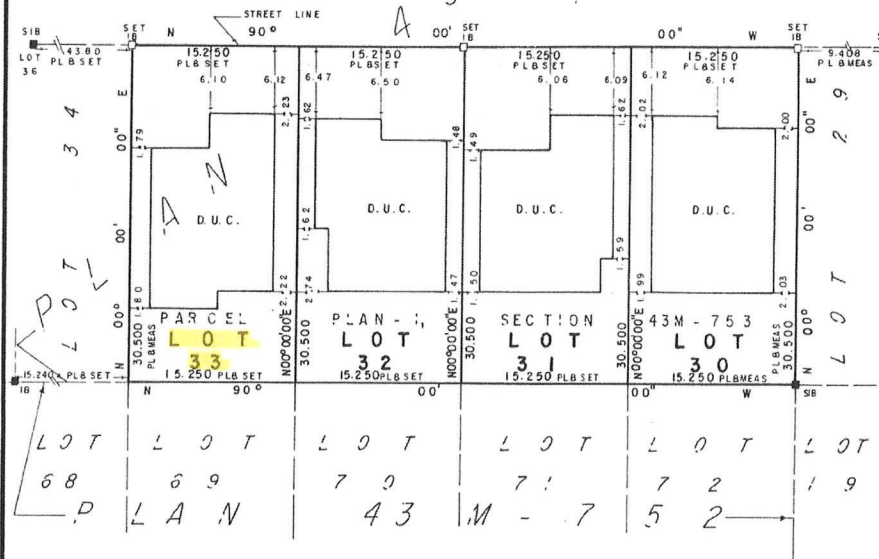
SCALE 1 : 400  
10m 5m 0 10m 20m 30m 40m

JOSEPH RADY-PENTEK LTD., O.L.S. 1987

**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

**CORONATION CIRCLE**  
(BY PLAN 43M-753)



**NOTE**

- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- S.I.B. DENOTES STANDARD IRON BAR
- I.B. DENOTES IRON BAR
- M DENOTES MONUMENT FOUND
- PL DENOTES PLAN 43M-753

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
COMPLETED ON THE 11<sup>TH</sup> DAY OF JUNE, 1987.

DATE: JUNE 23, 1987.

ALL FOUND MONUMENTS BY SCHAEFFER & REINTHALER  
LTD., O.L.S.

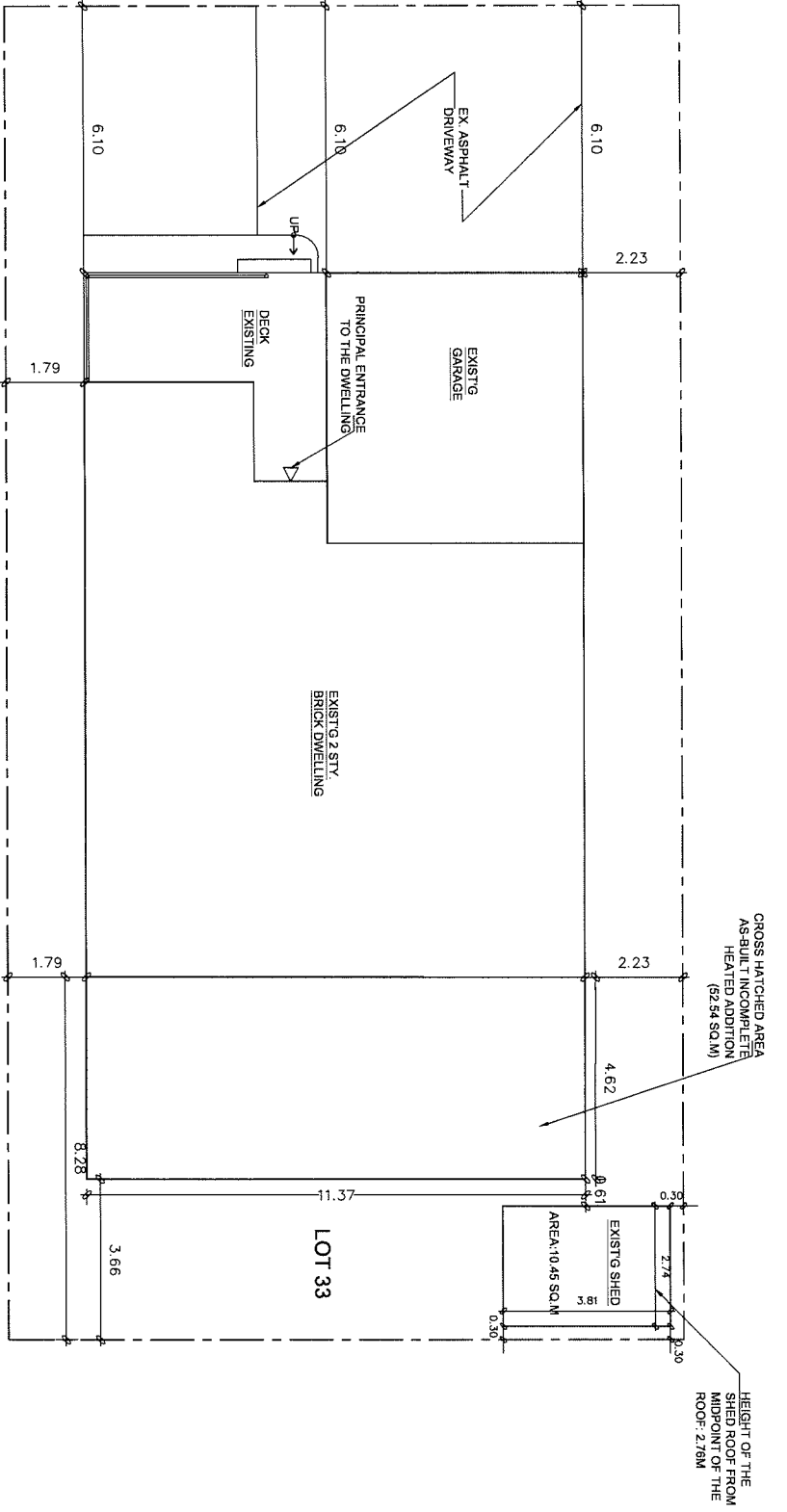
DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS

*G. K. Jenkins*  
G. K. JENKINS  
ONTARIO LAND SURVEYOR

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE  
SOUTH LIMIT OF CORONATION CIRCLE AS SHOWN ON PLAN 43M-753  
HAVING A BEARING OF N 90°00'00"W

**FP** JOSEPH RADY-PENTEK LTD.  
ONTARIO LAND SURVEYORS  
678 SHEPPARD AVE., W. DOWNSVIEW ONT.  
635-5886  
DRAWN: Y.W. CHECKED: G.K.J. JOB No. 87-60



SITE DATA

ZONING

PLAN NO:

LOT NO:

EXISTING

BUILDING AREA (G.F) (INCL. GARAGE) = 159.84 SQ.M

LOT AREA = 465.74 SQ.M

LOT COVERAGE = 34.3%

GROSS FLOOR AREA = 244.2 SQ.M

M/SM

43M-753

33

PROPOSED

BUILDING AREA (G.F) (INCL. GARAGE) = 212.38 SQ.M

LOT AREA = 465.74 SQ.M

LOT COVERAGE = 45.6%

GROSS FLOOR AREA = 296.74 SQ.M

Sheet title: SITE PLAN

Drawn By: PK

Checked By: SA

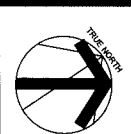
Project No.: 202012

Revisions

Scale: AS NOTED

Date: 2024.06.14

- △
- △
- △



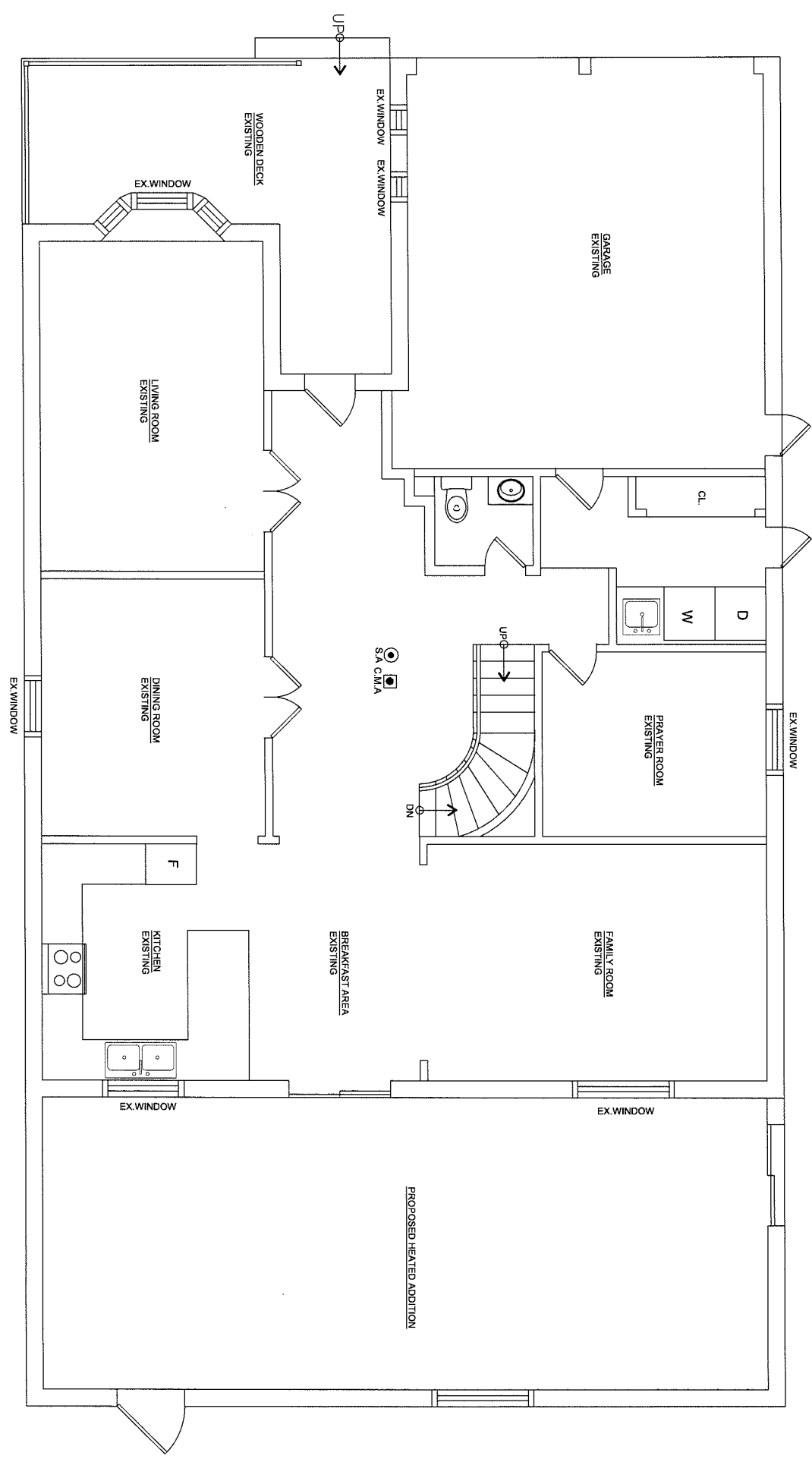
Dwg. no. A1.0

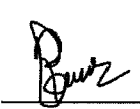

REV. NO.: -

BCIN:121013 PRABHJOT KAUR

Project AS-BUILT HEATED ADDITION @ 22 CORONATION CIRCLE, BRAMPTON

1  
A2.1  
EXISTING FIRST FLOOR PLAN  
SCALE = 3/16"=1'-0"



	BCIN:121013 PRABHJOT KAUR	Project AS-BUILT BASEMENT PLAN FOR OWNER USE @ 22 CORONATION CIRCLE, BRAMPTON	Sheet title: EXISTING FIRST FLOOR PLAN		
			Drawn By: PK	Checked By: SA	Project No.: 202012
			Revisions	Scale: AS NOTED	Date: 2023.10.26
				Dwg. no. <b>A2.1</b>	REV. NO: -

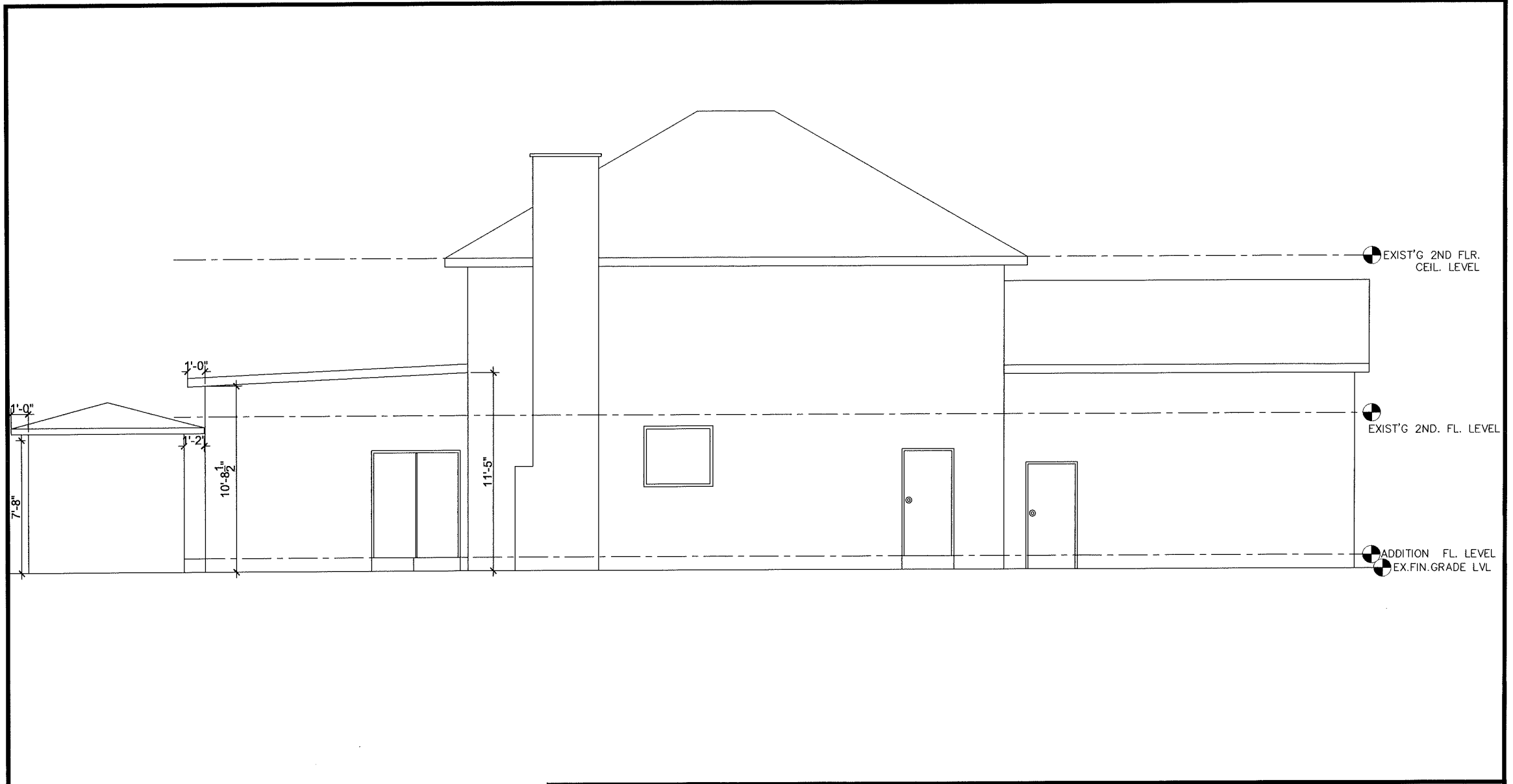




BCIN:121013  
 PRABHJOT KAUR

Project  
 AS-BUILT BASEMENT PLAN  
 FOR OWNER USE @  
 22 CORONATION  
 CIRCLE, BRAMPTON

Sheet title: SITE PHOTOS		
Drawn By: PK	Checked By: SA	Project No.: 202012
Revisions	Scale: AS NOTED	Date: 2024.06.14
△		Dwg. no. <b>A2.2</b>
△		
△		
REV. NO: -		

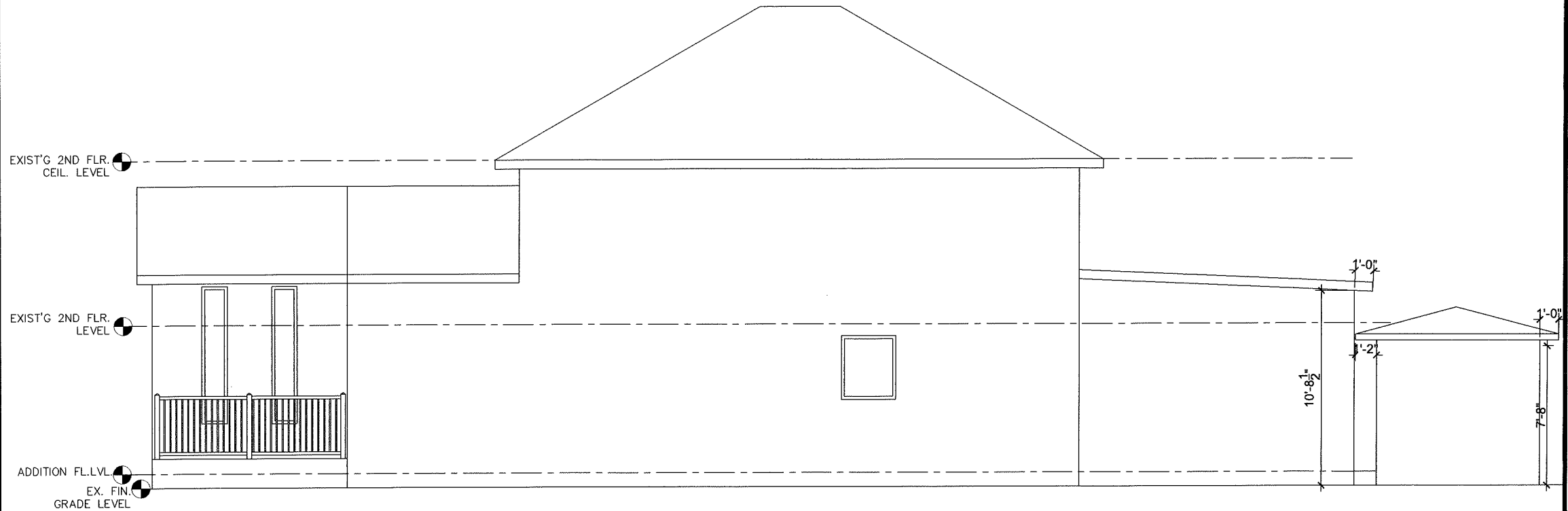


1 LEFT SIDE ELEVATION  
 A3.0 SCALE= 3/16"=1'-0"

BCIN:121013  
 PRABHJOT KAUR

Project  
 AS-BUILT HEATED ADDITION @  
 22 CORONATION  
 CIRCLE, BRAMPTON

Sheet title: LEFT SIDE ELEVATION		
Drawn By: PK	Checked By: SA	Project No.: 202012
Revisions	Scale: AS NOTED	Date:
△		D'wg. no. <b>A3.0</b>
△		
△		REV. NO: -

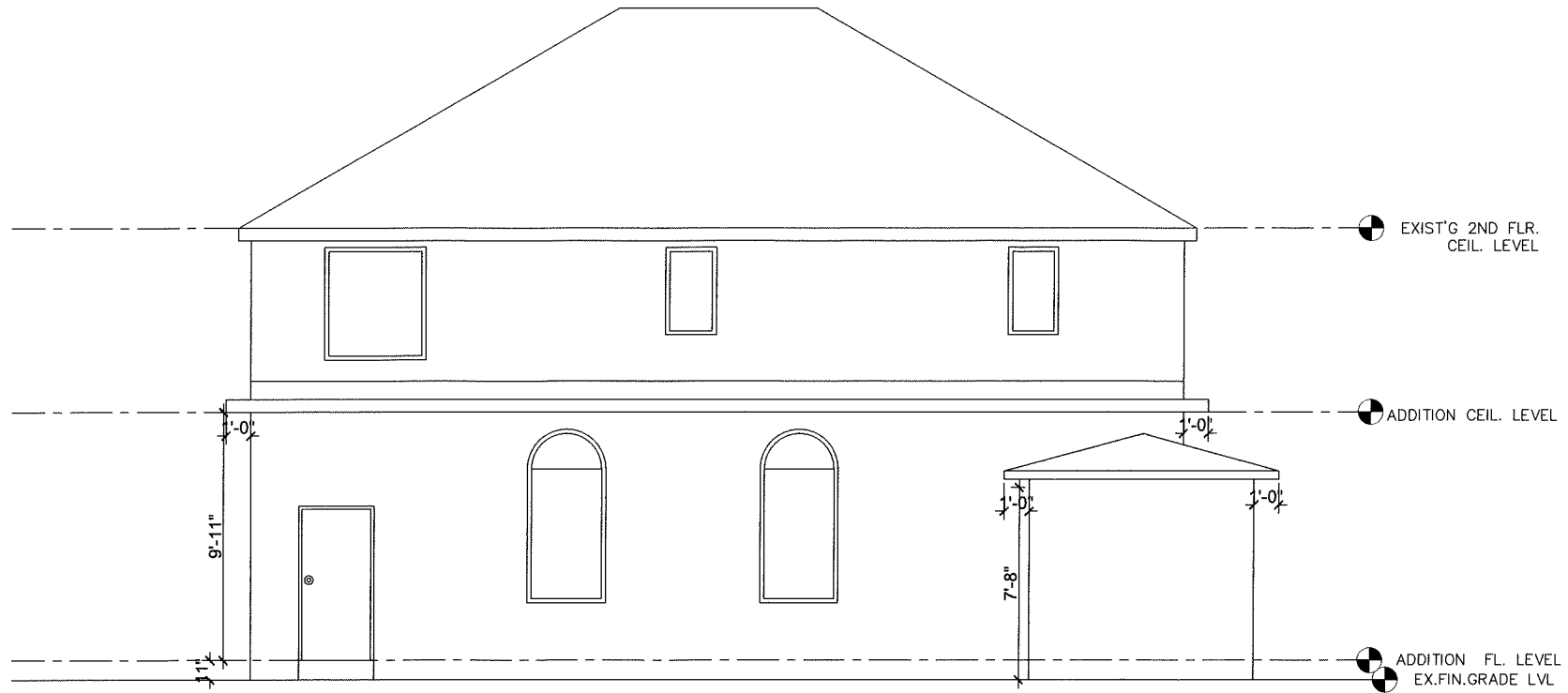


1 RIGHT SIDE ELEVATION  
 A3.1 SCALE= 3/16"=1'-0"

BCIN:121013  
 PRABHJOT KAUR

Project  
 AS-BUILT HEATED ADDITION @  
 22 CORONATION  
 CIRCLE, BRAMPTON

Sheet title: RIGHT SIDE ELEVATION		
Drawn By: PK	Checked By: SA	Project No.: 202012
Revisions	Scale: AS NOTED	Date:
△		Dwg. no. <b>A3.1</b>
△		REV. NO: -
△		



1 REAR SIDE ELEVATION  
 A3.2 SCALE= 3/16"=1'-0"

BCIN:121013  
 PRABHJOT KAUR

Project  
 AS-BUILT HEATED ADDITION @  
 22 CORONATION  
 CIRCLE, BRAMPTON

Sheet title:  
 REAR SIDE ELEVATION

Drawn By: PK	Checked By: SA	Project No.: 202012
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Revisions	Scale: AS NOTED	Date:
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△		Dwg. no. <b>A3.2</b>
△		REV. NO: -
△		



Received / Revised

SEP 09 2024

Committee of Adjustment



Received / Revised

SEP 09 2024

Committee of Adjustment



Received / Revised

SEP 09 2024

Committee of Adjustment

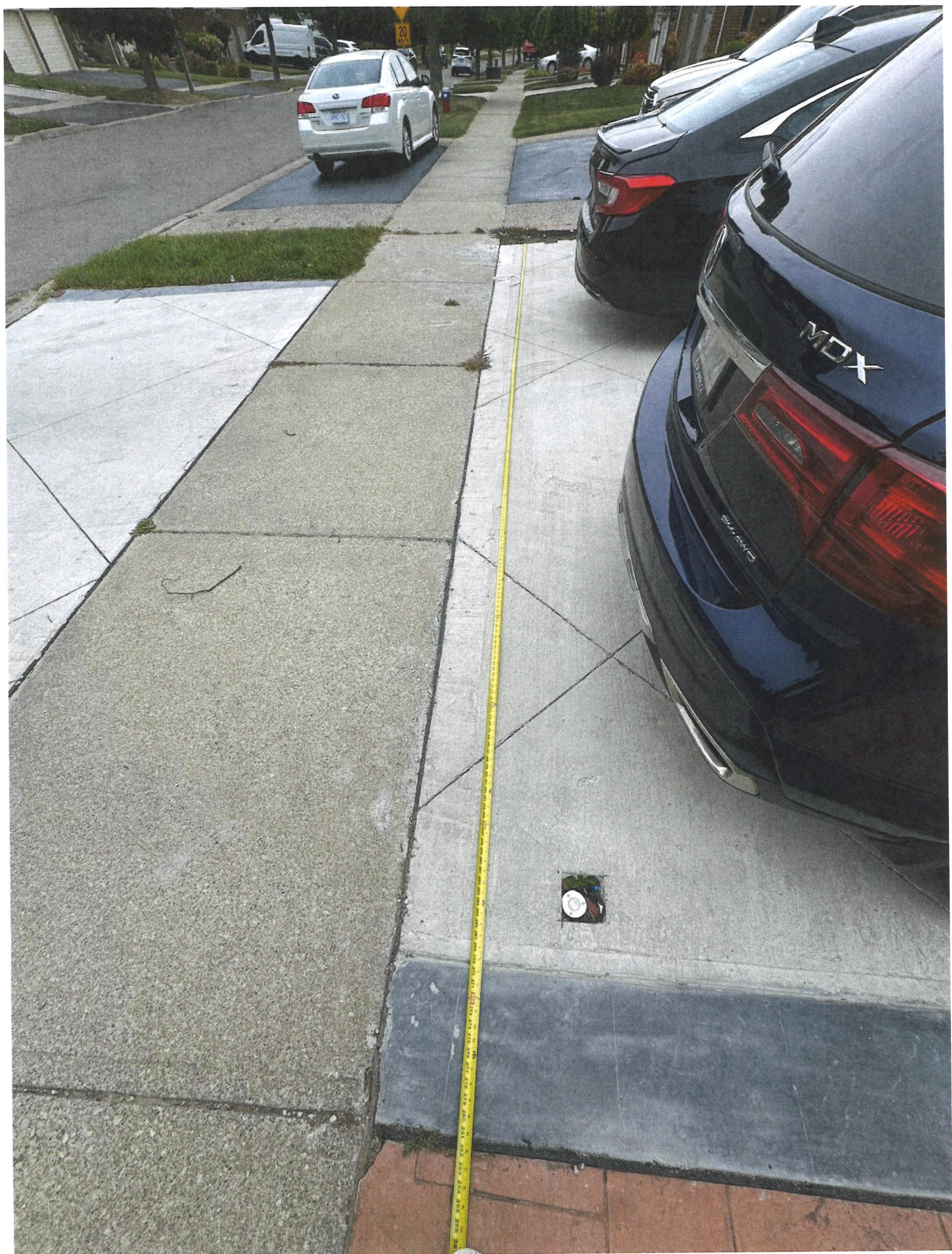


Received / Revised

SEP 09 2024

Committee of Adjustment

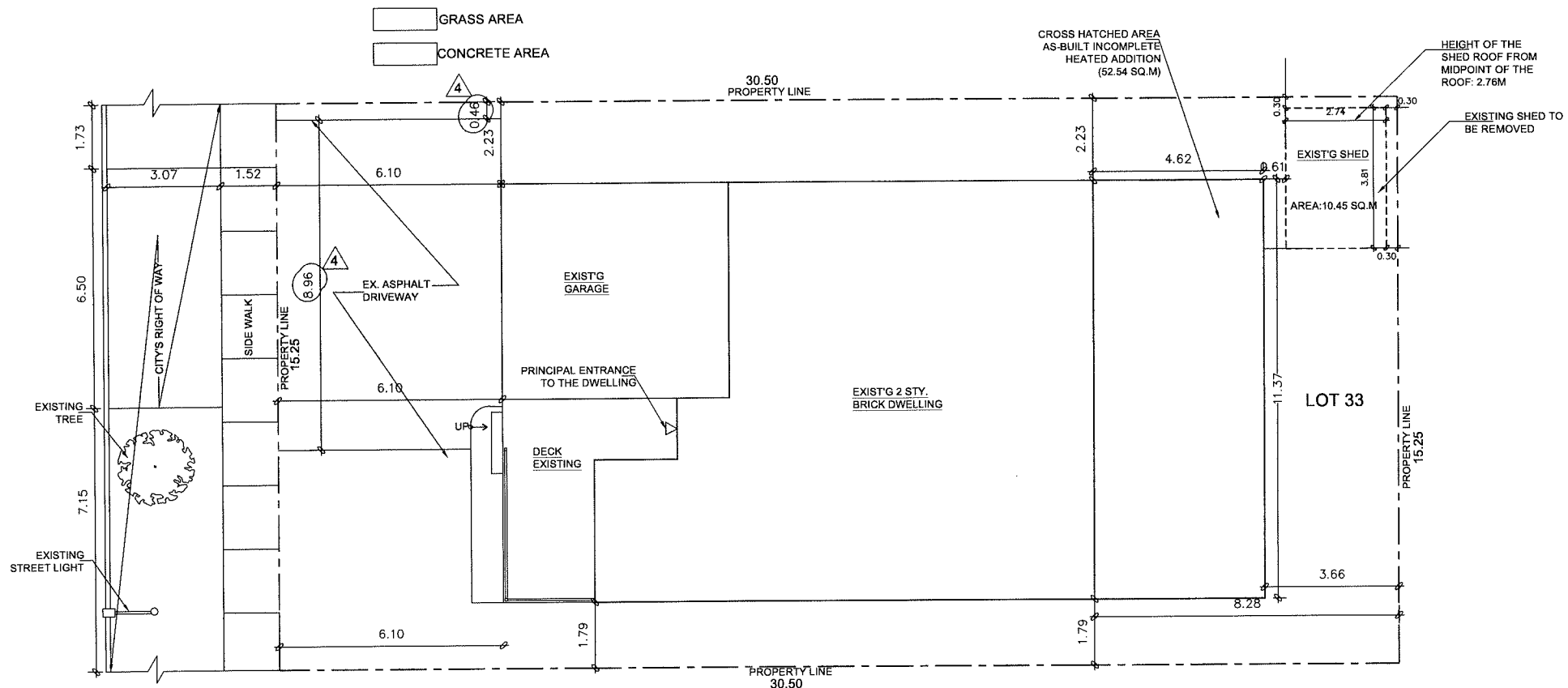




Received / Revised

SEP 09 2024

Committee of Adjustment



Sheet title: <b>SITE PLAN</b>	Checked By: SA	Project No.: 202012
Drawn By: PK	Scale: AS NOTED	Date: 2024.06.14
Revisions	Dwg. no.	<b>A1.0</b>
1 26-08-2024		
2 09-04-2024		
3 09-06-2024		
4 09-09-2024		

Project  
**AS-BUILT HEATED ADDITION @  
 22 CORONATION  
 CIRCLE BRAMPTON**

BCIN:121013  
**PRABHJOT KAUR**

SITE DATA		M/SM	
ZONING			
PLAN NO:		43M-753	
LOT NO:		33	
EXISTING		PROPOSED	
BUILDING AREA (G.F) (INCL. GARAGE)	= 159.84 SQ.M	BUILDING AREA (G.F) (INCL. GARAGE)	= 212.38 SQ.M
LOT AREA	= 465.74 SQ.M	LOT AREA	= 465.74 SQ.M
LOT COVERAGE	= 34.3%	LOT COVERAGE	= 45.6%
GROSS FLOOR AREA	=244.2 SQ.M	GROSS FLOOR AREA	= 296.74 SQ.M

1 SITE PLAN  
 A1.0 SCALE= 1:125

Received / Revised  
**SEP 09 2024**  
 Committee of Adjustment

# Zoning Non-compliance Checklist

File No.

A - 2024 - 0288

Applicant: IBRAR HUSSAIN

Address: 22 Coronation Cir, Brampton, ON L6Z 4A7

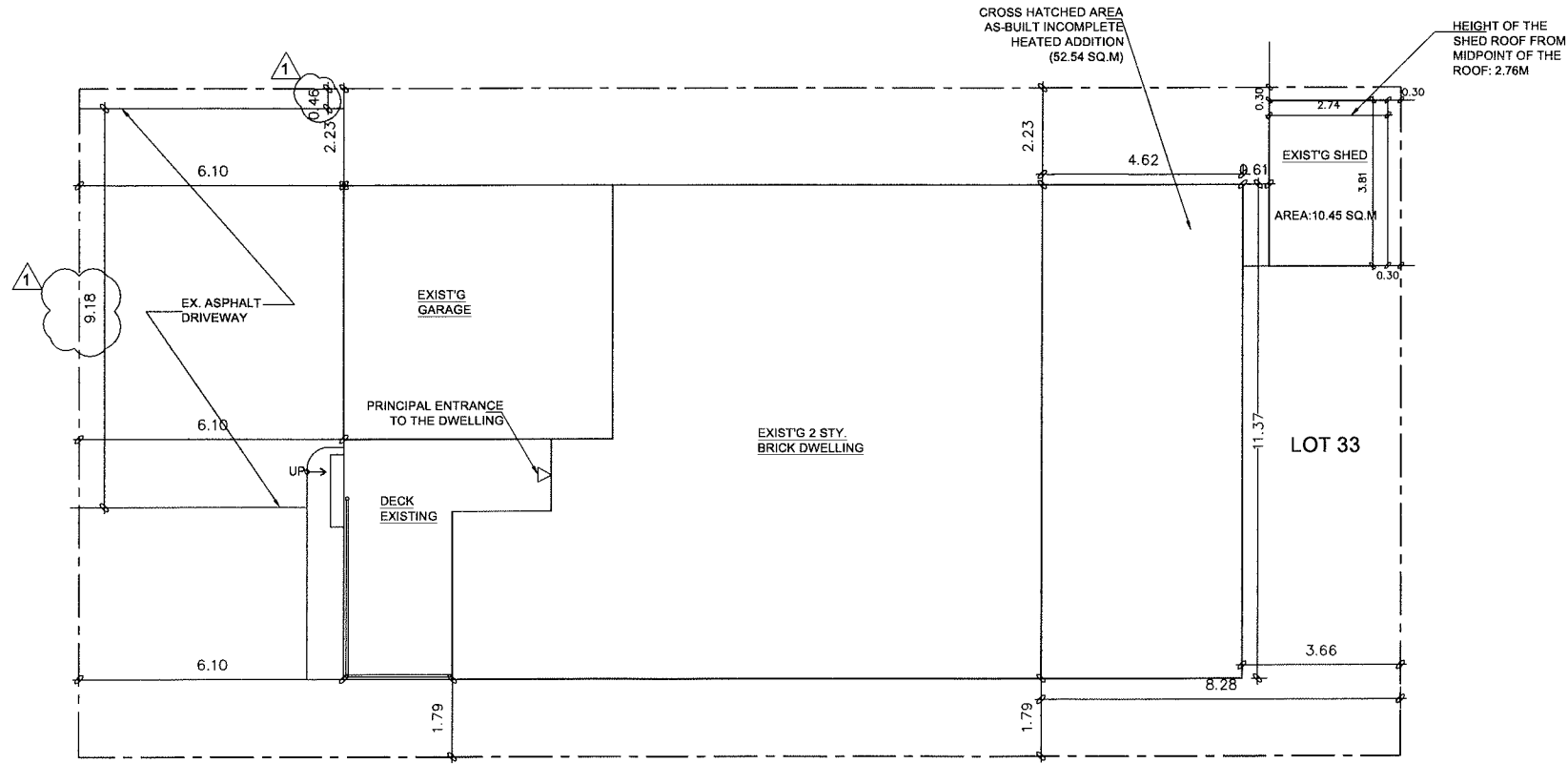
Zoning: R1C-310

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
SETBACKS	To permit a minimum rear yard setback of 3.66m to an existing (incomplete) one storey building addition in the rear yard.	Whereas the by-law requires a minimum rear yard setback of 7.6m.	Special Section 310.2(g)
BUILDING HEIGHT			
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE	To permit an existing accessory structure (shed) having a minimum setback of 0.30m to the nearest lot lines (rear yard and interior side yard)	Whereas the by-law requires an accessory structure to be no closer than 0.6m to the nearest lot line.	10.3(f)(ii)
ACCESSORY STRUCTURE			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
GARAGE DOOR HEIGHT			

John C. Cabral  
Reviewed by Zoning

2024-07-22  
Date



Project  
AS-BUILT HEATED ADDITION @  
22 CORONATION  
CIRCLE, BRAMPTON

BCIN:121013  
PRABHJOT KAUR

Sheet title:  
SITE PLAN

Checked By: SA	Project No.: 202012
Drawn By: PK	Date: 2024.06.14
Revisions	Dwg. no.
Scale: AS NOTED	<b>A1.0</b>
Revisions 1 26-08-2024	REV. NO. -

SITE DATA		M/SM	
ZONING			
PLAN NO:		43M-753	
LOT NO:		33	
EXISTING		PROPOSED	
BUILDING AREA (G.F) (INCL. GARAGE)	= 159.84 SQ.M	BUILDING AREA (G.F) (INCL. GARAGE)	= 212.38 SQ.M
LOT AREA	= 465.74 SQ.M	LOT AREA	= 465.74 SQ.M
LOT COVERAGE	= 34.3%	LOT COVERAGE	= 45.6%
GROSS FLOOR AREA	=244.2 SQ.M	GROSS FLOOR AREA	= 296.74 SQ.M

1 SITE PLAN  
A1.0 SCALE= 1:125