

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

Application Number: A-2024-0312
Property Address: 8406 Creditview Road
Legal Description: Con 3 WHS PT Lot 3, Ward 4
Agent: Empire Design Company c/o Peter Vozikas
Owner(s): Rashpal Kaur Johal
**Other applications:
under the *Planning Act*** nil
Meeting Date and Time: Tuesday, October 15, 2024, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. To permit a proposed fence in the required front yard having a maximum height of 2.4 metres, whereas the by-law permits a maximum fence height of 1 metres in the required front yard;
2. To permit an accessory structure (proposed cabana) in the rear yard of a lot in an Agricultural Zone having a gross floor area of 59.13 square metres (636.47 square feet), whereas, the by-law permits a maximum gross floor area of 23 square metres, for an individual accessory structure on a lot in an Agricultural Zone;
3. To permit an accessory structure (proposed cabana) in the rear yard of a lot in an Agricultural Zone, having a maximum height of 3.66 metres in the case of a flat roof, whereas, the by-law permits a maximum height of any accessory structure of 3.5 metres in the case of a flat roof on a lot in an Agricultural Zone; and
4. To permit an accessory structure (proposed cabana) door height of a maximum of 2.74 metres, whereas, the by-law permits a maximum accessory structure door height of 2.4 metres.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, October 10, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, October 10, 2024**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 2nd day of October 2024

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
E: coa@brampton.ca

LEGEND:

- DENOTES SURVEY MONUMENT SET
- DENOTES SURVEY MONUMENT FOUND
- SB DENOTES 0.025 x 0.025 x 1.20 STANDARD IRON BAR
- HB DENOTES 0.015 x 0.015 x 1.60 IRON BAR
- 1109 DENOTES BRUCE I MAURURCH, O.L.S.
- VH DENOTES VAN HARTEN SURVEYING INC. O.L.S.'S
- YH DENOTES VAN HARTEN SURVEYING INC. O.L.S.'S
- YJ DENOTES YOUNG & YOUNG SURVEYING (ETOBICOKE 2006) INC.
- P1 DENOTES DEPOSITED PLAN 43R-8277 BY (1109)
- P2 DENOTES DEPOSITED PLAN 43R-30820 BY (YJ)

BUILDINGS

- WATERMAIN
- OVERHEAD HYDRO
- FENCELINE
- SILT FENCE
- TREE PROTECTION FENCE
- CENTRELINE OF ROAD
- TOP OF BANK
- DIRECTION OF FLOW
- PROPOSED ELEVATION (206.55)
- EXISTING ELEVATION (206.55)
- HYDRO METER (HM)
- GAS METER
- GUY WIRE (GW)
- LIGHT STANDARD (LS)
- GATE
- DECIDUOUS TREE
- CONIFEROUS TREE

ASPHALT

CONCRETE

GRAVEL

DECK

HYDRO METER (HM)

GAS METER

WATER METER (WM)

DOWNSPOUT (DS)

SUMP PUMP DISCHARGE (SP)

MANHOLE (MH)

SUMP

SIGN

BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY AN AVERAGED COMBINED SCALE FACTOR OF 0.9999769.
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

BEARING COMPARISONS:

FOR THE PURPOSES OF BEARING COMPARISONS, PREVIOUS SURVEYS HAVE BEEN ROTATED TO UTM BEARINGS BY THE ANGLES SHOWN BELOW.

CLASS	ROTATION FOR NORTHEAST BEARINGS
P1 & P2	-0°42'55"

CITY OF BRAMPTON GENERAL NOTES:

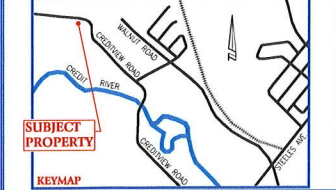
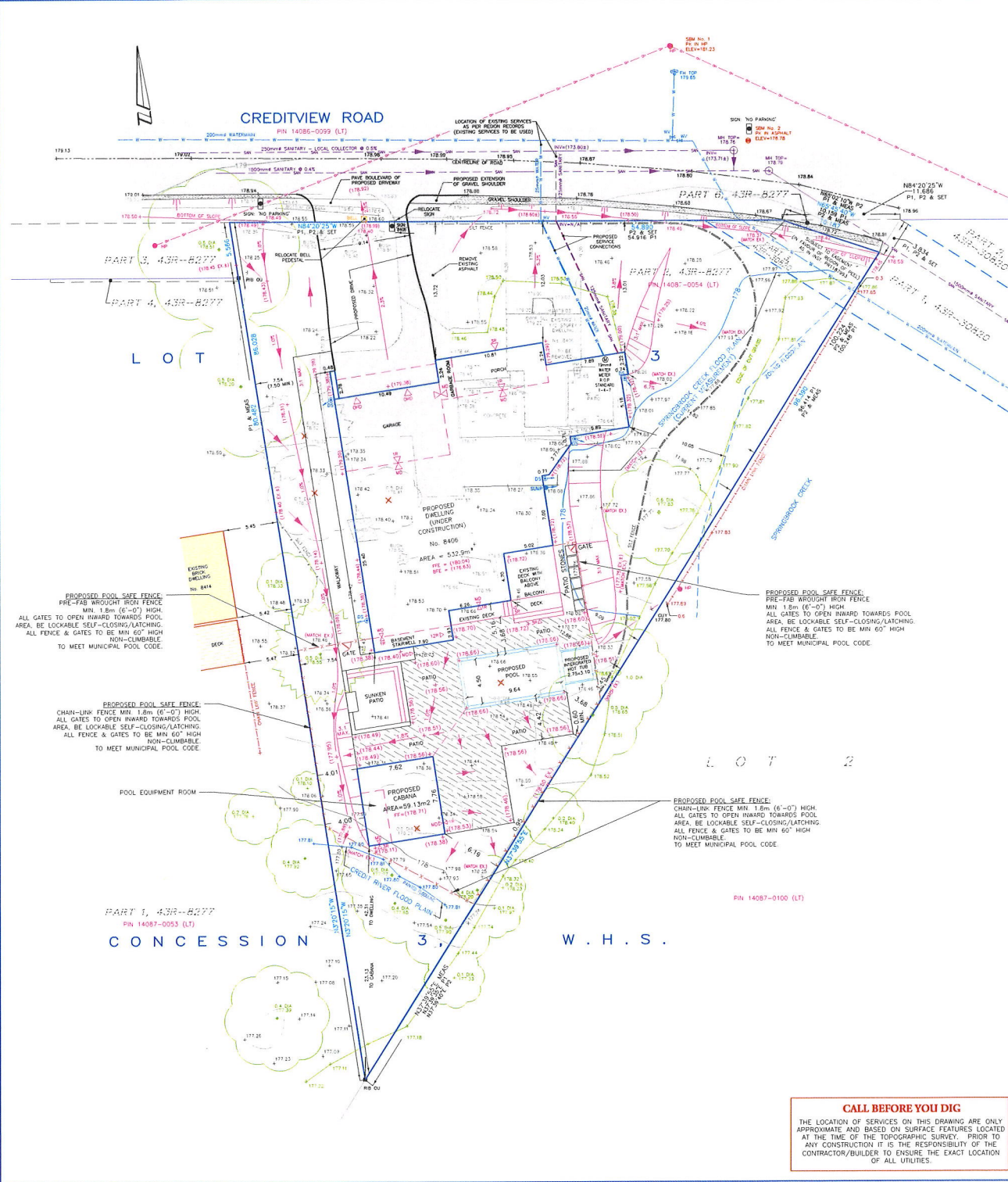
- DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- DRAINAGE GRADIENTS SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
- WHERE GRADIENTS IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPANIED BY A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- ALL DISTURBED AREAS MUST BE SEEDED OR SOODED. TOPSOIL TO BE AT LEAST 100mm.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A CURVE DIFFERENCE BETWEEN HOUSING UNITS SHALL BE MAINTAINED. ESPECIALLY WHERE NEW DEVELOPMENTS ADJUT EXISTING DEVELOPMENTS, THE VERTICAL CLEARANCE BETWEEN THE SIGNING LEVELS AT THE REAR WALL OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY SIGNING AT THE CURVE BETWEEN THE UNITS.
- GRASSY PORTION WITHIN THE MUNICIPAL BOUNDARY MUST BE PAVED.
- THE SERVICE CONNECTION WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRIKABLE FILL.
- WHEREVER POSSIBLE, A 0.9m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
- IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON PLANNING DESIGN AND DEVELOPMENT DEPARTMENT, ENGINEERING AND DEVELOPMENT SERVICES DIVISION, CITY HALL, 3rd FLOOR.
- ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF THE GRADING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- THE GRADIENT FROM THE FINISHED FLOOR OF THE PROPOSED HOUSE TO THE CENTRELINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.

SERVICING NOTES:

- LOCATION AND ELEVATION OF THE EXISTING SANITARY SERVICE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTING THE PROPOSED DWELLING.
- EXISTING WATER AND SANITARY SERVICES IN RIGHT OF WAY TO BE USED.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRANTY FLOW OF THE SANITARY SERVICE FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRANTY CONNECTION CANNOT BE ESTABLISHED A SEWER EJECTOR PUMP MUST BE INSTALLED AS PER OPE AND MUNICIPAL REQUIREMENTS.
- THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND AS PER CREDIT VALLEY TRUNK SANITARY SEWER DRAWING 39095-D-10 PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.
- PRIVATE SIDE WATER SERVICE TO BE 25mm DIA. TYPE 'A' SOTTI COPPER.
- PRIVATE SIDE SANITARY SERVICE TO BE 125mm DIA. PVC SDR 26.

REGION OF PEEL SERVICING NOTES:

- ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- WATERMAIN AND/OR WATER SERVICE MATERIALS 100mm (4") AND LARGER MUST BE PVC (2000 PVC), SIZE 50mm (2") AND SMALLER TO BE POLY (AWWA C901).
- WATERMAIN AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER DEPTH (C/D) WITH A MINIMUM HORIZONTAL SPACING OF 1.0 M (4') FROM THESE UTILITIES AND ALL OTHER UTILITIES.
- PROVISIONS FOR FLOWING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 MM (2") OUTLET ON 100 MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE WIPED OR PULLED TO THE WATER TO SPIN ONTO A PARKING LOT OR DOWN A DRAIN ON FIRE LINES. FLUSHING OUTLET TO BE 100 MM (4") MINIMUM ON A HYDRANT.
- ALL COBB STOPS TO BE 3.0 M (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- HYDRANT AND VALVE SET TO REGION STANDARD 1-46-1 DIMENSION A AND B 0.7 M (2") AND 0.9 M (3") AND TO HAVE PUMPER NOZZLE.
- WATERMANS TO BE INSTALLED TO GRADIES AS SHOWN ON APPROVED SITE PLAN COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK. WORK REQUIRED BY INSPECTOR.
- WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3 M (12") OVER / 0.9 M (36") UNDER SERVICES AND ALL OTHER UTILITIES WHEN CROSSING.
- ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEM.
- ALL LINE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
- LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATING, EXPOSING, SUPPORTING AND PROTECTING ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLAN OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY, THIS INSPECTION SHALL BE FOR THE DURATION OF THE CONSTRUCTION WITH THE CONTRACTOR RESPONSIBLE FOR THE COSTS ARISING FROM SUCH INSPECTION.
- ALL PROPOSED UTILITIES TO BE ISOLATED THROUGH A TAPBOUNDS. CONSTRUCTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE. CONSULT WITH THE REGIONAL INSPECTOR FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-1-3.
- WATER METER SIZE TO BE 19mm and TO BE AS PER REGION OF PEEL STANDARD 1-4-7.
- LOCATION OF WATER METER MUST BE IN HEATED AND ACCESSIBLE SPACE.



PROPERTY DESCRIPTION:

- PN 14087-0054 (LT)
- ADDRESS 8406 CREDITVIEW ROAD
- PART OF LOT 3, CONCESSION 3, WEST OF HURONTARIO STREET, BEING PART 2, 3 AND 4 OF
- GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY, CITY OF BRAMPTON
- SUBJECT TO EASEMENT AS IN INSTRUMENT CH1884, SUBJECT TO EASEMENT IN CROSS OVER PART 3, 43R-30820 AS IN INSTRUMENT P0119393

ZONING: AGRICULTURAL (A) (SECTION 46.1.2 (b) FOR A LOT WITH LESS THAN Sha)

REQUIRED	PROPOSED
MINIMUM LOT AREA = 0.4ha	(0.29ha)
MINIMUM LOT WIDTH = 45m	(57m)
MINIMUM FRONT YARD = 12m	(12.03m)
MINIMUM INTERIOR SIDE YARD = 7.5m	(7.54m)
MINIMUM REAR YARD = 15m	(42.31m)
MINIMUM BUILDING HEIGHT = 10.6m	(10.6m)
MINIMUM LANDSCAPED OPEN SPACE (FRONT YARD) = 70%	(74.9%)

PROPOSED DWELLING:

- TOP OF FOUNDATION = (179.68)
- UNDERSIDE OF FOOTING = VARIES (REFER STRUCTURAL DRAWINGS)
- BASEMENT FLOOR = (176.63)
- FINISHED FLOOR = (180.04)
- GARAGE CUT = (0.30)

NOTES:

- 10'-0" BASEMENT CEILING HEIGHT (10'-4" WALL POUR)
- SEWAGE EJECTOR MAY BE REQUIRED (SEE SERVICING NOTES)
- SEWER IS TO ENSURE ADEQUATE FLOOD PROTECTION FOR FOUNDATION.
- IF GROUNDWATER IS ENCOUNTERED DURING THE EXCAVATION FOR THE FOUNDATION, A GEOTECHNICAL ENGINEER SHALL BE CONSULTED.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE FOOTINGS ARE PLACED ABOVE SEASONAL GROUNDWATER LEVELS.

VAN HARTEN SURVEYING GENERAL NOTES:

- THE DEVELOPER IS RESPONSIBLE FOR COORDINATION OF ALL UTILITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE ANY REQUIRED INSPECTIONS.
- LOCATION OF SERVICES AND APPROXIMATE ELEVATIONS BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE SURVEY.
- EXISTING SERVICES TO BE RE-USED WHERE POSSIBLE. CCTV INSPECTION OF EXISTING SANITARY SERVICE TO BE COMPLETED PRIOR TO CONNECTION.
- REPLACEMENT SERVICES, WHERE NECESSARY, TO BE INSTALLED AS PER EXISTING AND TO REGION OF PEEL AND CITY OF BRAMPTON STANDARDS.
- FILL MATERIAL SHALL BE FREE OF DEBRIS INCLUDING LAKE ROCKS AND STONES.
- EXCESS DEBRIS AND MATERIAL SHALL BE REMOVED FROM THE SITE.
- SEMENT AND EROSION CONTROLS TO BE PROVIDED DURING CONSTRUCTION.
- MATCH TO EXISTING GRADES OF ADJUTING PROPERTIES.
- ANY REQUIRED WORK WITHIN THE RIGHT OF WAY TO BE COMPLETED IN CONFORMANCE WITH THE CITY'S MUNICIPAL SERVICES STANDARDS AND APPLICABLE OFFICIAL STANDARDS. A LIST OF ALL MATERIALS, FINISHES AND UTILITIES IS TO BE SUBMITTED TO THE CITY FOR REVIEW/APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK DONE WITHIN THE MUNICIPAL RIGHT OF WAY TO BE COMPLETED BY A CITY APPROVED CONTRACTOR.

SEDIMENT AND EROSION CONTROL NOTES:

- ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING, EXCAVATING OR DEMOLITION.
- EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MANHOLES, CATCH BASINS, SWALES & WATERCOURSES.
- DEVELOPMENT PROGRESS, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL STRUCTURES.
- EROSION CONTROL STRUCTURES ARE TO BE MONITORED REGULARLY AND DAMAGED TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENTS ARE TO BE REMOVED WHEN THE HEIGHT OF ACCUMULATION REACHES A MAXIMUM FOR THE FENCE AND REQUEST TO CLOSURE FILTER MATERIALS MUST BE REPLACED AS NEEDED OR AS DETERMINED BY THE MUNICIPALITY.
- ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR VEGETATION.
- NO ALTERNATIVE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE DESIGN CONSULTANT AND THE MUNICIPALITY.
- DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING MUNICIPAL ROADS ARE KEPT CLEAR OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORKING DAY.

SURVEY INFORMATION:

BENCHMARK REFERENCE:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM WITH HEIGHTS CONVERTED TO GEODETIC ELEVATIONS ON THE COGNATE DATUM. ALL ADJUSTMENTS WERE GOOD AND WERE SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARK:

- PK NAIL IN HYDRO POLE NORTH OF NORTH LIMIT OF SUBJECT PROPERTY HAVING AN ELEVATION OF 178.78 METRES.
- PK NAIL IN ASPHALT NORTH OF NORTH LIMIT OF SUBJECT PROPERTY HAVING AN ELEVATION OF 178.78 METRES.

TOPOGRAPHIC SURVEY DATE:
THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 7th DAY OF AUGUST, 2018.

Jeff Buisman
JEFFREY E. BUJSMAN
ONTARIO LAND SURVEYOR

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES. THIS SKETCH IS PROTECTED BY COPYRIGHT ©.

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE PLAN FOR:
PART OF LOT 3, CONCESSION 3
WEST OF HURONTARIO STREET
GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
DRAWING REVISION SCHEDULE

NO.	REVISION	DATE
8	ADD POOL/CABANA/PATIO	MAR. 16, 2024
7	REGION COMMENTS	OCT. 13, 2023
6	UNDERSIDE OF FOOTINGS	APR. 19, 2023
5	FOUNDATION WALL HEIGHT	APR. 10, 2023
4	REVISE HOUSE FOOTPRINT	APR. 06, 2023
3	DWELLING FOOTPRINT	JULY 27, 2020
2	DWELLING FOOTPRINT	FEB. 20, 2020
1	DWELLING FOOTPRINT	NOV. 28, 2019
0	INITIAL SUBMISSION TO CLIENT	AUG. 27, 2019
NO.	REVISION	DATE

PREPARED FOR: TRACK ONE PROJECT MANAGEMENT
PROJECT NO. 27351-19
DRAWING SCALE 1: 200

CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

Van Harten
LAND SURVEYORS - ENGINEERS

Waterloo: Ph. 519-742-8371
Guelph: Ph. 519-821-2763
Orangville: Ph. 519-820-4110

www.vanharten.com
info@vanharten.com

DRAWN BY: S.A.P. / C.E. DESIGNED BY: W.V. CHECKED BY: J.E.B.

REVISED 11-13-2018
C:\VH\DRAWING\2018\HSH\LOCAL\SITE\PILOT 3 (27351-19) TRACK ONE PROJECT MANAGEMENT\UTM 2018 01.dwg