



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) SUN, LI HONG SANDY; FU SEAN FU
 Address 54 Savino Dr. Brampton ON L6Z 0J7
 Phone # 416-823-6913 / 647-531-9194 Fax # _____
 Email Sandy.sun@rogers.com / S.fu1999@hotmail.com

2. Name of Agent _____
 Address _____
 Phone # _____ Fax # _____
 Email _____

3. Nature and extent of relief applied for (variances requested):
Stairs for below-grade side entrance is required to be 1.2m away from the property line. In this case the stairs are 0.99m from property line. There is a variance of 0.21m for which we request a minor variance / special permission to allow these conditions to persist.

4. Why is it not possible to comply with the provisions of the by-law?
The existing conditions have already been fully constructed by builder.

5. Legal Description of the subject land:
 Lot Number 6
 Plan Number/Concession Number Plan 43M2080
 Municipal Address 54 Savino Dr. Brampton ON L6Z 0J7

6. Dimension of subject land (in metric units)
 Frontage 8.80 M
 Depth 25.96 M
 Area 228.45 m²

7. Access to the subject land is by:
 Provincial Highway _____
 Municipal Road Maintained All Year
 Seasonal Road _____
 Other Public Road _____
 Water

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area: 40.1 m²
Gross Floor Area: 196.74 m²
3 storeys
width : 5.61 M
length : 16.205 M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 8.23 M
Rear yard setback 6.70 M
Side yard setback 2.50 M (measured from the middle section near the
Side yard setback stairs due to variance distance)

PROPOSED

Front yard setback _____
Rear yard setback _____
Side yard setback _____
Side yard setback _____

0. Date of Acquisition of subject land: Jan. 12, 2022

1. Existing uses of subject property: Residential

2. Proposed uses of subject property: Residential

3. Existing uses of abutting properties: Residential

4. Date of construction of all buildings & structures on subject land: Not known

5. Length of time the existing uses of the subject property have been continued: 2 years & 7 months

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes

No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes

No

19. Has the subject property of an application for minor variance? ever been the subject

Yes

No

Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Sandy Sun
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 21 DAY OF Aug., 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sandy Li-hong Sun, OF THE City OF Mississauga
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 21 DAY OF
Aug, 2024.

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027.

Sandy Sun
Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
R3B-2902

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2024/08/20
Date

Date Received: Aug 21, 2024
BY VL.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 54 Savino Dr. Brampton ON L6Z 0J7

I/We, SANDY LI HONG SUN ; Sean Fu
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

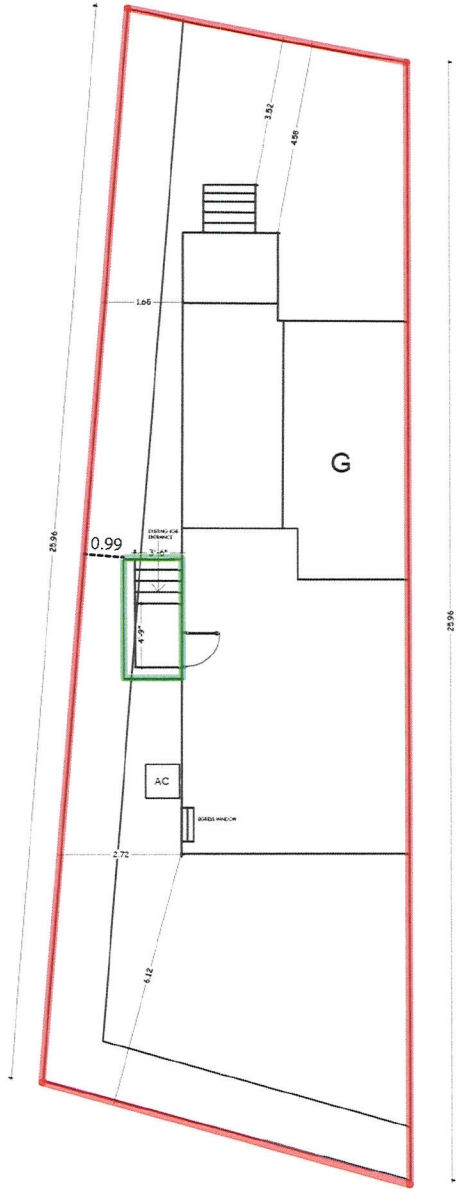
Dated this day of Aug. , 2024.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

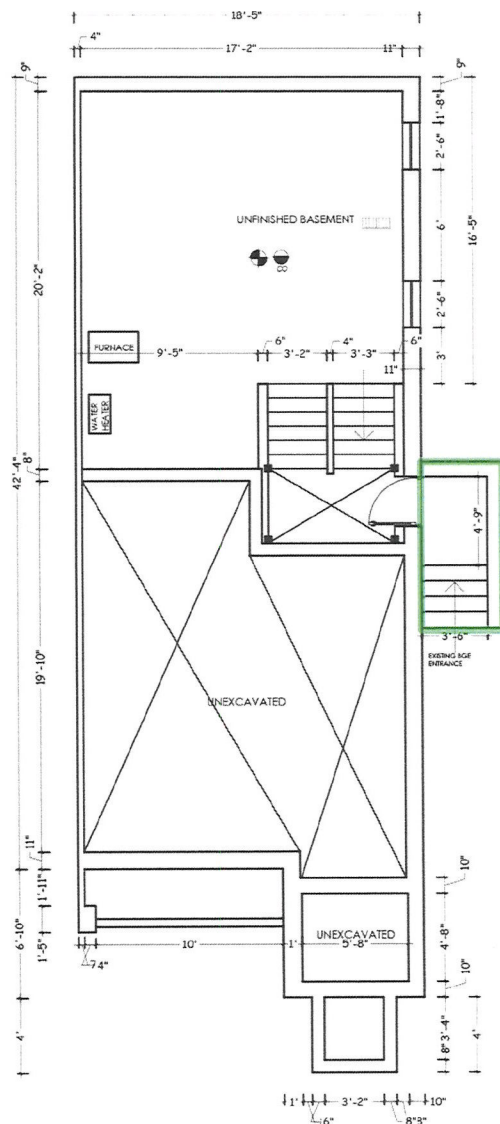
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

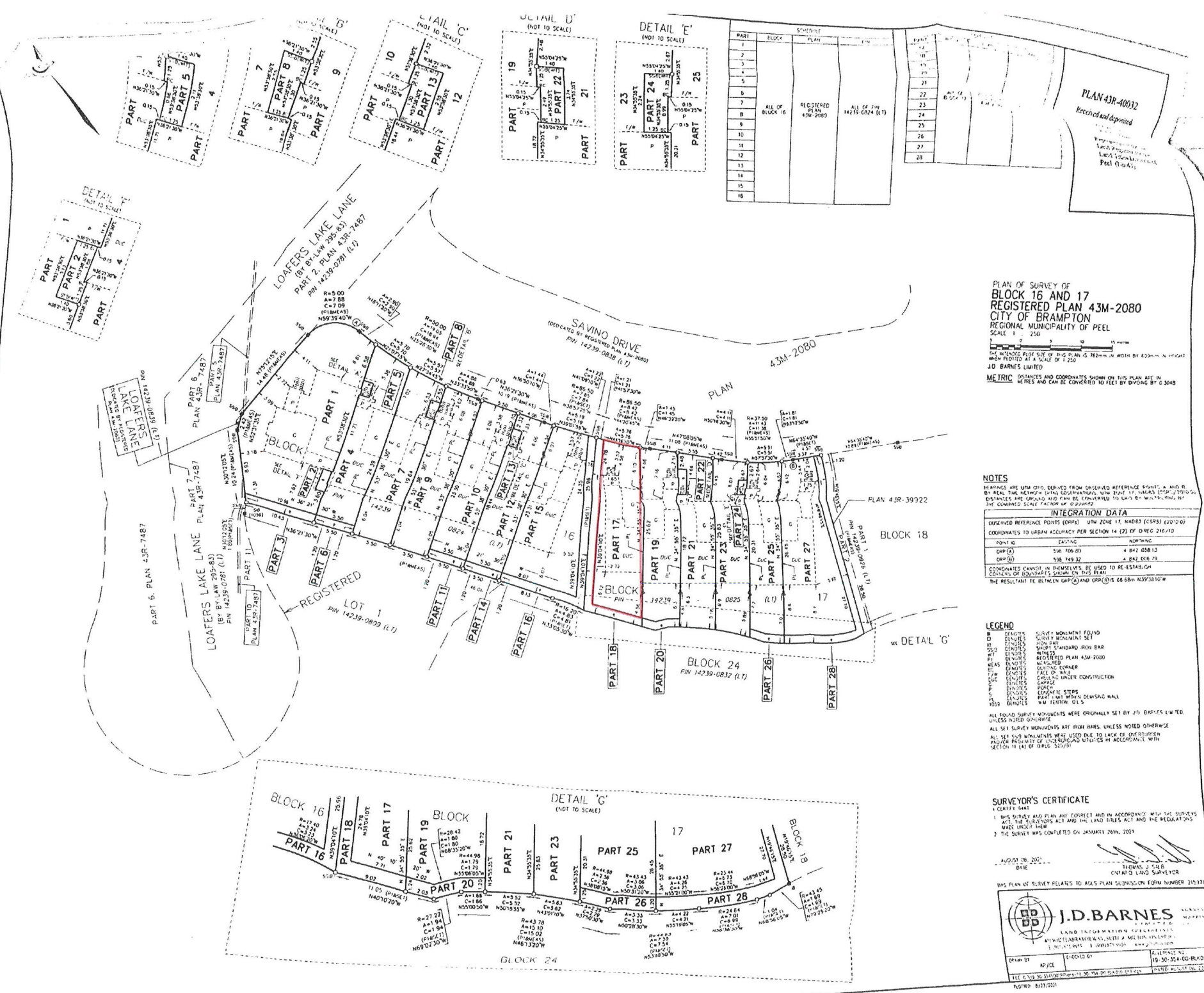


SITE PLAN
SCALE- $\frac{3}{32}$ " = 1'0"



- LEGEND:
- WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
 - PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
 - CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
 - HEATING OUTLET
 - ELECTRIC OUTLET
 - SPRINKLER
 - CARBON MONO-OXIDE DETECTOR

EXISTING BASEMENT PLAN
SCALE- $\frac{1}{8}$ " = 1'0"



PART	BLOCK	SCHEDULE
1		
2		
3		
4		
5		
6		
7	ALL OF BLOCK 16	REGISTERED PLAN 43M-2080
8		
9		
10		
11		
12		
13		
14		
15		
16		

PART	BLOCK	SCHEDULE
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		

PLAN 43R-40632
 Received and approved
 J.D. BARNES LIMITED
 LAND SURVEYORS
 100-105 SHEPPARD AVENUE EAST
 SCARBOROUGH, ONTARIO M1S 1T5
 TEL: (416) 291-1111

PLAN OF SURVEY OF
BLOCK 16 AND 17
REGISTERED PLAN 43M-2080
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
 SCALE 1 : 250
 THE INTENDED FOOT SIZE OF THIS PLAN IS 762mm x 1016mm WITH BY DIMENSIONS HEIGHT WHEN PRINTED AT A SCALE OF 1:250
 J.D. BARNES LIMITED
 METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES
 BEARINGS ARE WITH ODDS DERIVED FROM OBSERVED REFERENCE POINTS AND ARE BY REAL TIME NETWORK (RTN) DISTANCE MEASUREMENT WITH REAL TIME KINEMATIC (RTK) DISTANCE MEASUREMENT AND CAN BE CONVERTED TO ODDS BY MULTIPLYING BY THE CORRECTION FACTOR OF 0.9999992

INTEGRATION DATA
 OPENED REFERENCE POINTS (ORP) - UTM ZONE 17, NAD83 (CRS85) (2011-01)
 COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF OREG 216/10

POINT NO	EASTING	NORTHING
ORP (A)	518 706.00	4 842 058.13
ORP (B)	518 749.32	4 842 058.72

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH LOCATIONS OF BOUNDARY'S EXCEPT ON THIS PLAN.
 THE RESULTANT BE BLENDED ORP(A) AND ORP(B) IS 68 686 N39°38'10"W

LEGEND

○	STATION	SURVEY MONUMENT FOUND
□	DEMONSTRATES	SURVEY MONUMENT SET
□	DEMONSTRATES	IRON BAR
□	DEMONSTRATES	SHORT STANDARD IRON BAR
□	DEMONSTRATES	WIRE
□	DEMONSTRATES	REGISTERED PLAN 43M-2080
□	DEMONSTRATES	WALL
□	DEMONSTRATES	BLINDING CORNER
□	DEMONSTRATES	FACE OF WALL
□	DEMONSTRATES	CONCRETE UNDER CONSTRUCTION
□	DEMONSTRATES	CONCRETE
□	DEMONSTRATES	CONCRETE STEPS
□	DEMONSTRATES	PAVE WITH METAL DEWASH WALL
□	DEMONSTRATES	W/ FENTON, O.I.S

ALL FOUND SURVEY MONUMENTS WERE ORIGINALLY SET BY J.D. BARNES LIMITED, UNLESS NOTED OTHERWISE.
 ALL SET SURVEY MONUMENTS ARE IRON BARS, UNLESS NOTED OTHERWISE.
 ALL SET SURVEY MONUMENTS WERE USED DUE TO LACK OF OVERLAP AND/OR PRESENCE OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 14 (4) OF OREG 2001

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS ACT AND THE REGULATIONS MADE UNDER THEM
 2. THE SURVEY WAS COMPLETED ON JANUARY 26TH, 2001

AUGUST 26, 2001
 DUE
 THOMAS J. SLEB
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO ASLS PLAN SUBMISSION FORM NUMBER 2057010

J.D. BARNES
 LAND SURVEYORS
 100-105 SHEPPARD AVENUE EAST
 SCARBOROUGH, ONTARIO M1S 1T5
 TEL: (416) 291-1111

DRAWN BY	CHECKED BY	DATE
M/JC		

REG: 02/23/2001

Zoning Non-compliance Checklist

File No.

A - 2024-0324

Applicant: Li Hong Sandy Sun & Sean Fu

Address: 54 Savino Dr

Zoning: R3B-2902

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE	To permit an existing exterior stairway leading to a below grade entrance in a required side yard,	whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard.	10.23.1
BELOW GRADE ENTRANCE	To permit an interior side yard setback of 0.99m to an existing exterior stairway leading to a below grade entrance,	whereas the by-law requires a minimum interior side yard setback of 1.2m.	2902.2 (5)
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/08/20

Date