



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0330

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** EKATERINA DELWAR  
**Address** 22 ALLEGRO DR BRAMPTON L6Y 5Y7

**Phone #** 647-504-2737 **Fax #** \_\_\_\_\_  
**Email** delwar88@hotmail.com

2. **Name of Agent** KRUTI SHAH  
**Address** 4 ABACUS RD BRAMPTON L6T 5J6

**Phone #** 647-504-2737 **Fax #** \_\_\_\_\_  
**Email** projects@rjcadolutions.com

3. **Nature and extent of relief applied for (variances requested):**  
1. To permit a proposed below grade separate entrance in interior side yard.

4. **Why is it not possible to comply with the provisions of the by-law?**  
WE ARE PROPOSING BELOW GRADE SEPERATE ENTRANCE FROM INTERIOR SIDE YARD WHICH ,ZONING BY LAW DOESNOT PERMIT.

5. **Legal Description of the subject land:**  
**Lot Number** 143  
**Plan Number/Concession Number** 43M-1931  
**Municipal Address** 22 ALLEGRO DR BRAMPTON L6Y 5Y7

6. **Dimension of subject land (in metric units)**  
**Frontage** 10.94M  
**Depth** 26.7 M  
**Area** 332.11 SQM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

GROUND FLOOR AREA - 91.92 SQ. M. , GROSS FLOOR AREA - 215.8 SQ.M.,  
NUMBER OF STOREY - 2

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

BELOW GRADE ENTRANCE ON INTERIOR SIDE YARD

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 3.40m  
Rear yard setback 7.20m  
Side yard setback 0.66m  
Side yard setback 1.86m

**PROPOSED**

Front yard setback 3.40m  
Rear yard setback 7.20m  
Side yard setback 0.66m  
Side yard setback 0.67m

10. Date of Acquisition of subject land: \_\_\_\_\_

11. Existing uses of subject property: SINGLE UNIT DWELLING

12. Proposed uses of subject property: TWO UNIT DWELLING

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: \_\_\_\_\_

15. Length of time the existing uses of the subject property have been continued: \_\_\_\_\_

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

~~KRUTI SHAH~~

Digitally signed by KRUTI SHAH  
DN: c=CA, e=kruti@pcasolutions.com, CN=KRUTI SHAH  
Date: 2024.08.09 15:02:17-04'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY \_\_\_\_\_ OF BRAMPTON \_\_\_\_\_

THIS 09 27 DAY OF AUG, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

KP HIREN SHAH

I, KRUTI SHAH, P.ENG.

OF THE CITY \_\_\_\_\_ OF BRAMPTON \_\_\_\_\_

IN THE Region PROVINCE OF ONTARIO Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY \_\_\_\_\_ OF BRAMPTON \_\_\_\_\_  
IN THE Region PROVINCE OF \_\_\_\_\_  
PEEL ONTARIO THIS 09 27 DAY OF  
AUG \_\_\_\_\_, 2024.

Valerie Low  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires June 21, 2027.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: R1F-11.6-2327 Residential

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato  
Zoning Officer

August 20, 2024  
Date

DATE RECEIVED Ava 27, 2024

Date Application Deemed Complete by the Municipality VL

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 22 ALLEGRO DRIVE BRAMPTON L6Y 5Y7

I/We, EKATERINA DELWAR

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

KRUTI SHAH

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 9 day of AUGUST, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

DELWAR EKATERINA

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 22 ALLEGRO DRIVE BRAMPTON L6Y 5Y7

I/We, EKATERINA DELWAR  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 9 day of AUGUST, 2024.



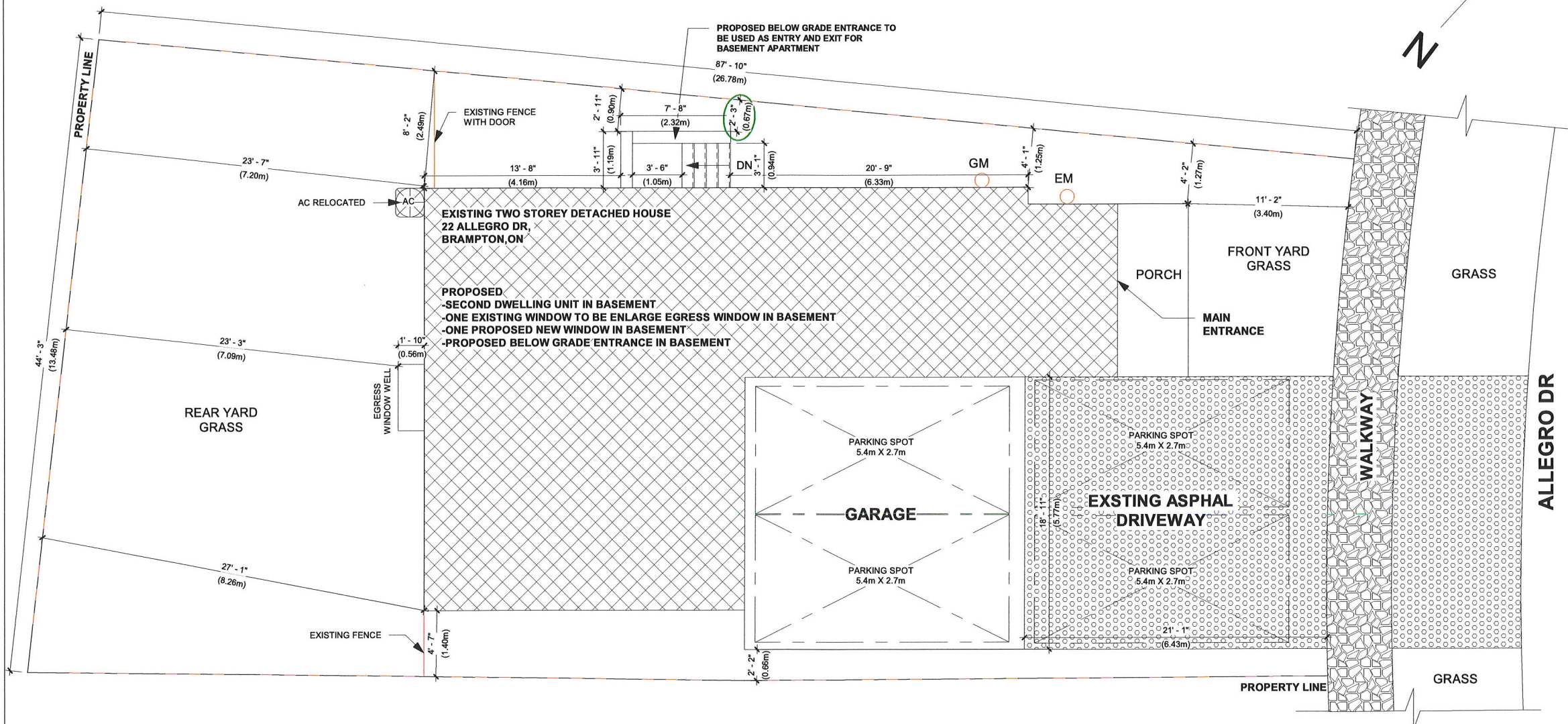
\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

DELWAR EKATERINA  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

EGRESS OPTION: DIRECT EXCLUSIVE EXIT



No.	REVISION	DATE
2.		
1.	ISSUED FOR PERMIT	2024-08-09

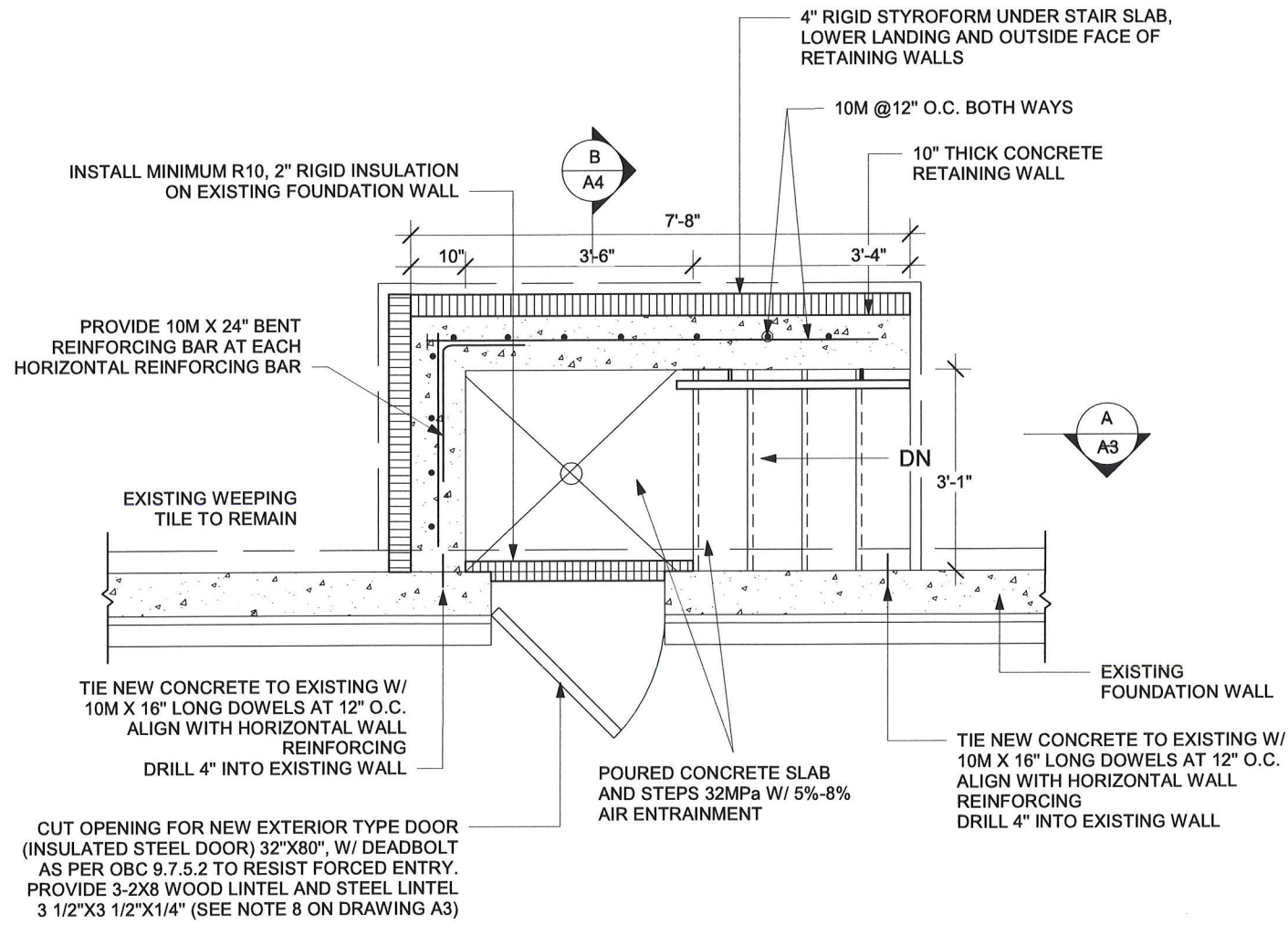


22 ALLEGRO DR,  
BRAMPTON, ON

SITE PLAN

RJ CAD SOLUTIONS

Date	2024-08-09	Scale	1 : 80
Drawn By	BB	Checked By	KS
Project Number	0001		
SHEET NUMBER	A1		



**NOTE:** GUARDRAIL AND HANDRAIL AS PER THE ATTACHED MANUFACTURER'S SPECIFICATIONS ON SHEET A5 OR EQUIVALENT

No.	REVISION	DATE
2.		
1.	ISSUED FOR PERMIT	2024-08-09



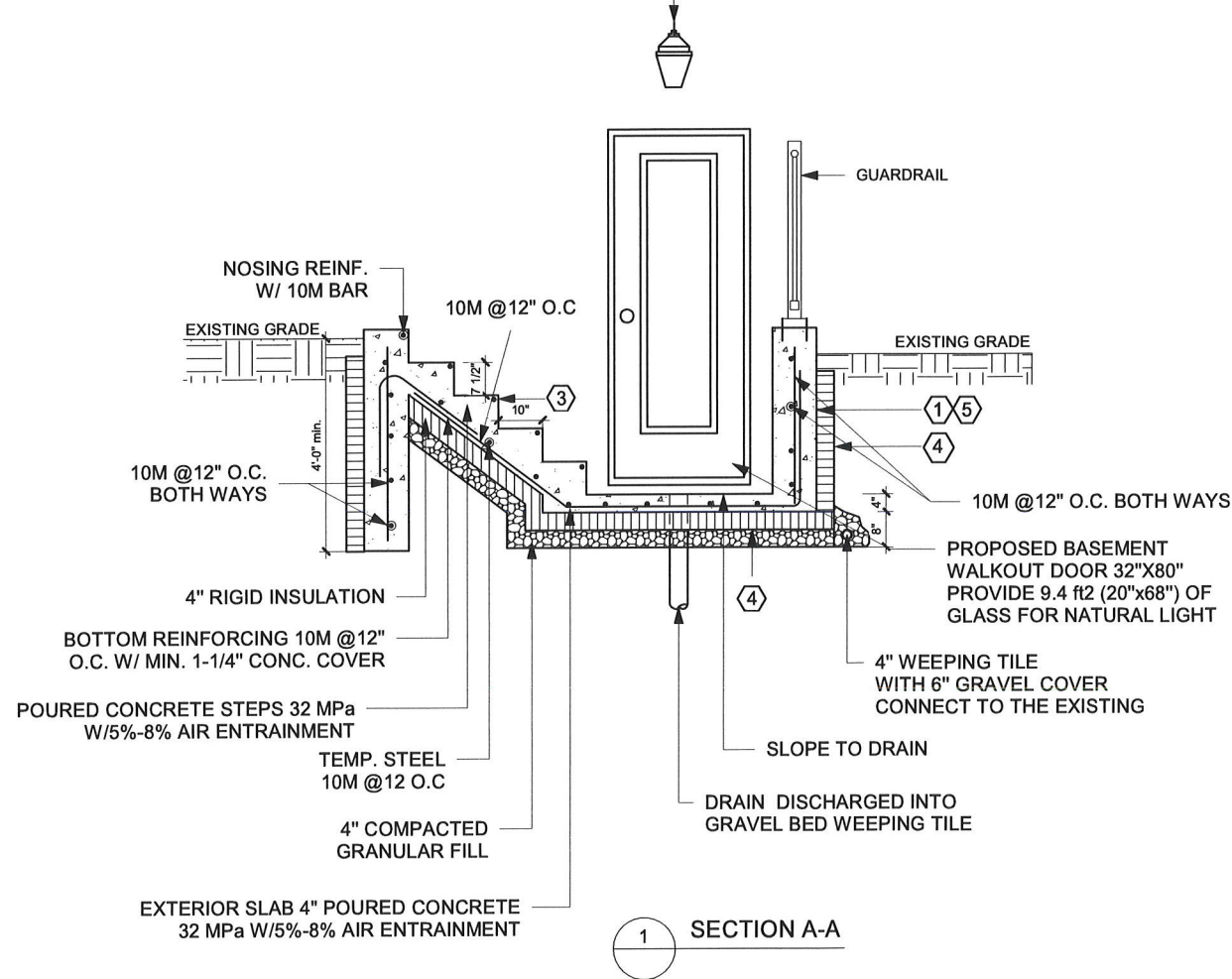
22 ALLEGRO DR,  
BRAMPTON, ON

WALKOUT PLAN

RJ CAD SOLUTIONS

Date	2024-08-09	Scale	1/2" = 1'-0"
Drawn By	BB	Checked By	KS
Project Number	0001		
SHEET NUMBER	A2		

EXTERIOR LIGHT CONTROLLED BY A SWITCH ON THE INSIDE OF THE HOUSE AS PER OBC 2012 B.9.34.2.1.



1 SECTION A-A

**NOTE:** GUARDRAIL AND HANDRAIL AS PER THE ATTACHED MANUFACTURER'S SPECIFICATIONS ON SHEET A5 OR EQUIVALENT

**DRAWING NOTES**

1. **CONCRETE**
  - MINIMUM COMPRESSIVE STRENGTH OF 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT
2. **REINFORCEMENT**
  - MINIMUM YIELD STRENGTH OF STEEL 60 KSI
  - THE REINFORCEMENT SHALL BE LAPPED A MINIMUM OF 450MM FOR 10M BARS AND 650MM FOR 10M BARS.
3. **EXTERIOR STAIRS**
  - RISE 4 7/8" MINIMUM 7 7/8" MAXIMUM
  - RUN 10" MINIMUM 14" MAXIMUM
  - ADJUST STEP SIZE TO SUIT SITE
4. **INSULATION**
  - MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL
  - PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB, LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS
5. **RETAINING WALL**
  - 10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE
  - PROVIDE 10M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M HORIZONTAL REINFORCEMENT @ 12" O.C.
6. **GUARDS**
  - 42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" AND 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS
7. **PROVIDE LINTEL AS FOLLOWS**
  - WOOD LINTEL: 3-2x8 SPF NO.1 or NO.2 WITH MINIMUM BEARING OF 4" AT EACH END
  - STEEL LINTEL: 1L 3-1/2"x3-1/2"x1/4" ANGLE FOR BRICK VENEER WITH MINIMUM BEARING OF 6" AT EACH END
  - STEEL LINTEL: 2L 3-1/2"x3-1/2"x1/4" ANGLE FOR SOLID MASONRY WITH MINIMUM BEARING OF 6" AT EACH END
8. **EXTERIOR DOOR**
  - EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 32"x80" ( or 78"), W/ DEADBOLT AS PER OBC 9.7.5.2. TO RESIST FORCED ENTRY.



22 ALLEGRO DR,  
BRAMPTON, ON

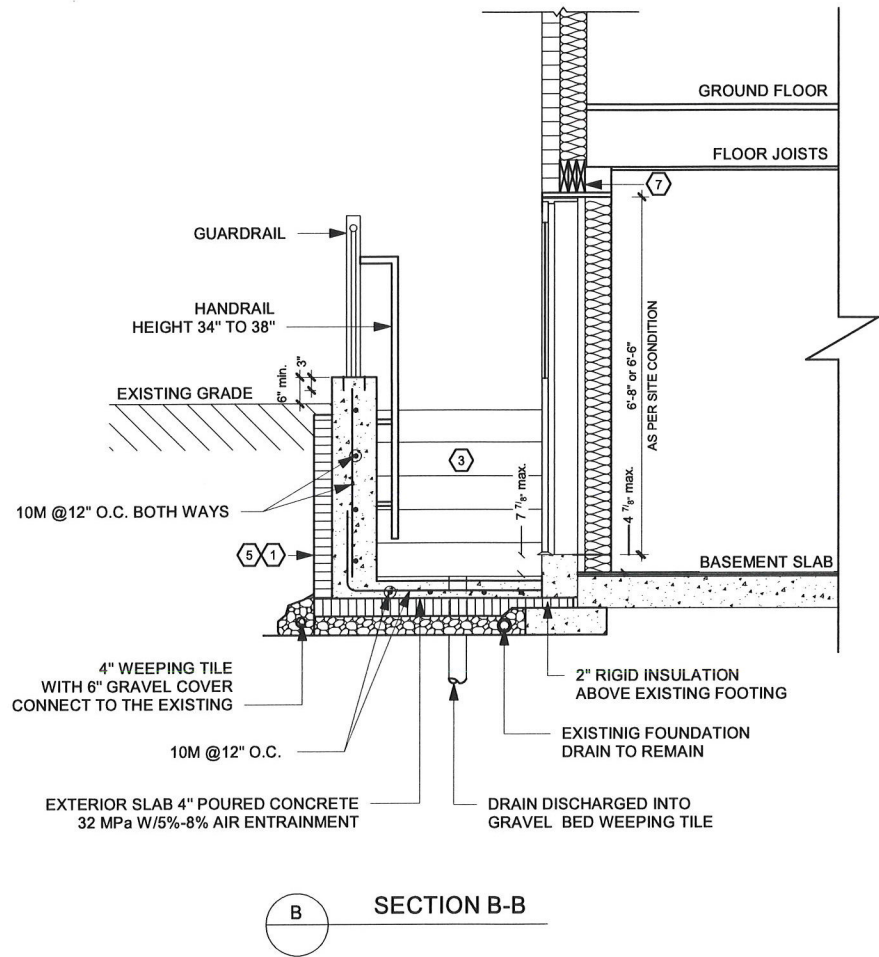
SECTION - A

RJ CAD SOLUTIONS

Date	2024-08-09	Scale	3/8" = 1'-0"
Drawn By	BB	Checked By	KS
Project Number	0001		
SHEET NUMBER	A3		

No.	REVISION	DATE
1.	ISSUED FOR PERMIT	2024-08-09
2.		





**NOTE:** GUARDRAIL AND HANDRAIL AS PER THE ATTACHED MANUFACTURER'S SPECIFICATIONS ON SHEET A5 OR EQUIVALENT

GENERAL NOTES

- ALL WORK SHALL CONFORM TO ONTARIO BUILDING CODE (OBC) 2012, O. REF 332/12, AS AMENDED, CITY BY-LAWS AND STANDARDS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL CONFORM TO OBC 2012, O. REG. 332/12, AS AMENDED, DIVISION B, 9.12. BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING
- DAMPROOFING ON THE INTERIOR SURFACE OF THE FOUNDATION WALL BELOW GRADE SHALL CONSISTS OF #2 TYPE BREATHER PAPER OR TYPE 'S' ROLL ROOFING
- DRAINAGE SHALL CONFORM TO OBC 2012 O. REG. 332/12, AS AMENDED, DIVISION B, 9.14.
- MAINTAIN PERIMETER FOUNDATION DRAINAGE - MINIMUM 4 INCH DIAMETER WEEPING TILE, WITH A MINIMUM 6 INCH GRANULAR COVER.
- ANY AREA DRAIN, EXTERIOR OF A BUILDING (IN A CONCRETE DECK OR IN THE LOWEST LANDING OF A STAIRWELL) SHALL BE CONNECTED TO EITHER THE STORM SEWER OR CONNECTED TO A SUMP PIT. IN EITHER SITUATION IT SHALL NOT BE CONNECTED TO THE SANITARY DRAINAGE SYSTEM OR WEEPING TILE

2.		
1.	ISSUED FOR PERMIT	2024-08-09
No.	REVISION	DATE



22 ALLEGRO DR,  
BRAMPTON, ON

SECTION - B

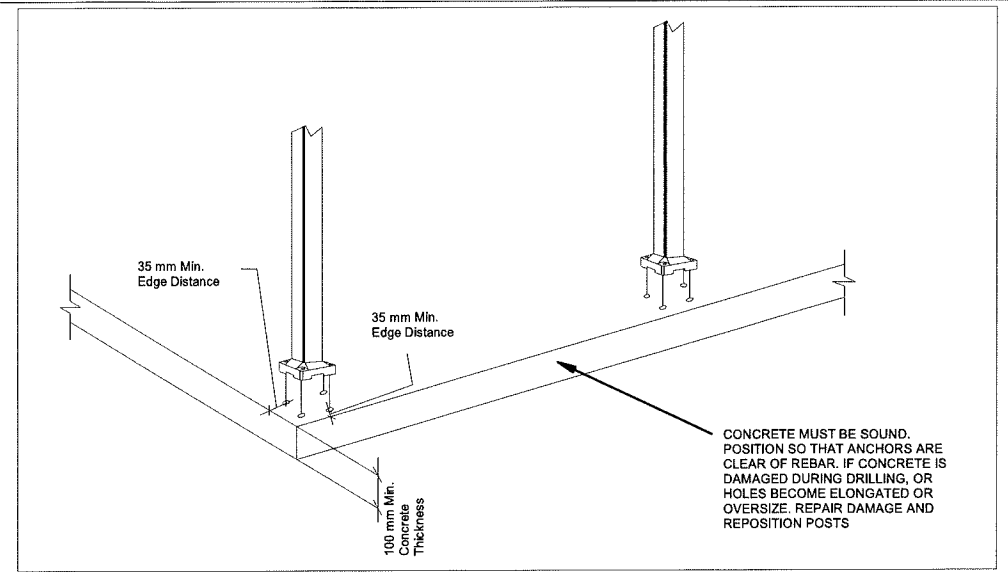
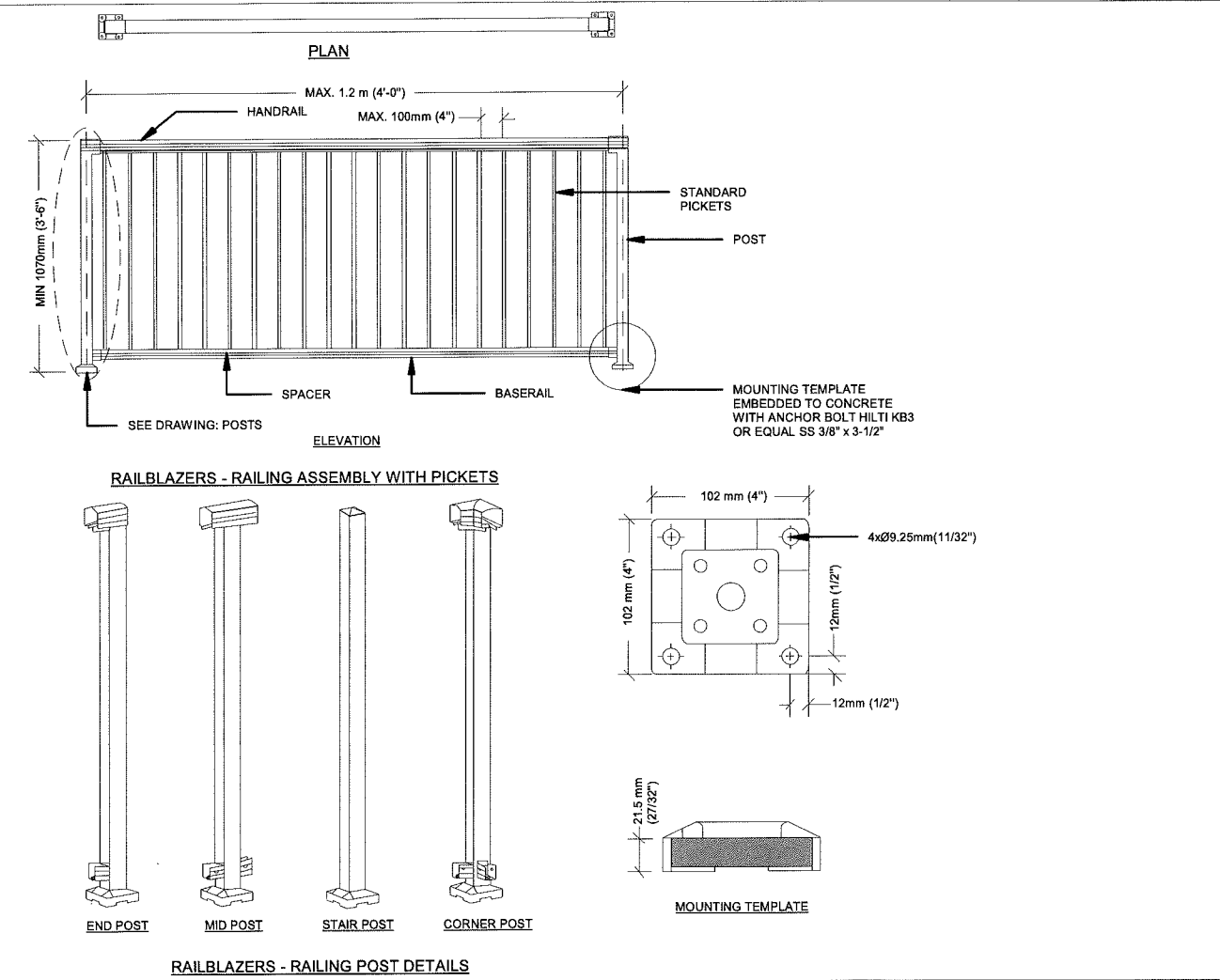
RJ CAD SOLUTIONS

Date	2024-08-09	Scale	3/8" = 1'-0"
Drawn By	BB	Checked By	KS
Project Number	0001		
SHEET NUMBER	A4		

**GAURD/HAND RAIL DETAILS:**

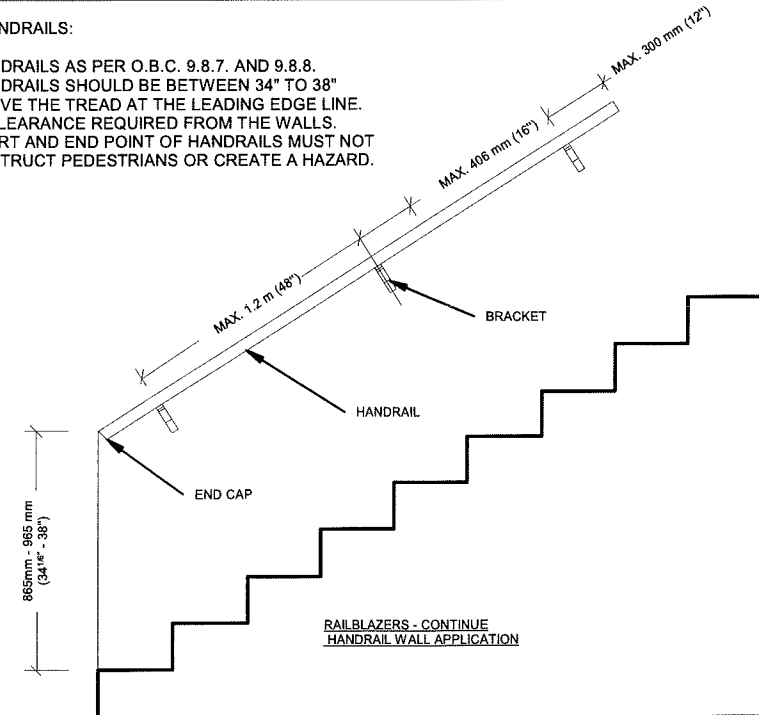
**1: PRE-ENGINEERED GUARDS:**

- GUARDS REQUIRED AS PER O.B.C. 9.8.8.1
- GUARD TO BE 3'-6" (1070mm) HIGH FOR FLOOR / GRADE HEIGHTS GREATER THAN 5'-11" (1.8m).
- GUARDS TO BE 2'-11"(900mm) FOR HEIGHTS LESS THAN 5'-11" (1.8m).
- PICKETS TO HAVE 4" (100mm) MAX. SPACING.
- OPENING THROUGH ANY GUARD SHALL BE OF A SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4" (100mm)
- ALL REQUIRED GUARDS SHALL BE DESIGNED TO PREVENT CLIMBING AS PER O.B.C. 9.8.8.6
- THE CONSTRUCTION OF GUARDS SHALL BE CONFORM TO THE LOADING OF THE O.B.C TABLE 9.8.8.2 OR TO SUPPLEMENTRY STANDARD SB-07



**2. HANDRAILS:**

- HANDRAILS AS PER O.B.C. 9.8.7. AND 9.8.8.
- HANDRAILS SHOULD BE BETWEEN 34" TO 38" ABOVE THE TREAD AT THE LEADING EDGE LINE. 2" CLEARANCE REQUIRED FROM THE WALLS. START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIANS OR CREATE A HAZARD.



2.		
1.	ISSUED FOR PERMIT	2024-08-09
No.	REVISION	DATE



22 ALLEGRO DR,  
 BRAMPTON, ON

GAURD/HAND RAIL DETAILS

RJ CAD SOLUTIONS

Date	2024-08-09	Scale	1" = 1'-0"
Drawn By	HS	Checked By	KS
Project Number	0001		
SHEET NUMBER	A5		

# Zoning Non-compliance Checklist

File No.

A-2024-0330

Applicant: Kruti Shah

Address: 22 Allegro Dr

Zoning: R1F-11.6-2327 Residential

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE	<p>To permit a <i>proposed</i> exterior stairway leading to a below grade entrance in a required side yard</p> <p>To permit an interior side yard setback of 0.67m to a <i>proposed</i> exterior stairway leading to a below grade entrance</p>	<p>whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard</p> <p>whereas the by-law requires a minimum setback of 0.3m to an exterior stairway leading to a below grade entrance in the interior side yard provided that a continuous side yard width of no less than 1.2m (3.94 ft.) is provided on the opposite side of the dwelling.</p>	<p>10.23.1</p> <p>10.23.2</p>
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato  
Reviewed by Zoning

August 20, 2024  
Date