

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0345

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from **By-Law 270-2004**.

1. **Name of Owner(s)** Gurpreet Singh and Jessica Bastos
Address 54 Inder Heights Drive

Phone # 647-403-7505 **Fax #** _____
Email singh_g90@hotmail.com

2. **Name of Agent** PETER VOZIKAS c/o EMPIRE DESIGN COMPANY
Address 5 NORTH RIDGE CRESCENT, GEORGETOWN, ONTARIO L7G 6E7

Phone # 416-500-8989 **Fax #** _____
Email VOZKASS@HOTMAIL.COM

3. **Nature and extent of relief applied for (variances requested):**
To permit a proposed single detached accessory structure in the rear yard having a floor area of ~~37.43~~ 30.85 m², with a height of 3.43m To allow for human habitation during the summer months

4. **Why is it not possible to comply with the provisions of the by-law?**
The current zoning bylaw allows for a total floor area of a single accessory structure to have a maximum floor area 15.0m with a maximum height of 3.0m

5. **Legal Description of the subject land:**
Lot Number LOT 37
Plan Number/Concession Number 43M-653
Municipal Address 54 INDER HEIGHTS DRIVE

6. **Dimension of subject land (in metric units)**
Frontage 13.93
Depth 40.02
Area 854.44

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY SINGLE DETACHED DWELLING WITH ATTACHED 3-CAR GARAGE,
27.64Mx29.19

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NEW DETACHED ACCESSORY STRUCTURE 7.82 x 4.13 x 3.43 HT. IN REAR YARD
7.47

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.49
Rear yard setback	18.00
Side yard setback	1.24
Side yard setback	1.85

PROPOSED

Front yard setback	32.72
Rear yard setback	0.82
Side yard setback	0.61
Side yard setback	17.75

10. Date of Acquisition of subject land: September 2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1994
15. Length of time the existing uses of the subject property have been continued: 30 years

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

- (b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

- (c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Peter Vozikas, OF THE TOWN OF Halton Hills

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 10th DAY OF

September, 20 24

A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R1A(3)-342

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar

Zoning Officer

2024/09/04

Date

DATE RECEIVED Sept. 10/24

Date Application Deemed Complete by the Municipality VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 54 INDER HEIGHTS DRIVE

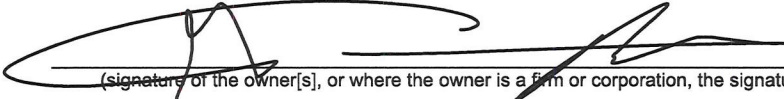
I/We, GURPREET SINGH & JESSICA BASTOS
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

PETER VOZIKAS
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this _____ day of _____, 2024.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 54 INDER HEIGHTS DRIVE

I/We, GURPREET SINGH & JESSICA BASTOS
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this _____ day of _____, 2024.

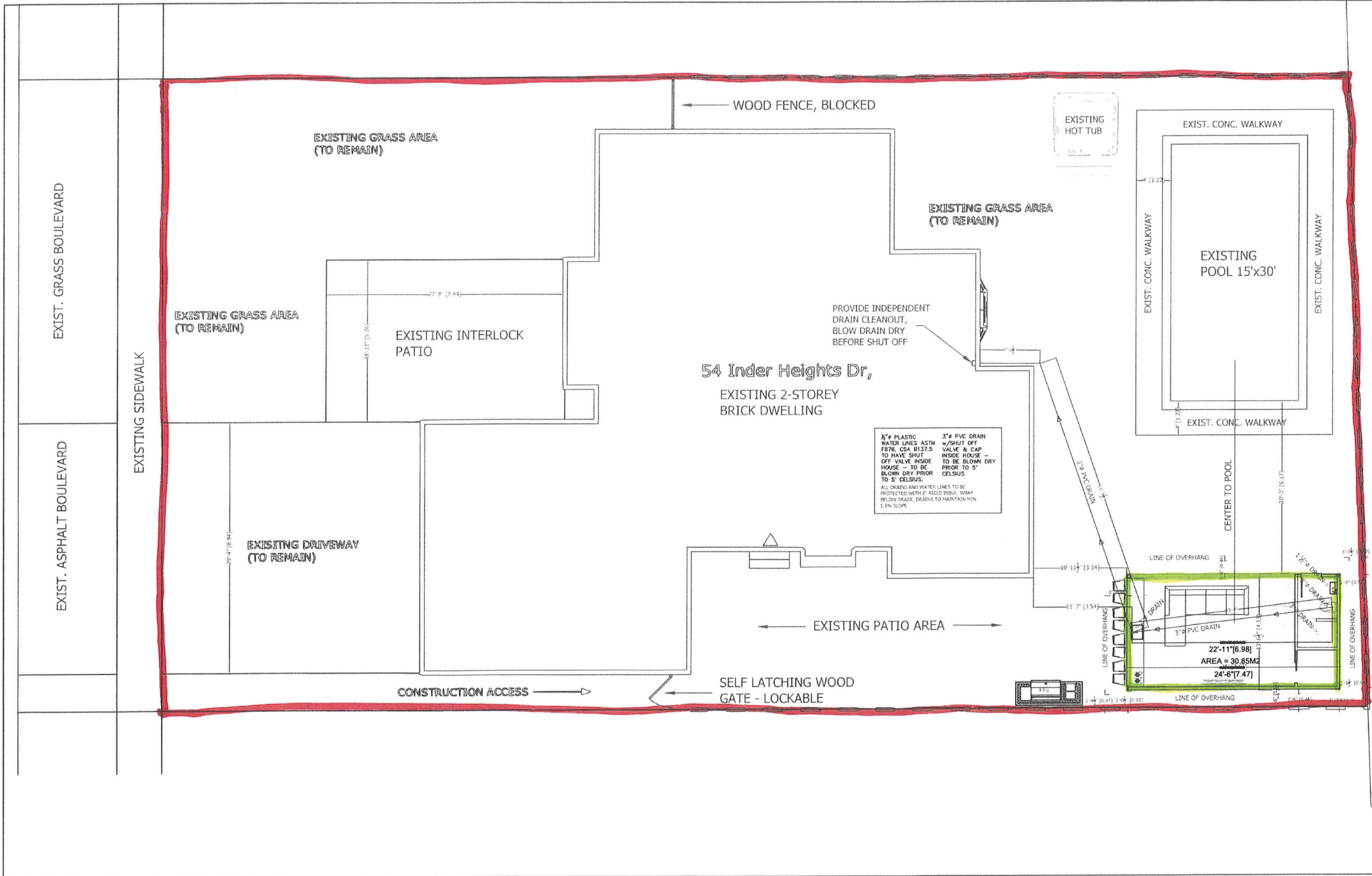


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



Revision	No.	By	Date/Rev/YY

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED

BCIN
 The undersigned has obtained and shall maintain for the design and for the qualifications as stated hereon and make the improvement set out in the herein filing and to be a complete Registered architect design is exempt under the R-2111 of the building code designed under S.A. (212)

Prefect Vasikas 106625
 Name Signature



OWNER:
Singh Residence
 54 Inder Heights Drive
 Brampton, ONT.
 singh_g90@hotmail.com
 647-403-7505

PROJECT:
PROPOSED CABANA

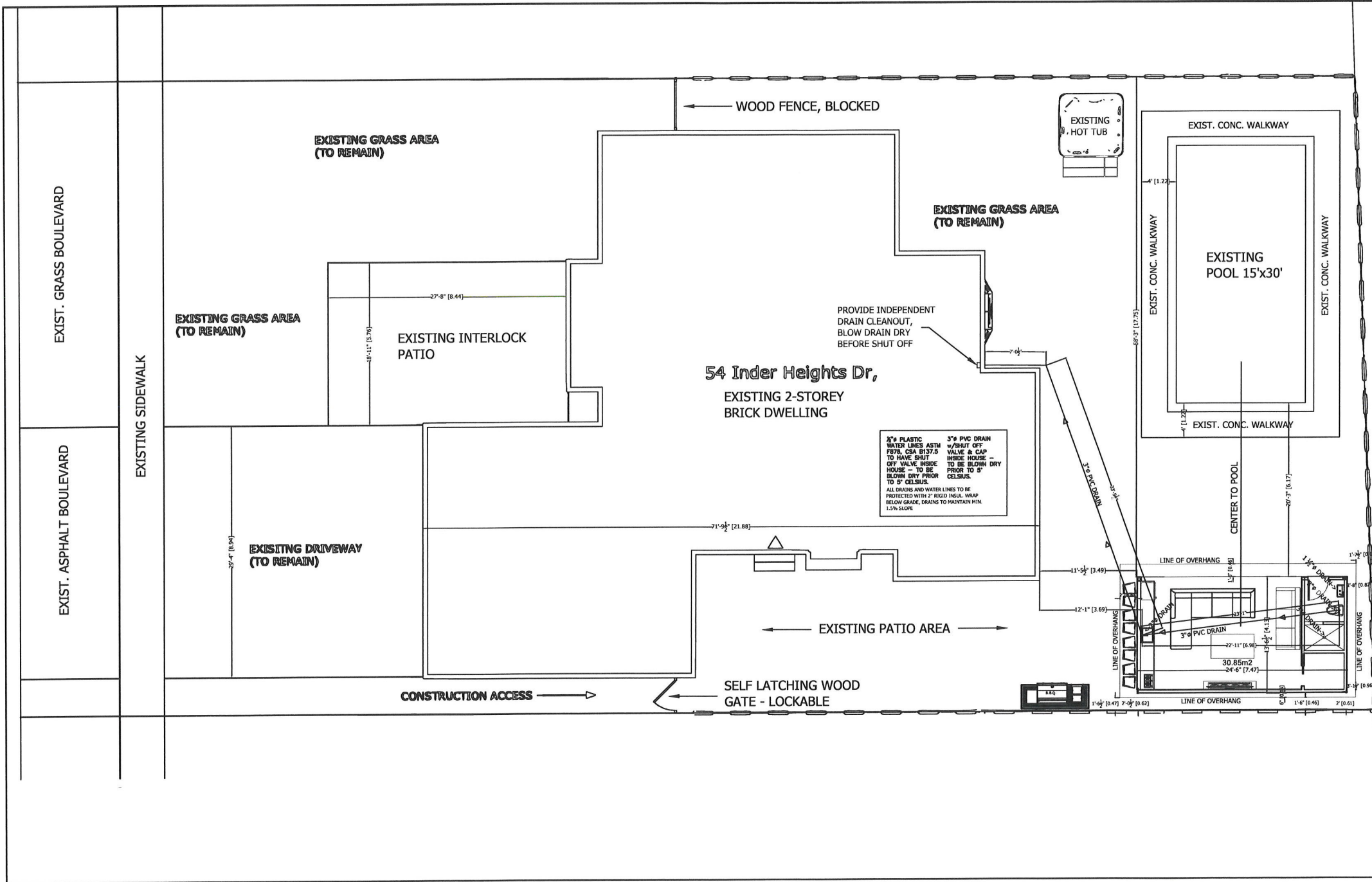
SHEET TITLE:
SITE PLAN

SCALE:
 3/16"=1'-0"

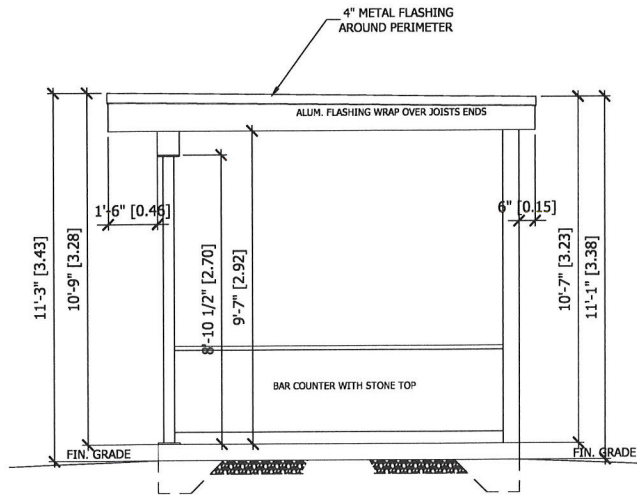
DATE:
 AUG/2024

DRAWN BY: P.V. CHECKED BY: PV

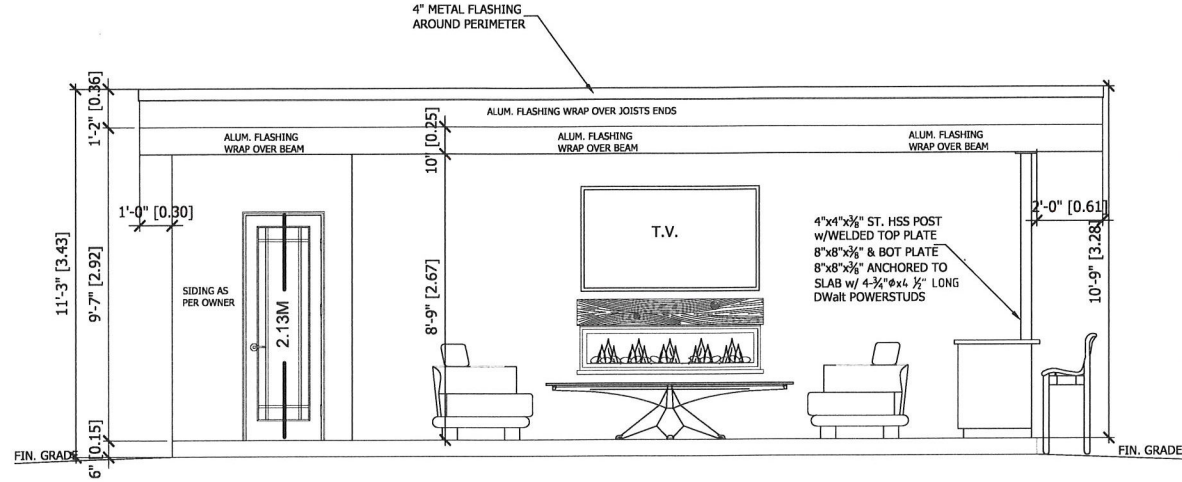
PROJECT NO. SHEET NO. **A00**



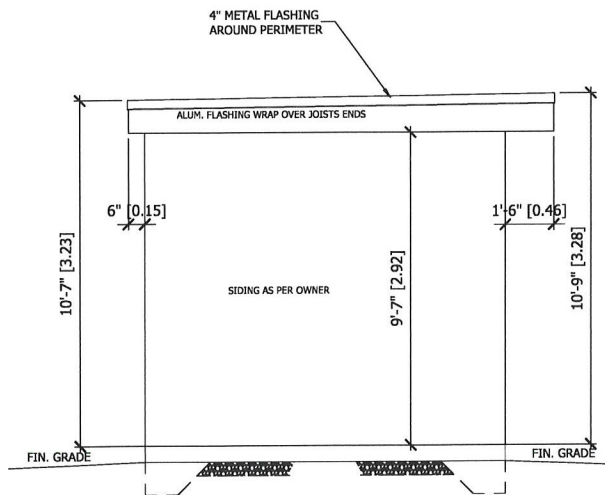
Revised	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR OF SUBCONTRACTOR SHALL BE RESPONSIBLE UNDER THE B.O.I.C. AS APPLICABLE.			
BCIN			
The registered professional seal and stamp are required for this drawing, and the professional seal and stamp are required for the design and shall be the design seal and stamp for the design.			
Professional seal and stamp required under the B.O.I.C. of the building code.			
Peter Vozzakis 108605			
108605			
OWNER: Singh Residence 54 Inder Heights Drive Brampton, ONT. singh_g90@hotmail.com 647-403-7505			
PROJECT: PROPOSED CABANA			
SHEET TITLE: SITE PLAN			
SCALE:	3/16"=1'-0"	DATE:	AUG/2024
DRAWN BY:	P.V.	CHECKED BY:	PV
PROJECT NO.:		SHEET NO.:	A00



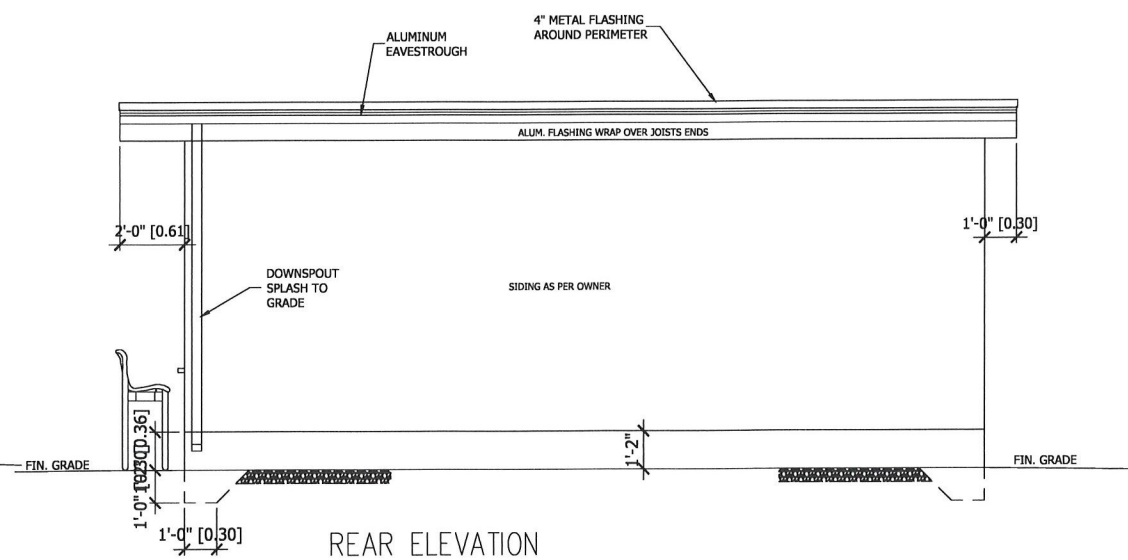
RIGHT ELEVATION



FRONT ELEVATION

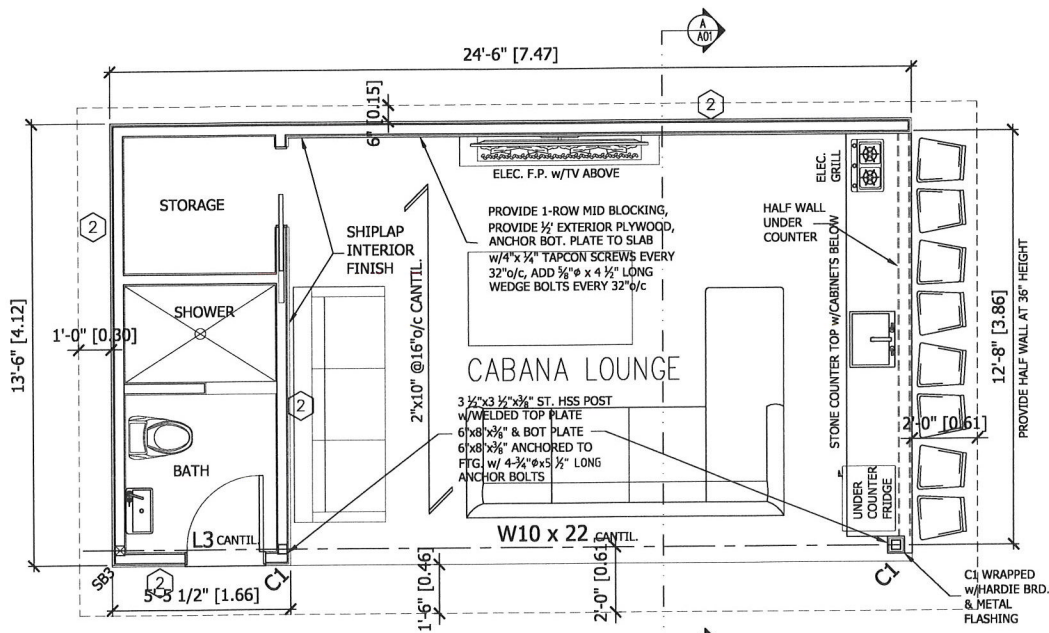


LEFT ELEVATION

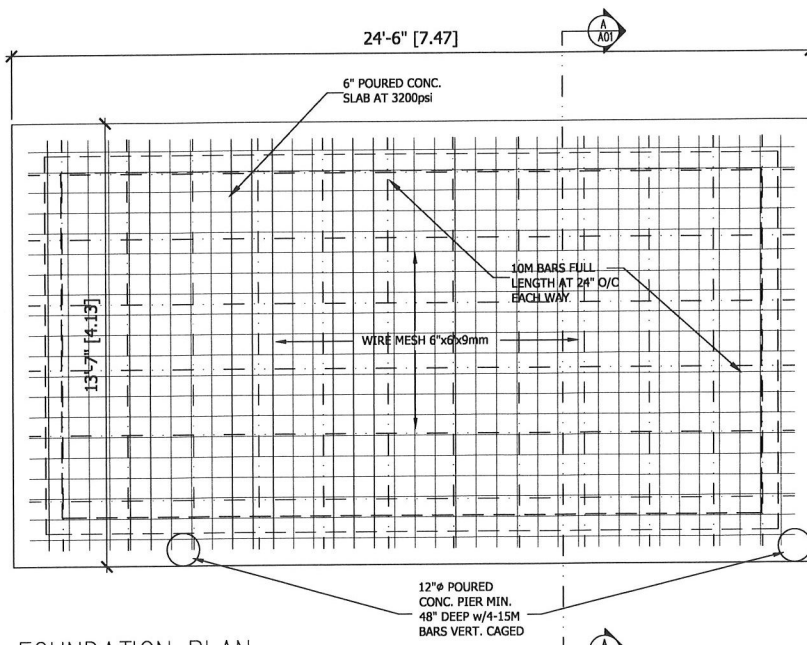


REAR ELEVATION

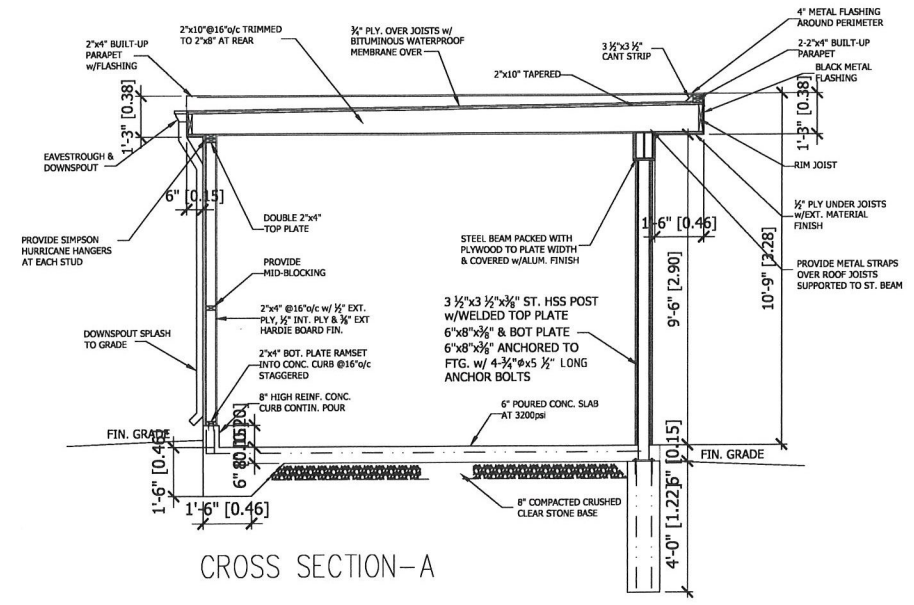
Revision	No.	By	DATE
<p>CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVISED UNDER THE 2013 O.B.C. AS AMENDED.</p>			
<p>BCIN The undersigned has advised and taken responsibility for the design, and has the responsibility to ensure the requirements set out in the Ontario Building Code are met.</p>			
<p>Registered unless design is exempt under the O.B.C.A. of the building code. Exempt under S24.1(2)(a). Peter Voukas 106605 Name Signature Date</p>			
<p>EMPIRE DESIGN COMPANY www.empiredesign.com 416-500-3967</p>			
<p>OWNER: Singh Residence 54 Inder Heights Drive Brampton, ONT. singh_g90@hotmail.com 647-403-7505</p>			
<p>PROJECT: PROPOSED CABANA</p>			
<p>SHEET TITLE: ELEVATIONS</p>			
SCALE: 3/8"=1'-0"	DATE: AUG/2024		
DRAWN BY: P.V.	CHECKED BY: PV		
PROJECT NO.	SHEET NO.	A02	



FLOOR PLAN 338.98 sq.ft. (31.49 m2)



FOUNDATION PLAN



CROSS SECTION-A

Revision	No.	By	Date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVISED UNDER THE 2012 O.B.C. AS AMENDED.

BCIN
No copyright or other responsibility for the design, and the use, reproduction or other related work shall be assumed by the contractor. Reprint or other work is to be done under the name of the contractor.
Peter Vozikis 106605
Singer 888



OWNER:
Singh Residence
54 Inder Heights Drive
Brampton, ONT.
singh_g90@hotmail.com
647-403-7505

PROJECT:
PROPOSED CABANA

SHEET TITLE:
FLOOR PLAN & SECTION

SCALE: 1/4"=1'-0" DATE: AUG/2024

DRAWN BY: P.V. CHECKED BY: PV

PROJECT NO. SHEET NO. **A01**

Zoning Non-compliance Checklist

File No.

A-2024-0345

Applicant: Peter Vozikas c/o Empire Design Company

Address: 54 Inder Heights Dr

Zoning: R1A(3)-342

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE	To permit an accessory structure (proposed cabana) having a gross floor area of 30.85 sq. m,	whereas the by-law permits a maximum gross floor area of 15 sq.m for an individual accessory structure.	10.3(e)(ii)
ACCESSORY STRUCTURE HEIGHT	To permit an accessory structure (proposed cabana) having a height of 3.43m,	whereas the by-law permits an accessory structure having a maximum height of 3.0m.	10.3(h)
ACCESSORY STRUCTURE	To permit an accessory structure (proposed cabana) to be used for human habitation (washroom and kitchen facilities),	whereas the by-law does not permit the use.	10.3(c)
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/09/04

Date