



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0346

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Ramaninder Bharj  
**Address** 87 Defrey Dr., Brampton, ON L6P 3X7  
**Phone #** 416 834 0605 **Fax #** \_\_\_\_\_  
**Email** ramaninderbharj@gmail.com

2. **Name of Agent** VALIUDDIN MOHAMMED  
**Address** 6 Ripon St, MISSISSAUGA, ON L4T 1E2  
**Phone #** 416 627 4100 **Fax #** \_\_\_\_\_  
**Email** INFO@MECHWAYS.COM

3. **Nature and extent of relief applied for (variances requested):**

1. To seek relief from zoning by law to allow a minimum rear yard depth of 2.11m whereas the required minimum rear yard depth is 2.5m.

2. To seek relief from zoning by law to allow maximum building height for the garden suite of 5.43m whereas permitted is 4.5m.

4. **Why is it not possible to comply with the provisions of the by-law?**

1. Proposed garden suite do not meet the minimum rear yard depth requirement of 2.5m; proposed is 2.11m.

2. Proposed garden suite do not meet the maximum building height of 4.5m; proposed is 5.43m

5. **Legal Description of the subject land:**  
**Lot Number** LOT 7  
**Plan Number/Concession Number** PLAN M1445  
**Municipal Address** 80 KANASHIRO ST. BRAMPTON, ON, L6P 1H4

6. **Dimension of subject land (in metric units)**  
**Frontage** 8.10  
**Depth** 39.03  
**Area** 316.14

7. **Access to the subject land is by:**

|                                    |                                     |                   |                          |
|------------------------------------|-------------------------------------|-------------------|--------------------------|
| Provincial Highway                 | <input type="checkbox"/>            | Seasonal Road     | <input type="checkbox"/> |
| Municipal Road Maintained All Year | <input checked="" type="checkbox"/> | Other Public Road | <input type="checkbox"/> |
| Private Right-of-Way               | <input type="checkbox"/>            | Water             | <input type="checkbox"/> |

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

|                               |
|-------------------------------|
| Ground Floor Area - 64.36 sqm |
| Gross Floor Area - 150.48 sqm |
| No of Storeys - 2             |

PROPOSED BUILDINGS/STRUCTURES on the subject land: Garden Suite

|                              |
|------------------------------|
| Groun floor area - 34.89 sqm |
| Gross floor area - 34.89 sqm |
| Width - 7.47m                |
| Length - 4.67m               |
| Height - 5.43m               |

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

| EXISTING           | Main Dwelling |
|--------------------|---------------|
| Front yard setback | 8.04m         |
| Rear yard setback  | 17.98         |
| Side yard setback  | 2.38          |
| Side yard setback  | 1.37          |

| PROPOSED           | GARDEN SUITE                            |
|--------------------|---|
| Front yard setback | Distance from principal dwelling 17.98m |
| Rear yard setback  | 2.11m                                   |
| Side yard setback  | 2.11m                                   |
| Side yard setback  | 2.06m                                   |

10. Date of Acquisition of subject land: 2023

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: N/A

15. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

|              |                |              |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ OF \_\_\_\_\_  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ramzaninder S. May  
VALUDDIN MOHAMMED, OF THE CITY OF Brampton  
MISSISSAUGA

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

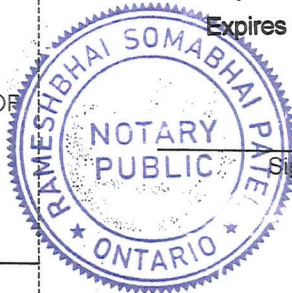
**Gagandeep Jaswal**  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton  
Expires September 20, 2026

DECLARED BEFORE ME AT THE

City OF Toronto

IN THE Province OF \_\_\_\_\_

Ontario THIS 6 DAY OF  
August, 2024.



Valiuddin Mohammed  
Signature of Applicant or Authorized Agent

A Commissioner, etc.  
**Ramesh Bhai Somabhai Patel**  
**Ramesh Patel & Associate Lawyers**

|  |                    |
|--|--------------------|
| FOR OFFICE USE ONLY  |                    |
| 127 Westmore Dr. Unit # 101,<br>Toronto, ON M9W 3Y6<br>Tel: 416-742-2999 Fax: 416-742-3888<br>mail@entlawoffice.net                                  | _____              |
| By-law Classification:   | R1D-1662           |
| This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist. |                    |
| Shiza Athar<br>Zoning Officer  | 2024/09/04<br>Date |

DATE RECEIVED Sept. 10, 2024  
VL

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 80 KANASHIRO ST., BRAMPTON, ON, L6P 1H4

I/We, R. BHARJ (RAMANINDER SINGH BHARJ)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 19 day of August, 2024.

R.S.B.  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

*NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.*

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 80 KANASHIRO ST., BRAMPTON, ON, L6P 1H4

I/We, R. BHARJ (RAMANINDER SINGH BHARJ)  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

VALIUDDIN MOHAMMED/MECHWAYS INC.  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

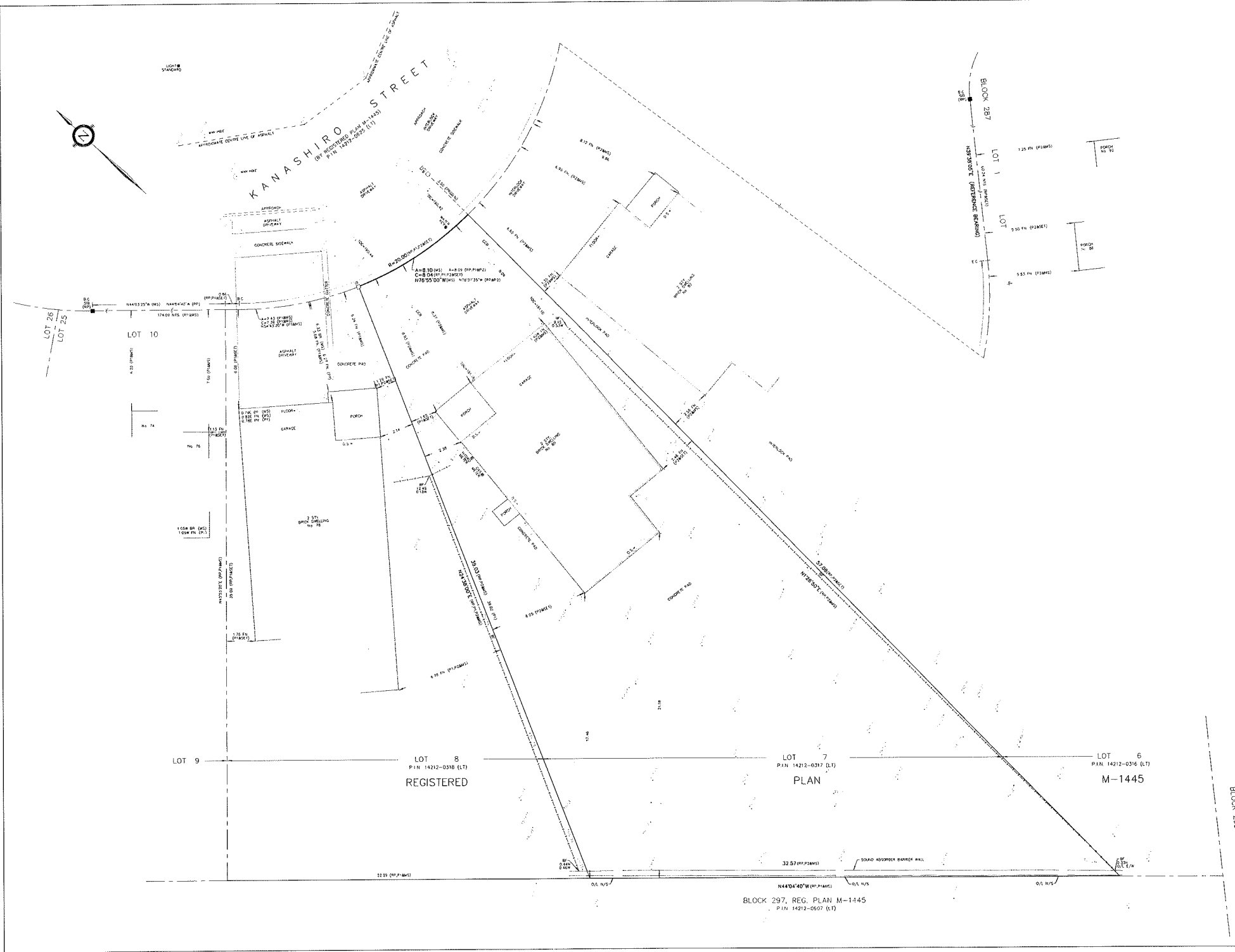
Dated this 19 day of August, 2024

R.S.B.  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**PLAN OF SURVEY OF**  
**LOT 7**  
**REGISTERED PLAN M-1445**  
**IN THE**  
**CITY OF BRAMPTON**  
**(REGIONAL MUNICIPALITY OF PEEL)**

SCALE & NOTES  
 Scale 1:100

**ALTIMAP LAND SURVEYORS INC.**  
 © COPYRIGHT 2024

**METRIC**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**  
 ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928 1918) AND ARE DERIVED FROM CITY OF BRAMPTON BENCHMARK No. 042100306, HAVING A PUBLISHED ELEVATION OF 184.414 METERS

**BEARING NOTE**  
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF KANASHIRO STREET AS SHOWN ON REGISTERED PLAN M-1445 HAVING A BEARING OF N39°28'05"E

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - IB DENOTES IRON BAY
  - SIB DENOTES STANDARD HIGH BAR
  - CC DENOTES CUT CROSS
  - WT DENOTES WITNESS
  - B/C DENOTES BEGINNING OF CURVE
  - E/C DENOTES END OF CURVE
  - DY DENOTES DECIDUOUS TREE
  - CT DENOTES CONIFEROUS TREE
  - CCB DENOTES CONCRETE CURB
  - TOC DENOTES TOP OF CURB ELEVATION
  - HTS DENOTES HOT TO SCALE
  - MS DENOTES MEASURED
  - PH DENOTES FOUNDATION
  - BR DENOTES BRICK
  - STN DENOTES STOREY
  - BF DENOTES BOARD FENCE
  - D/S DENOTES DOOR SILL ELEVATION
  - RP DENOTES REGISTERED PLAN M-1445
  - P1 DENOTES PLAN BY P. SALHA COMPANY LTD., O.L.S. DATED OCTOBER 10, 2001
  - P2 DENOTES PLAN BY P. SALHA COMPANY LTD., O.L.S. DATED JUNE 13, 2002 ON LINE
  - O/L DENOTES ON LINE
  - PRODT DENOTES ON PRODUCTION



**PART 2**  
 REGISTERED RIGHTS - SUBJECT TO AN EXPIRED RIGHT AS DESCRIBED IN INSTRUMENT Nos. PR224815 & PR300754  
 MUNICIPAL ZONING - THIS PLAN AND REPORT DOES NOT CERTIFY ZONING COMPLIANCE  
 ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND PHYSICAL FEATURES AS DERIVED ON THE FACE OF THIS PLAN. BUILDING TIES ARE TO BRICK/CONCRETE UNLESS OTHERWISE NOTED  
 THIS PLAN WAS PREPARED FOR SOUSAN ZOKAEI AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

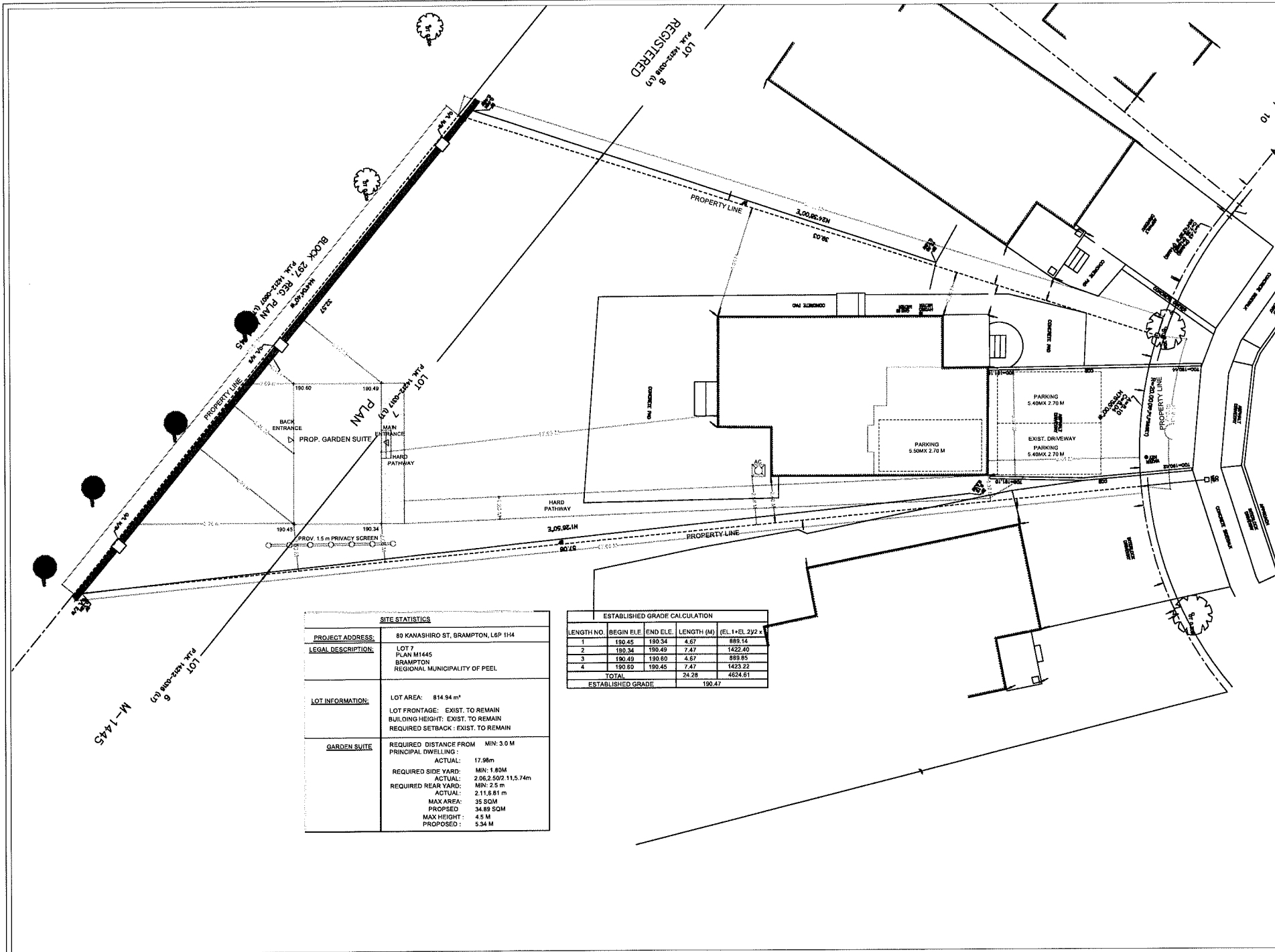
**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM  
 2. THE SURVEY WAS COMPLETED ON MAY 06, 2024

MAY 07, 2024

*Guido V. Corsioli*  
 GUIDO V. CORSIOLI  
 ONTARIO LAND SURVEYOR

**ALTIMAP LAND SURVEYORS INC.**  
 222 FREDERICK ST. SUITE 215, TORONTO, ON M5E 1B8  
 TEL: 416-861-8881    1800-861-8881

DWN BY: SM  
 CHK BY: GVC  
 JOB No.: 24-3323



**GENERAL NOTES:**  
 DRAWINGS ARE TO BE READ NOT SCALED.  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
 ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 2   | REVISION                   | AUG 20 2024  |
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

ENGINEER:  
**Mechways Inc.**  
 ADDRESS: 16 RIFON ST, MISSISSAUGA, ON L4T 1E5  
 TEL: 905.276.2210  
 EMAIL: INFO@MECHWAYS.COM  
 WEBSITE: WWW.MECHWAYS.COM

PROJECT:  
 80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

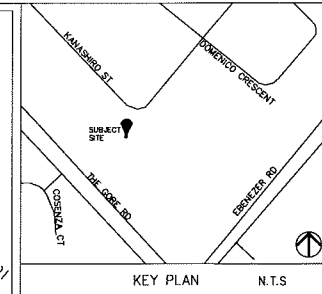
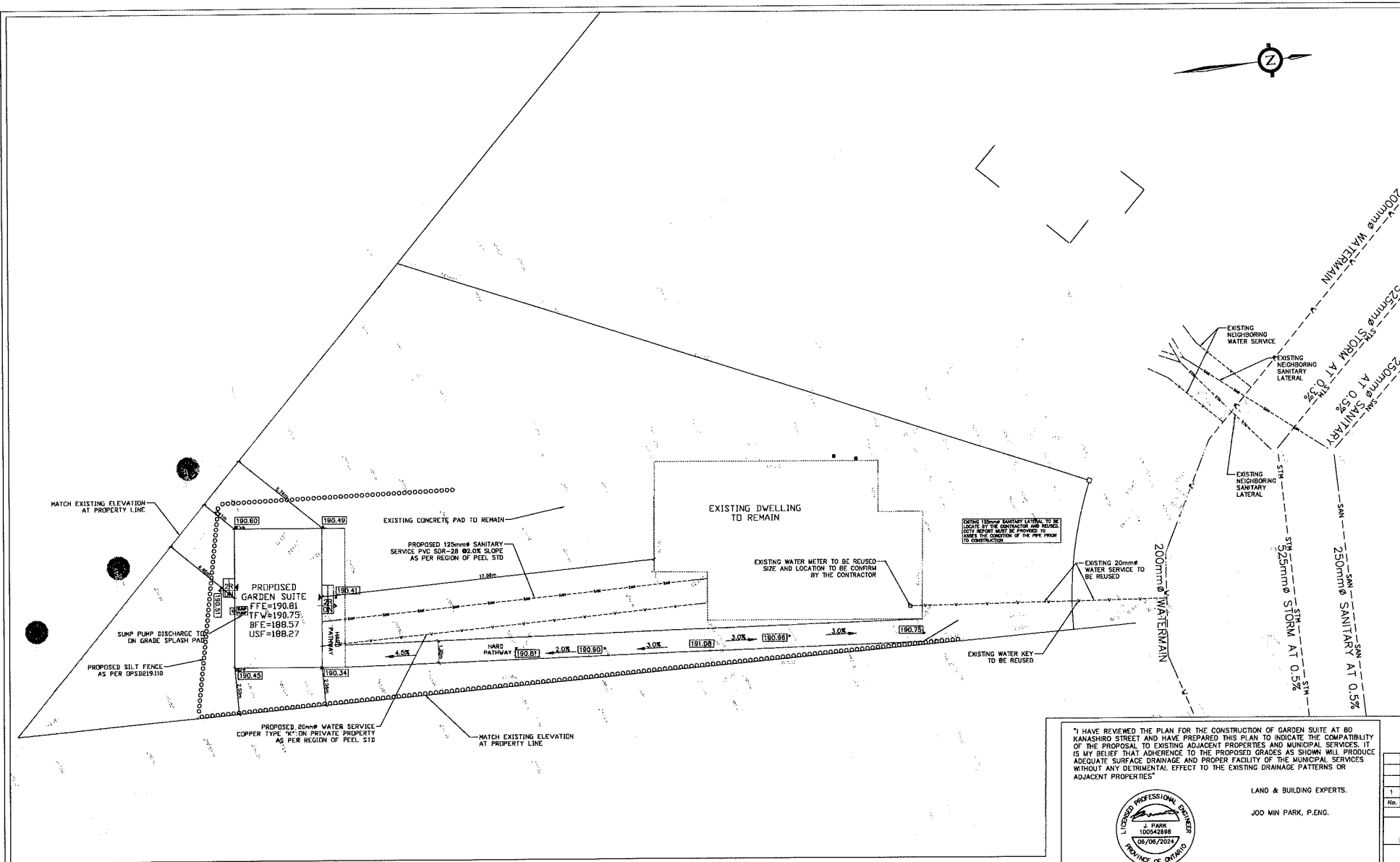
SHEET TITLE:  
**SITE PLAN**

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1:200  
 DATE: JULY 23 2024

DRAWING:  
**AO.1**

| SITE STATISTICS    |  |
|--------------------|--|
| PROJECT ADDRESS:   | 80 KANASHIRO ST, BRAMPTON, L6P 1H4   |
| LEGAL DESCRIPTION: | LOT 7<br>PLAN M1445<br>BRAMPTON<br>REGIONAL MUNICIPALITY OF PEELE  |
| LOT INFORMATION:   | LOT AREA: 814.94 m <sup>2</sup><br>LOT FRONTAGE: EXIST. TO REMAIN<br>BUILDING HEIGHT: EXIST. TO REMAIN<br>REQUIRED SETBACK: EXIST. TO REMAIN   |
| GARDEN SUITE       | REQUIRED DISTANCE FROM PRINCIPAL DWELLINGS: MIN: 3.0 M<br>ACTUAL: 17.98m<br>REQUIRED SIDE YARD: MIN: 1.80M<br>ACTUAL: 2.06, 2.50/2.11, 5.74m<br>REQUIRED REAR YARD: MIN: 2.5 m<br>ACTUAL: 2.11, 5.81 m<br>MAX AREA: 35 SQM<br>PROPOSED: 34.89 SQM<br>MAX HEIGHT: 4.5 M<br>PROPOSED: 5.34 M |

| ESTABLISHED GRADE CALCULATION |            |          |            |                 |
|-------------------------------|------------|----------|------------|-----------------|
| LENGTH NO.                    | BEGIN ELE. | END ELE. | LENGTH (M) | (EL.1+EL.2)/2 x |
| 1                             | 190.45     | 190.34   | 4.67       | 889.14          |
| 2                             | 190.34     | 190.49   | 7.47       | 1422.40         |
| 3                             | 190.49     | 190.60   | 4.67       | 889.85          |
| 4                             | 190.60     | 190.45   | 7.47       | 1423.23         |
| TOTAL                         |            |          | 24.28      | 4624.61         |
| ESTABLISHED GRADE             |            |          |            | 190.47          |



**DO NOT SCALE DRAWINGS.**

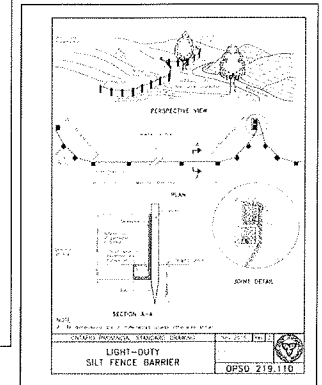
THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON-SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED DRAWINGS AND INFORMATION BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

ALL DRAWINGS ARE THE PROPERTY OF LAND & BUILDING EXPERTS, AND MUST NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ANY DISTURBED PAVED AREAS, SIDEWALK OR CURB SHOULD BE RESTORED TO THE ORIGINAL CONDITION AT OWNER'S EXPENSE.

ALL DOWNSPOUTS ARE TO BE DRAINED ON-GRADE VIA CONCRETE SPLASH PAD.

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION, IF A GRAVITY CONNECTION CANNOT BE ESTABLISHED, A SEWAGE EJECTORS PUMP IS TO BE INSTALLED AS PER O.B.C. AND MUNICIPAL REQUIREMENTS.

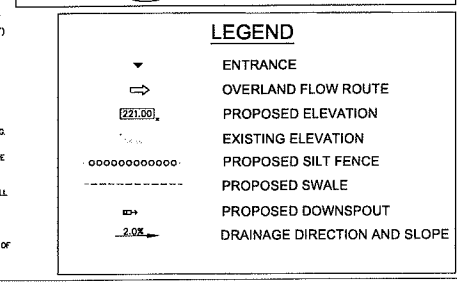


1. GENERAL NOTES
- 1) SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL OR PUBLIC RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN SURFACE WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREAS, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM. THE OWNER/BUILDER/APPLICANT SHALL COMPLY WITH ALL DIRECTIVES ISSUED BY ANY APPLICABLE ENVIRONMENTAL AGENCY.
  - 2) INTERIM GRADING MEASURES MAY BE REQUIRED DURING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBOURING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
  - 3) ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ON TO A SPLASH PAD OR APPROVED EQUIVALENT.
  - 4) THE OWNER/BUILDER/APPLICANT IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS.
  - 5) THIS LOT GRADING/DRAINAGE PLAN HAS BEEN DESIGNED/COMPLETED SUCH THAT MUNICIPAL, COUNTY AND PROVINCIAL LANDS ADJACENT TO OR IN THE VICINITY OF THIS LOT ARE NOT AFFECTED.
  - 6) A COPY OF THE ACCEPTED FOR MUNICIPAL PURPOSES LOT GRADING/DRAINAGE PLAN IS TO BE ON SITE FOR REFERENCE AT ALL TIMES DURING CONSTRUCTION.
  - 7) THIS LOT GRADING/DRAINAGE PLAN HAS BEEN DESIGNED/COMPLETED SUCH THAT SURFACE DRAINAGE (WATERS) FROM THE LOT WILL NOT ADVERSELY AFFECT NEIGHBOURING PROPERTIES.
  - 8) THE STRUCTURE ELEVATIONS HAVE BEEN SET SUCH THAT THERE IS NO RISK OF HYDROSTATIC PRESSURE AFFECTING THE STRUCTURE.
2. BENCH MARK ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1988/1978) AND ARE DERIVED FROM CITY OF BRAMPTON BENCHMARK NO. 042100306, HAVING A PUBLISHED ELEVATION OF 184.414 METERS.
3. BEARING NOTE BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF KANASHIRO STREET AS SHOWN ON REGISTERED PLAN M-1445 HAVING A BEARING OF N39°38'05\".

- REGION OF PEEL CONSTRUCTION STANDARDS
1. PUBLIC AND PRIVATE SERVICES, APPURTENANCES, MATERIALS AND CONSTRUCTION METHODS MUST COMPLY WITH THE MOST CURRENT REGION OF PEEL STANDARDS AND SPECIFICATIONS, THE LOCAL MUNICIPALITY'S REQUIREMENTS FOR THE ONTARIO BUILDING CODE AND ONTARIO PROVINCIAL STANDARDS. ALL WORKS SHALL ADHERE TO ALL APPLICABLE LEGISLATION, INCLUDING REGIONAL BY-LAWS.
  2. WATERMAIN AND / OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC DRIB CONSTRUCTED AS PER ANNA C900-16, SIZE 50 MM (2") AND SMALLER MUST BE TYPE K SOFT COPPER CONSTRUCTED AS PER ASTM B88-19.
  3. WATERMANS AND / OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 M (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 M (4") FROM THEMSELVES AND ALL OTHER UTILITIES.
  4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 MM (2") OUTLET ON 100 MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100 MM (4") DIAMETER MINIMUM ON A HYDRANT.
  5. ALL CURB STOPS TO BE 3.0 M (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
  6. HYDRANT AND VALVES SET TO REGION STANDARDS - 6" - 1" DIMENSION A AND B, 0.7 M (23") AND 0.9 M (3") AND TO HAVE PUMPER NOZZLE.
  7. WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
  8. WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3 M (1'2") OVER / 0.4 M (1'3") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING EXISTING SYSTEMS.
  9. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
  10. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
  11. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
  12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
  14. ALL PROPOSED WATER SPRING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7-3 OR 1-7-4.
  15. ALL WATER METERS MUST BE INSTALLED IN HEATED AND ACCESSIBLE SPACE.
  16. PROPOSALS TO CONNECT TO AN EXISTING SERVICE LATERAL, REQUIRES APPROVAL FROM THE REGION OF PEEL INSPECTOR AT CONSTRUCTION STAGE.

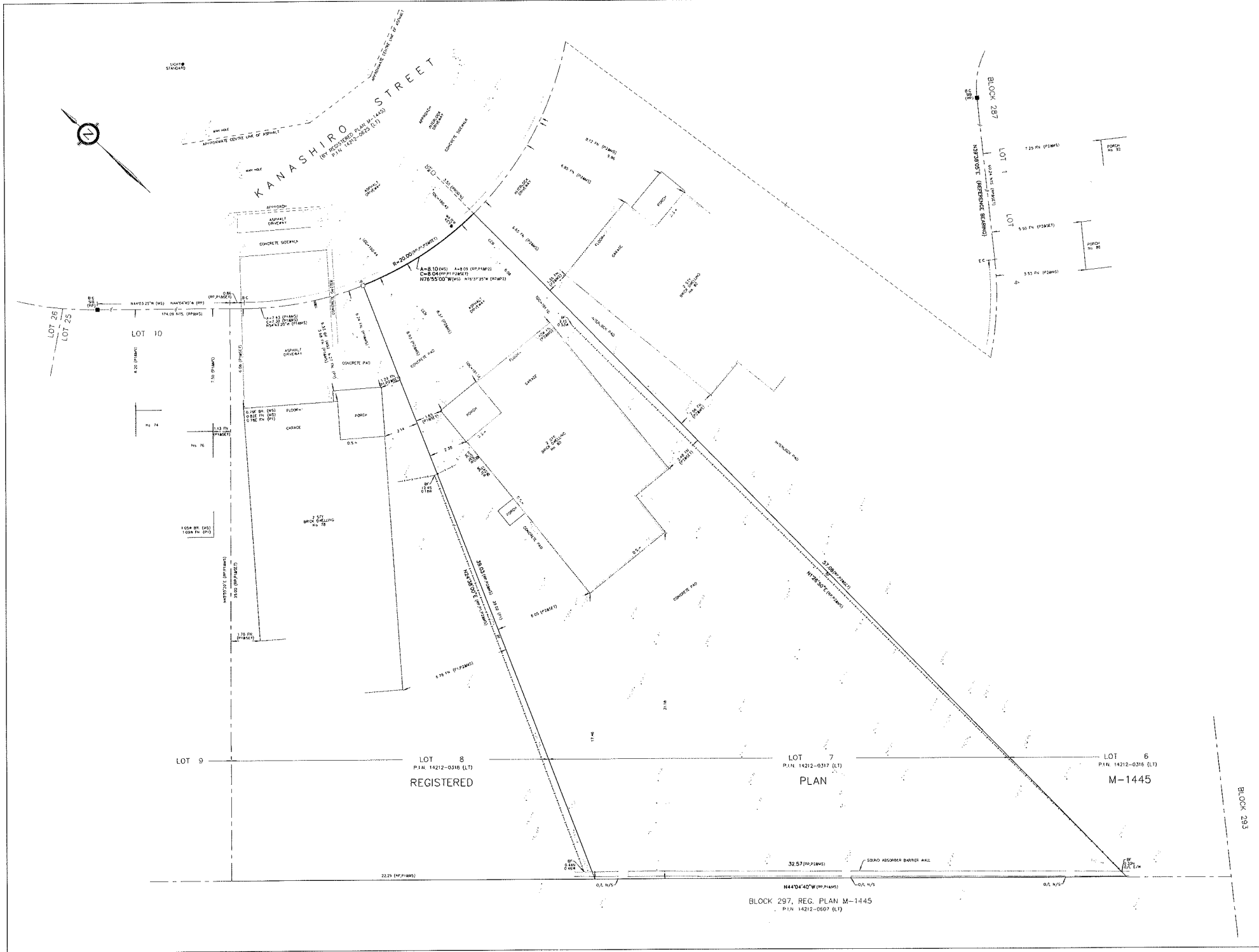
"I HAVE REVIEWED THE PLAN FOR THE CONSTRUCTION OF GARDEN SUITE AT 80 KANASHIRO STREET AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES"

LAND & BUILDING EXPERTS,  
JOO MIN PARK, P.ENG.



|   |   |                                |
|---|---|--------------------------------|
| 1 06/08/2024 RX   |   | ISSUE FOR PERMIT               |
| No.   | Date  | By                             |
| REVISIONS   |   |                                |
| PEEL REGION   |   |                                |
| PROPOSED GARDEN SUITE<br>80 KANASHIRO STREET<br>BRAMPTON, ONTARIO |   |                                |
| Title:<br>SITE GRADING AND SERVICING PLAN                         |   |                                |
|   | <b>LAND &amp; BUILDING EXPERTS</b><br>570 ALDEN ROAD,<br>UNIT 6, MARKHAM<br>ONTARIO, L3R 9N5<br>TEL: (416) 340-8444<br>building.experts@yahoo.com |                                |
|   | REVIEWED BY: JP<br>DRAWN BY: RX<br>SCALE: 1:100   | PROJECT No.<br>KANASHIRO 80-24 |





**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**PLAN OF SURVEY OF**  
**LOT 7**  
**REGISTERED PLAN M-1445**  
**IN THE**  
**CITY OF BRAMPTON**  
**(REGIONAL MUNICIPALITY OF PEELE)**

SCALE & NOTES  
 Scale 1:100  
 METRIC  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**  
 ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928 1973) AND ARE DERIVED FROM CITY OF BRAMPTON BENCHMARK: 16 042100306, HAVING A PUBLISHED ELEVATION OF 184.414 METERS.

**BEARING NOTE**  
 BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE EASTERLY LIMIT OF KANASHIRO STREET AS SHOWN ON REGISTERED PLAN M-1445 HAVING A BEARING OF N39°38'05"E

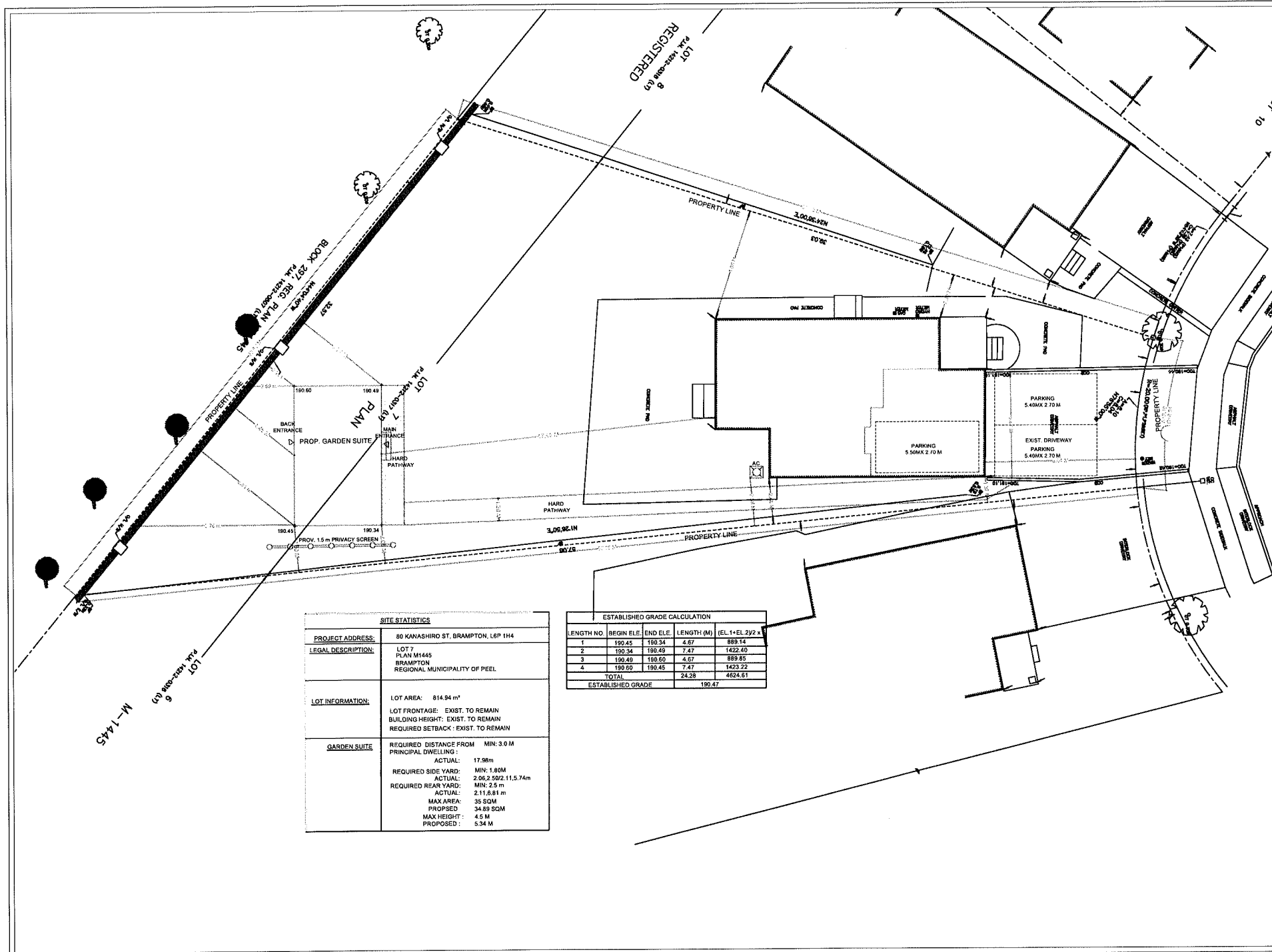
- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - IR DENOTES IRON ROD
  - SIB DENOTES STANDARD IRON BAR
  - CG DENOTES CUT CROSS
  - WT DENOTES WITNESS
  - B/C DENOTES BEGINNING OF CURVE
  - E/C DENOTES END OF CURVE
  - DT DENOTES DEODIOUS TREE
  - CT DENOTES CONSPICUOUS TREE
  - CCB DENOTES CONCRETE CURB
  - TOC DENOTES TOP OF CURB ELEVATION
  - NFS DENOTES NOT TO SCALE
  - MS DENOTES MEASURED
  - FN DENOTES FOUNDATION
  - BR DENOTES BRICK
  - STY DENOTES STOREY
  - BF DENOTES BOARD FENCE
  - D/S DENOTES DRAIN SILL ELEVATION
  - RP DENOTES REGISTERED PLAN M-1445
  - P1 DENOTES PLAN BY P. SALNA COMPANY LTD., O.L.S. DATED OCTOBER 10, 2001
  - P2 DENOTES PLAN BY P. SALNA COMPANY LTD., O.L.S. DATED JUNE 13, 2002 ON LINE
  - O/L DENOTES ON LINE
  - PROOT DENOTES ON PRODUCTION



**PART 2**  
 REGISTERED RIGHTS - SUBJECT TO AN EXPIRED RIGHT AS DESCRIBED IN INSTRUMENT Nos. PR224815 & PR320754  
 MUNICIPAL ZONING - THIS PLAN AND REPORT DOES NOT CERTIFY ZONING COMPLIANCE  
 ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND PHYSICAL FEATURES AS IDENTIFIED ON THE FACE OF THIS PLAN. BUILDING TIES ARE TO BRICK/CONCRETE UNLESS OTHERWISE NOTED  
 THIS PLAN WAS PREPARED FOR SOUSAN ZOKRAEI AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON MAY 06, 2024.  
 MAY 07, 2024  
 GUIDO V. CORNOLI  
 ONTARIO LAND SURVEYOR

**ALTIMAP LAND SURVEYORS INC.**  
 222 FRED AVE. W. UNIT 211, TORONTO, ON M8Z 1X8  
 TEL: 416-291-8881 FAX: 416-291-8882  
 DWN BY: SM  
 CHK BY: GVC  
 JOB No.: 24-3323



| SITE STATISTICS           |  |
|---------------------------|--|
| <b>PROJECT ADDRESS:</b>   | 80 KANASHIRO ST. BRAMPTON, L6P 1H4   |
| <b>LEGAL DESCRIPTION:</b> | LOT 7<br>PLAN M1445<br>BRAMPTON<br>REGIONAL MUNICIPALITY OF PEEL   |
| <b>LOT INFORMATION:</b>   | LOT AREA: 814.94 m <sup>2</sup><br>LOT FRONTAGE: EXIST. TO REMAIN<br>BUILDING HEIGHT: EXIST. TO REMAIN<br>REQUIRED SETBACK: EXIST. TO REMAIN   |
| <b>GARDEN SUITE</b>       | REQUIRED DISTANCE FROM PRINCIPAL DWELLING: MIN: 3.0 M<br>ACTUAL: 17.98m<br>REQUIRED SIDE YARD: MIN: 1.80M<br>ACTUAL: 2.0625/2.11574m<br>REQUIRED REAR YARD: MIN: 2.5 m<br>ACTUAL: 2.115881 m<br>MAX AREA: 35 SQM<br>PROPOSED: 34.89 SQM<br>MAX HEIGHT: 4.5 M<br>PROPOSED: 5.34 M |

| ESTABLISHED GRADE CALCULATION |            |          |            |                     |
|-------------------------------|------------|----------|------------|---------------------|
| LENGTH NO.                    | BEGIN ELE. | END ELE. | LENGTH (M) | (EL. 1+EL. 2)/2 x L |
| 1                             | 190.45     | 190.34   | 4.67       | 889.14              |
| 2                             | 190.34     | 190.49   | 7.47       | 1422.40             |
| 3                             | 190.49     | 190.60   | 4.67       | 889.85              |
| 4                             | 190.60     | 190.45   | 7.47       | 1423.22             |
| TOTAL                         |            |          | 24.28      | 4624.61             |
| ESTABLISHED GRADE             |            |          |            | 190.47              |

**GENERAL NOTES:**  
 DRAWINGS ARE TO BE READ NOT  
 SCALED.  
 CONTRACTOR MUST VERIFY ALL  
 DIMENSIONS AND BE RESPONSIBLE  
 FOR THE SAME.  
 REPORT ANY DISCREPANCIES TO THE  
 DESIGNER BEFORE COMMENCING THE  
 WORK. THE DRAWINGS AND  
 DOCUMENTS PROVIDED HERE WITHIN  
 ARE THE EXCLUSIVE PROPERTY OF  
 MECHWAYS INC. REPRODUCTION OF  
 THE DOCUMENTS PROVIDED IS  
 PROHIBITED WITHOUT THE CONSENT  
 OF THE DESIGNER.  
 ALL DESIGN AND CONSTRUCTION  
 DOCUMENTATION ARE FINAL UNLESS  
 REVISED BY THE DESIGNER. IF ANY  
 DISCREPANCIES ARE DISCOVERED  
 HERE WITHIN, THE DESIGNER SHALL  
 BE NOTIFIED.



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 2   | REVISION                   | AUG 20 2024  |
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

**ENGINEER:**  
 Mechways Inc.  
 ADDRESS: 16 RIFON ST. MISSISSAUGA, ON L4T 1E2  
 TEL: (905) 677-1100  
 EMAIL: INFO@MECHWAYS.COM  
 WEBSITE: WWW.MECHWAYS.COM

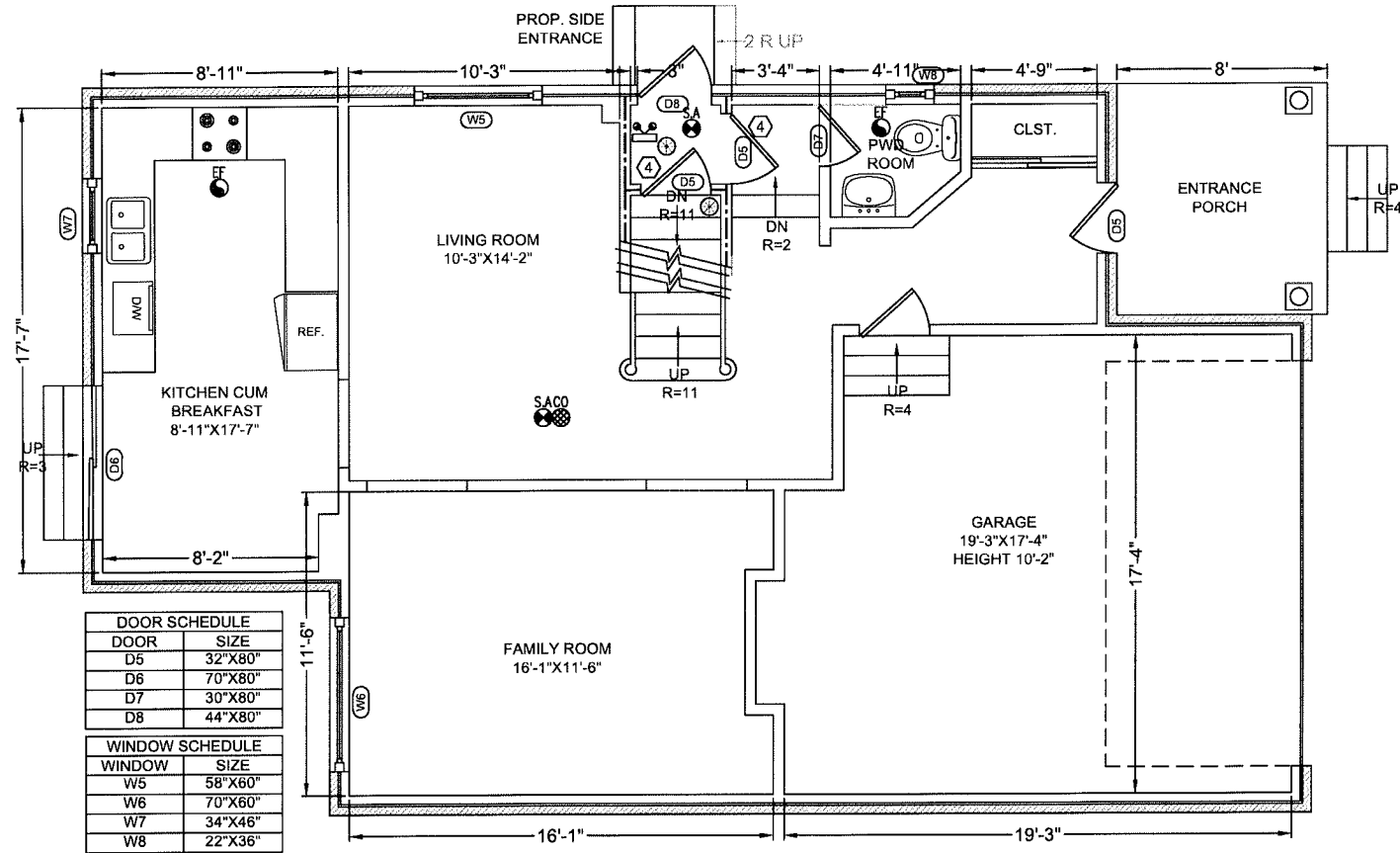
**PROJECT:**  
 80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

**SHEET TITLE:**  
 SITE PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1:200  
 DATE: JULY 23 2024

**DRAWING:**  
 A0.1





| DOOR SCHEDULE |         |
|---------------|---------|
| DOOR          | SIZE    |
| D5            | 32"X80" |
| D6            | 70"X80" |
| D7            | 30"X80" |
| D8            | 44"X80" |

| WINDOW SCHEDULE |         |
|-----------------|---------|
| WINDOW          | SIZE    |
| W5              | 58"X60" |
| W6              | 70"X60" |
| W7              | 34"X46" |
| W8              | 22"X36" |

FIRST FLOOR G.F.A = 692.87 ft<sup>2</sup> / 64.36 m<sup>2</sup>  
 FIRST FLOOR CEILING HEIGHT = 9'-0"

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

ENGINEER:

**Mechways Inc.**

ADDRESS : 6 GIPSON ST, MISSISSAUGA, ON L4T 1E4  
 TEL : 416-620-4300  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

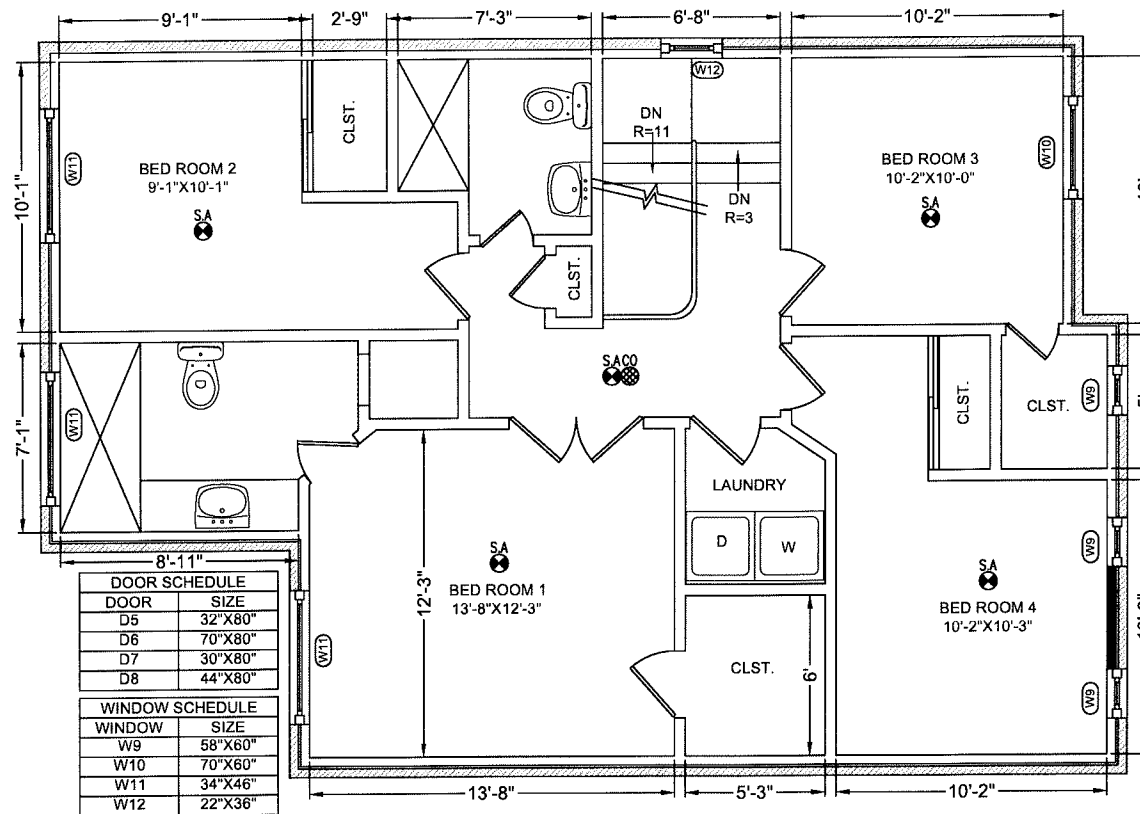
SHEET TITLE:

EXIST. GROUND  
 FLOOR PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JULY 23 2024

DRAWING:

A1.2



| DOOR SCHEDULE |         |
|---------------|---------|
| DOOR          | SIZE    |
| D5            | 32"X80" |
| D6            | 70"X80" |
| D7            | 30"X80" |
| D8            | 44"X80" |

| WINDOW SCHEDULE |         |
|-----------------|---------|
| WINDOW          | SIZE    |
| W9              | 58"X60" |
| W10             | 70"X60" |
| W11             | 34"X46" |
| W12             | 22"X36" |

SECOND FLOOR G.F.A = 927.08 ft<sup>2</sup> / 86.12 m<sup>2</sup>  
 SECOND FLOOR CEILING HEIGHT = 8'-0"

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTORS MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

ENGINEER:

**Mechways Inc.**

ADDRESS : 6 BIRD ST, MISSISSAUGA, ON L4Y 1E2  
 TEL : 416-607-1100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

50 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

SHEET TITLE:

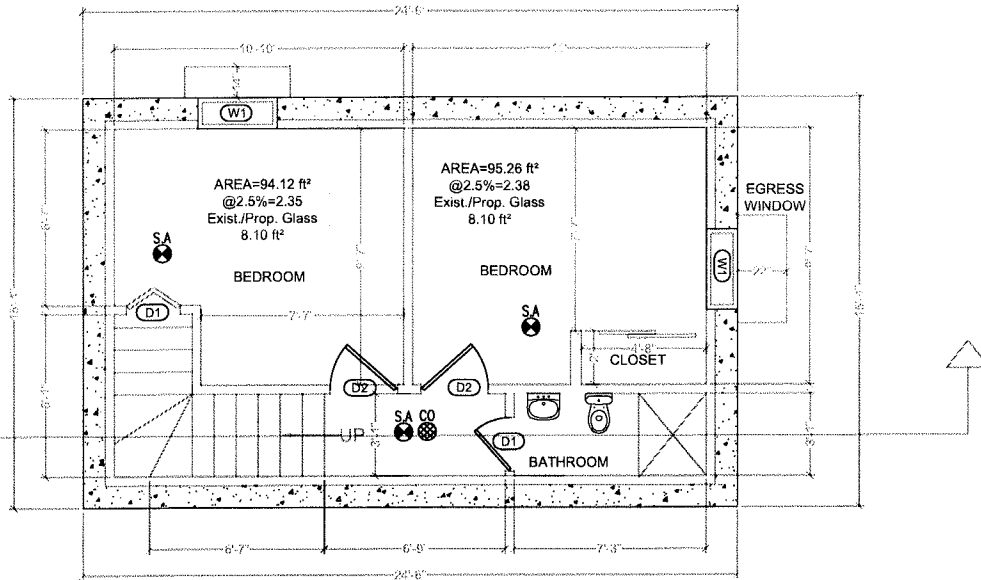
EXIST. SECOND FLOOR PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JULY 23 2024

DRAWING:

A1.3

| WINDOW SCHEDULE |             |
|-----------------|-------------|
| WINDOW#         | WINDOW SIZE |
| W1              | 36" x 36"   |
| DOOR SCHEDULE   |             |
| DOOR#           | DOOR SIZE   |
| D1              | 24" x 80"   |
| D2              | 30" x 80"   |



**PROPOSED BASEMENT PLAN**  
 BASEMENT G.F.A = 375.66 ft² / 34.89 m²  
 FIN. CEILING HEIGHT U/S OF JOISTS = 8'-0"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED.  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
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SEA



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

**ENGINEER:**

**Mechways Inc.**

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4T 3G6  
 TEL : 416-663-1100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

**PROJECT:**

83 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

**SHEET TITLE:**

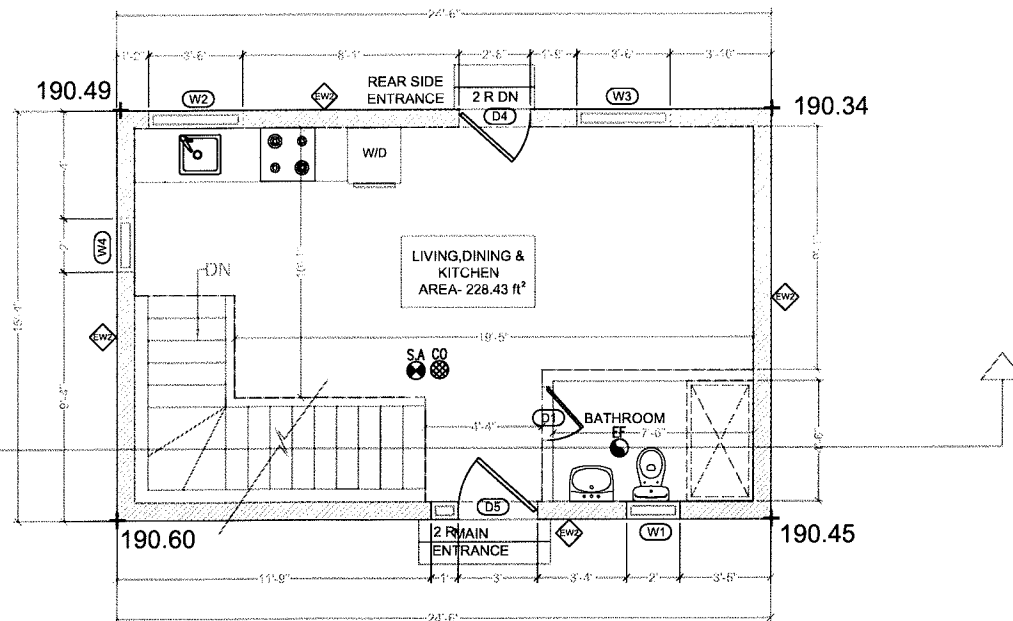
**PROP.  
 BASEMENT  
 PLAN (GARDEN  
 SUITE)**

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: DEC 15, 2023

**DRAWING:**

**A1.4**

| WINDOW SCHEDULE |             |
|-----------------|-------------|
| WINDOW#         | WINDOW SIZE |
| W1              | 24" x 24"   |
| W2              | 42" x 36"   |
| W3              | 54" x 36"   |
| W4              | 24" x 60"   |
| DOOR SCHEDULE   |             |
| DOOR#           | DOOR SIZE   |
| D1              | 24" x 80"   |
| D2              | 28" x 80"   |
| D3              | 30" x 80"   |
| D4              | 32" x 80"   |
| D5              | 36" x 80"   |



**PROP. GARDEN SUITE PLAN (MAIN FLOOR)**

GARDEN SUITE GFA = 375.66 ft² / 34.89 m²  
 CEILING HEIGHT = 8'-0"

CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS,  
 UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

**GENERAL NOTES:**

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SEA1



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

ENGINEER:

**Mechways Inc.**

ADDRESS : 10 RIFON ST, MISSISSAUGA, ON L4T 2E8  
 TEL : +1-607-274100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

SHEET TITLE:

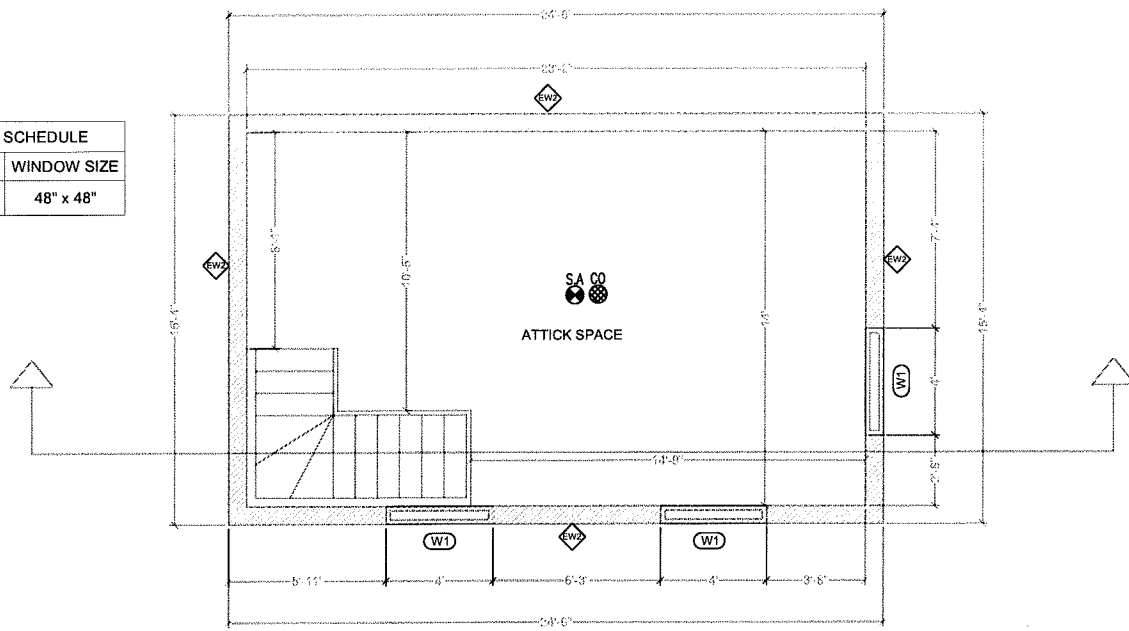
**PROP. GROUND FLOOR PLAN (GARDEN SUITE)**

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JULY 23 2024

DRAWING:

**A1.5**

| WINDOW SCHEDULE |             |
|-----------------|-------------|
| WINDOW#         | WINDOW SIZE |
| W1              | 48" x 48"   |



PROP. ATTIC FLOOR

**GENERAL NOTES:**

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SEA



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

**ENGINEER:**



ADDRESS : 6 RUPON ST, MISSISSAUGA, ON L4T 5E6  
 TEL : 416-667-2180  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

**PROJECT:**

80 KANASHIRO ST.  
 BRAMPTON,  
 ON L6P 1H4

**SHEET TITLE:**

PROP. ATTIC  
 SPACE (GARDEN  
 SUITE)

CHECKED: SS  
 DRAWN: MA  
 SCALE: NTS  
 DATE: DEC 15, 2023

**DRAWING:**

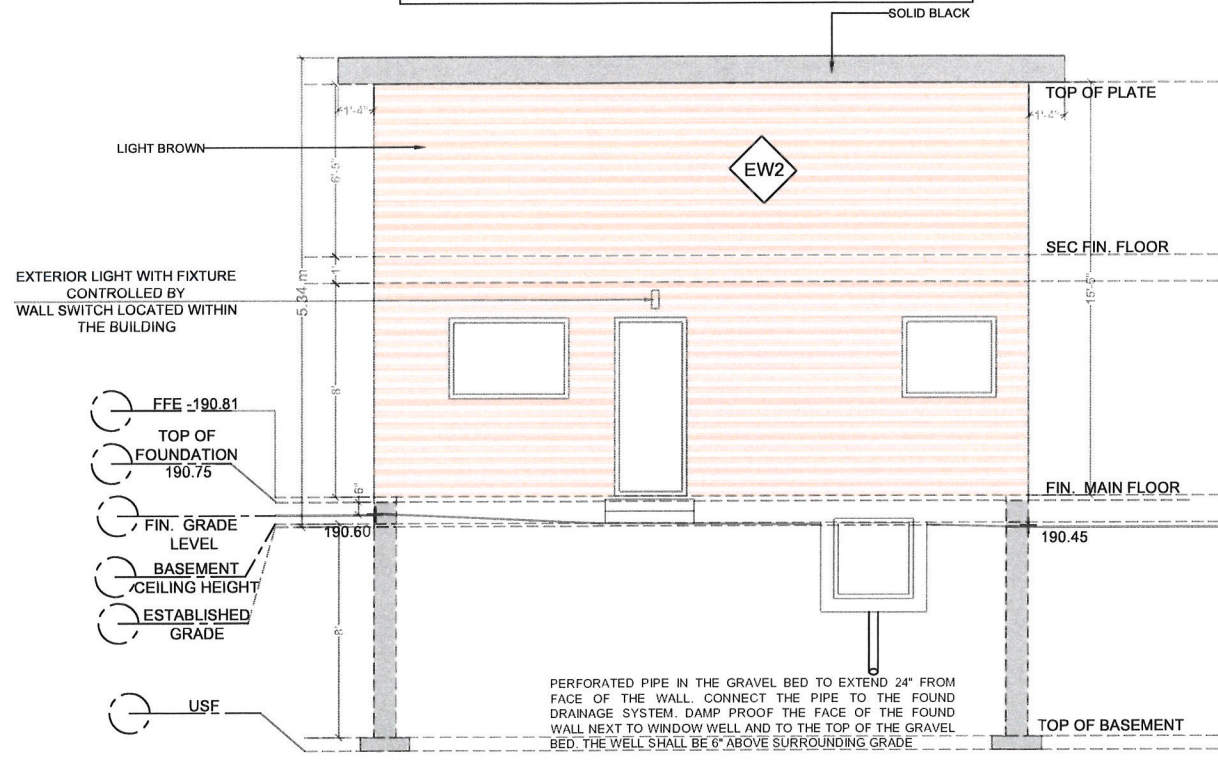
A1.6



**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

| SPATIAL AREA CALCULATION            |  |
|-------------------------------------|--|
| TOTAL WALL AREA                     | = 414.64 ft <sup>2</sup> / 38.52m <sup>2</sup> |
| LIMITING DISTANCE (AVERAGE)         | = 5.75m  |
| MAXIMUM ALLOWABLE GLAZED AREA @ 45% | = 186.59 ft <sup>2</sup> / 17.33m <sup>2</sup> |
| TOTAL GLAZED AREA ABOVE GRADE       | = 24.46 ft <sup>2</sup> / 2.27 m <sup>2</sup>  |



REAR ELEVATION

SEAL:

| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |
|-----|----------------------------|--------------|
| NO. | DESCRIPTION                | DATE         |

ENGINEER:  
**Mechways Inc.**  
 ADDRESS : 6 RIFON ST, MISSISSAUGA,  
 ONT L4V 1R7  
 TEL : 905.276.1000  
 EMAIL : SALES@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

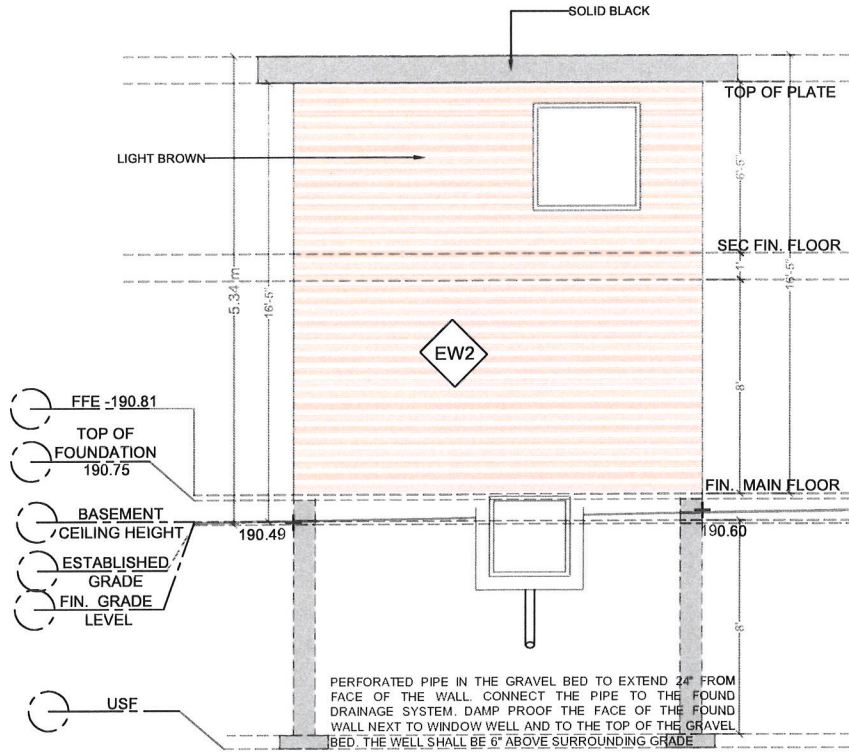
PROJECT:  
 80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

SHEET TITLE:  
**REAR ELEVATION**

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JULY 23 2024

DRAWING:  
**A2.1**

| SPATIAL AREA CALCULATION            |   |
|-------------------------------------|---|
| TOTAL WALL AREA                     | =245.56 ft <sup>2</sup> / 22.81m <sup>2</sup> |
| LIMITING DISTANCE (AVERAGE)         | = 3.93m                                       |
| MAXIMUM ALLOWABLE GLAZED AREA @ 40% | = 98.22 ft <sup>2</sup> / 9.12m <sup>2</sup>  |
| TOTAL GLAZED AREA ABOVE GRADE       | = 15.30 ft <sup>2</sup> / 1.42 m <sup>2</sup> |



RIGHT SIDE ELEVATION

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEA



|  |  |
|--|--|
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|  |  |
|  |  |
|  |  |

|   |                            |              |
|---|----------------------------|--------------|
| 1 | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |
|---|----------------------------|--------------|

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |

**ENGINEER:**

*Mechways Inc.*

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4W 1G9  
 TEL : 905-276-1100  
 EMAIL : info@mechways.com  
 WEBSITE : www.mechways.com

**PROJECT:**

80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

**SHEET TITLE:**

RIGHT SIDE ELEVATION

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JULY 23 2024

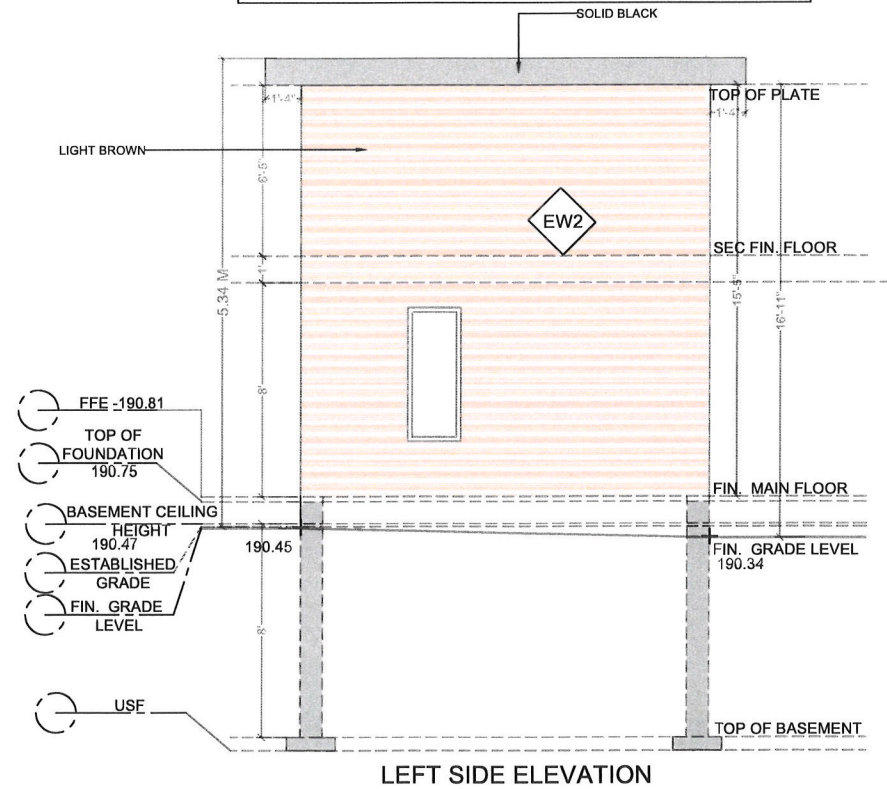
**DRAWING:**

A2.2

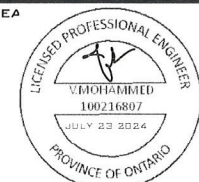
**GENERAL NOTES:**

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| SPATIAL AREA CALCULATION            |  |
|-------------------------------------|--|
| TOTAL WALL AREA                     | = 268.69 ft <sup>2</sup> / 24.96m <sup>2</sup> |
| LIMITING DISTANCE (AVERAGE)         | = 2.28m  |
| MAXIMUM ALLOWABLE GLAZED AREA @ 24% | = 64.49 ft <sup>2</sup> / 5.99m <sup>2</sup>   |
| TOTAL GLAZED AREA ABOVE GRADE       | = 9 ft <sup>2</sup> / 0.84 m <sup>2</sup>      |



SEA



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

ENGINEER:

**Mechways Inc.**

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4Y 1E7  
 TEL: (905) 271-1100  
 EMAIL: SALES@MECHWAYS.COM  
 WEBSITE: WWW.MECHWAYS.COM

PROJECT:

80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

SHEET TITLE:

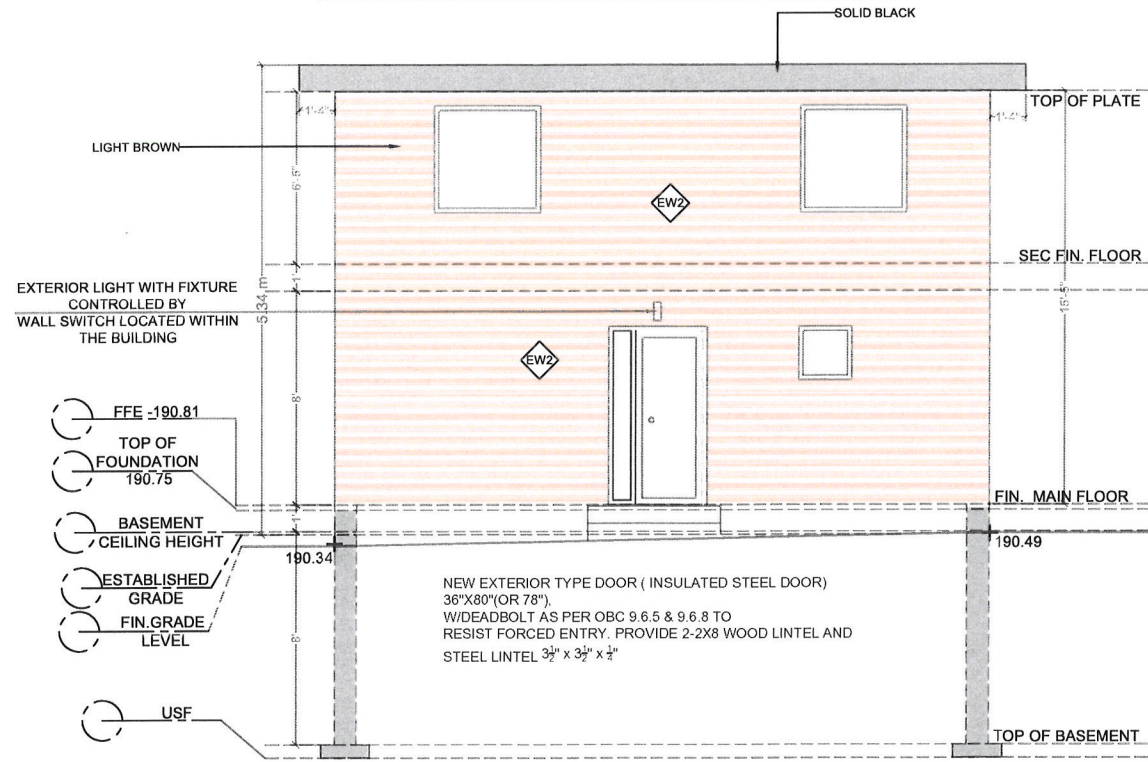
LEFT SIDE  
 ELEVATION

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/4" = 1'  
 DATE: JULY 23 2024

DRAWING:

A2.3

| SPATIAL AREA CALCULATION               |  |
|--|--|
| TOTAL WALL AREA                        | = 408.21 ft <sup>2</sup> / 37.92m <sup>2</sup> |
| LIMITING DISTANCE (BETWEEN TWO HOUSES) | = 13.05m                                       |
| MAXIMUM ALLOWABLE GLAZED AREA @ 100%   |  |
| TOTAL GLAZED AREA ABOVE GRADE          | = 32.40 ft <sup>2</sup> / 3.01 m <sup>2</sup>  |



NEW EXTERIOR TYPE DOOR ( INSULATED STEEL DOOR)  
 36"X80"(OR 78")  
 W/DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO  
 RESIST FORCED ENTRY. PROVIDE 2-2X8 WOOD LINTEL AND  
 STEEL LINTEL 3<sup>1</sup>/<sub>2</sub>" x 3<sup>1</sup>/<sub>2</sub>" x 1<sup>1</sup>/<sub>2</sub>"

FRONT ELEVATION

**GENERAL NOTES:**  
 DRAWINGS ARE TO BE READ NOT  
 SCALED.  
 CONTRACTOR MUST VERIFY ALL  
 DIMENSIONS AND BE RESPONSIBLE  
 FOR THE SAME.  
 RECTIFIY DISCREPANCIES TO THE  
 DESIGNER BEFORE COMMENCING THE  
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 HERE WITHIN, THE DESIGNER SHALL  
 BE NOTIFIED.

SEAL:



| NO. | DESCRIPTION                | DATE         |
|-----|----------------------------|--------------|
| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |

ENGINEER:

**Mechways Inc.**  
 ADDRESS : 6 RYAN ST, MISSISSAUGA,  
 ON L4X 1L7  
 TEL : 905.277.4100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

SHEET TITLE:

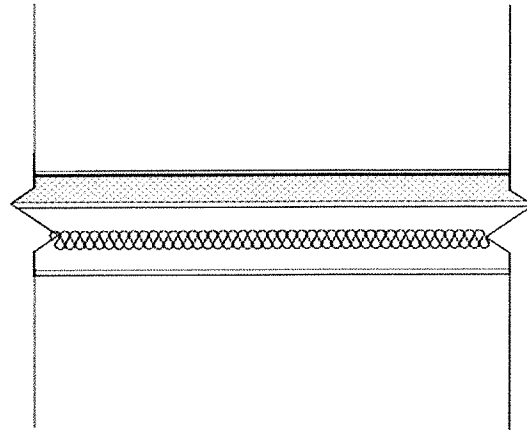
FRONT  
 ELEVATION

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JULY 23 2024

DRAWING:

A2.4

EW2



**SIDING WALL CONSTRUCTION**

- PREP SIDING VENEER AS PER MANUFACTURER
- TYVEK AIR BARRIER OR APPROVED EQUAL ( SHEATHING PAPER)
- 13MM (21") EXTERIOR GRADE PLYWOOD SHEATHING 38 MM X 120MM (1'21" X 5-21") WOOD STUDS @ 406MM (1'-4") O.C. W/RSI 3.87 (R22 + 10 ci) INSULATION IN VOID SPACE B/W WOOD STUDS
- 6MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL
- 13MM(21") GYPSUM WALL BOARD INNERIOR FINISH

**GENERAL NOTES**

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS PER THE DRAWING AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



| NO. | DESCRIPTION                | DATE        |
|-----|----------------------------|-------------|
| 1   | ISSUED FOR BUILDING PERMIT | NOV 22 2023 |

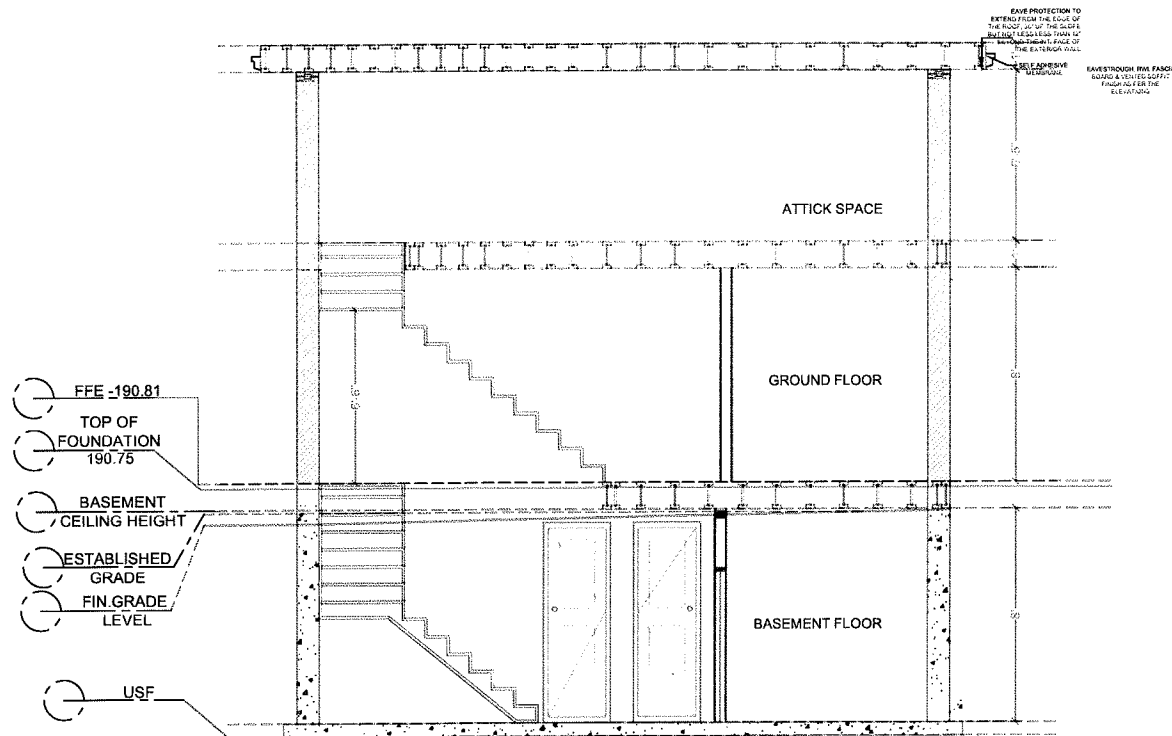
**ENGINEER**  
 Mechway Inc.  
 1000 SHEPPARD AVENUE EAST  
 UNIT 100  
 SCARBOROUGH, ONTARIO M1S 1T7  
 CANADA  
 TEL: (416) 291-1111  
 FAX: (416) 291-1112  
 WWW.MECHWAY.COM

**PROJECT**  
 80 KENNEDY RD. S.E.  
 BRANTFORD,  
 ONTARIO

**SHEET TITLE**  
 ASSEMBLY  
 DETAILS

CHECKED: SS  
 DRAWN: PA  
 SCALE: NTS  
 DATE: NOV 03, 2023

**DRAWING:**  
 A3.1



**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEA



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| 1 | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |
|---|----------------------------|--------------|

| NO. | DESCRIPTION | DATE |
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**ENGINEER:**

**Mechways Inc.**

ADDRESS : 6 RIFTON ST, MISSISSAUGA, ON L4V 1L4  
 TEL : 905.672.1100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

**PROJECT:**

80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

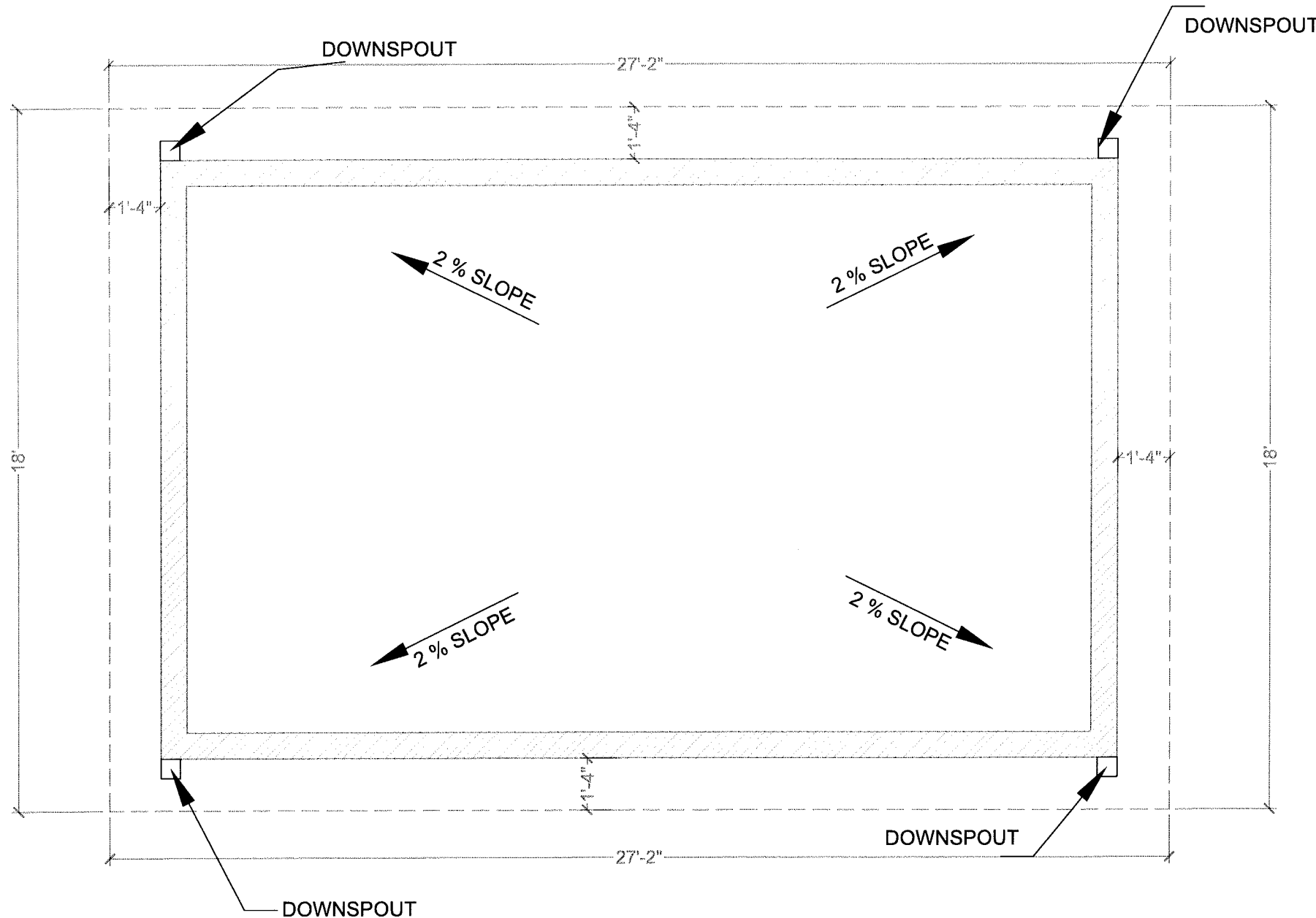
**SHEET TITLE:**

**SECTION PLAN**

CHECKED: SS  
 DRAWN: MA  
 SCALE: NTS  
 DATE: JAN 22, 2024

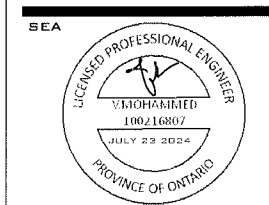
**DRAWING:**

A3.1



**PROPOSED FLAT ROOF PLAN**

**GENERAL NOTES:**  
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| 1   | ISSUED FOR BUILDING PERMIT | JULY 23 2024 |
|-----|----------------------------|--------------|
| NO. | DESCRIPTION                | DATE         |

**ENGINEER:**  
**Mechways Inc.**  
 ADDRESS : 10 RIFON ST, MISSISSAUGA, ON L6M 1E4  
 TEL : 416-602-2400  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

**PROJECT:**  
 80 KANASHIRO ST,  
 BRAMPTON,  
 ON L6P 1H4

**SHEET TITLE:**  
**PROP. ROOF PLAN**

CHECKED: SS  
 DRAWN: MA  
 SCALE: NTS  
 DATE: JAN 22, 2024

**DRAWING:**  
**A3.2**



**Athar, Shiza**

to me

7/9 Jul 2024, 10:57:21 hours ago

Hello,

The following zoning defilements have been noted:

1. The minimum rear yard depth is 2.5m, please revise your drawings or reach out to the Planning department for your options to comply.
2. The maximum building height for the garden suite is 4.5m. Please revise your drawings or reach out to the Planning department for your options to comply.
3. Please indicate the location of the A/C unit on the site plan. A clear 1.2m path of travel must be provided to the garden suite.

As a next step, please go through Architectural approval for a new Custom Home – Garden Suite. You may reach out to the planning department for further information. They can be reached at [planningdevelopment@brampton.ca](mailto:planningdevelopment@brampton.ca)

Thank you and please let me know if you have any questions.

**Shiza Athar**

Plans Examiner, Zoning Services

City of Brampton

T: 905.874.2303

[shiza.athar@brampton.ca](mailto:shiza.athar@brampton.ca)





# Zoning Non-compliance Checklist

File No.

A-2024-0346

Applicant: Valiuddin Mohammed

Address: 80 Kanashiro St

Zoning: R1D-1662

By-law 270-2004, as amended

| Category                                 | Proposal   | By-law Requirement   | Section #   |
|--|--|--|-------------|
| USE                                      |  |  |             |
| LOT DIMENSIONS<br>AREA / DEPTH / WIDTH   |  |  |             |
| BUILDING SETBACKS<br>FRONT / SIDE / REAR |  |  |             |
| BUILDING SIZE                            |  |  |             |
| BUILDING HEIGHT                          |  |  |             |
| COVERAGE                                 |  |  |             |
| BELOW GRADE<br>ENTRANCE                  |  |  |             |
| ACCESSORY STRUCTURE<br>SETBACKS          |  |  |             |
| ACCESSORY STRUCTURE<br>SIZE / HEIGHT     |  |  |             |
| MULTIPLE ACCESSORY<br>STRUCTURES         |  |  |             |
| GARAGE WIDTH                             |  |  |             |
| LANDSCAPED OPEN<br>SPACE                 |  |  |             |
| ENCROACHMENTS                            |  |  |             |
| GARDEN SUITE -<br>SETBACK                | To permit a rear yard setback of 2.11m to a proposed garden suite,   | whereas the by-law requires a minimum rear yard setback of 2.5m. | 10.16.2 (d) |
| GARDEN SUITE – HEIGHT                    | To permit a proposed garden suite having a building height of 5.34m, | whereas the by-law permits a maximum building height of 4.5m.    | 10.16.2 (h) |
| OTHER – DECK                             |  |  |             |

Shiza Athar

Reviewed by Zoning

2024/09/04

Date