



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0354

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** The Regional Municipality of Peel (C/O Margarita Perez)
Address 10 Peel Centre Drive, Brampton Ontario, L6T 4B9

Phone # 416.346.5292 **Fax #** _____
Email margarita.perez@peelregion.ca

2. **Name of Agent** Design Plan Services Inc. (C/O Steven Qi)
Address 900 The East Mall, Suite 300, Toronto Ontario, M9B 6K2

Phone # 4166265445 **Fax #** _____
Email steven@designplan.ca

3. **Nature and extent of relief applied for (variances requested):**

1. Lot Coverage: A maximum lot coverage of 18% for all uses is permitted whereas a lot coverage of 20.39% is proposed;

2. Distance from Main St. North: An apartment building use shall be located only within 40m of the lot line abutting Main Street North whereas the proposed apartment building is setback 45.91m from Main Street North at its closest point;

3. Number of Dwelling Units: A maximum of 55 bachelor units is permitted whereas 229 units are proposed, including units with one and two bedrooms;

4. Dwelling Unit Size: A maximum dwelling unit size of 36 sq. m is permitted whereas

4. **Why is it not possible to comply with the provisions of the by-law?**

Proposal requires relief from Site Specific Zoning By-law Requirements. Please refer to enclosed cover letter for additional information.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 9
Plan Number/Concession Number Concession 1, West of Hurontario Street
Municipal Address 525 Main Street N

6. **Dimension of subject land (in metric units)**
Frontage 136.22 m
Depth 299.8 m
Area 2.5393 ha

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Peel Manor LTC: GFA = 24358 m², Building Footprint = 4232 m², Height = 2 storeys
 Nance Horwood Building: GFA = 2805.5 m², Building Footprint = 953.1 m², Height = 3 storeys

PROPOSED BUILDINGS/STRUCTURES on the subject land:

One new 9 storey residential building
 GFA = 13594.21 sq. m
 Building Footprint = 7184.65 sq. m
 Building Height = 9 storeys (32.05 m)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback _____
 Rear yard setback _____
 Side yard setback _____
 Side yard setback _____

PROPOSED

Front yard setback 45.91 m _____
 Rear yard setback 6.15 m _____
 Side yard setback 60.39 m _____
 Side yard setback 33.15 m _____

10. Date of Acquisition of subject land: Unknown

11. Existing uses of subject property: Institutional

12. Proposed uses of subject property: Institutional: Apartment building owned and operated by a public authority

13. Existing uses of abutting properties: Residential/Commercial/Open Space

14. Date of construction of all buildings & structures on subject land: 2009

15. Length of time the existing uses of the subject property have been continued: 2009-2024

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well

- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic

- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Toronto

THIS 12 DAY OF September, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Steven Qi OF THE City OF Toronto

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Toronto

IN THE Province OF

Ontario THIS 12 DAY OF

September, 2024.

Signature of Applicant or Authorized Agent

A Commissioner etc.

NADINE CIECIURA, A COMMISSIONER, ETC.,
PROVINCE OF ONTARIO.
FOR DESIGN PLAN SERVICES INC

FOR OFFICE USE ONLY ~~ONLY~~ ~~SEP 8, 2025~~

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Elizabeth Corazzola
Zoning Officer

Sept 12 2024
Date

DATE RECEIVED Sept 13, 2024

Date Application Deemed Complete by the Municipality VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 525 Main Street N, Brampton

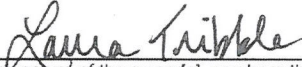
I/We, The Regional Municipality of Peel
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Design Plan Services Inc. (C/O Steven Qi)
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 10 day of September, 20²⁴.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Laura Tribble
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

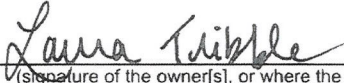
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 525 Main Street N, Brampton

I/We, The Regional Municipality of Peel
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 10 day of September, 20²⁴.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Laura Tribble

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN St N.
BRAMPTON, ON

ISSUED FOR SPA
DATE: SEPT. 06, 2024



Kasian Architecture
Ontario Incorporated
85 Hanna Avenue, Suite 300
Toronto, ON Canada M6K 3S3
T 416 883 3600 F 416 883 3610
www.kasian.com

REV	DATE	DESCRIPTION	BY	CHKD
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		

CONSULTANT LIST

ARCHITECT
KASIAN ARCHITECTURE
85 HANNA AVE,
TORONTO, ON M6K 3S3
416.583.3608 (OFFICE)

PLANNING
DESIGN PLAN
900 THE EAST MALL SUITE 300
ETOBICOKE, ONTARIO M9B 6K2
416-626-5445 X 201 (OFFICE)

STRUCTURAL, BUILDING ENVELOPE, BUILDING CODE
ENTUITIVE
200 UNIVERSITY AVE 7TH FLOOR,
TORONTO, ON M5H 3C6
416-309-8571 (OFFICE)

MECHANICAL, ELECTRICAL, IT/AV/SECURITY, LIGHTING
QUASAR
250 ROWNTREE DAIRY ROAD
WOODBIDGE, ON
905-507-0800 X 6010 (OFFICE)

CIVIL ENGINEER
SCHAEFFERS
6 RONROSE DR
CONCORD, ON L4K 4R3
905-738-6100 X 249 (OFFICE)

LANDSCAPE DESIGN
MWLA
102 HASTINGS AVE,
TORONTO, ON M4L 2L2
416-491-2922 X 2 (OFFICE)

COST AND SCHEDULE
ALTUS GROUP
33 YONGE ST #500,
TORONTO, ON M5E 1G4
(416) 641 9500 EXT.2065

ACCESSIBILITY
HUMAN SPACE
8 SPADINA AVE. SUITE 2100,
TORONTO, ON M5V 0S8
416-598-1240 X 340 (OFFICE)

SUSTAINABILITY, ENERGY MODELLING,
ZERO CARBON, NET-ZERO
PRATUS GROUP
213 STERLING RD UNIT 108,
TORONTO, ON M6R 2B2
416-947-6919 (OFFICE)

ACOUSTICS
AERCOUSTICS
1004 MIDDLEGATE RD #1100,
MISSISSAUGA, ON L4Y 1M4
647-951-1688 (OFFICE)

SIGNAGE & WAYFINDING
FORGE MEDIA
171 E LIBERTY ST SUITE 245,
TORONTO, ON M6K 3P6
416-533-3674 X 0143 (OFFICE)

WIND STUDY
RWDI
625 QUEEN ST W,
TORONTO, ON M5V 2B7
289-952-1833 (CELL)

ELEVATOR CONSULTANT
SOBERMAN
2 ST CLAIR AVE E #1100,
TORONTO, ON M4T 2T5
416-323-2133 (OFFICE)

DRAWING LIST - SPA

A-0.00	COVER PAGE
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A-0.11	SHADOW STUDY SEPTEMBER 21
A-0.12	SHADOW STUDY SEPTEMBER 21
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PERMIT STAMP

SEAL



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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN St N, BRAMPTON, ON

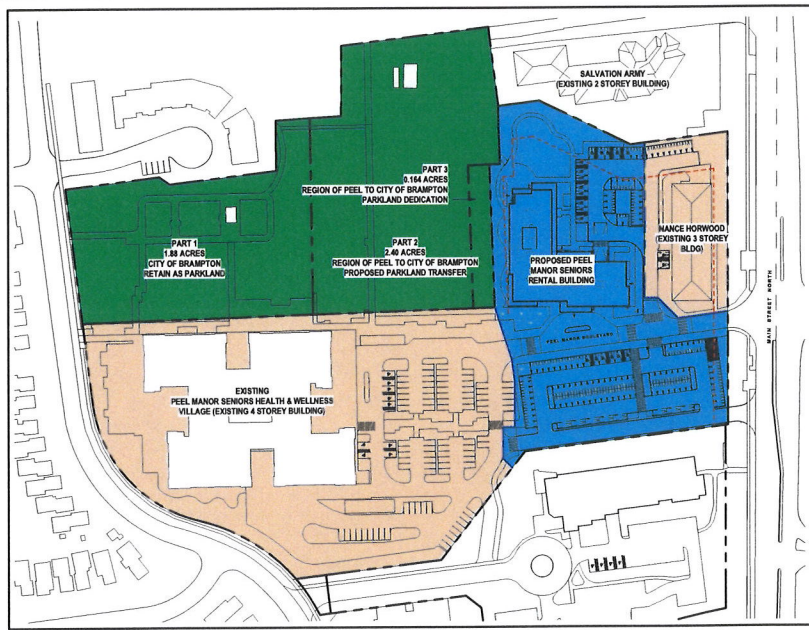
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COVER PAGE

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO.	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
SCALE	REVIEWED	N.W., R.R.	
DRAWING NO.	REVISION		
A-0.00			3



1 SITE KEYPLAN
SCALE: 1:1200



2 LANDSCAPE CONTEXT PLAN
SCALE: 1:1200

PROJECT NAME: PEEL MANOR SENIORS RENTAL BUILDING
PROJECT NUMBER: 260038
DATE: August 23, 2024

Land Use: Institutional, An Apartment Building, owned and operated by a public authority
SITE STATISTICS: Maximum Zoning Lot Coverage, excluding permitted accessory structures: 18%

TOTAL LOT AREA	Sq. m	35,235.83
PROPOSED BUILDING FOOTPRINT		1975
PEEL MANOR LITC BUILDING FOOTPRINT		4232
NANCE HORWOOD BUILDING FOOTPRINT		953.1
TOTAL BUILDING FOOTPRINT		7160.1

PROPOSED LOT COVERAGE %		20.32%
LANDSCAPE AREA	Sq. m	%
LANDSCAPING	15,205.30	43.15%
BUILDING COVERAGE	7160.1	20.32%
DRIVEWAYS AND ROADS	12870.43	36.53%
		100.00%

BUILDING HEIGHT	Maximum Zoning Building Height:	5 storeys
	m	
LEVEL 1 TO ROOFTOP (9 STOREYS)		32.05
ROOF TO MPH EEOF		5.5
		37.6

EXISTING GFA	Sq. m	
PEEL MANOR LITC	24358	
NANCE HORWOOD	2805.5	
TOTAL	27163.5	

PROPOSED RESIDENTIAL BUILDING GFA	Sq. m	
LEVEL 1	528.67	
LEVEL 2	1954.87	
LEVEL 3	1641.76	
LEVEL 4	1641.76	
LEVEL 5	1641.76	
LEVEL 6	1641.76	
LEVEL 7	1641.76	
LEVEL 8	1641.76	
LEVEL 9	1641.76	
TOTAL	13575.86	

APARTMENT FSI	Sq. m	ACRES
DEVELOPMENT AREA	35235.83	8.71
GFA EXISTING (NANCE HORWOOD)	2805.5	
GFA PROPOSED PMSRB	13575.86	
TOTAL APARTMENT GFA	16381.36	FSI 2.15

OTHER USES	Sq. m	
DEVELOPMENT AREA	35,235.83	
GFA EXISTING PEEL MANOR LITC	24358	FSI 1.45

UNIT COUNT	Maximum Permitted Number of Units: 55 Bachelor Dwelling Units Max. Allowable Unit Size: 36Sq. m - Proposed Max. Unit Size = 85Sq. m				
NANCE HORWOOD UNITS	31				
PROPOSED PMSRB					
UNIT TYPE	STUDIO	BF STUDIO	1 BED	1 BED BF	2 BED BF
LEVEL 1	0	0	0	0	0
LEVEL 2	3	2	10	7	1
LEVEL 3	4	3	10	7	1
LEVEL 4	4	3	10	7	1
LEVEL 5	4	3	10	7	1
LEVEL 6	4	3	10	7	1
LEVEL 7	4	3	10	7	1
LEVEL 8	4	3	10	7	1
LEVEL 9	4	3	10	7	1
TOTALS	31	23	80	56	8
PERCENTAGE OF TOTAL	15.7%	11.0%	40.4%	28.3%	4.0%
TOTAL APARTMENT UNITS	229				198

PMSRB PROJECT AMENITY	Sq. m
INDOOR	342
OUTDOOR	1080
TOTAL	1422

PARKING	Minimum Required Number of Parking Spaces (Apartment Building): 34		
	BF	NON BF	TOTAL
NORTH PARKING AREA	13	8	21
SOUTH PARKING AREA	6	81	87
PROPOSED TOTAL	19	89	108

		PARKING RATIO	0.55
EXISTING NANCE HORWOOD	2	18	20

TOTAL APARTMENT PARKING	128
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SUSTAINABILITY SCORE	77 PTS	GOLD
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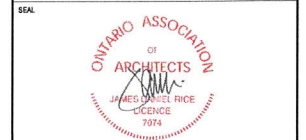


Kasian Architecture
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www.kasian.com

3	2024-09-06	SPA SUBMISSION	
2	2024-07-03	SPA ZONING CHECK	
1	2024-05-03	SPA SUBMISSION	
REV	YYYY-MM-DD	REVISION/DRAWING ISSUE	REVIEW

CONSULTANT

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

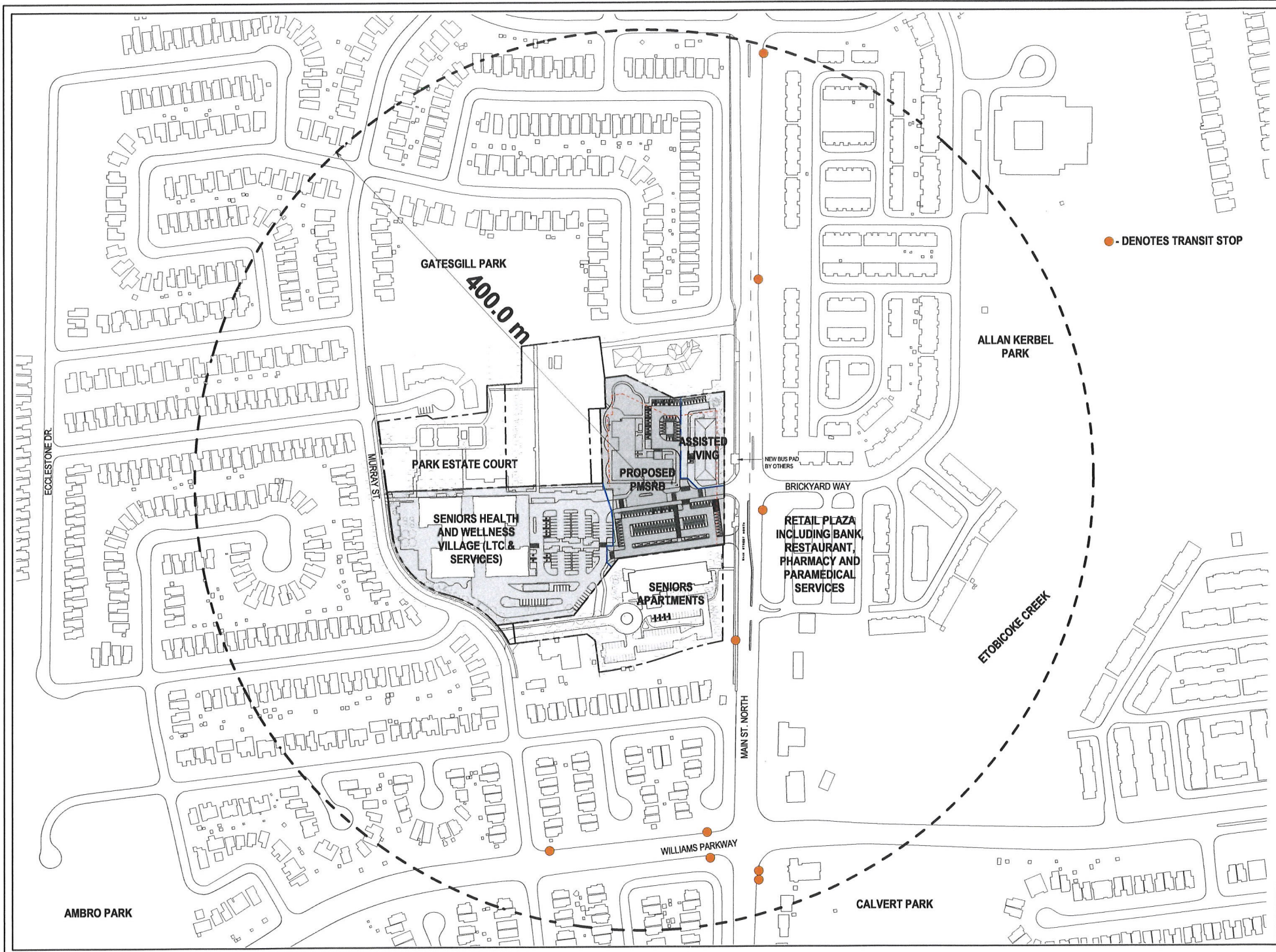
DRAWING TITLE

PROJECT STATISTICS

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:1200	REVIEWED	N.W., R.R.		
DRAWING NO	A-0.02	REVISION	3		



Kasian Architecture
Ontario Incorporated

85 Howe Avenue, Suite 300
Toronto, ON Canada M9A 3S3
T 416 983 3800 F 416 983 3410
www.kasian.com



● - DENOTES TRANSIT STOP

REV	DATE	DESCRIPTION	BY	CHKD
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		

CONSULTANT

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

CONTEXT PLAN

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:1500	REVIEWED	N.W., R.R.		

DRAWING NO	A-0.03	REVISION	3
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1 400m CONTEXT PLAN
A-0.03 SCALE: 1:1500



REV	DATE	BY	DESCRIPTION	REVIEW
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		
REV	YYYY/MM/DD	REVISION/DRAWING ISSUE		REVIEW

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

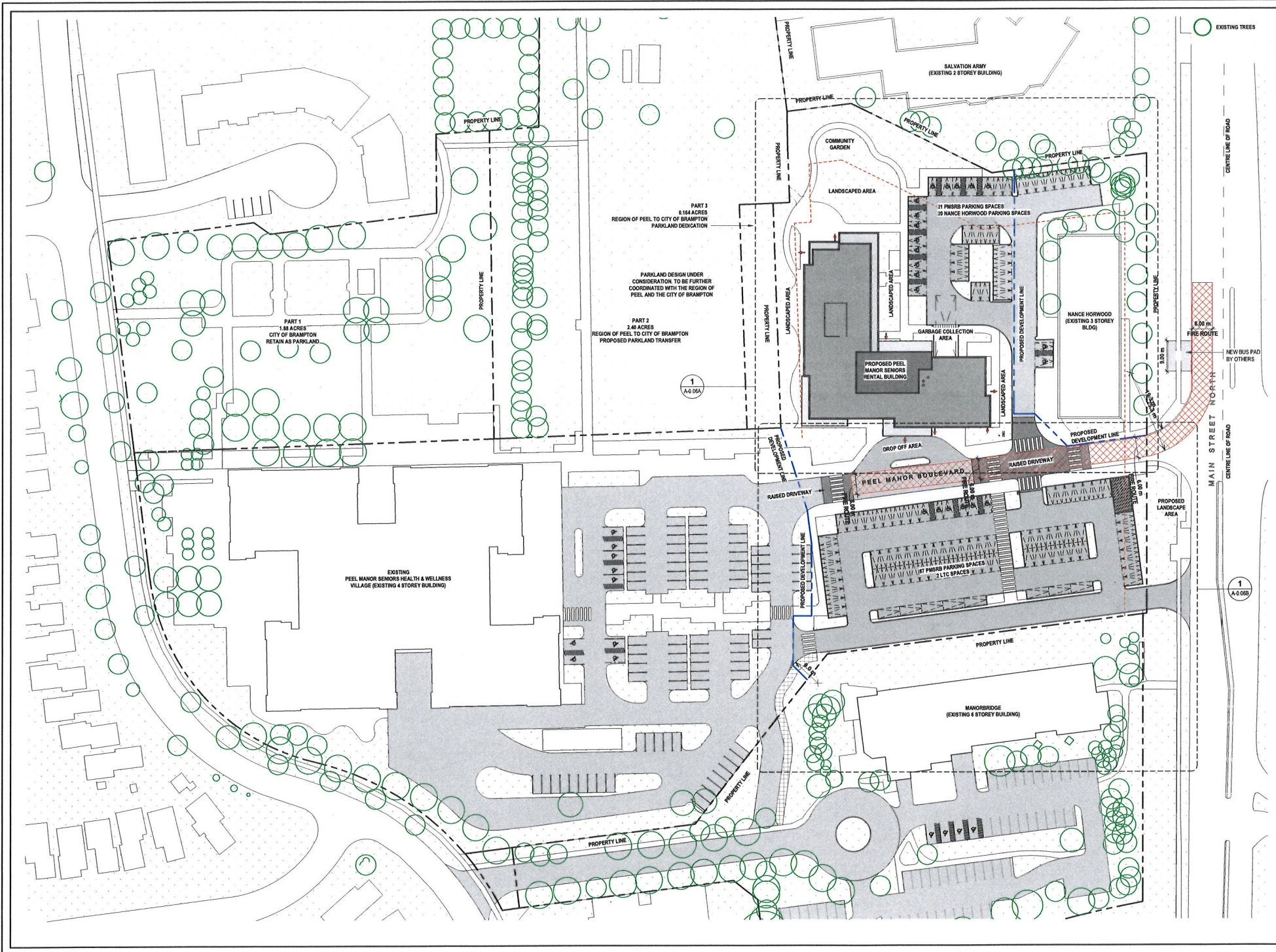
DRAWING TITLE

OVERALL SITE PLAN

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:500	REVIEWED	N.W., R.R.	REVISION	
DRAWING NO	A-0.04				3



1 OVERALL SITE PLAN
SCALE: 1:500



3	2024-09-06	SPA SUBMISSION	
2	2024-07-03	SPA ZONING CHECK	
1	2024-06-03	SPA SUBMISSION	
REV	XXXX-XXXX	REVISION/DRAWING ISSUE	REVIEW

CONSULTANT

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PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

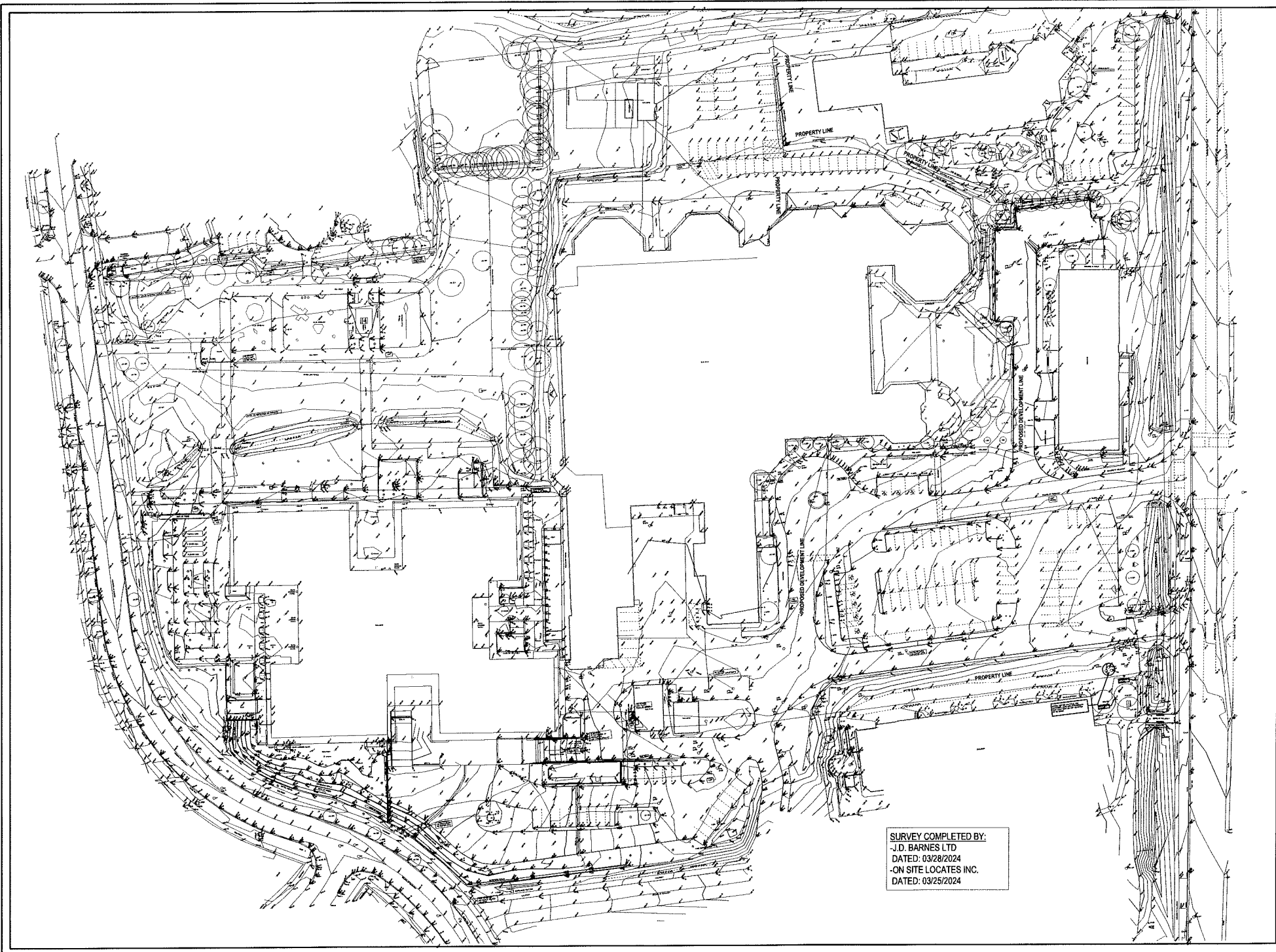
DRAWING TITLE

EXISTING SITE SURVEY

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO.	PLOT DATE	2024-09-06	DRAWN	D.S.
280038	SCALE	1:500	REVIEWED	N.W., R.R.
DRAWING NO.	A-0.05		REVISION	3



SURVEY COMPLETED BY:
-J.D. BARNES LTD
DATED: 03/28/2024
-ON SITE LOCATES INC.
DATED: 03/25/2024



REV	DATE	DESCRIPTION	BY	CHKD
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		

REV	DATE	DESCRIPTION	BY	CHKD
REV	XXXX-AM-00	REVISION / DRAWING ISSUE		

CONSULTANT

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

PARTIAL SITE PLAN NORTH

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		

SCALE	1:200	REVIEWED	N.W., R.R.
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DRAWING NO	REVISION
A-0.06A	3

PARKING SCHEDULE NORTH LOT	
Description	Type Mark
ACCESSIBLE SPACES	PMSRB
ACCESSIBLE SPACES: 13	
PARKING SPACE	PMSRB
PARKING SPACE: 8	
TOTAL NUMBER OF SPACES: 21	

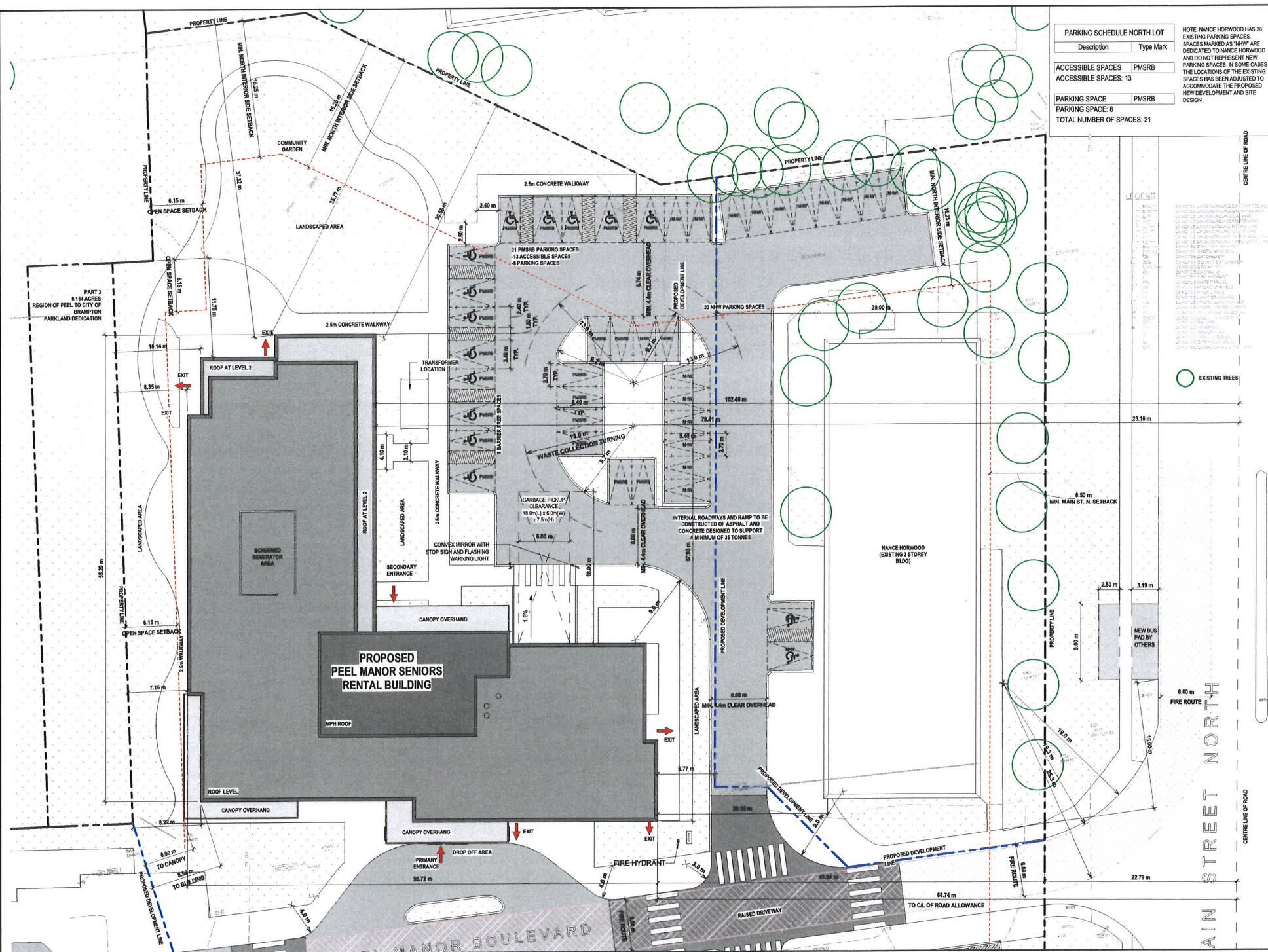
NOTE: NANCE HORWOOD HAS 20 EXISTING PARKING SPACES. SPACES MARKED AS "NHW" ARE DEDICATED TO NANCE HORWOOD AND DO NOT REPRESENT NEW PARKING SPACES. IN SOME CASES THE LOCATIONS OF THE EXISTING SPACES HAS BEEN ADJUSTED TO ACCOMMODATE THE PROPOSED NEW DEVELOPMENT AND SITE DESIGN.

LEGEND

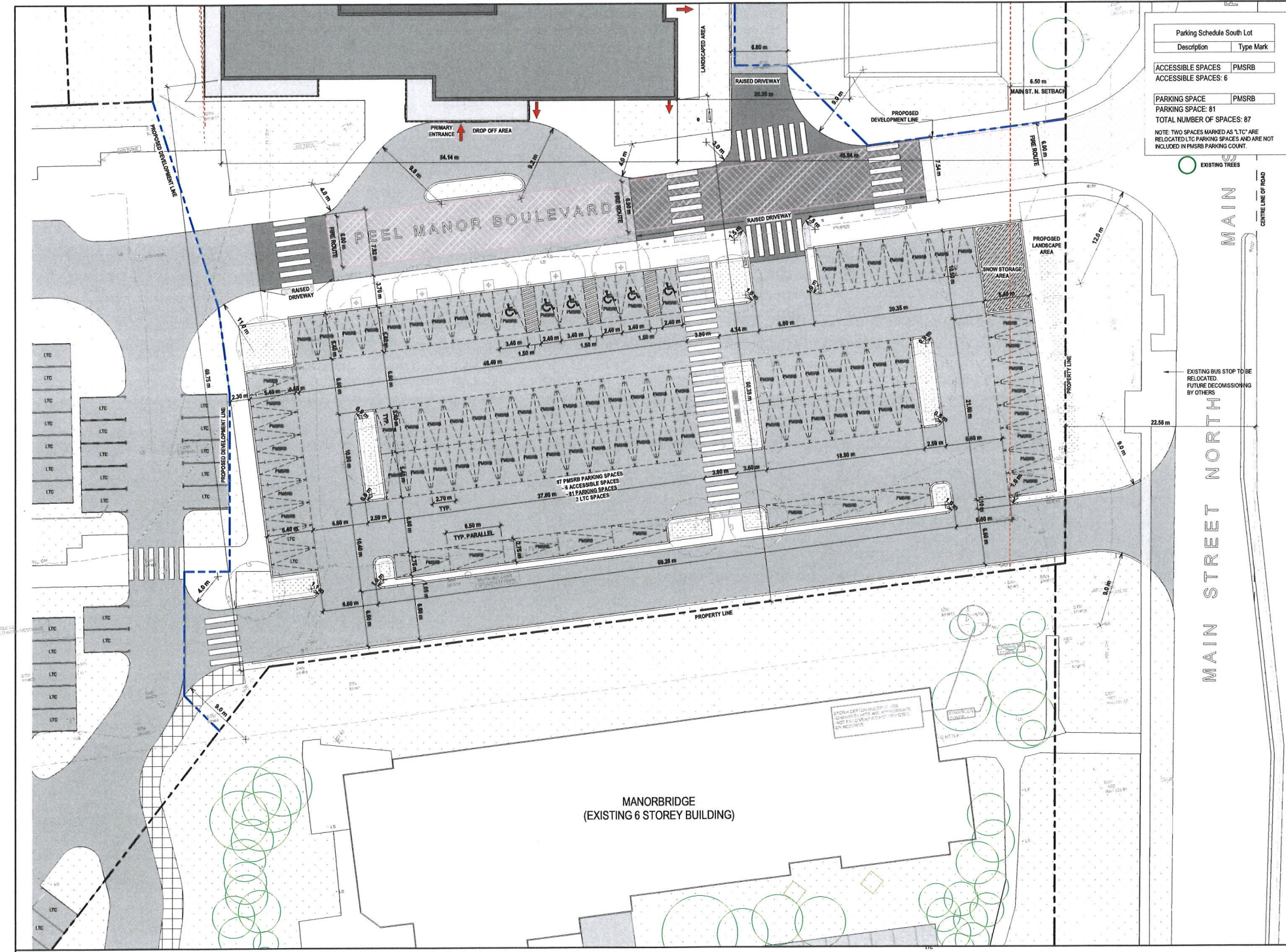
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- 1.00' - 1:25' (1:25)
- 1.00' - 1:50' (1:50)
- 1.00' - 1:75' (1:75)
- 1.00' - 1:100' (1:100)
- 1.00' - 1:150' (1:150)
- 1.00' - 1:200' (1:200)
- 1.00' - 1:250' (1:250)
- 1.00' - 1:300' (1:300)
- 1.00' - 1:350' (1:350)
- 1.00' - 1:400' (1:400)
- 1.00' - 1:450' (1:450)
- 1.00' - 1:500' (1:500)
- 1.00' - 1:550' (1:550)
- 1.00' - 1:600' (1:600)
- 1.00' - 1:650' (1:650)
- 1.00' - 1:700' (1:700)
- 1.00' - 1:750' (1:750)
- 1.00' - 1:800' (1:800)
- 1.00' - 1:850' (1:850)
- 1.00' - 1:900' (1:900)
- 1.00' - 1:950' (1:950)
- 1.00' - 2:00' (1:200)
- 1.00' - 2:25' (1:225)
- 1.00' - 2:50' (1:250)
- 1.00' - 3:00' (1:300)
- 1.00' - 3:50' (1:375)
- 1.00' - 4:00' (1:400)
- 1.00' - 4:50' (1:475)
- 1.00' - 5:00' (1:500)
- 1.00' - 5:50' (1:575)
- 1.00' - 6:00' (1:600)
- 1.00' - 6:50' (1:675)
- 1.00' - 7:00' (1:700)
- 1.00' - 7:50' (1:775)
- 1.00' - 8:00' (1:800)
- 1.00' - 8:50' (1:875)
- 1.00' - 9:00' (1:900)
- 1.00' - 9:50' (1:975)
- 1.00' - 10:00' (1:1000)
- 1.00' - 10:50' (1:1075)
- 1.00' - 11:00' (1:1100)
- 1.00' - 11:50' (1:1175)
- 1.00' - 12:00' (1:1200)
- 1.00' - 12:50' (1:1275)
- 1.00' - 13:00' (1:1300)
- 1.00' - 13:50' (1:1375)
- 1.00' - 14:00' (1:1400)
- 1.00' - 14:50' (1:1475)
- 1.00' - 15:00' (1:1500)
- 1.00' - 15:50' (1:1575)
- 1.00' - 16:00' (1:1600)
- 1.00' - 16:50' (1:1675)
- 1.00' - 17:00' (1:1700)
- 1.00' - 17:50' (1:1775)
- 1.00' - 18:00' (1:1800)
- 1.00' - 18:50' (1:1875)
- 1.00' - 19:00' (1:1900)
- 1.00' - 19:50' (1:1975)
- 1.00' - 20:00' (1:2000)
- 1.00' - 20:50' (1:2075)
- 1.00' - 21:00' (1:2100)
- 1.00' - 21:50' (1:2175)
- 1.00' - 22:00' (1:2200)
- 1.00' - 22:50' (1:2275)
- 1.00' - 23:00' (1:2300)
- 1.00' - 23:50' (1:2375)
- 1.00' - 24:00' (1:2400)
- 1.00' - 24:50' (1:2475)
- 1.00' - 25:00' (1:2500)
- 1.00' - 25:50' (1:2575)
- 1.00' - 26:00' (1:2600)
- 1.00' - 26:50' (1:2675)
- 1.00' - 27:00' (1:2700)
- 1.00' - 27:50' (1:2775)
- 1.00' - 28:00' (1:2800)
- 1.00' - 28:50' (1:2875)
- 1.00' - 29:00' (1:2900)
- 1.00' - 29:50' (1:2975)
- 1.00' - 30:00' (1:3000)
- 1.00' - 30:50' (1:3075)
- 1.00' - 31:00' (1:3100)
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- 1.00' - 40:00' (1:4000)
- 1.00' - 40:50' (1:4075)
- 1.00' - 41:00' (1:4100)
- 1.00' - 41:50' (1:4175)
- 1.00' - 42:00' (1:4200)
- 1.00' - 42:50' (1:4275)
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- 1.00' - 47:50' (1:4775)
- 1.00' - 48:00' (1:4800)
- 1.00' - 48:50' (1:4875)
- 1.00' - 49:00' (1:4900)
- 1.00' - 49:50' (1:4975)
- 1.00' - 50:00' (1:5000)



EXISTING TREES



1 SITE PLAN A
A-0.06A SCALE: 1:200



Parking Schedule South Lot	
Description	Type Mark
ACCESSIBLE SPACES	PMSRB
ACCESSIBLE SPACES:	6
PARKING SPACE	PMSRB
PARKING SPACE:	81
TOTAL NUMBER OF SPACES:	87
NOTE: TWO SPACES MARKED AS 'LTC' ARE RELOCATED LTC PARKING SPACES AND ARE NOT INCLUDED IN PMSRB PARKING COUNT.	

kasian

Kasian Architecture
Ontario Incorporated

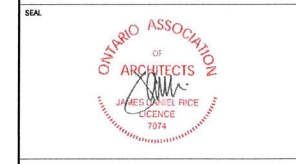
85 Huron Avenue, Suite 300
Toronto, ON Canada M5K 3E3
T 416 583 3600 F 416 583 3610
www.kasian.com



REV.	DATE	DESCRIPTION	BY	CHECKED
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-05-03	SPA SUBMISSION		
REV.	TYTYM/ADQ	REVISION/DRAWING ISSUE		REVIEW

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

PARTIAL SITE PLAN SOUTH

DRAWING ISSUE

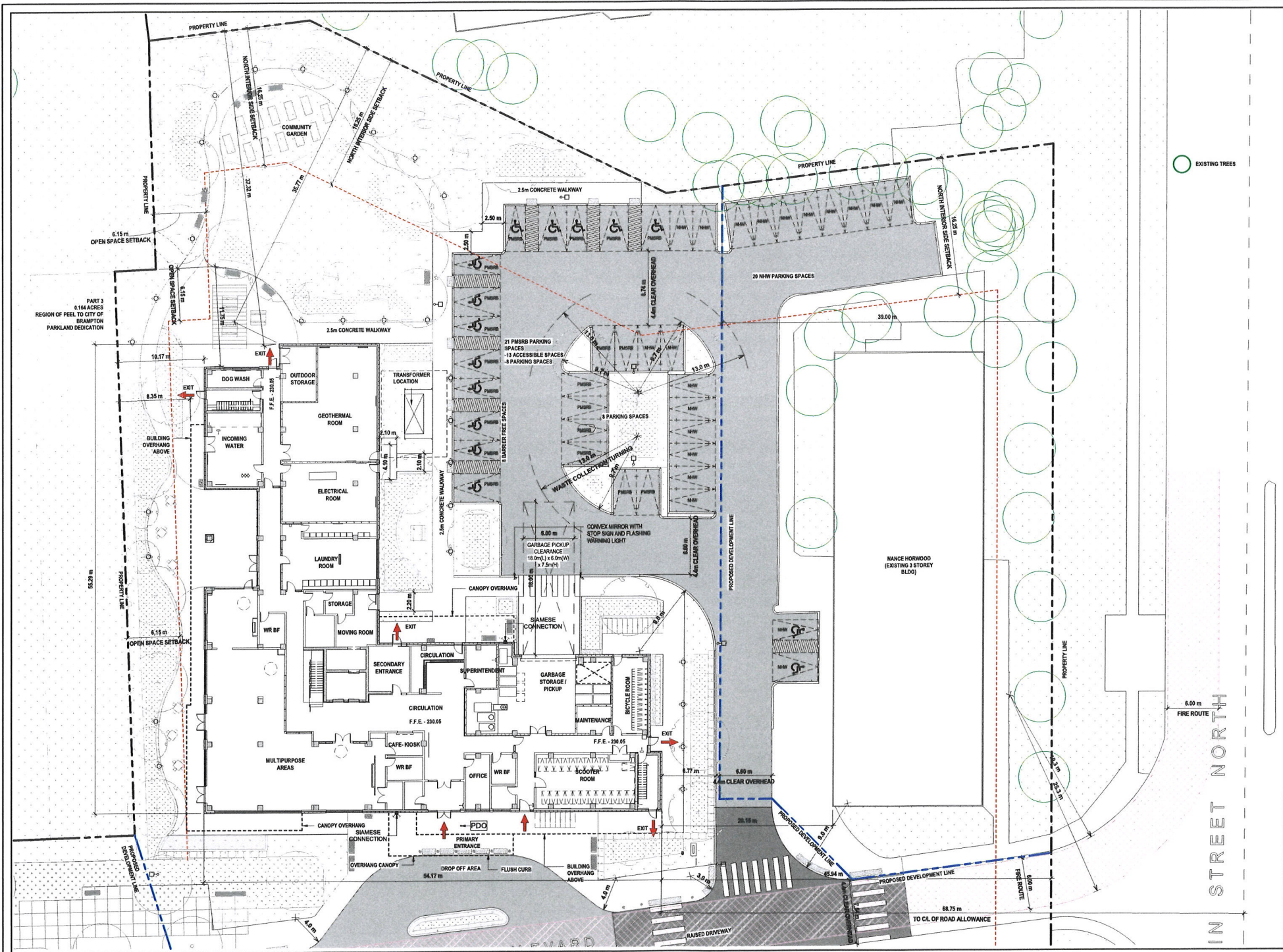
SPA SUBMISSION

PROJECT NO.	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:200	REVIEWED	N.W., R.R.	REVISION	
DRAWING NO.	A-0.06B				3

1 SITE PLAN B
A-0.06B SCALE: 1:200



EXISTING TREES



1 SITE PLAN @ GROUND FLOOR
SCALE: 1:200

REV	DATE	DESCRIPTION	BY	CHKD	APP'D
3	2024-09-06	SPA SUBMISSION			
2	2024-07-03	SPA ZONING CHECK			
1	2024-05-07	SPA SUBMISSION			
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE			REVIEW

CONSULTANT

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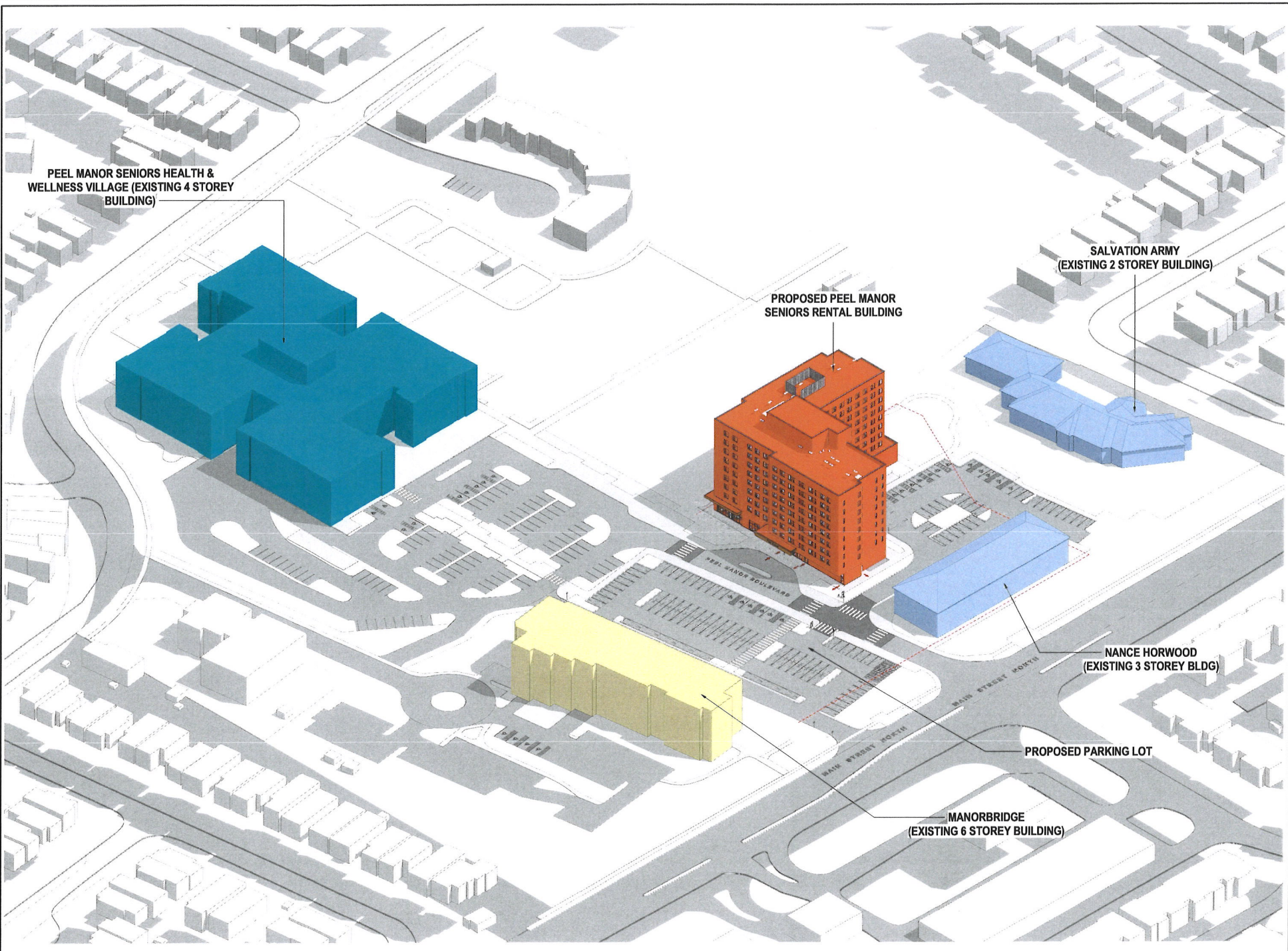
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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
SITE PLAN AT GRADE

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:200	REVIEWED	N.W., R.R.		
DRAWING NO	A-0.07	REVISION			3



REV.	DATE	DESCRIPTION	BY	CHKD.
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		
REV.	YYYY/MM/DD	REVISION / DRAWING ISSUE		REVIEW

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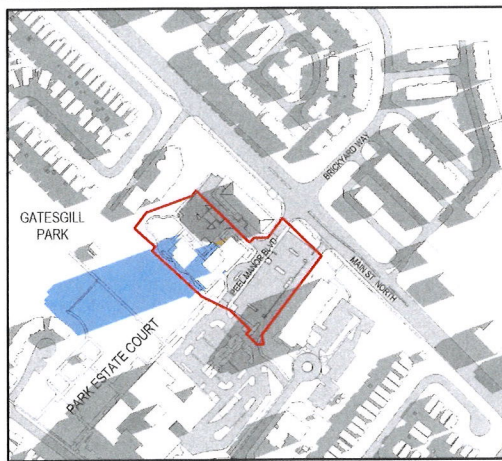
PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
MASSING DIAGRAM

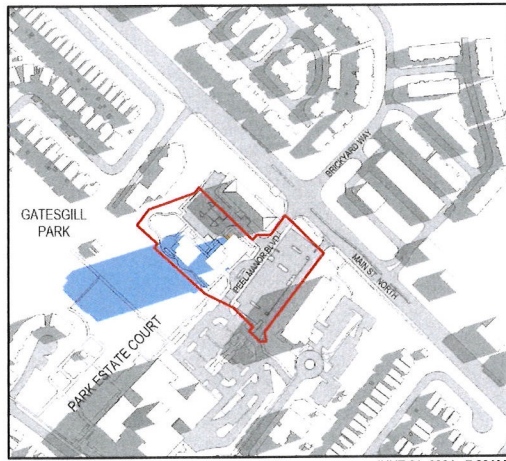
DRAWING ISSUE
SPA SUBMISSION

PROJECT NO	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
SCALE		REVIEWED	N.W., R.R.

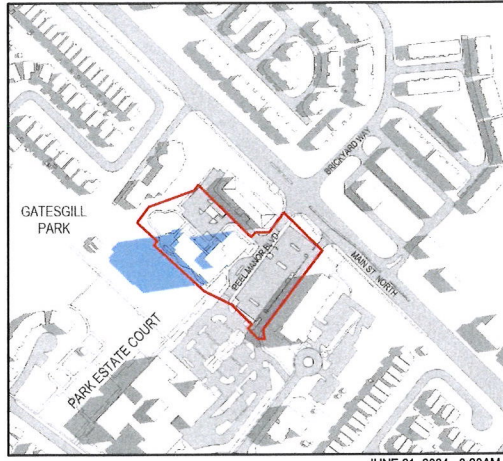
DRAWING NO **A-0.08** REVISION **3**



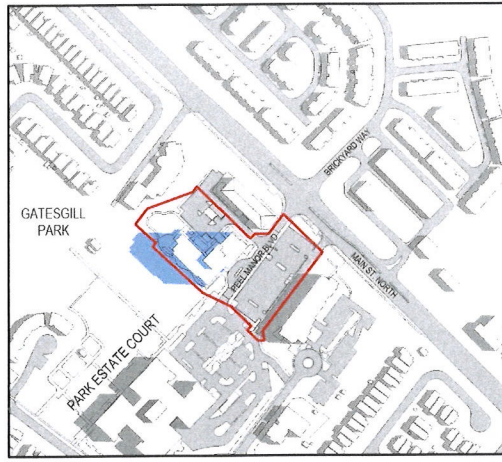
JUNE 21, 2024 - 7:07AM SUNRISE +1.5HRS



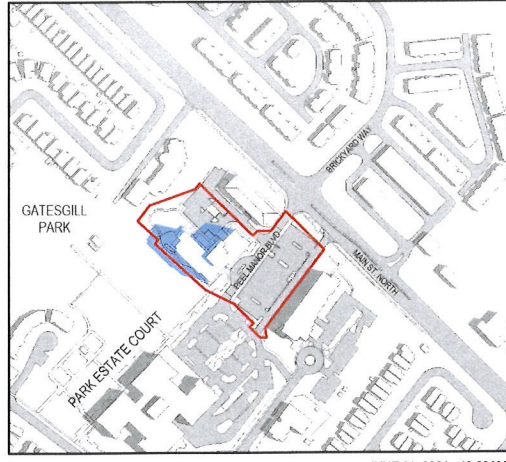
JUNE 21, 2024 - 7:20AM



JUNE 21, 2024 - 8:20AM



JUNE 21, 2024 - 9:20AM



JUNE 21, 2024 - 10:20AM



JUNE 21, 2024 - 11:20AM



JUNE 21, 2024 - 12:20PM



JUNE 21, 2024 - 1:20PM SOLAR NOON



JUNE 21, 2024 - 2:20PM

EXISTING CAST SHADOWS
 PROPOSED DEVELOPMENT CAST SHADOWS
 PROPOSED DEVELOPMENT OVERLAP CAST SHADOWS

DATE OF STUDY: JUNE 21, 2024 DST
 SUNRISE: 5:37AM +1.5HRS: 7:07AM
 SUNSET: 9:04PM -1.5HRS: 7:34PM
 SOLAR NOON: 1:20PM

LINE OF DEVELOPMENT

0m 50m 100m 150m 200m 250m
 SCALE 1:2500



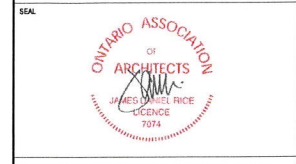
Kasian Architecture
 Ontario Incorporated
 85 Hanna Avenue, Suite 300
 Toronto, ON Canada M8K 3S3
 T: 416 593 3600 F: 416 593 3610
 www.kasian.com



REV	DATE	DESCRIPTION	BY	CHKD
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-21	SPA SUBMISSION		
REV	DATE	DESCRIPTION	BY	CHKD
		REVISION / DRAWING ISSUE		

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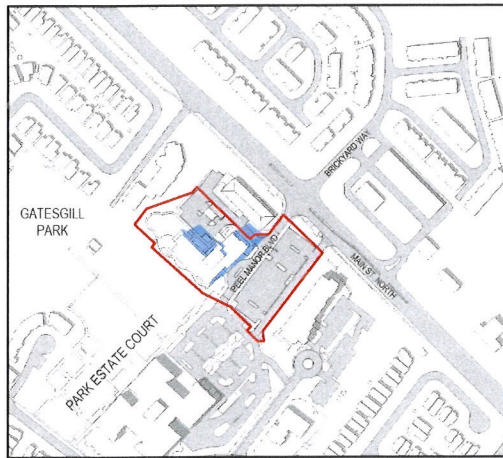
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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
SHADOW STUDY JUNE 21

DRAWING ISSUE
SPA SUBMISSION

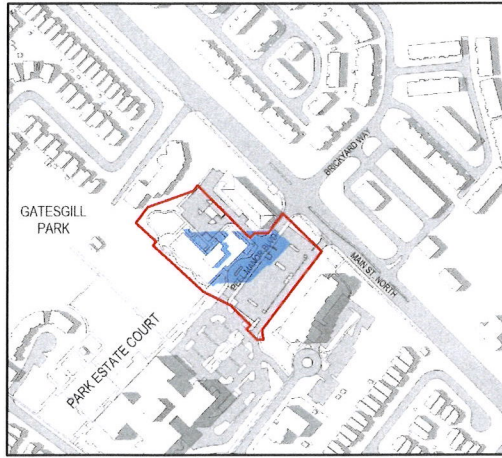
PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE		REVIEWED	N.W., R.R.	REVISION	
DRAWING NO	A-0.09				3



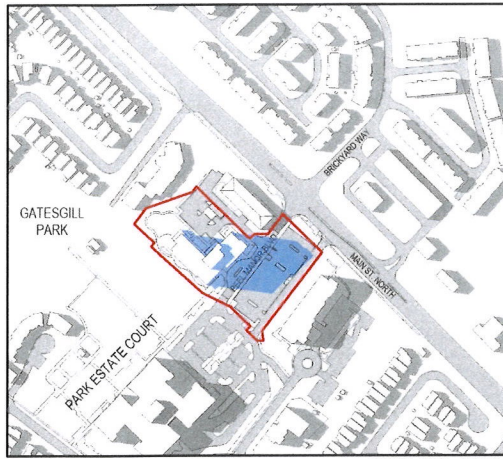
JUNE 21, 2024 - 3:20PM



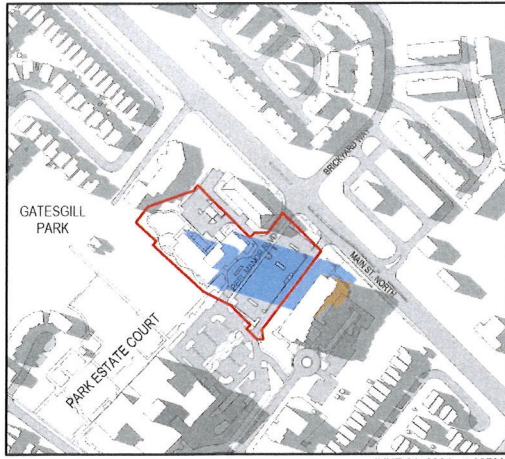
JUNE 21, 2024 - 4:20PM



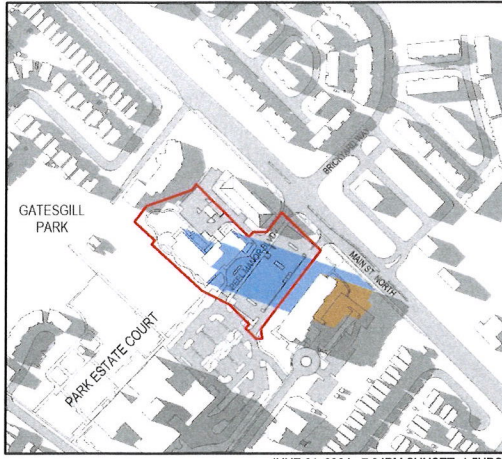
JUNE 21, 2024 - 5:20PM



JUNE 21, 2024 - 6:20PM



JUNE 21, 2024 - 7:20PM



JUNE 21, 2024 - 7:34PM SUNSET -1.5HRS

EXISTING CAST SHADOWS
 PROPOSED DEVELOPMENT CAST SHADOWS
 PROPOSED DEVELOPMENT OVERLAP CAST SHADOWS

DATE OF STUDY: JUNE 21, 2024 DST
 SUNRISE: 5:37AM +1.5HRS: 7:07AM
 SUNSET: 9:04PM -1.5HRS: 7:34PM
 SOLAR NOON: 1:20PM

LINE OF DEVELOPMENT

0m 50m 100m 150m 200m 250m
 SCALE 1:2500



Kasian Architecture
 Ontario Incorporated
 85 Huron Avenue, Suite 300
 Toronto, ON Canada M5K 3S3
 T: 416 593 3000 F: 416 593 3010
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REV	YYYY-MM-DD	REVISION/DRAWING ISSUE	REVIEW
3	2024-09-06	SPA SUBMISSION	
2	2024-07-03	SPA ZONING CHECK	
1	2024-05-07	SPA SUBMISSION	

CONSULTANT

PERMIT STAMP



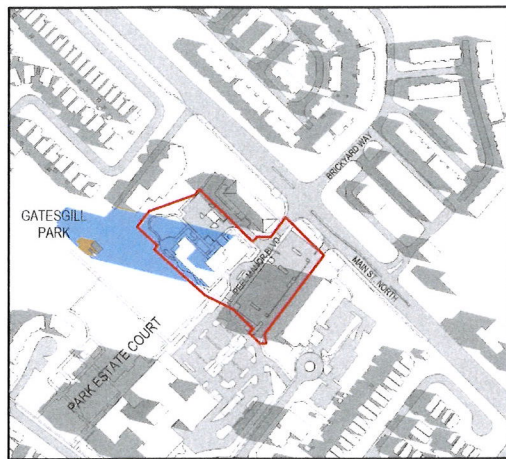
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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

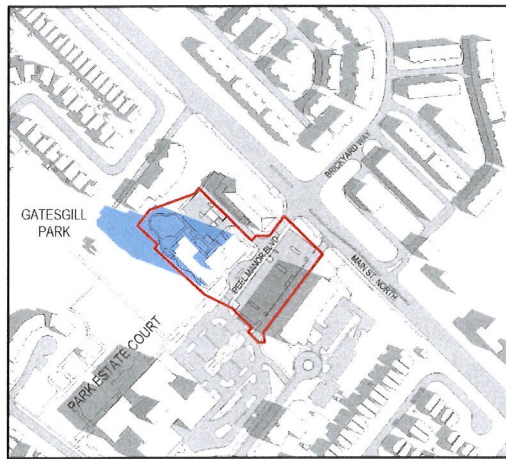
DRAWING TITLE
SHADOW STUDY JUNE 21

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
DRAWING NO	SCALE	REVIEWED	REVISION
A-0.10		N.W., R.R.	3



SEPTEMBER 21, 2024 - 8:35AM SUNRISE +1.5HRS



SEPTEMBER 21, 2024 - 9:11AM



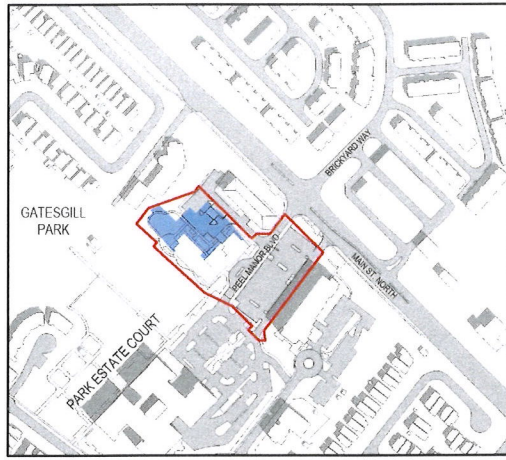
SEPTEMBER 21, 2024 - 10:11AM

EXISTING CAST SHADOWS
 PROPOSED DEVELOPMENT CAST SHADOWS
 PROPOSED DEVELOPMENT OVERLAP CAST SHADOWS

DATE OF STUDY: SEPTEMBER 21, 2024 DST
 SUNRISE: 7:05AM +1.5HRS: 8:35AM
 SUNSET: 7:17PM -1.5HRS: 5:47PM
 SOLAR NOON: 1:11PM

LINE OF DEVELOPMENT

0m 50m 100m 150m 200m 250m
 SCALE 1:2500



SEPTEMBER 21, 2024 - 11:11AM



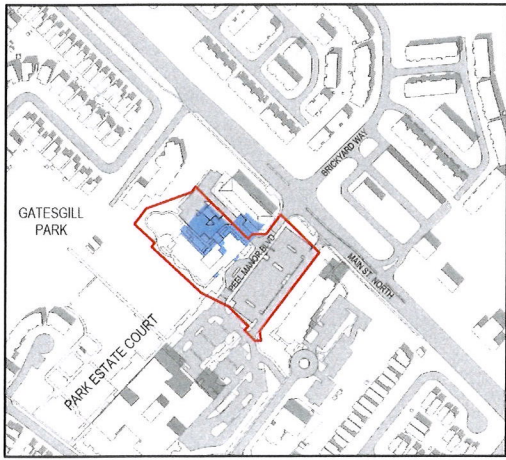
SEPTEMBER 21, 2024 - 12:11PM



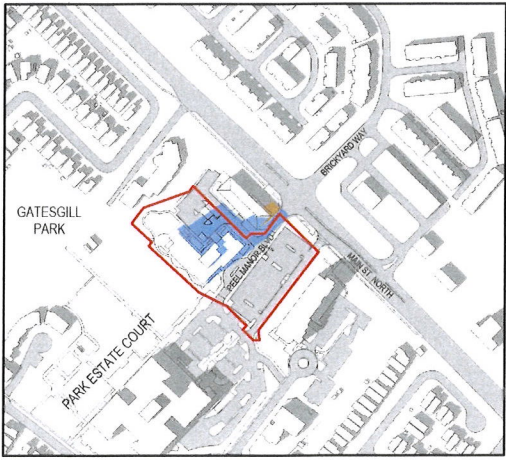
SEPTEMBER 21, 2024 - 1:11PM SOLAR NOON



SEPTEMBER 21, 2024 - 2:11PM



SEPTEMBER 21, 2024 - 3:11PM



SEPTEMBER 21, 2024 - 4:11PM



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3	2024-09-06	SPA SUBMISSION	
2	2024-07-03	SPA ZONING CHECK	
1	2024-09-03	SPA SUBMISSION	
REV	YYYYMMDD	REVISION/DRAWING ISSUE	REVIEW

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

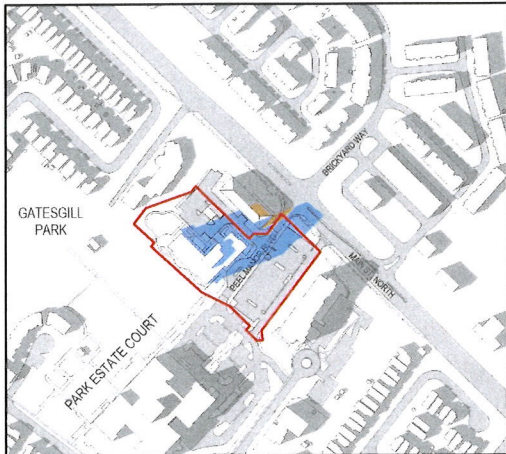
SHADOW STUDY SEPTEMBER 21

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
SCALE	REVIEWED	N.W., R.R.	

DRAWING NO	REVISION
A-0.11	3



SEPTEMBER 21, 2024 - 5:11PM



SEPTEMBER 21, 2024 - 5:47PM SUNRISE -1.5HRS

EXISTING CAST SHADOWS
 PROPOSED DEVELOPMENT CAST SHADOWS
 PROPOSED DEVELOPMENT OVERLAP CAST SHADOWS

DATE OF STUDY: SEPTEMBER 21, 2024 DST
 SUNRISE: 7:05AM +1.5HRS: 8:35AM
 SUNSET: 7:17PM -1.5HRS: 5:47PM
 SOLAR NOON: 1:11PM

LINE OF DEVELOPMENT

0m 50m 100m 150m 200m 250m
 SCALE 1:2500



REV	DATE	DESCRIPTION	BY	CHK
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		
REV	YYYY-MM-DD	REVISION/DRAWING ISSUE		REVIEW

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SEAL



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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

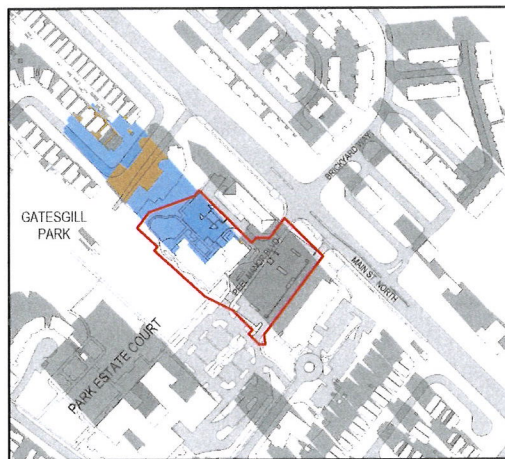
SHADOW STUDY SEPTEMBER 21

DRAWING ISSUE

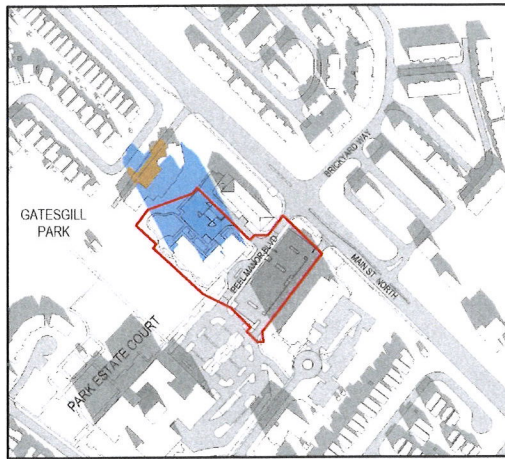
SPA SUBMISSION

PROJECT NO	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
	SCALE	REVIEWED	N.W., R.R.

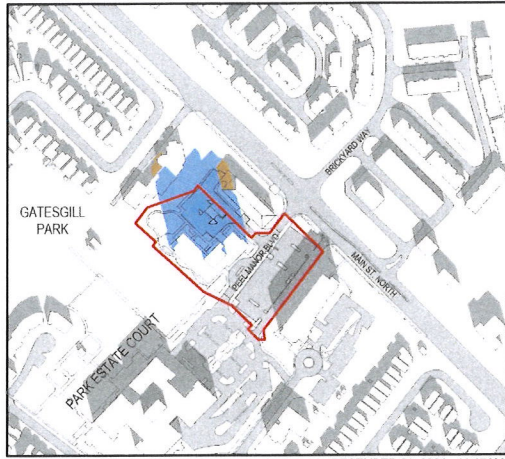
DRAWING NO	REVISION
A-0.12	3



DECEMBER 21, 2024 - 9:17AM SUNRISE +1.5HRS



DECEMBER 21, 2024 - 10:17AM



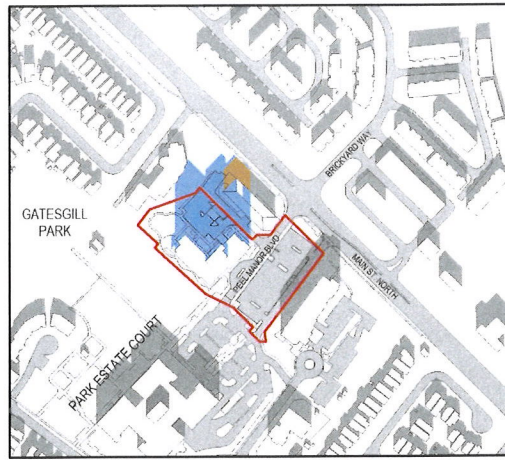
DECEMBER 21, 2024 - 11:17AM

EXISTING CAST SHADOWS
 PROPOSED DEVELOPMENT CAST SHADOWS
 PROPOSED DEVELOPMENT OVERLAP CAST SHADOWS

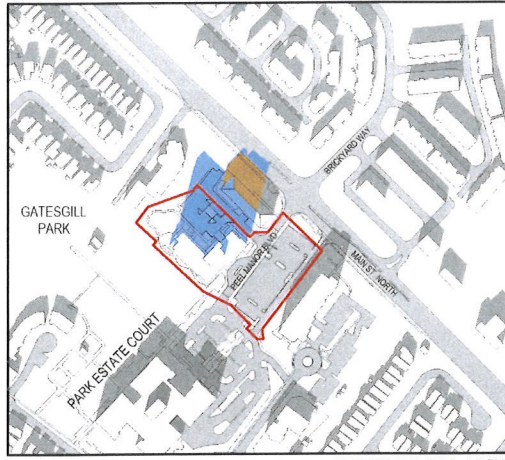
DATE OF STUDY: DECEMBER 21, 2024
 SUNRISE: 7:49AM +1.5HRS: 9:19AM
 SUNSET: 4:45PM -1.5HRS: 3:15PM
 SOLAR NOON: 12:17PM

LINE OF DEVELOPMENT

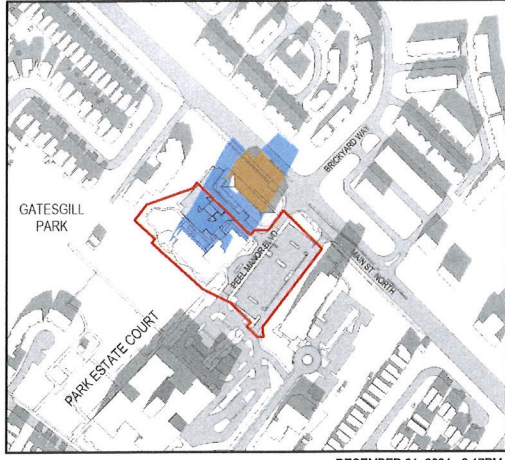
0m 50m 100m 150m 200m 250m
 SCALE 1:2500



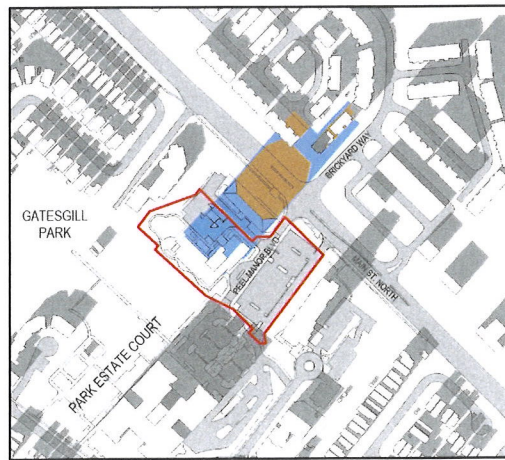
DECEMBER 21, 2024 - 12:17PM SOLAR NOON



DECEMBER 21, 2024 - 1:17PM



DECEMBER 21, 2024 - 2:17PM



DECEMBER 21, 2024 - 3:17PM SUNSET -1.5HRS



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REV	DATE	DESCRIPTION	BY	CHK
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE		REVIEW

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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

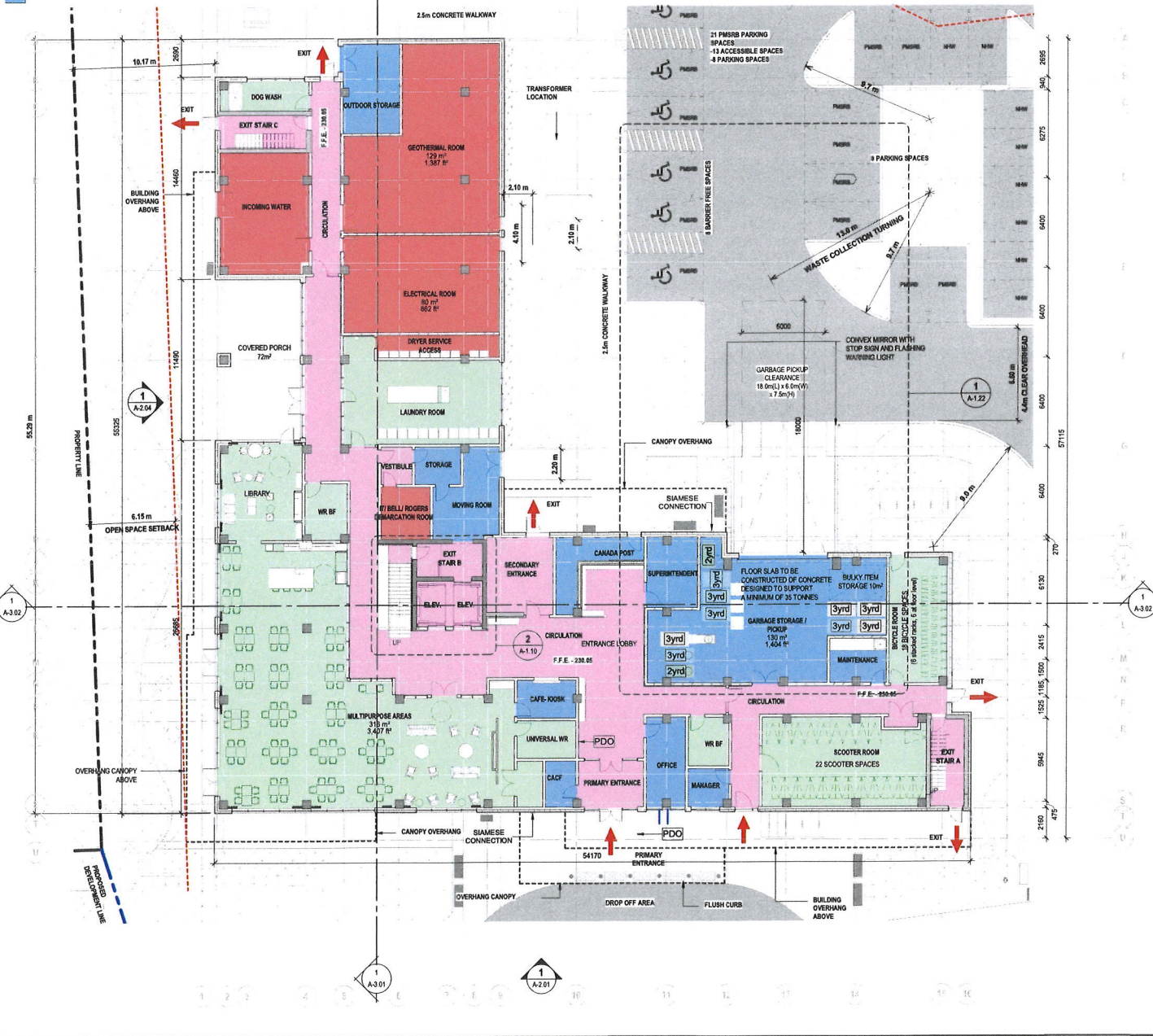
DRAWING TITLE
SHADOW STUDY DECEMBER 21

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE		REVIEWED	N.W., R.R.	REVISION	
DRAWING NO	A-0.13				3

DEPARTMENT OCCUPANCY

- AMENITIES
- CIRCULATION
- MEP
- SUPPORT/ SERVICE

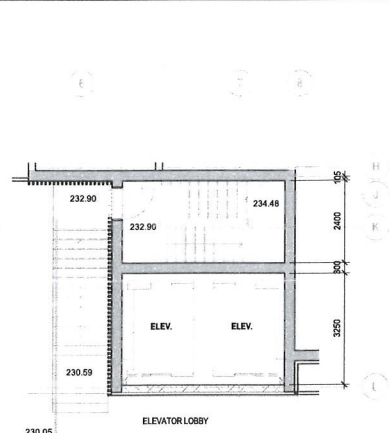


GROUND FLOOR ROOM SCHEDULE		
Name	Occupancy	Area
BICYCLE ROOM	AMENITIES	38.75 m ²
DOG WASH	AMENITIES	14.71 m ²
LAUNDRY ROOM	AMENITIES	74.48 m ²
MULTIPURPOSE AREAS	AMENITIES	316.49 m ²
SCOOTER ROOM	AMENITIES	74.53 m ²
STORAGE	AMENITIES	7.05 m ²
UNIVERSAL WR	AMENITIES	12.80 m ²
WR BF	AMENITIES	12.92 m ²
WR BF	AMENITIES	11.10 m ²
		562.83 m ²

CIRCULATION	CIRCULATION	234.08 m ²
CIRCULATION	CIRCULATION	29.92 m ²
CIRCULATION	CIRCULATION	48.68 m ²
ELEC. CLOSET	CIRCULATION	2.47 m ²
ELEV.	CIRCULATION	17.75 m ²
PRIMARY ENTRANCE	CIRCULATION	16.48 m ²
Room	CIRCULATION	13.72 m ²
SECONDARY ENTRANCE	CIRCULATION	28.51 m ²
STAIR A	CIRCULATION	17.39 m ²
STAIR C	CIRCULATION	17.26 m ²
VESTIBULE	CIRCULATION	6.94 m ²
		433.22 m ²

DRYER SERVICE ACCESS	MEP	15.91 m ²
ELECTRICAL ROOM	MEP	80.09 m ²
GEOHERMAL ROOM	MEP	128.90 m ²
INCOMING WATER	MEP	56.72 m ²
IT/ BELL/ ROGERS	MEP	14.62 m ²
DEMARICATION ROOM		296.23 m ²

CACF	SUPPORT/ SERVICE	7.90 m ²
CAFE- KIOSK	SUPPORT/ SERVICE	12.55 m ²
CANADA POST	SUPPORT/ SERVICE	17.75 m ²
GARBAGE STORAGE/ PICKUP	SUPPORT/ SERVICE	130.47 m ²
MAINTENANCE	SUPPORT/ SERVICE	13.97 m ²
MANAGER	SUPPORT/ SERVICE	8.53 m ²
MOVING ROOM	SUPPORT/ SERVICE	27.18 m ²
OFFICE	SUPPORT/ SERVICE	19.04 m ²
OUTDOOR STORAGE	SUPPORT/ SERVICE	28.42 m ²
STORAGE	SUPPORT/ SERVICE	10.11 m ²
SUPERINTENDENT	SUPPORT/ SERVICE	19.79 m ²
		235.69 m ²



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REV.	DATE	DESCRIPTION	BY	CHKD.
1	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
3	2024-05-03	SPA SUBMISSION		

CONSULTANT	REVISION/DRAWING ISSUE	REVIEW

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
GROUND LEVEL FLOOR PLAN

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO.	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
SCALE	REVIEWED	N.W.	R.R.
As Indicated			

DRAWING NO.	REVISION
A-1.10	3

1
A-1.10 GROUND FLOOR PLAN
SCALE: 1:150

2
A-1.10 EXIT STAIR B MID LANDING
SCALE: 1:75

DEPARTMENT OCCUPANCY

- 1BD BF APARTMENT
- 2B APARTMENT
- APARTMENT
- BF STUDIO APARTMENT
- CIRCULATION
- MEP
- STUDIO APARTMENT
- SUPPORT/ SERVICE



LEVEL 2 ROOM SCHEDULE		
Name	Occupancy	Area
1 BED BF	1BD BF APARTMENT	59.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	62.56 m ²
1 BED BF	1BD BF APARTMENT	59.75 m ²
		415.60 m ²
2 BED BF	2B APARTMENT	81.84 m ²
		81.84 m ²
1 BED	APARTMENT	52.51 m ²
1 BED	APARTMENT	51.32 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	58.24 m ²
1 BED	APARTMENT	52.59 m ²
1 BED	APARTMENT	51.33 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	53.45 m ²
1 BED	APARTMENT	51.73 m ²
		525.26 m ²
BF STUDIO A	BF STUDIO APARTMENT	45.06 m ²
BF STUDIO B	BF STUDIO APARTMENT	56.32 m ²
		101.37 m ²
CIRCULATION	CIRCULATION	247.37 m ²
ELEV.	CIRCULATION	17.75 m ²
STAIR A	CIRCULATION	14.51 m ²
STAIR B	CIRCULATION	13.72 m ²
STAIR C	CIRCULATION	7.97 m ²
CORRIDOR	CIRCULATION	14.51 m ²
		315.83 m ²
ELEC. CLOSET	MEP	2.47 m ²
ELEC. CLOSET	MEP	4.39 m ²
STORAGE	MEP	4.25 m ²
		11.11 m ²
STUDIO	STUDIO APARTMENT	38.52 m ²
STUDIO	STUDIO APARTMENT	38.52 m ²
STUDIO	STUDIO APARTMENT	42.42 m ²
		119.46 m ²
CHUTE ROOM	SUPPORT/ SERVICE	5.69 m ²
COMM./ELEC.	SUPPORT/ SERVICE	11.84 m ²
		17.53 m ²



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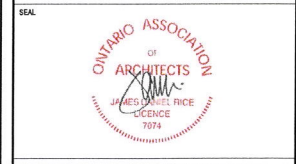
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REV	DATE	DESCRIPTION	BY	CHKD
3	2024-09-06	SFA SUBMISSION		
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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
LEVEL 2 PLAN

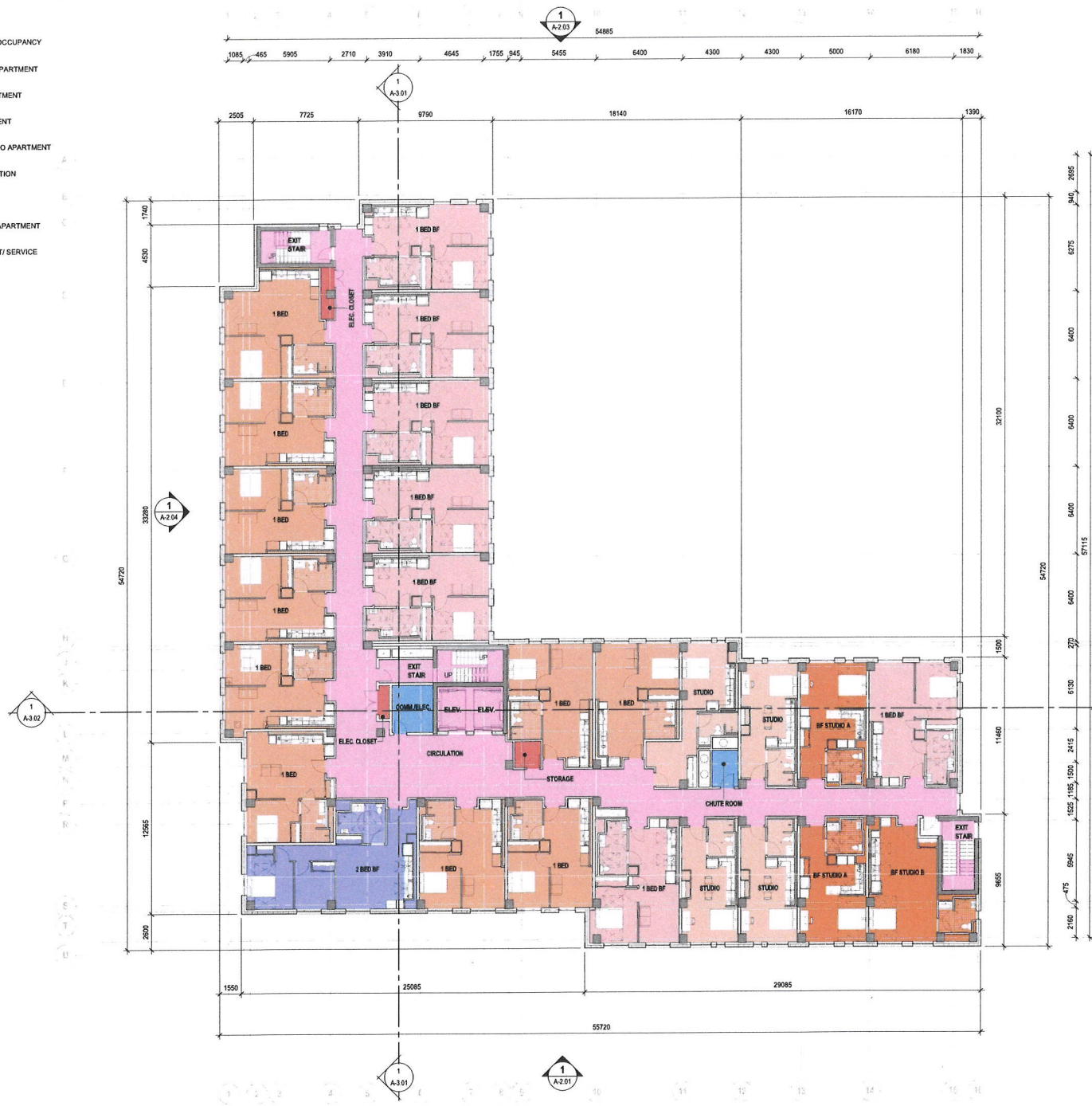
DRAWING ISSUE
SPA SUBMISSION

PROJECT NO.	260038	SCALE	1:150	DATE	2024-09-06	DRAWN	D.S.
DRAWING NO.	A-1.11	REVIEWED	N.W., R.R.	REVISION			

1 LEVEL 02 FLOOR PLAN
SCALE: 1:150

DEPARTMENT OCCUPANCY

- 1BD BF APARTMENT
- 2B APARTMENT
- APARTMENT
- BF STUDIO APARTMENT
- CIRCULATION
- MEP
- STUDIO APARTMENT
- SUPPORT/ SERVICE



TYPICAL LEVEL ROOM SCHEDULE

Name	Occupancy	Area
1 BED BF	1BD BF APARTMENT	59.43 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	58.46 m ²
1 BED BF	1BD BF APARTMENT	62.29 m ²
1 BED BF	1BD BF APARTMENT	59.75 m ²
		415.31 m ²
2 BED BF	2B APARTMENT	81.84 m ²
		81.84 m ²
1 BED	APARTMENT	52.51 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	58.24 m ²
1 BED	APARTMENT	52.18 m ²
1 BED	APARTMENT	51.73 m ²
1 BED	APARTMENT	51.33 m ²
1 BED	APARTMENT	51.36 m ²
1 BED	APARTMENT	53.45 m ²
		524.88 m ²
BF STUDIO A	BF STUDIO APARTMENT	45.06 m ²
BF STUDIO A	BF STUDIO APARTMENT	45.06 m ²
BF STUDIO B	BF STUDIO APARTMENT	56.40 m ²
		146.52 m ²
CIRCULATION	CIRCULATION	249.92 m ²
STAIR A	CIRCULATION	14.51 m ²
STAIR B	CIRCULATION	13.72 m ²
STAIR C	CIRCULATION	7.97 m ²
STAIR C	CIRCULATION	14.51 m ²
		300.63 m ²
ELEC. CLOSET	MEP	2.47 m ²
ELEC. CLOSET	MEP	4.39 m ²
STORAGE	MEP	4.25 m ²
		11.11 m ²
STUDIO	STUDIO APARTMENT	42.42 m ²
STUDIO	STUDIO APARTMENT	38.52 m ²
STUDIO	STUDIO APARTMENT	38.52 m ²
STUDIO	STUDIO APARTMENT	38.61 m ²
		158.08 m ²
CHUTE ROOM	SUPPORT/ SERVICE	5.82 m ²
COMM./ELEC.	SUPPORT/ SERVICE	11.84 m ²
		17.66 m ²



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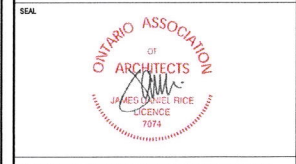
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REV	DATE	DESCRIPTION	BY	CHK
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE		REVIEW

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

LEVEL 3-9 FLOOR PLAN

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:150	REVIEWED	N.W., R.R.	REVISION	
DRAWING NO	A-1.12				3

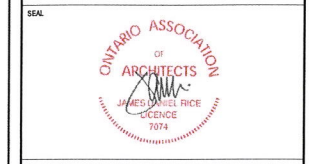
1 LEVEL_03-09 FLOOR PLAN
SCALE: 1:150



3	2024-08-04	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-05-03	SPA SUBMISSION		
REV.	TTY:AM/DO	REVISION/DRAWING ISSUE		REVIEW

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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

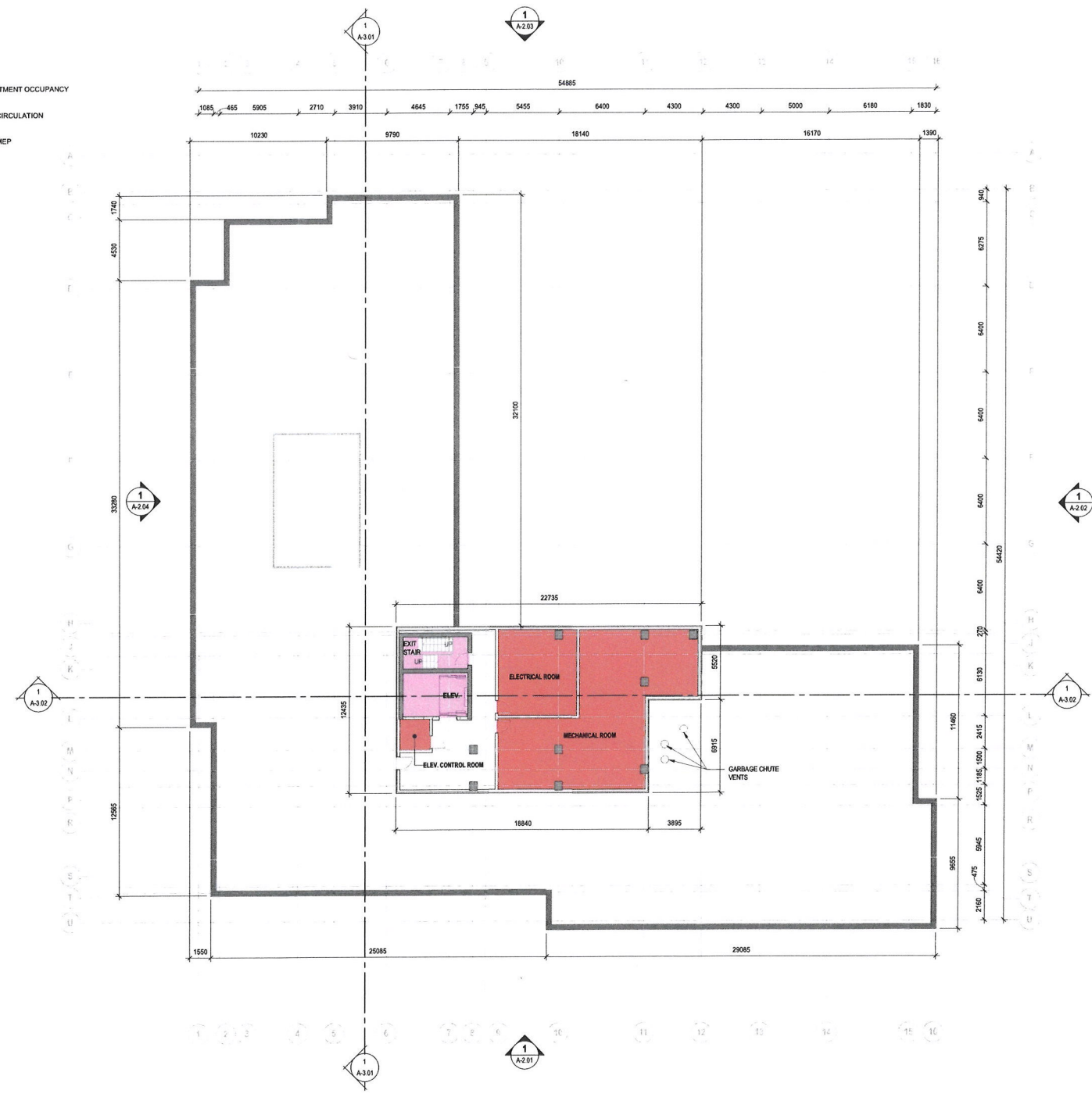
DRAWING TITLE
MPH FLOOR PLAN

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO.	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:150	REVIEWED	N.W., R.R.	REVISION	
DRAWING NO.	A-1.13				3

DEPARTMENT OCCUPANCY

- CIRCULATION
- MEP



1 MPH/ROOF FLOOR PLAN
SCALE: 1:150

REV	DATE	DESCRIPTION	BY	CHKD
3	2024-02-04	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-05-03	SPA SUBMISSION		
REV	YYYYMMDD	REVISION/DRAWING ISSUE		REVIEW

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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

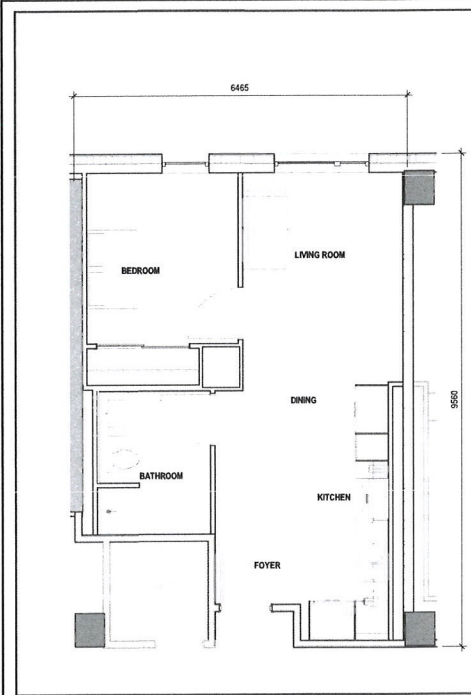
DRAWING TITLE

UNIT PLANS

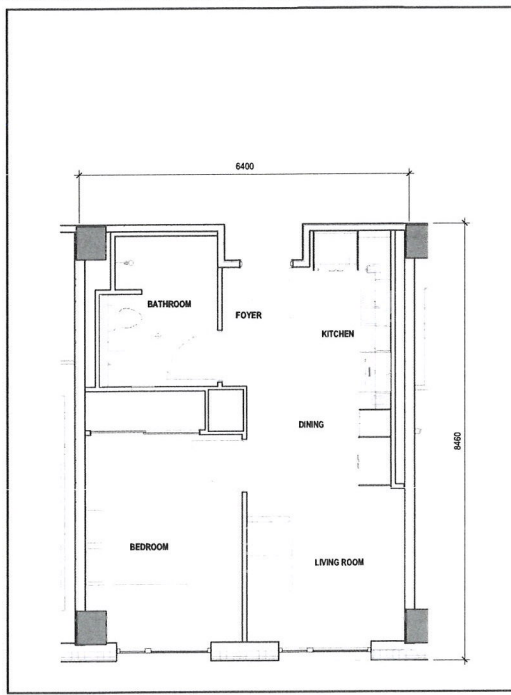
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SPA SUBMISSION

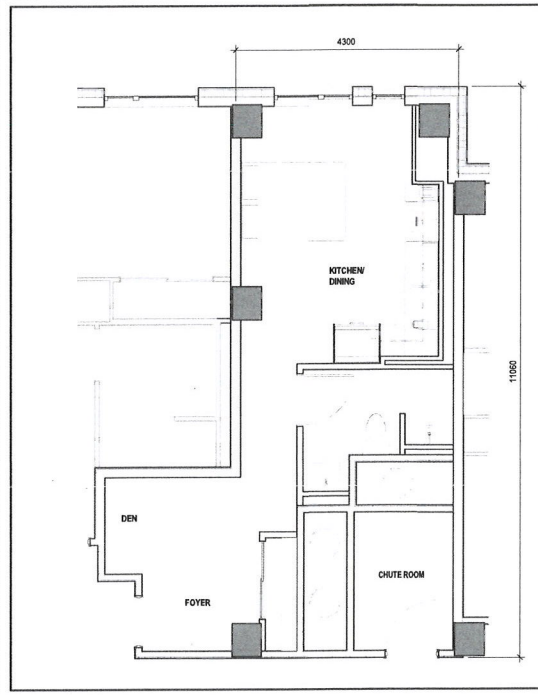
PROJECT NO.	280038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:50	REVIEWED	N.W., R.R.		
DRAWING NO.	A-1.20	REVISION			



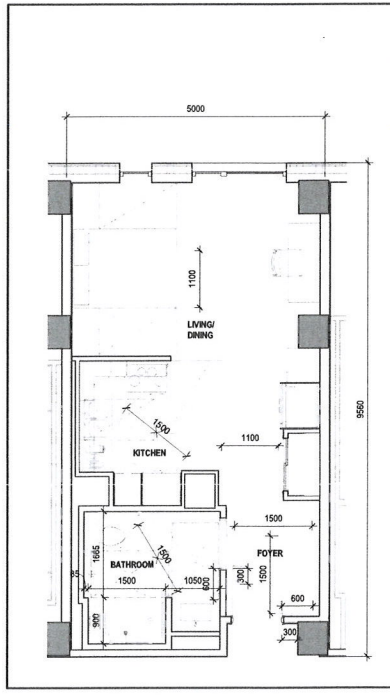
8 1 BED UNIT B
A-1.20 SCALE: 1:50



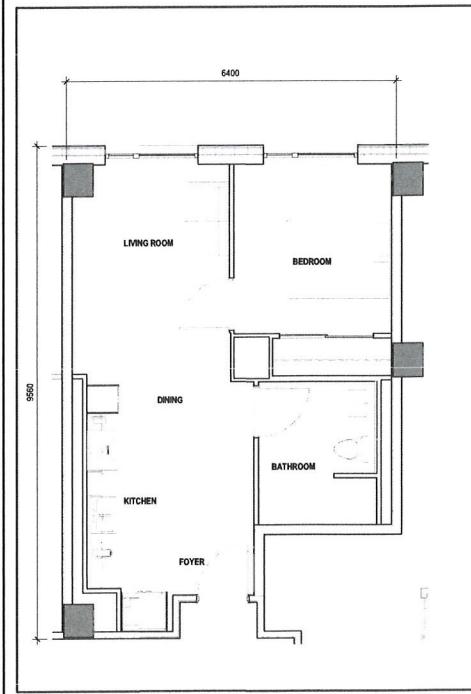
6 1 BED UNIT TYP.
A-1.20 SCALE: 1:50



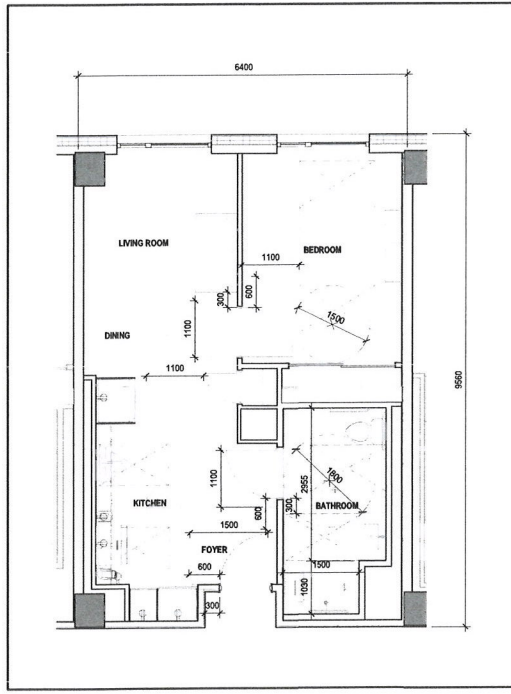
4 STUDIO UNIT B
A-1.20 SCALE: 1:50



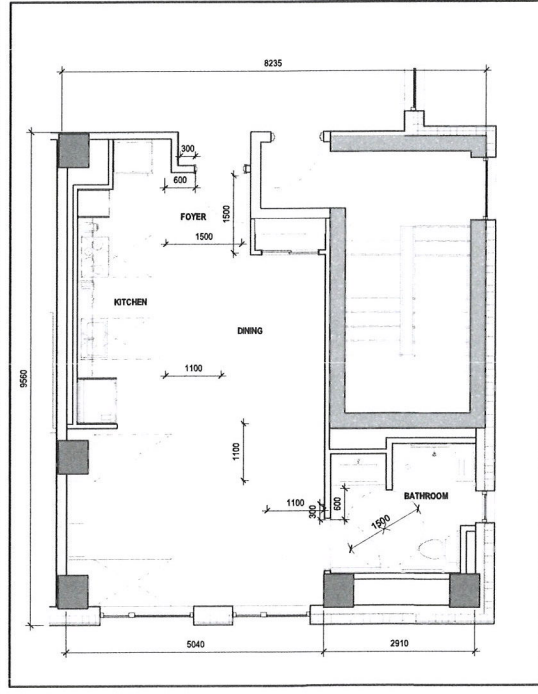
2 BF STUDIO TYP.
A-1.20 SCALE: 1:50



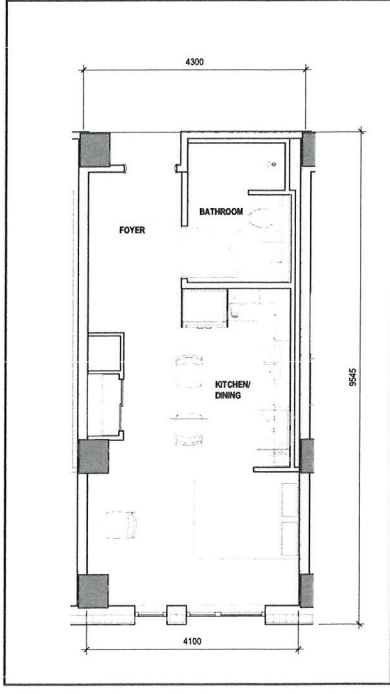
7 1 BED UNIT A
A-1.20 SCALE: 1:50



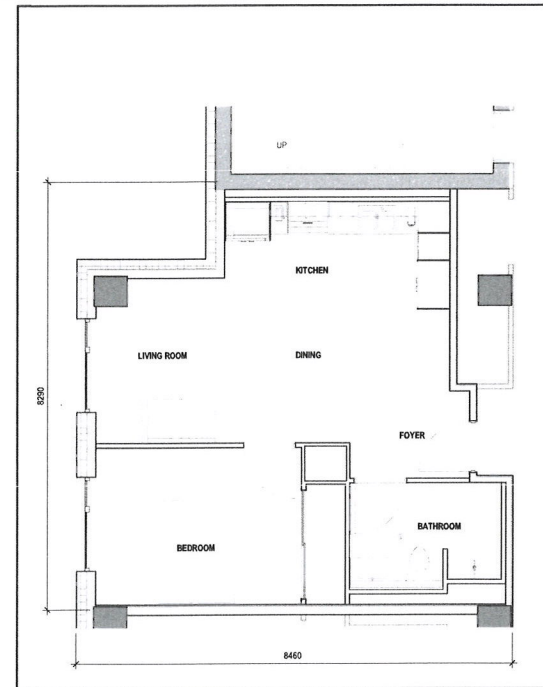
5 BF 1 BED UNIT TYP.
A-1.20 SCALE: 1:50



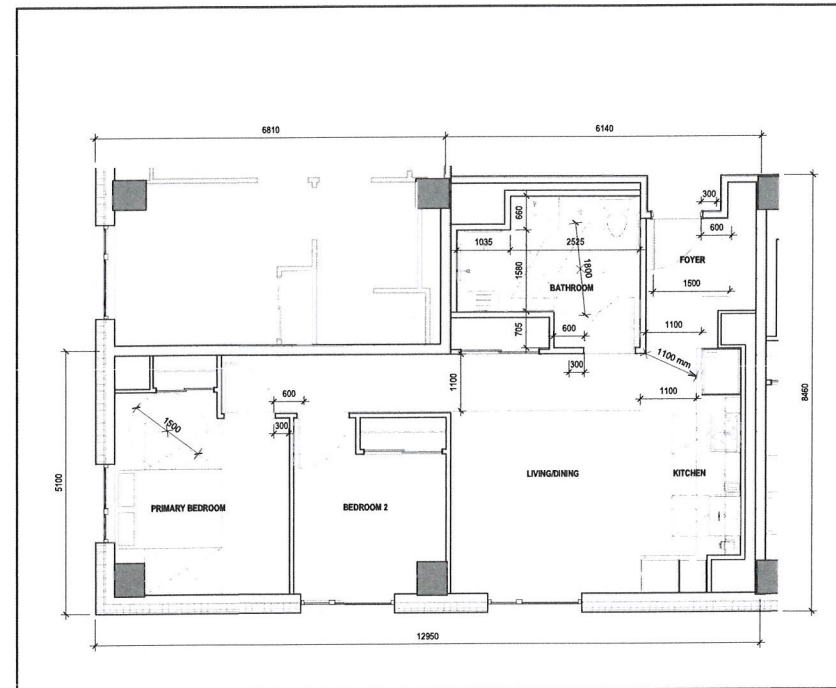
3 BF STUDIO UNIT
A-1.20 SCALE: 1:50



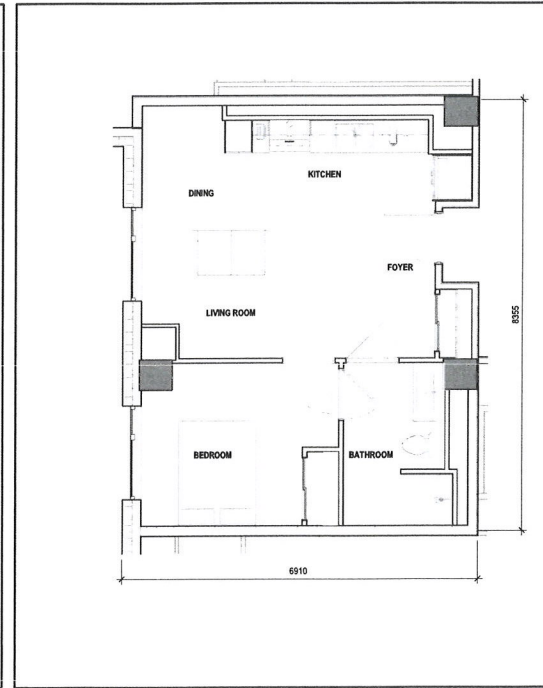
1 STUDIO UNIT TYP.
A-1.20 SCALE: 1:50



2
A-1.21
1 BED UNIT D
SCALE: 1:50



3
A-1.21
BF 2 BED UNIT TYP.
SCALE: 1:50



1
A-1.21
1 BED UNIT C
SCALE: 1:50

REV	DATE	DESCRIPTION	BY	CHKD
1	2024-09-06	SPA SUBMISSION		
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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

UNIT PLANS

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO 260038	DATE 2024-09-06	DRAWN D.S.
SCALE 1:50	REVIEWED N.W., R.R.	

DRAWING NO A-1.21	REVISION 1
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REV.	DATE	DESCRIPTION	BY	CHKD.
3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
1	2024-06-03	SPA SUBMISSION		
REV.	YYYY-MM-DD	REVISION/DRAWING ISSUE		REVIEW

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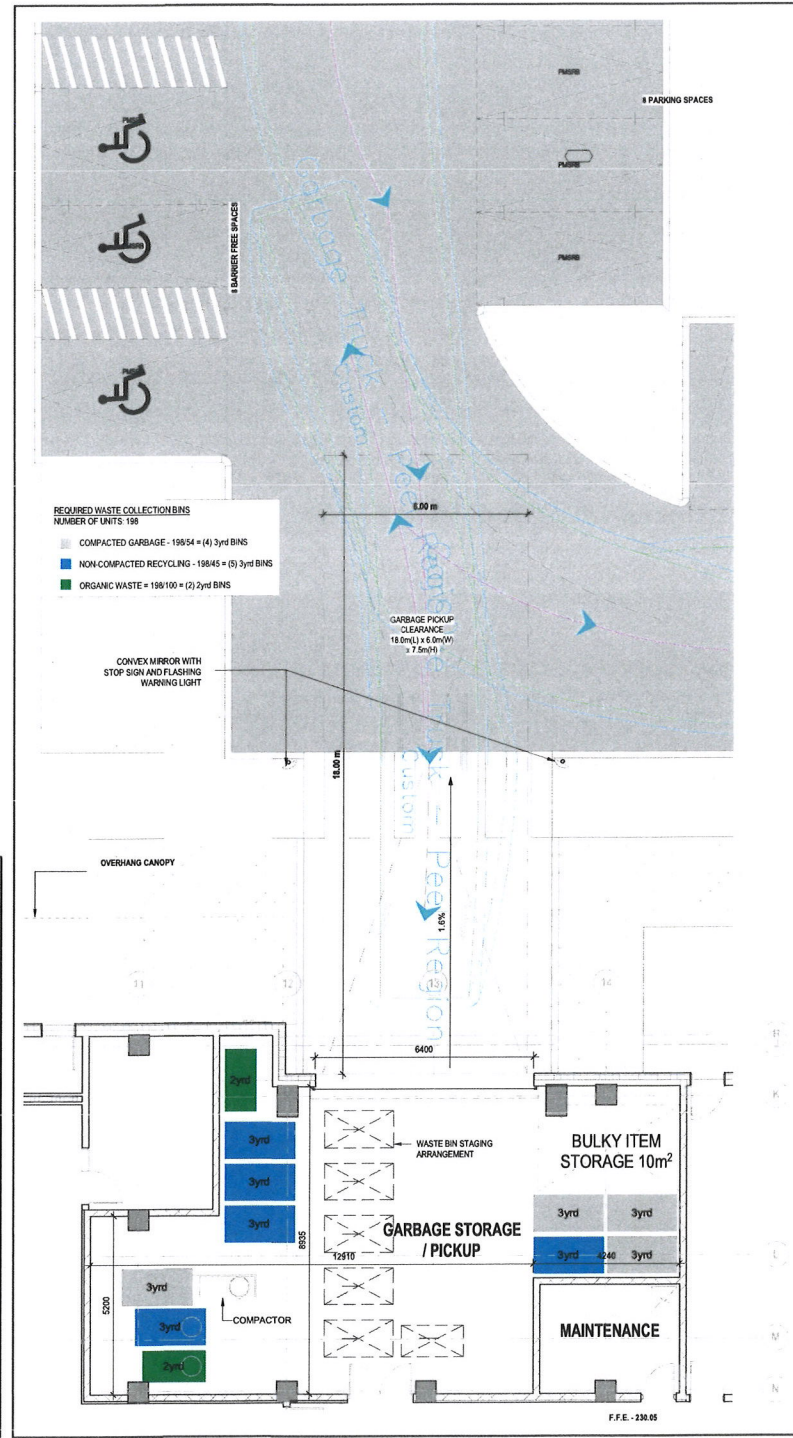
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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

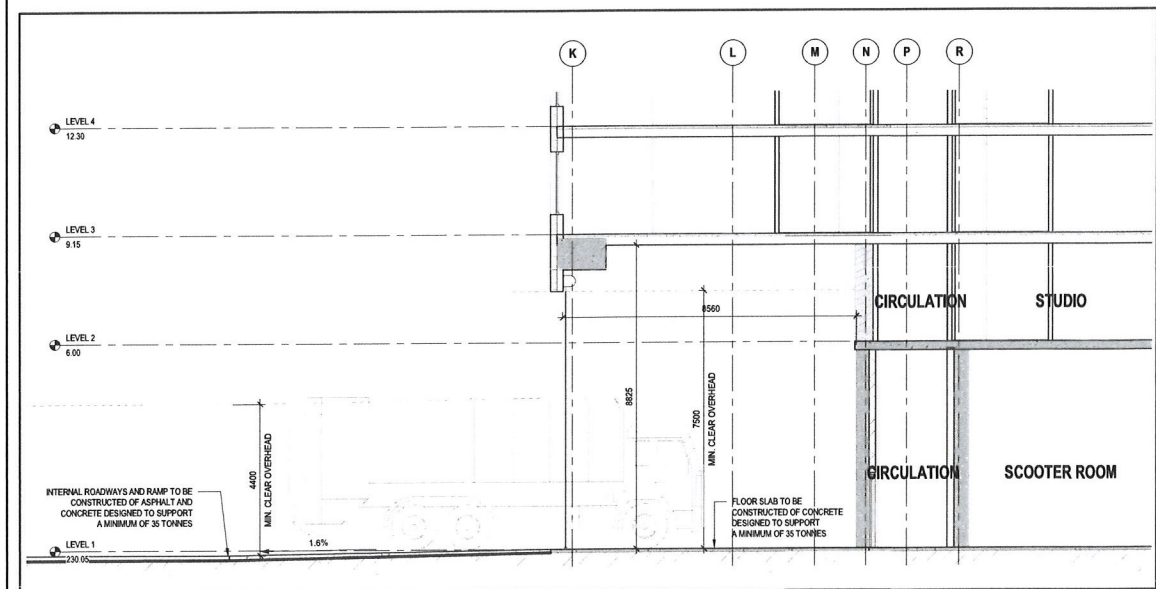
DRAWING TITLE
ENLARGED PLANS & SECTIONS

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO. 260038	PLOT DATE 2024-09-06	DRAWN N.W., R.R.	D.S.
SCALE 1:75	REVIEWED	REVISION	
DRAWING NO. A-1.22			3



1 ENLARGED GARBAGE ROOM PLAN
SCALE: 1:75



2 GARBAGE ROOM SECTION
SCALE: 1:75

ELEVATION KEY NOTES

EL-1 SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBRE GLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: MULTIPLE GREY TONES

EL-2 CANOPY CLADDING MATERIAL
 OPTIONS:
 - TBD
 COLOUR: WOOD GRAIN

EL-3 LARGE FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBRE GLASS FIBRE REINFORCED CONCRETE PANELS
 - TERRACOTTA PANELS
 COLOUR: WHITE

EL-4 SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBRE GLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: WOOD GRAIN

EL-5 VINYL FRAMED WINDOWS
 WITH CLEAR GLAZING
 COLOUR: WHITE

EL-6 ROOFTOP SCREENING
 OPTIONS:
 - TBD
 COLOUR: WOOD GRAIN

EL-7 PREFINISHED METAL FLASHING
 COLOUR: CHARCOAL

EL-8 SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBRE GLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: WOOD GRAIN

EL-9 CURTAIN WALL SYSTEM WITH
 CLEAR GLAZING
 COLOUR: TBD

EL-10 CURTAIN WALL SYSTEM WITH
 BIRD FRIENDLY GLAZING MARKERS
 AT 50mm x 50mm SPACING
 COLOUR: TBD

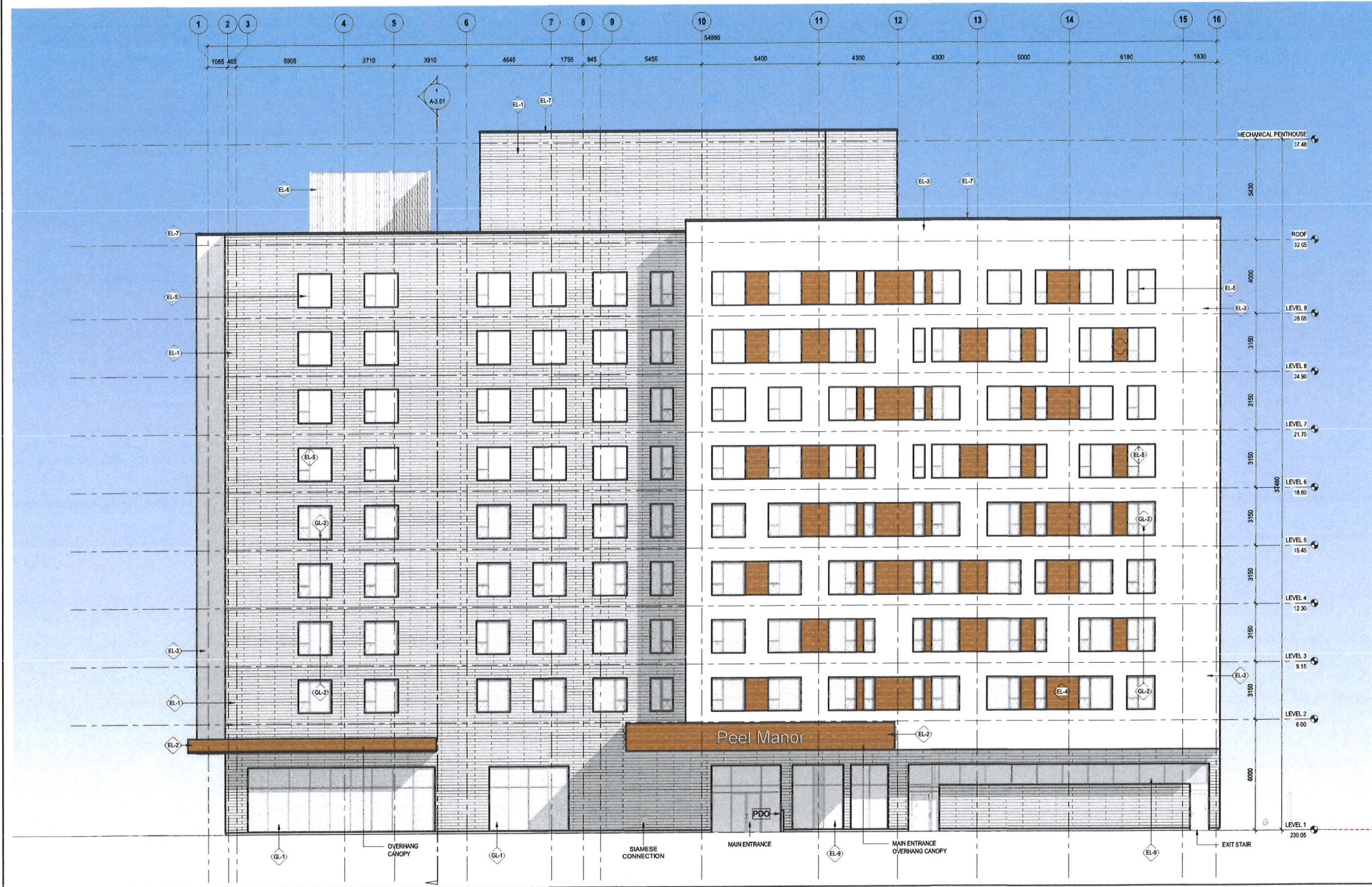
GL-1 CURTAIN WALL SYSTEM WITH
 BIRD FRIENDLY GLAZING MARKERS
 AT 50mm x 50mm SPACING
 COLOUR: TBD

GL-2 DOUBLE GLAZED METAL FRAMED
 THERMALLY BROKEN WINDOW
 WITH BIRD FRIENDLY GLAZING MARKERS
 AT 50mm x 50mm SPACING
 COLOUR: WHITE

GL-3 DOUBLE GLAZED METAL FRAMED
 THERMALLY BROKEN WINDOW
 WITH CLEAR GLAZING
 COLOUR: WHITE



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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
SOUTH ELEVATION

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:100	REVIEWED	N.W., R.R.	REVISION	3
DRAWING NO	A-2.01				

1 SOUTH ELEVATION
 SCALE: 1:100

ELEVATION KEY NOTES

EL-1 SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREC GLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: MULTIPLE GREY TONES

EL-3 LARGE FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREC GLASS FIBRE REINFORCED CONCRETE PANELS
 - TERRACOTTA PANELS
 COLOUR: WHITE

EL-5 VINYL FRAMED WINDOWS
 WITH CLEAR GLAZING
 COLOUR: WHITE

EL-4 SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREC GLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: WOOD GRAIN

EL-7 PREFINISHED METAL FLASHING
 COLOUR: CHARCOAL

EL-6 ROOFTOP SCREENING
 OPTIONS:
 - TBD
 COLOUR: WOOD GRAIN

EL-9 CURTAIN WALL SYSTEM WITH
 CLEAR GLAZING
 COLOUR: TBD

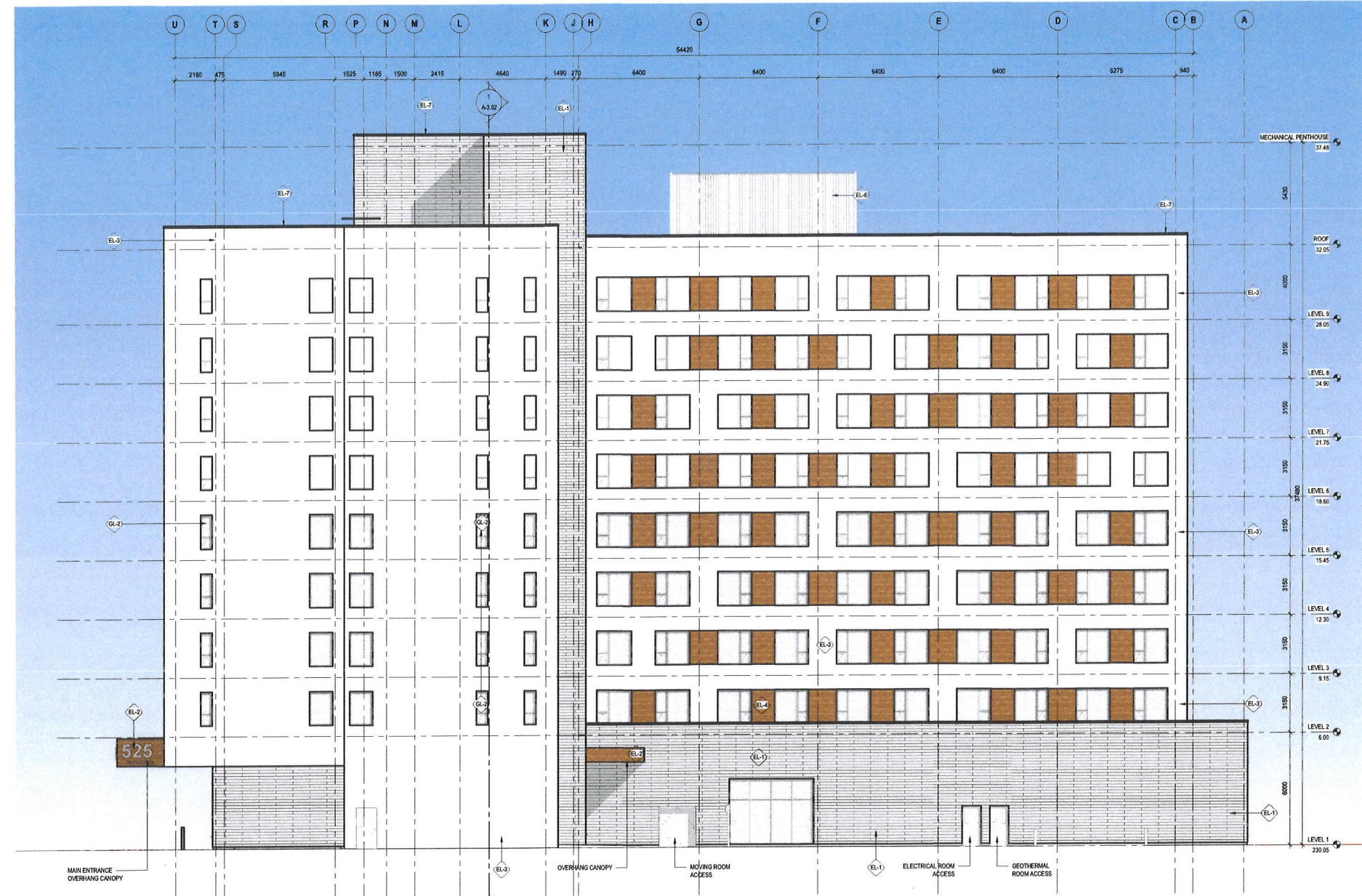
EL-8 SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREC GLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: WOOD GRAIN

EL-10 CURTAIN WALL SYSTEM WITH
 BIRD FRIENDLY GLAZING MARKERS
 AT 50mm x 50mm SPACING
 COLOUR: TBD

EL-9 CURTAIN WALL SYSTEM WITH
 BIRD FRIENDLY GLAZING MARKERS
 AT 50mm x 50mm SPACING
 COLOUR: TBD

GL-2 DOUBLE GLAZED METAL FRAMED
 THERMALLY BROKEN WINDOW
 WITH BIRD FRIENDLY GLAZING MARKERS
 AT 50mm x 50mm SPACING
 COLOUR: WHITE

GL-3 DOUBLE GLAZED METAL FRAMED
 THERMALLY BROKEN WINDOW
 WITH CLEAR GLAZING
 COLOUR: WHITE



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REV	DATE	DESCRIPTION	BY	CHK	APP
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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

EAST ELEVATION

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO.	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:100	REVIEWED	N.W., R.R.	REVISION	
DRAWING NO.	A-2.02	REVISION	3		

ELEVATION KEY NOTES

(EL-1) SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREGLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: MULTIPLE GREY TONES

(EL-2) CANOPY CLADDING MATERIAL
 OPTIONS:
 - TBD
 COLOUR: WOOD GRAIN

(EL-3) LARGE FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREGLASS FIBRE REINFORCED CONCRETE PANELS
 - TERRACOTTA PANELS
 COLOUR: WHITE

(EL-4) SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREGLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: WOOD GRAIN

(EL-5) VINYL FRAMED WINDOWS WITH CLEAR GLAZING
 COLOUR: WHITE

(EL-6) ROOFTOP SCREENING OPTIONS:
 - TBD
 COLOUR: WOOD GRAIN

(EL-7) PREFINISHED METAL FLASHING
 COLOUR: CHARCOAL

(EL-8) SMALL FORMAT CLADDING MATERIAL
 OPTIONS:
 - FIBREGLASS FIBRE REINFORCED CONCRETE PLANKS
 - TERRACOTTA PLANKS
 COLOUR: WOOD GRAIN

(EL-9) CURTAIN WALL SYSTEM WITH CLEAR GLAZING
 COLOUR: TBD

(GL-10) CURTAIN WALL SYSTEM WITH BIRD FRIENDLY GLAZING MARKERS AT 50mm x 50mm SPACING
 COLOUR: TBD

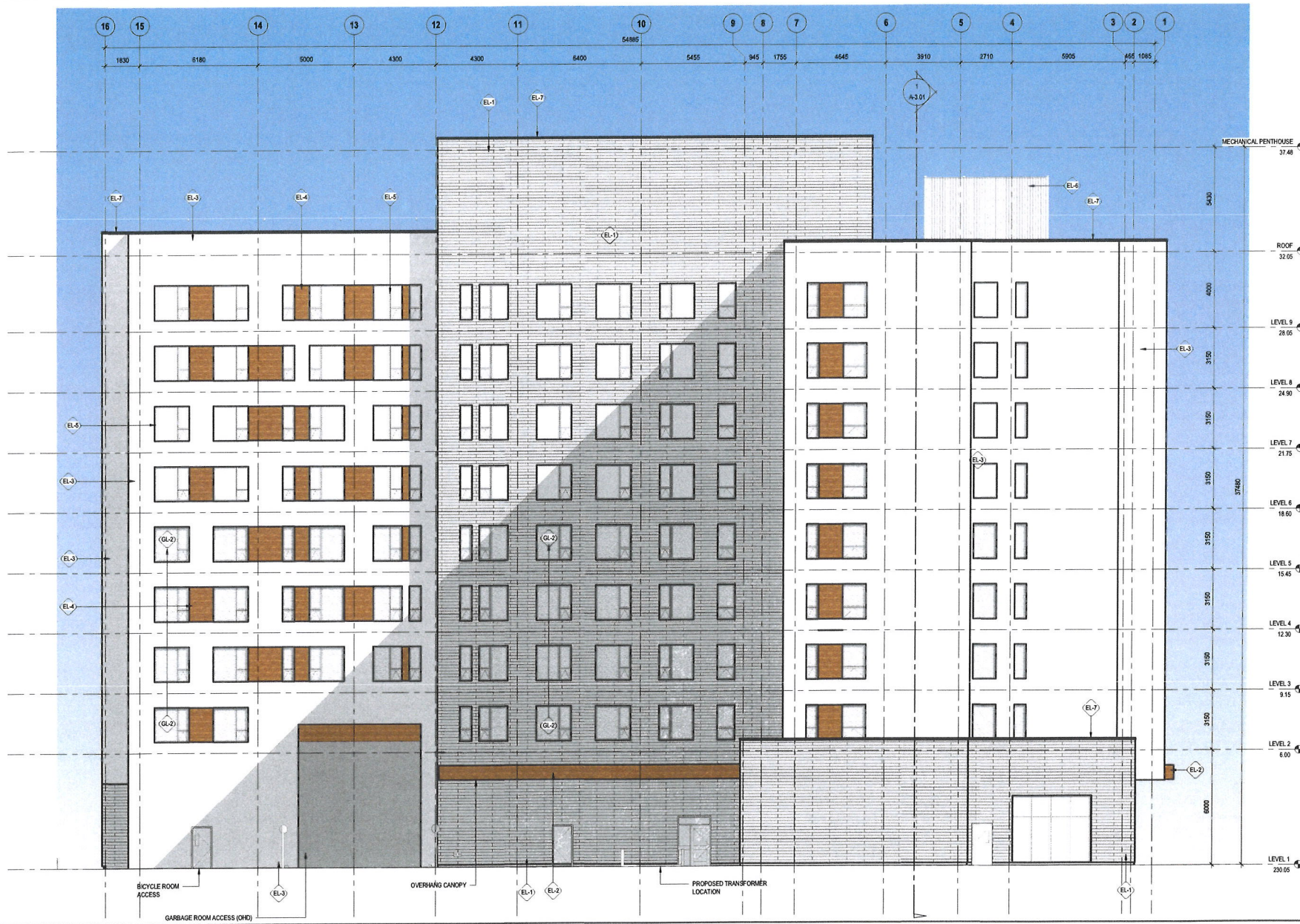
(GL-11) CURTAIN WALL SYSTEM WITH BIRD FRIENDLY GLAZING MARKERS AT 50mm x 50mm SPACING
 COLOUR: TBD

(GL-12) DOUBLE GLAZED METAL FRAMED THERMALLY BROKEN WINDOW WITH BIRD FRIENDLY GLAZING MARKERS AT 50mm x 50mm SPACING
 COLOUR: WHITE

(GL-13) DOUBLE GLAZED METAL FRAMED THERMALLY BROKEN WINDOW WITH CLEAR GLAZING
 COLOUR: WHITE



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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
 525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
NORTH ELEVATION

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:100	REVIEWED	N.W., R.R.		

DRAWING NO	A-2.03	REVISION	3
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1 NORTH ELEVATION
 SCALE: 1:100

ELEVATION KEY NOTES

(EL-1) SMALL FORMAT CLADDING MATERIAL OPTIONS:
- FIBREC GLASS FIBRE REINFORCED CONCRETE PLANKS
- TERRACOTTA PLANKS
COLOUR: MULTIPLE GREY TONES

(EL-3) LARGE FORMAT CLADDING MATERIAL OPTIONS:
- FIBREC GLASS FIBRE REINFORCED CONCRETE PANELS
- TERRACOTTA PANELS
COLOUR: WHITE

(EL-5) VINYL FRAMED WINDOWS WITH CLEAR GLAZING
COLOUR: WHITE

(EL-7) PREFINISHED METAL FLASHING
COLOUR: CHARCOAL

(EL-9) CURTAIN WALL SYSTEM WITH CLEAR GLAZING
COLOUR: TBD

(EL-2) CANOPY CLADDING MATERIAL OPTIONS:
- TBD
COLOUR: WOOD GRAIN

(EL-4) SMALL FORMAT CLADDING MATERIAL OPTIONS:
- FIBREC GLASS FIBRE REINFORCED CONCRETE PLANKS
- TERRACOTTA PLANKS
COLOUR: WOOD GRAIN

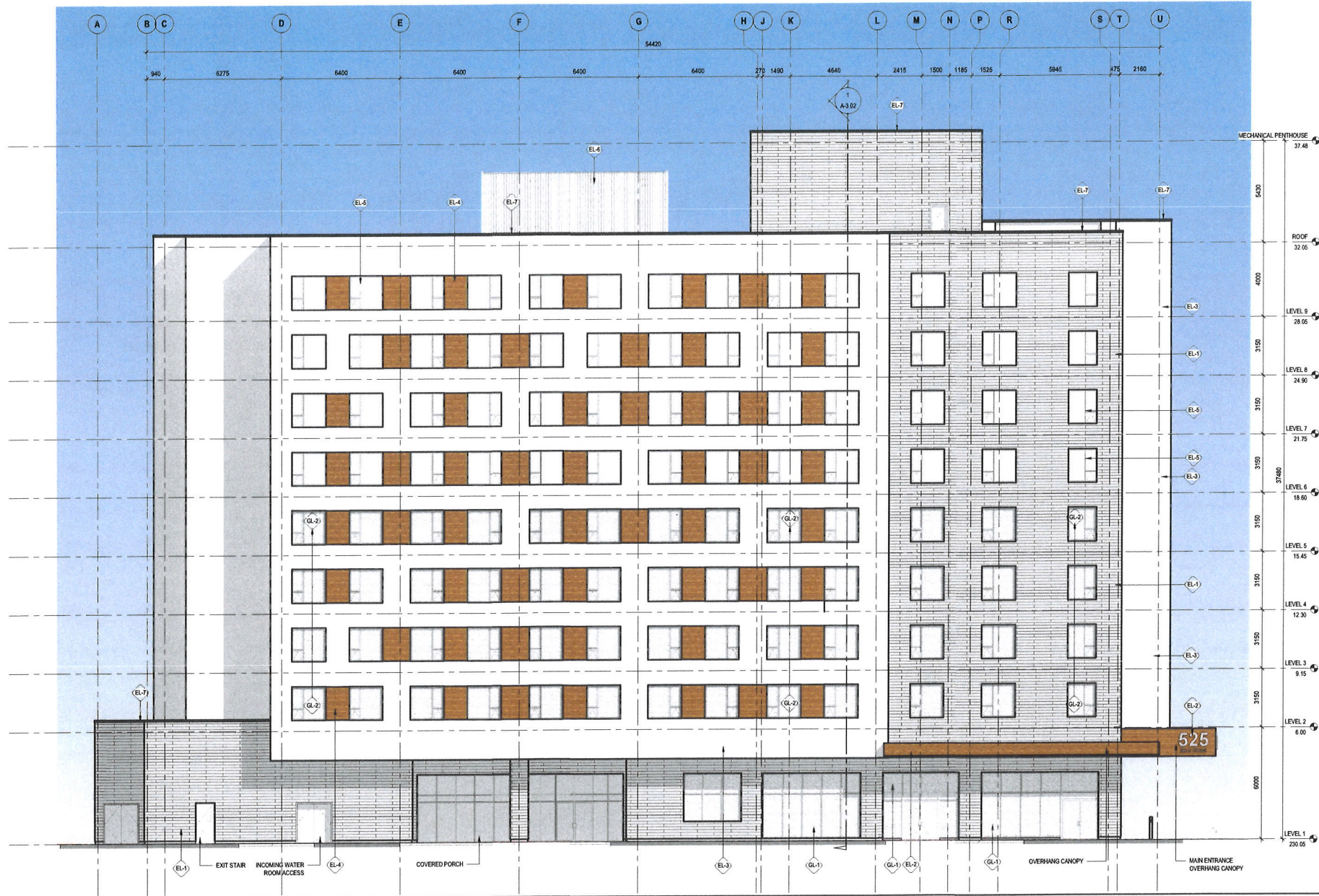
(EL-6) ROOFTOP SCREENING OPTIONS:
- TBD
COLOUR: WOOD GRAIN

(EL-8) SMALL FORMAT CLADDING MATERIAL OPTIONS:
- FIBREC GLASS FIBRE REINFORCED CONCRETE PLANKS
- TERRACOTTA PLANKS
COLOUR: WOOD GRAIN

(EL-10) CURTAIN WALL SYSTEM WITH BIRD FRIENDLY GLAZING MARKERS AT 50mm x 50mm SPACING
COLOUR: TBD

(GL-2) DOUBLE GLAZED METAL FRAMED THERMALLY BROKEN WINDOW WITH BIRD FRIENDLY GLAZING MARKERS AT 50mm x 50mm SPACING
COLOUR: WHITE

(GL-3) DOUBLE GLAZED METAL FRAMED THERMALLY BROKEN WINDOW WITH CLEAR GLAZING
COLOUR: WHITE



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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

WEST ELEVATION

DRAWING ISSUE

SPA SUBMISSION

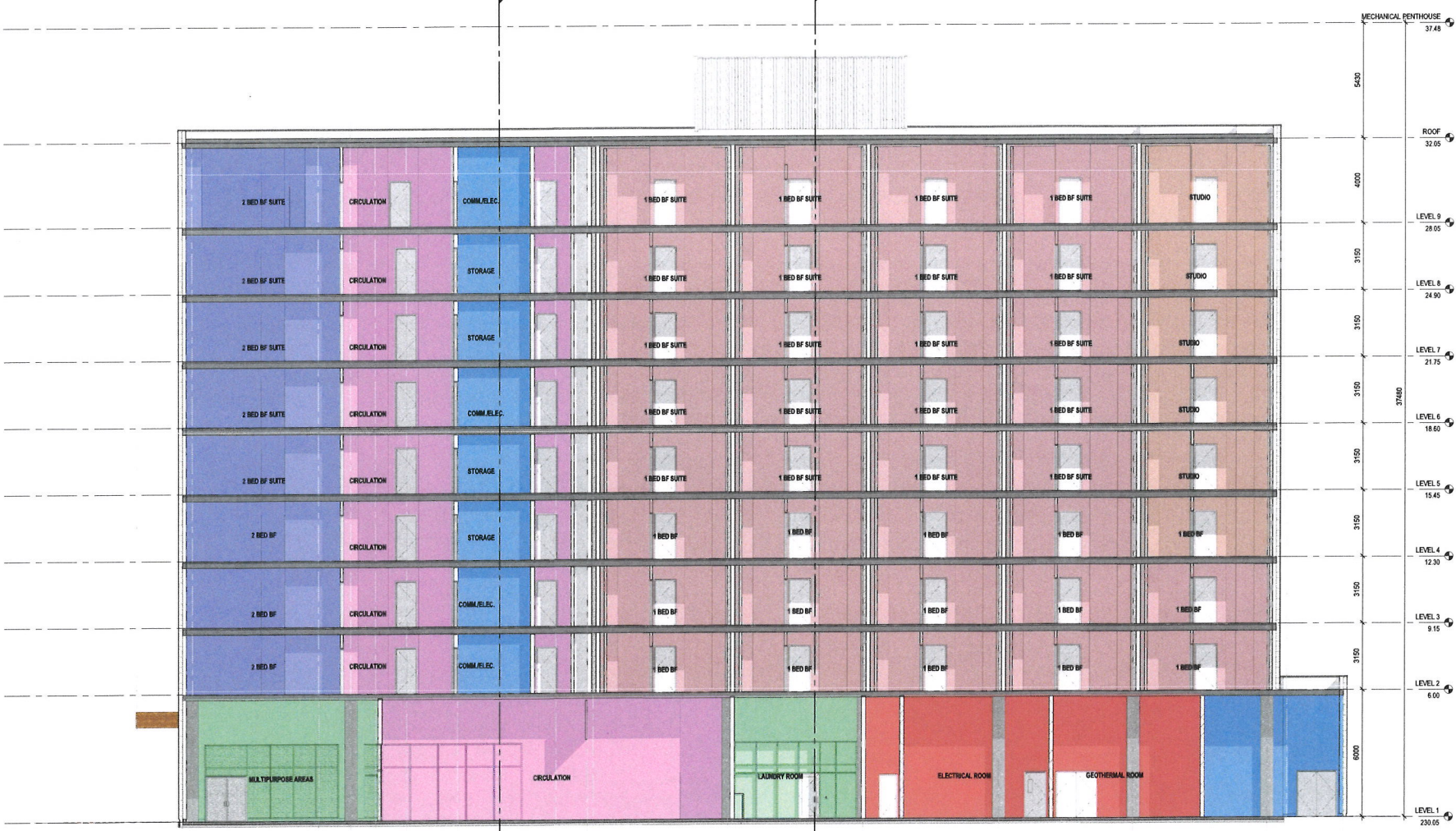
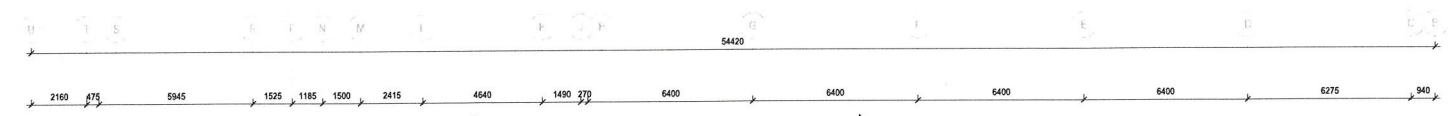
PROJECT NO.	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE	1:100	REVIEWED	N.W., R.R.	REVISION	

DRAWING NO. **A-2.04** REVISION **3**

1 WEST ELEVATION
SCALE: 1:100

DEPARTMENT OCCUPANCY

- 1BD BF APARTMENT
- 2B APARTMENT
- AMENITIES
- CIRCULATION
- MEP
- STUDIO APARTMENT
- SUPPORT/ SERVICE



3	2024-09-06	SPA SUBMISSION
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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

BUILDING SECTION

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO.	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
SCALE	1:100	REVIEWED	N.W., R.R.
DRAWING NO.	A-3.01	REVISION	3

1 BUILDING SECTION A
SCALE: 1:100

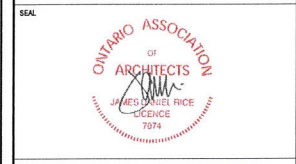
- DEPARTMENT OCCUPANCY
- 1BD BF APARTMENT
 - AMENITIES
 - APARTMENT
 - BF STUDIO APARTMENT
 - CIRCULATION
 - MEP
 - STUDIO APARTMENT
 - SUPPORT/ SERVICE



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PROJECT
PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE
BUILDING SECTION

DRAWING ISSUE
SPA SUBMISSION

PROJECT NO.	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
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DRAWING NO.	A-3.02	REVISION	3		

1 BUILDING SECTION B
SCALE: 1:100



1
A-4.01
NORTHEAST STREET VIEW
SCALE:



2
A-4.01
SOUTHEAST STREET VIEW PEEL MANOR
SCALE:

NO.	DATE	DESCRIPTION	BY	CHKD.
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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

STREET MODEL VIEWS

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	PLOT DATE	DRAWN	D.S.
260038	2024-09-06		
SCALE		REVIEWED	N.W., R.R.

DRAWING NO	REVISION
A-4.01	3



1 STREET VIEW PARKING LOT
A-4.02 SCALE



2 SOUTHWEST STREET VIEW
A-4.02 SCALE



3 NORTHWEST VIEW
A-4.02 SCALE

3	2024-09-06	SPA SUBMISSION		
2	2024-07-03	SPA ZONING CHECK		
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PROJECT

PEEL MANOR SENIORS RENTAL BUILDING

525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

STREET MODEL VIEWS

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
SCALE		REVIEWED	N.W., R.R.	REVISION	

DRAWING NO	A-4.02	REVISION	3
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2 SOUTHWEST VIEW
SCALE: 1:1



1 SOUTHEAST VIEW
SCALE: 1:1



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www.kasian.com

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PROJECT

PEEL MANOR SENIORS RENTAL
BUILDING
525 MAIN ST N, BRAMPTON, ON

DRAWING TITLE

RENDERINGS

DRAWING ISSUE

SPA SUBMISSION

PROJECT NO.	260038	PLOT DATE	2024-09-06	DRAWN	D.S.
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SCALE	1:1	REVIEWED	N.W., R.R.
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DRAWING NO.	A-5.01	REVISION	1
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525 Main St N, City of Brampton

Minor Variance Application

Zoning Checklist

List of Requested Variances:

1. Lot Coverage: A maximum lot coverage of 18% for all uses is permitted whereas a lot coverage of 20.39% is proposed;
2. Distance from Main St. North: An apartment building use shall be located only within 40m of the lot line abutting Main Street North whereas the proposed apartment building is setback 45.91m from Main Street North at its closest point;
3. Number of Dwelling Units: A maximum of 55 bachelor units is permitted whereas 229 units are proposed, including units with one and two bedrooms;
4. Dwelling Unit Size: A maximum dwelling unit size of 36 sq. m is permitted whereas dwelling units having a floor area of up to 85 sq. m are proposed;
5. Building Height: A maximum building height of 3 storeys is permitted, whereas a building height of 9 storeys is proposed;
6. Separation Distance Between Buildings: A minimum separation distance of 25 metres between buildings is required whereas a minimum separation distance of 20.15 metres between buildings is proposed;

**SITE PLAN REVIEW
ZONING ISSUES**

(Contact Elizabeth Corazzola at elizabeth.corazzola@brampton.ca)

File No.: PRE-2022-0027
Date Reviewed: June 11, 2024
Site Address: 525 Main Street North
By-Law Number: 270-2004, as amended
Zone: I2-1171
C of A: A08-082

Comments below are provided for information purposes following a review of the revised submission dated 2024-04-12.

Category	Proposal	By-Law Requirement	By-Law Conformity
Use	An Apartment Dwelling owned and operated by a public authority	Uses in the 1171 zone, including an apartment dwelling, retirement home, nursing home, adult short term care facility and a residential care home (newly defined to replace the term "retirement home")	Yes
Lot Coverage	20.39%	Maximum 18%	No – See Note 1
Distance from Main St. North	45.91 m	Shall be located only within 40 m of the lot line abutting Main Street North	No – See Note 2
Setback Main St. North and Open Space Zone	45.91 m to Main St. North 6.15m to Open Space Zone	Minimum 6.5m to Main St. N. Minimum 6m to Open Space zone	Yes
Setback to all other lot lines	33.15 m to north interior side lot line Setback not dimensioned to south interior side lot line but > 16.25 m	Half the height of the building = Min. ~16.25m setback to side lot lines (i.e. half the height of the building)	Yes
Number of Dwelling Units	229 units (including one and two bedroom units)	Maximum. 55 bachelor units	No – See Note 3
Dwelling Unit Size	Up to 85 sq.m	Maximum 36 sq.m	No – See Note 4
Building Height	9 storeys (~32.05 m)	Max. 3 storeys	No – See Note 5
Separation Distance Between Buildings	Not dimensioned 20.15m	Min. 25 m	No Unknown – See Note 6
Hydro Transformer	Setbacks not dimensioned but exceeds minimum building setback requirements in location proposed	Must meet all building setbacks	Yes
Parking Space Qty.	143 parking spaces total (123 proposed spaces, 20 existing spaces)	Minimum 34 spaces <i>Accessible Parking in accordance with By-Law 93-93</i>	Yes

Category	Proposal	By-Law Requirement	By-Law Conformity
Parking Space Dim. - Angled Parking - Barrier-Free	2.7m x 5.4m	Minimum 2.7 x 5.4 metres (minimum) <u>Type A:</u> 3.4 x 5.4m (minimum) with an accessible aisle that is 1.5 metres wide (minimum) <u>Type B:</u> 2.4 x 5.4m (minimum) with an accessible aisle that is 1.5 metres wide (minimum)	Yes
Parking Aisles	6 m wide parking aisle proposed in south lot Parking aisle serving spaces north of Nance Horwood is not dimensioned	6.6 metres – for 90° stalls	No – See Note 7 Yes
Driveways	Min. 6m for two-way traffic	6 metres – for two-way traffic 3 metres – for one-way traffic	Yes

NOTES:

1. The By-law permits a maximum lot coverage of 18% for all uses whereas a lot coverage of 20.39% is proposed.
2. The By-law only permits an apartment building use within 40 metres of the lot line abutting Main Street North whereas the proposed apartment building is setback 45.91m from Main Street North at its closest point.
3. The By-law permits a maximum of 55 bachelor units whereas 229 dwelling units are proposed, including units with one and two bedrooms.
4. The By-law permits a maximum dwelling unit size of 36 sq.m whereas dwelling units having a floor area of up to 85 sq.m are proposed.
5. The By-law permits a maximum building height of 3 storeys whereas a building height of 9 storeys is proposed.
6. The By-law requires a minimum separation distance of 25 metres between buildings. Please revise drawings to dimension the separation distance between the proposed apartment building and existing Nance Horwood apartment building.
7. The By-law requires a minimum parking aisle width of 6.6m for 90 degree angled stalls whereas a parking aisle width of only 6m is proposed in the lot located south of the proposed building. Parking aisle width serving spaces north of Nance Horwood building to be dimensioned on drawings.
8. Please refer to the Zoning Comments Chart for detailed compliance review.
9. Please revise plans/drawings to conform to all Zoning requirements or seek advice from Development Planning staff on options to resolve the Zoning compliance issue(s) identified.
10. Any changes made to the plans/drawings will require further Zoning review.

Zoning Non-compliance Checklist

File No.
A-2024-0354

Applicant: The Regional Municipality of Peel
 Address: 525 Main Street North
 Zoning: I2-1171
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT	To permit an apartment dwelling have a building height of 9 storeys	Whereas the by-law permits a maximum building height of 3 storeys	43.1
COVERAGE	To permit a lot coverage of 20.23%	Whereas the by-law permits a maximum lot coverage of 18%	1171.2(a)
DISTANCE FROM MAIN ST. NORTH	To permit an apartment dwelling located 45.91 metres from the lot line abutting Main St. North	Whereas the by-law only permits an apartment dwelling within 40m of the lot line abutting Main St. North	1171.3(a)
SEPARATION DISTANCE	To permit a separation distance of 20.15 metres between buildings	Whereas the by-law requires a minimum separation distance of 25 metres between buildings	1171.3(b)
NUMBER/TYPE OF DWELLING UNITS	To permit 229 apartment dwelling units, including units with one and two bedrooms	Whereas the by-law permits a maximum 55 bachelor dwelling units	1171.3(d)
DWELLING UNIT SIZE	To permit apartment dwelling units having a floor area of up to 85 sq.m	Whereas the by-law permits apartment dwelling units having a maximum unit size of 36 sq.m	1171.3(g)
PARKING			
LANDSCAPED OPEN SPACE			
SCHEDULE "C"			
OTHER – DECK			

Elizabeth Corazzola

Reviewed by Zoning

September 12, 2024

Date