



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Subhash Chander Punia ^{his} DARSHANA RANI
Address 10 Kenny Court Brampton AMARDEEP SINGH KHUSHMEET PUNIA

Phone # 416-569-3442 **Fax #** 905-362-2201
Email punia1960@gmail.com

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
 1) To permit a garage door height of 2.44m (8 ft)
 2) To permit a detached garage and an attached garage
 3) To permit a proposed detached garage having a setback of 9.7m from a street
 4) To permit a detached garage having a gross floor area of 101.29 sq. m (1,090.27 sq. ft)
 5) To permit a detached garage having a height of 6.80m (22.31 ft)

4. **Why is it not possible to comply with the provisions of the by-law?**
 1) by-law permits a maximum garage door height of 2.4m (7.87 ft.)
 2) by-law only permits one detached private garage on each lot, provided that there is no attached garage or carport already on the lot;
 3) by-law permits a detached garage to be no closer to a street than the required front yard depth (12m) for a main building;
 4) by-law permits a detached garage having a maximum gross floor area of 48 sq.m
 5) by-law permits a detached garage with a maximum height of 4.50m to the midpoint of the sloped roof

5. **Legal Description of the subject land:**
Lot Number PLAN1002 LOT24
Plan Number/Concession Number _____
Municipal Address 10 Kenny Court

6. **Dimension of subject land (in metric units)**
Frontage 217.03M
Depth 106.64m
Area 2 ACRES

7. **Access to the subject land is by:**
 Provincial Highway _____
 Municipal Road Maintained All Year _____
 Private Right-of-Way _____
 Seasonal Road _____
 Other Public Road _____
 Water _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

VACANT LAND

PROPOSED BUILDINGS/STRUCTURES on the subject land:

RESIDENTIAL DWELLING, DETACHED GARAGE, DETACHED CABANA

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 41.41m
Rear yard setback 25.25m
Side yard setback 17.41m
Side yard setback 9.70m

PROPOSED

Front yard setback 41.41m
Rear yard setback 25.25m
Side yard setback 17.41m
Side yard setback 9.70m

- 1. Date of Acquisition of subject land: Nov 2021
2. Existing uses of subject property: Vacant land
3. Proposed uses of subject property: Residential House
4. Existing uses of abutting properties: Residential House
5. Date of construction of all buildings & structures on subject land: Not applicable
6. Length of time the existing uses of the subject property have been continued: Since beginning

16. (a) What water supply is existing/proposed?

Municipal Well [checked] Other (specify)

(b) What sewage disposal is/will be provided?

Municipal Septic [checked] Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers [checked] Ditches Swales Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # 2024-023 Status approved

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property of an application for minor variance? ever been the subject

Yes No Unknown

If answer is yes, provide details:

File # A-2022-0184 Decision Approved Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Subhash Punia

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF Brampton Region OF Peel Brampton
THIS 13 DAY OF Aug Sept, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SUBHASH CHANDER OF THE CITY OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 13 DAY OF
Sept, 2024
[Signature]
A Commissioner etc.

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

RE2

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar
Zoning Officer

Sept. 12, 2024
Date

DATE RECEIVED Sept 13, 2024

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

N/A

LOCATION OF THE SUBJECT LAND: _____

I/We, _____
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application
for **minor variance** with respect to the subject land.

Dated this day of , 20__.

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 10 Kenny Court Brampton

I/We, Subhash Chander ^{hmik} Punia DARSHANA RANI AMARDEEPSINGH SH
please print/type the full name of the owner(s) KRISHMEET PUNIA

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 27 day of August, 2024.

Subhash Punia

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



The Corporation of the City of Brampton

BUILDING PERMIT

PERMIT # 24 260074 000 00 HM

MUNICIPAL ADDRESS: 10 Kenny Court Brampton ON

LEGAL DESCRIPTION: PLAN M1002 LOT 24

DESCRIPTION OF WORK: HM, Garage, New
Detached garage at front yard.

Permit relates to SPA-2022-0046 .

POSTING OF PERMIT: The person to whom the permit is issued shall have the permit or a copy of it posted at all times during the construction or demolition in a conspicuous place on the property in respect of which the permit was issued.

PLANS AND DOCUMENTS: The plans and documents on the basis of which this permit was issued shall be kept on site at all times throughout construction.

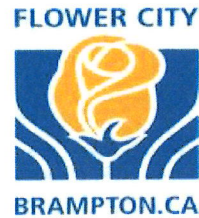
CONSTRUCTION: All construction proposed and authorized hereto, shall, in all respects, conform with the plans submitted and reviewed, the provisions of the Building Code Act and the Ontario Building Code, as amended, the Bylaws of the City of Brampton and other applicable law. It is the responsibility of the permit holder to ensure that the work authorized by this permit is carried out in accordance with the requirements set out, hereto.

INSPECTIONS: The person to whom a permit is issued shall notify the Chief Building Official, via Inspections, of the readiness to inspect each stage of construction in accordance with the regulations of the Ontario Building Code and as specified on the permit documents.

REVOCATION: This permit may be revoked if it was issued on the basis of mistaken or false information or in error, or where the construction has been substantially suspended or discontinued for a period in excess of one year. This permit will be deemed to have lapsed, and will be revoked if construction has not commenced within six months of the date of issue.

ISSUED UNDER THE AUTHORITY OF Farhad Habibi
Chief Building Official

DATE OF ISSUE: July 3, 2024



CITY OF BRAMPTON - BUILDING DIVISION

MANDATORY INSPECTIONS

BUILDING PERMIT 24 260074 000 00 HM

The Building Code Act, Section 10.2(1) Notice of Readiness for Inspection, requires that at each stage of construction specified in the Building Code, the permit holder notify the Chief Building Official that the construction is ready to be inspected. Your mandatory inspections are listed below.

PLEASE NOTE: Construction covered before the required inspection is completed will be required to be uncovered to be inspected.

CHECKLIST

- Post the permit in a front window or door (conspicuous place).
- Ensure that permit documents are available at the time of Inspection.
- To book an inspection, visit: <https://www.brampton.ca/EN/residents/Building-Permits/Inspections/Pages/Request-an-Inspection.aspx>
- Please email any inspection reports (ie engineered fill inspection reports) to inspection.services@brampton.ca in .pdf format only.

THE MANDATORY INSPECTIONS FOR THIS PROJECT ARE CHECKED (✓) BELOW:

B-Building Inspector P-Plumbing Inspector H-HVAC Inspector (Heating Ventilation && AC)

- B Footings supporting a building (BEFORE pouring concrete)
- B Backfill (BEFORE backfilling)
- P Septic Systems (Before Backfilling)
- P Underground Plumbing -water service, sanitary and storm drains (BEFORE covering)
- P Above ground Plumbing "rough-in"
- H HVAC Rough-in
- B Structural Framing (AFTER rough-ins including any wiring, BEFORE insulation)
- H Insulation and Vapour Barrier and Air Barrier
- H Basement Insulation
- H Basement Duct Work
- B Final Inspection - Building
- P Final Inspection - Plumbing
- H Final Inspection - HVAC

Before the use or occupancy of any new or renovated space please ensure that: handrails and guards, required smoke alarms, carbon monoxide detectors and required Plumbing Fixtures are installed.

Remember to call the Electrical Safety Authority for your electrical permits and inspections (1-877-372-7233)
At least one week before you dig call ONTARIO ONE 1-800-400-2255 for underground service locates. (www.ON1CALL.com)

IMPORTANT NOTICE TO PERMIT HOLDER

RE: PROJECTS WHERE CONSTRUCTION HAS BEEN COMPLETED PRIOR TO THE ISSUANCE OF THE PERMIT

The permit holder is advised that this application has been reviewed for compliance with the Building Code Act and the Regulations thereto as of the date that the permit issued notwithstanding when the construction was undertaken.

The permit holder is advised that S.8.(13) of the Building Code Act states that:

“No person shall construct or demolish a building or cause a building to be constructed or demolished except in accordance with the plans, specifications, documents and any other information on the basis of which a permit was issued or any changes to them authorized by the chief building official.”

The permit holder is advised that the Inspector has a duty to inspect all parts of the work for which the permit has issued in order to verify that the work has been completed in accordance with the permit documents.

The permit holder is advised that the issuance of this permit necessitates that any or all of the following may be required in order that the mandatory inspections as set out in Division C – Part 1 Subsection 1.3.5. of the Regulations of the Building Code can be carried out including but not limited to:

- expose any part of the footings and foundations
- expose any part of the structural framing
- expose any part of the insulation and vapour barrier
- expose any part of the ductwork and piping for heating and air-conditioning systems
- expose the components of the drain, waste and vent system(s) as may be required to determine whether the construction complies with the Code.

Please contact the Inspections Office to arrange an initial site visit with the Building, Plumbing and HVAC Inspectors in order to determine which areas must be exposed and to co-ordinate the necessary inspections.

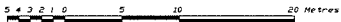
**PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS**

1. POST PERMIT CARD IN A CONSPICUOUS PLACE
7 FEET ABOVE GRADE AT BUILDING SITE
2. APPROVED DRAWINGS MUST BE KEPT ON
SITE AT ALL TIMES
3. IT IS MANDATORY THAT YOU CALL FOR
REQUIRED INSPECTIONS
4. FAILURE TO COMPLY WITH SENTENCES 1 TO 3
WILL RESULT IN STOP WORK ORDERS BEING
POSTED

Call (905) 874-3700 between 8:00 a.m. and 3:00 p.m. to arrange for inspections at least 48 hours in advance.

PLAN OF SURVEY SHOWING TOPOGRAPHIC FEATURES ON
LOT 24
REGISTERED PLAN 1002
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

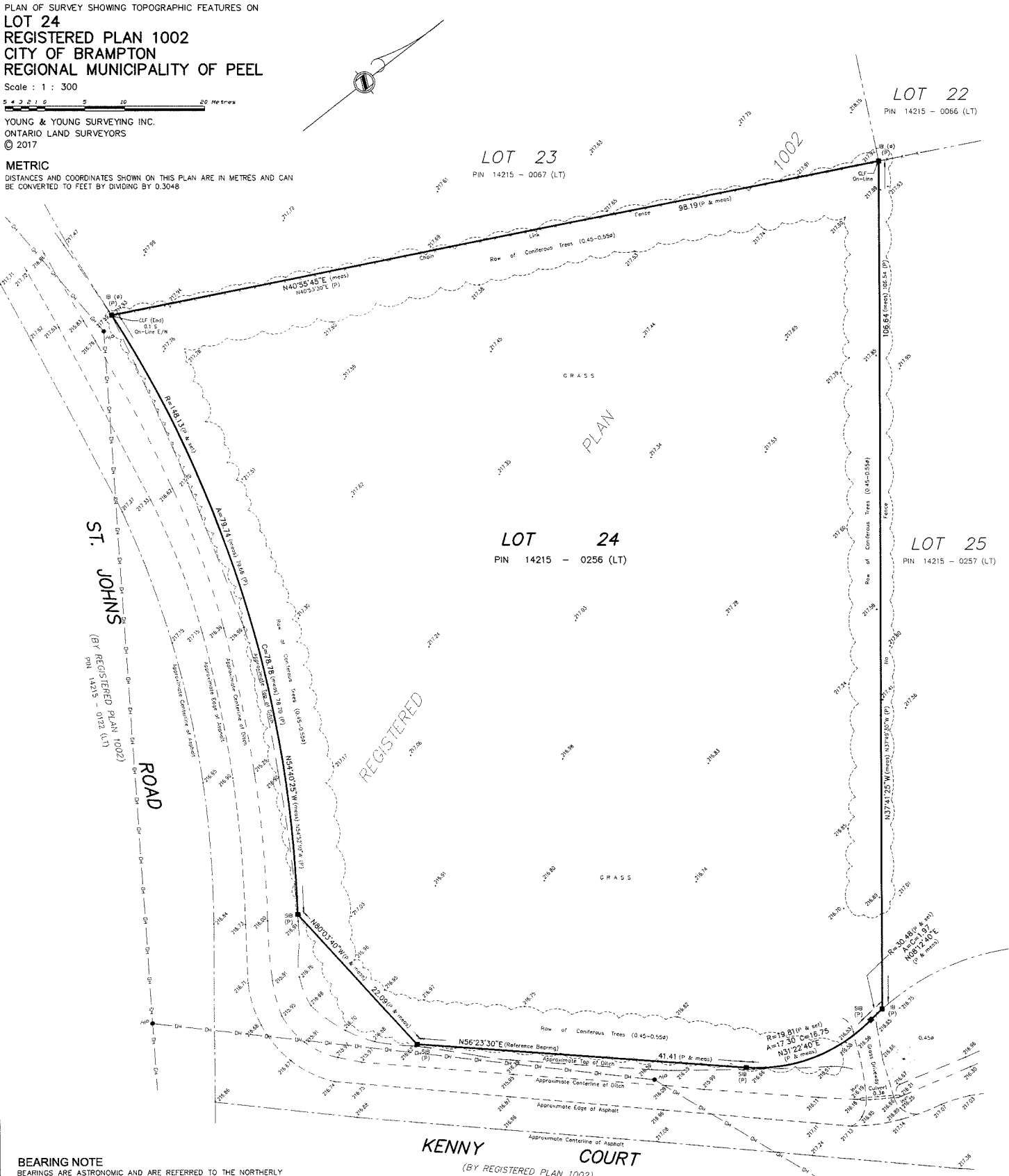
Scale : 1 : 300



YOUNG & YOUNG SURVEYING INC.
 ONTARIO LAND SURVEYORS
 © 2017

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF KENNY COURT, HAVING A BEARING OF N56°23'30"E IN ACCORDANCE WITH REGISTERED PLAN 1002.

ELEVATION NOTE

ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM GPS OBSERVATIONS USING THE "TOPNET" GPS NETWORK AND ARE REFERRED TO THE CGVD-1928: 1978 DATUM.

LEGEND

- DENOTES FOUND BAR
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- P DENOTES REGISTERED PLAN 1002
- HP DENOTES HYDRO POLE
- CLF DENOTES CHAIN LINK FENCE
- INV DENOTES INVERT
- DENOTES ROUND (DIAMETER)
- OH— DENOTES OVERHEAD HYDRO
- DENOTES CONIFEROUS TREE

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - 2) THE SURVEY WAS COMPLETED ON THE 28th DAY OF AUGUST, 2017.

DATE _____ JOHN F.G. YOUNG B.Sc., O.L.S.
 ONTARIO LAND SURVEYOR

YOUNG & YOUNG SURVEYING INC.		
PROFESSIONAL LAND SURVEYORS	2 HOLLAND DRIVE UNIT 5	BOLTON ONTARIO L7E 1E1
PHONE 905-900-0000 FAX 905-905-4811	E-MAIL youngsurveying@bellsouth.net	PARTY CHIEF S.U. CALL BY V.B. DRAWN BY V.B.
PROJECT 17-B7078		

GENERAL NOTES:

- AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRAD WILL BE PROVIDED FOR EACH ENTRANCE.
- DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS.
- DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- DRIVEWAY GRATES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
- LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM OF 5%.
- WHERE GRADE CHANGES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1:1 ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- ALL DISTURBED AREAS MUST BE RESEED, OR SODDED, TOPSOIL TO BE AT LEAST 150mm.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
- A ROAD OCCUPANCY PERMIT WILL BE REQUIRED PRIOR TO UNDERTAKING ANY WORKS WITHIN THE CITY RIGHT-OF-WAY.
- CHANGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED. ALL SURFACE DRAINAGE SHALL BE SELF-CONTAINED, COLLECTED, AND DISCHARGED AT AN APPROVED LOCATION.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.

NOTES:

- LOCATION AND ELEVATION OF THE PROPOSED WATER SERVICE TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTING THE PROPOSED DWELLING.
- MATCH TO EXISTING GRADES AT ALL LOT LINES. ATTEMPTS ARE TO BE MADE TO ENSURE ANY ADJUTING LOTS WITH DRAINAGE OUTLETTING INTO THE SUBJECT PROPERTY WILL CONTINUE TO DO SO.
- ALL EXTERIOR DIMENSIONS ARE IN ACCORDANCE WITH PLAN REGISTERED PLAN 1002.
- ALL GRADING TO BE DONE IN SUCH A MANNER THAT THERE WILL BE NO ADVERSE DRAINAGE IMPACTS TO ADJUTING PROPERTIES.

SERVICING NOTES:

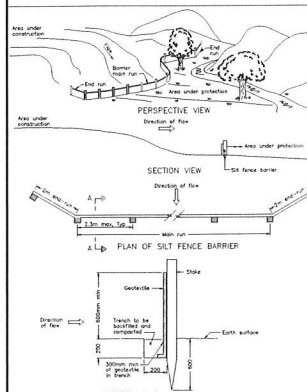
- BASED ON AVAILABLE RECORDS, IT HAS BEEN DETERMINED THE SUBJECT PROPERTY IS UNSEWERED. A NEW WATER SERVICE WILL BE CONSTRUCTED FROM THE EXISTING WATERMAIN ON KENNY COURT TO SERVICE THE PROPOSED DWELLING.
- THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND BASED ON PLAN AND PROFILE DRAWINGS OF ADJUTING STREET PROVIDED BY THE REGION OF PEEL.
- PROPOSED WATER SERVICE WITHIN THE ROAD ALLOWANCE TO BE 25 mm DIA. TYPE "C" SOFT COPPER. WATER SERVICE BETWEEN THE ROAD ALLOWANCE AND DWELLING TO BE 32mm DIA. TYPE "C" COPPER, SIZED IN ACCORDANCE WITH BUILDING CODE STANDARDS AND BEST PRACTICES.
- SUMP PUMP (IF INSTALLED) DISCHARGE TO REAR YARD LANDSCAPE AREA.
- ALL WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE COMPLETED IN CONFORMANCE WITH REGION OF PEEL SERVICING STANDARDS AND APPLICABLE OPS/SPS/IS.

REGION OF PEEL SERVICING NOTES:

- All materials and construction methods must correspond to the current Peel Public Works standards and specifications.
- Watermain and/or water service materials 300 mm (4") and larger must be PVC D118. Size 50 mm (2") and smaller must be Type "C" soft copper as per A.S.T.M. B88-49 specification.
- Watermain and/or water services are to have a minimum cover of 1.2 m (5'0") with a minimum horizontal spacing of 1.2 m (4") from themselves and all other utilities.
- Provision for flushing water line prior to testing, etc. must be provided with at least a 50 mm (2") outlet on 100 mm (4") and larger lines. Copper lines are to have flushing points at the end, the same size as the line. They must also be holed or piped to allow the water to drain out or down a drain. On the line, the flushing outlet to be 100 mm (4") minimum on a hydrant.
- All curb stops to be 3.0 m (10') off the face of the building unless otherwise noted. Hydrants and valves to be Region standard 1.6 m (5'3") in diameter and 8.27 m (27' 0") and 0.9 m (3') and to have pump nozzle.
- Watermain to be installed to grade as shown on approved site plan. Copy of grade sheet must be supplied to inspector prior to commencement of work, where requested by inspector.
- Watermain must have a minimum vertical clearance of 0.3 m (12") over 0.5 m (20") under sewers and all other utilities when crossing.
- All proposed water piping must be isolated from existing lines in order to allow independent pressure testing and color-coding from existing systems.
- All live tapping and operation of Region water valves shall be arranged through the Regional Inspector assigned or by contacting the Operations and Maintenance Division.
- Location of all existing utilities in the field to be established by the contractor.
- The contractor shall be solely responsible for locating, exposing, supporting and protecting of all underground and overhead utilities and structures existing at the time of construction in the area of their work. Whether shown on the plans or not and for all repair and consequences resulting from damage to same.
- The contractor shall be solely responsible to give 72 hours written notice to the utilities prior to crossing such facilities, for the purpose of inspection by the concerned utility. This inspection will be for the duration of the construction, with the contractor responsible for all costs arising from such inspection.
- All proposed water piping must be isolated through a temporary connection that shall include an appropriate cross-connection control device, consistent with the degree of hazard, for backflow prevention of the active distribution system, conforming to Region of Peel standards 1-7-3 or 1-7-8.

CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

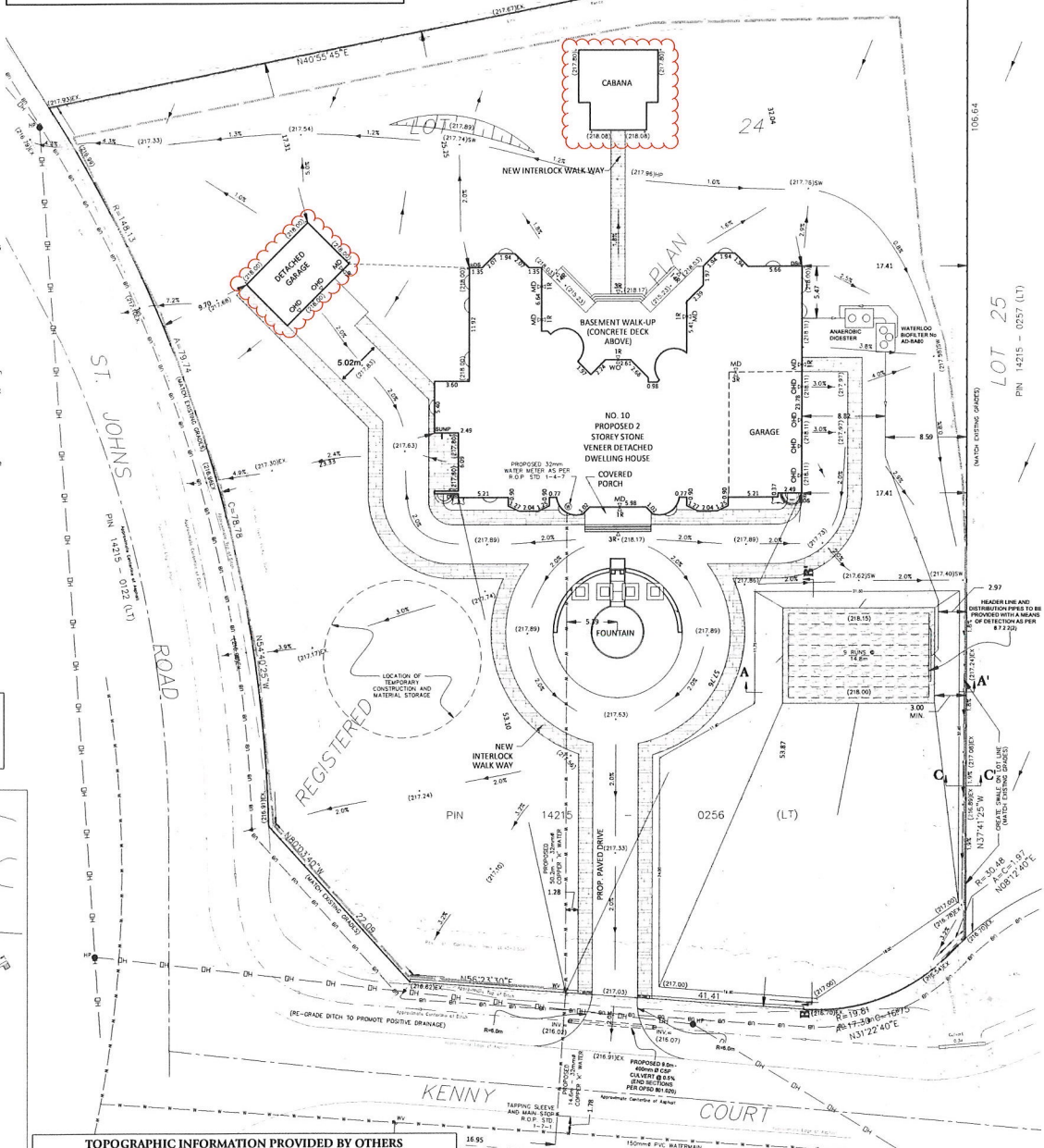
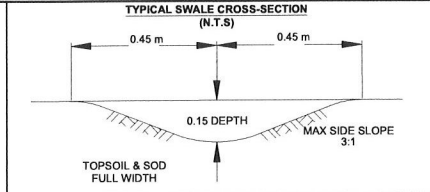


NOTE: All dimensions are in millimetres or metres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWINGS 1996 02 01 (P.1)

LIGHT DUTY SILT FENCE BARRIER

OPS-D - 219.110

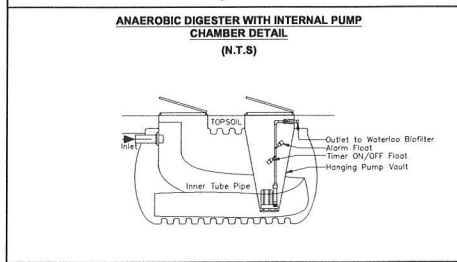
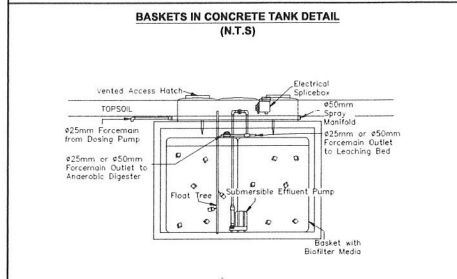
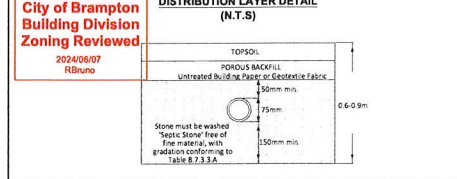
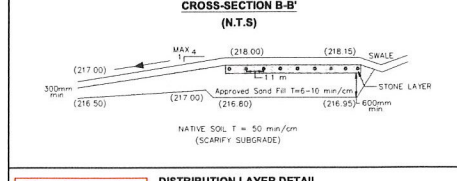
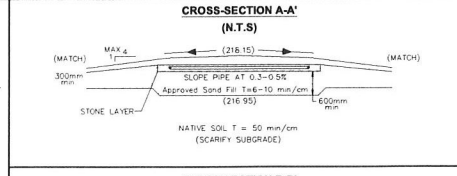
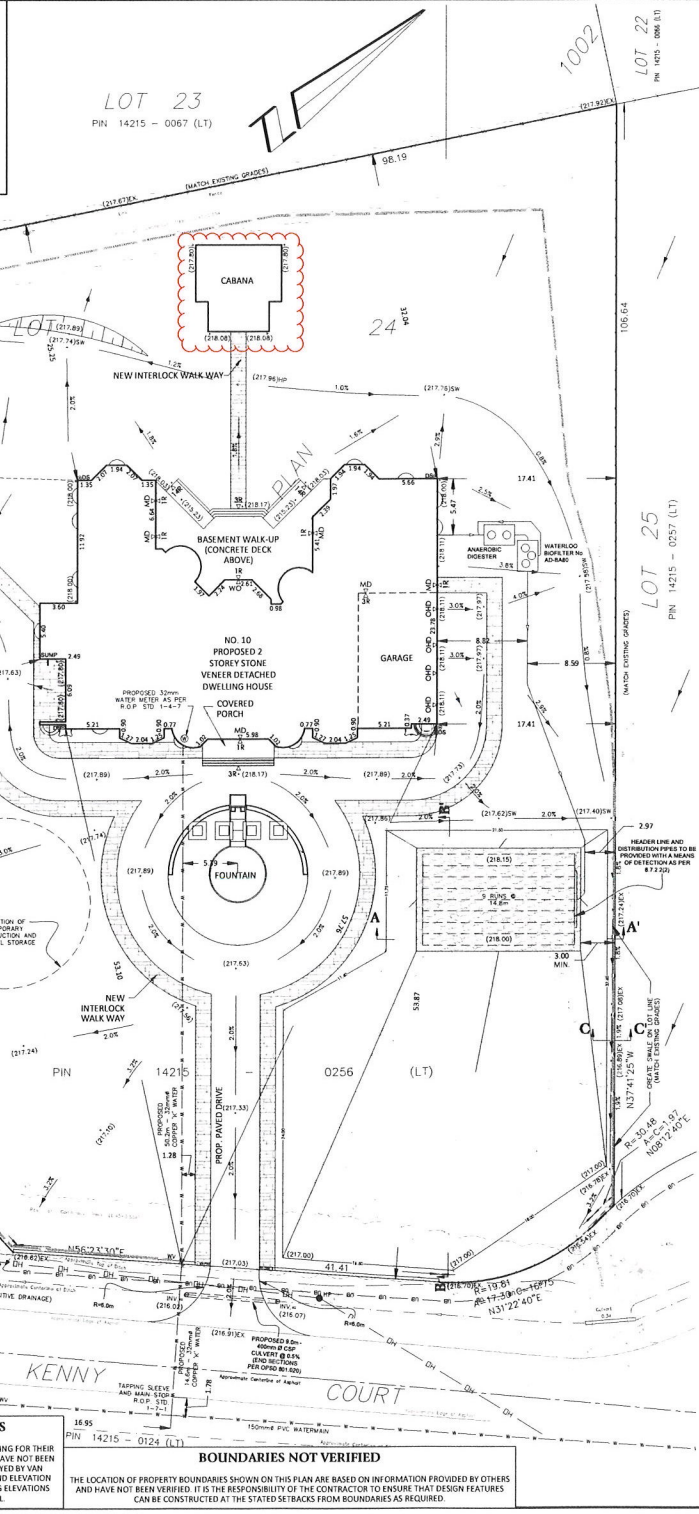


TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS

THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED TO VAN HARTEN SURVEYING FOR THEIR USE BY THEIR CLIENT. THESE ELEVATIONS WERE GATHERED BY END & YOUNG SURVEYING INC. AND HAVE NOT BEEN VERIFIED BY VAN HARTEN SURVEYING. THE BOUNDARY INFORMATION SHOWN HAS NOT BEEN SURVEYED BY VAN HARTEN SURVEYING. IT IS THE RESPONSIBILITY OF THE BUILDER TO HAVE THE LIMITS OF THE PARCEL AND ELEVATION BENCHMARKS (IF PROVIDED) SURVEYED PRIOR TO LOCATING TO ENSURE THE ACCURACY OF EXISTING ELEVATIONS AND THAT THE LOCATION(S) OF PROPOSED BUILDING(S) FALL WITHIN THE SUBJECT PARCEL.

BOUNDARIES NOT VERIFIED

THE LOCATION OF PROPERTY BOUNDARIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION PROVIDED BY OTHERS AND HAVE NOT BEEN VERIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT DESIGN FEATURES CAN BE CONSTRUCTED AT THE STATED SETBACKS FROM BOUNDARIES AS REQUIRED.



SEWAGE SYSTEM DESIGN NOTES:

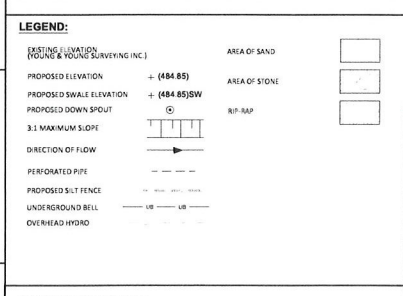
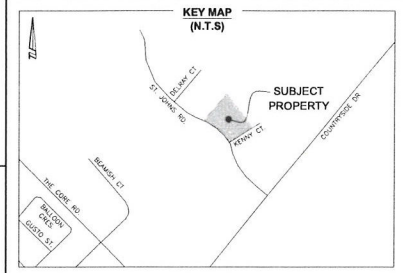
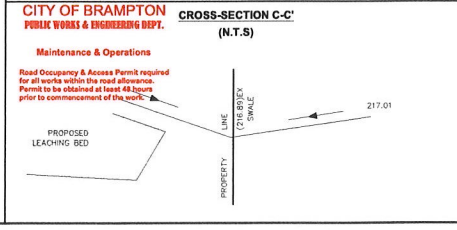
(Refer to Van Harten Surveying Inc. design report for material, construction, inspection and other details)

CITY OF BRAMPTON DEV. ENGINEERING SERVICES
Grading & Drainage Reviewed & Found Satisfactory

MAR 10 2023

By: **ANTON STOECKL**

Q = 8,000 L/Day
T = 50 min/cm
Water/Bloffer Model AD-BABO
- Anaerobic Digester Size = 15,104 L MIN.
- Innertube Volume = 1,600 L MIN.
- Internal Pump Chamber Size = 4,000 L MIN.
Stone Area = 1109 m² (10.0 m by 16.0 m) = 160 m²
Sand Area = 1,109 m²
Distribution Pipe Length = (9 runs of 14.8 m) = 133.2 m



PROPOSED DWELLING:

TOP OF FOUNDATION	+ (218.47)
UNDERSIDE OF FOOTING	+ (215.14)
BASEMENT FLOOR	+ (215.65)
FINISHED FLOOR	+ (218.78)
GARAGE SLAB	+ (218.13)
GARAGE CUT	+ (218.00)

NOTES:

- ELEVATIONS DERIVED FROM ARCHITECTURAL DRAWINGS.
- FROST FOOTINGS REQUIRED AT A MINIMUM ELEVATION (214.08)
- CONSTRUCTION DRAWINGS NOT AVAILABLE AT THIS TIME.

PROPOSED DETACHED GARAGE:

TOP OF FOUNDATION	+ (218.15)
UNDERSIDE OF FOOTING	+ (216.78)
GARAGE SLAB	+ (218.00)

NOTES:

- CONSTRUCTION DRAWINGS NOT AVAILABLE AT THIS TIME.

ELEVATION NOTES:

ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM GPS OBSERVATIONS USING THE "TORNET" GPS NETWORK AND ARE REFERRED TO THE COVD-1928, 1978 DATUM.

METRIC:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LOT DEVELOPMENT PLAN AND SEWAGE SYSTEM DESIGN FOR:

(SPA-2022-0046)

PROPOSED DWELLING

10 KENNY COURT

ALL OF LOT 24

REGISTERED PLAN 1002

GEOGRAPHIC TOWNSHIP OF TORONTO GORE

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

NO.	REVISION	BY	DATE
3	CITY OF BRAMPTON COMMENTS	RKH	OCT 3, 2022
2	DEVELOPMENT ENGINEERING/REGION OF PEEL COMMENTS	JIM	MAY 20, 2022
1	FOR BUILDING PERMIT	MANV	MARCH 3, 2022

DRAWING REVISION SCHEDULE

PREPARED FOR: SUBASH PUNIA

PROJECT No. 30812-22

DRAWING SCALE: 1:250

CAUTION:

- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE PROPOSED FLOOR ELEVATION AND PLUMBING ALLOWS GRAVITY CONNECTION TO THE LEACHING SYSTEM.
- SOIL BEARING CAPACITY SHOULD BE VERIFIED AT THE TIME OF CONSTRUCTION.
- THE BUILDER MUST INSURE A MINIMUM OF 120mm OF EARTH COVER OVER THE FOOTINGS FOR FROST PROTECTION.
- THIS SKETCH IS PROTECTED BY COPYRIGHT.

Van Harten SURVEYING INC.

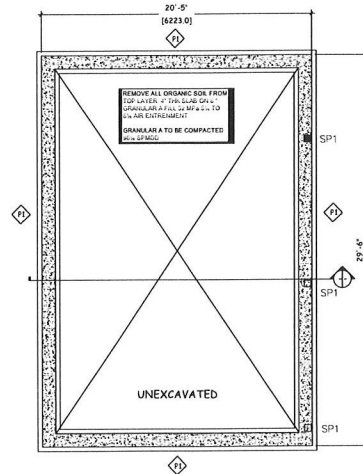
LAND SURVEYORS AND ENGINEERS

100135983

www.vanharten.com info@vanharten.com

Mar 10 2023 3:15pm

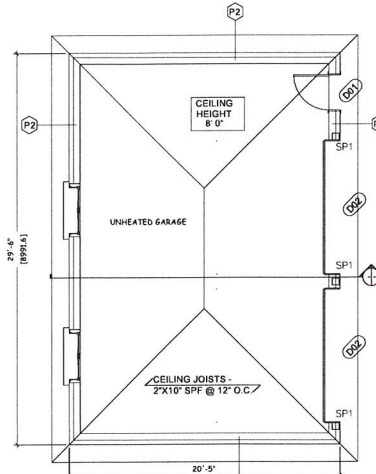
U:\Toronto\Gore\1002\CAZ\DP-174-SUBASH PUNIA\30812-22\30812.dwg



WALL SCHEDULE
 P-1 PROPOSED CONCRETE FOUNDATION MIN 12 M (SEE FTR FOR FINISHING WITH 100000 MM FOOTING + 100 MM CONCRETE WALL (2' MF) (SEE DETAILS)

POST DETAILS
 SP1-HSS 100 R102 X 13 (S40 Z1 20W CLASS C)

PROPOSED GARAGE FOUNDATION PLAN

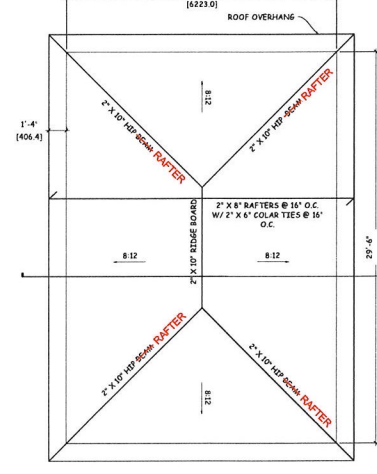


WALL SCHEDULE
 P-2 PROPOSED STONE EXTERIOR WALL W/ 2"X4" WOOD STUD @ 16" O.C. CLAD W/ BOARD & BATTEN VENT. SIDING

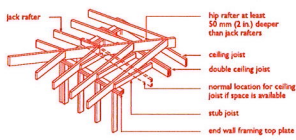
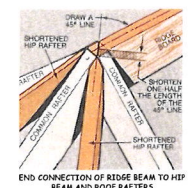
DOOR SCHEDULE
 D-1 PROPOSED 3' X 8' DOOR W/ 1 1/2" X 8" S.F. 2' X 1" LINTEL
 D-2 PROPOSED 10' 2" X 8' GARAGE DOOR W/ W150A3 + 2" X 1 1/2" S.F. LINTEL

MIN 6" BEARING EACH SIDE

PROPOSED GARAGE FLOORPLAN
 GROSS FLOOR AREA: 602.29 sq. ft. (19.95 sqm)

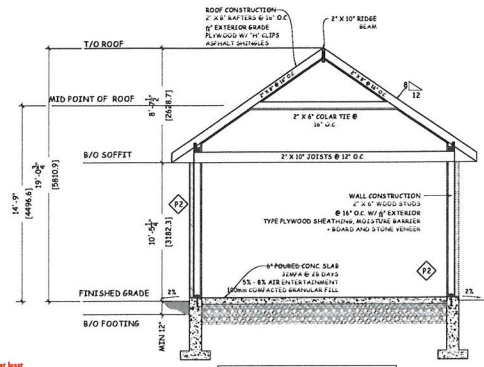


PROPOSED ROOF PLAN



JACK RAFTERS RUNNING PERPENDICULAR TO THE CEILING JOISTS SHALL BE TIED BACK TO THE CEILING JOIST WITH STUB JOISTS

SCOPE OF REVIEW REVIEWED FOR DETACH GARAGE ONLY.
 WORK NOT INDICATED REQUIRES A SEPARATE PERMIT.



BUILDING SECTION

City of Brampton Building Division Building Reviewed 2024/07/02 Medi8 Garage

ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O.REG.332/12 AS AMENDED

FOR CONVENTIONAL WOOD FRAMING, FRAMING SHALL CONFORM TO OBC 2012 B.9.23.
 STEEL BEAM SHALL HAVE EVEN END BEARING AND SHALL HAVE MIN 69 MM END BEARING.

City of Brampton Building Division Zoning Reviewed
 2024/07/02 RBruno

GENERAL NOTE:
 The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.



DATE:	NO:	DESCRIPTION:	BY:
2024-06-12	2	SECOND FLOOR STORAGE ADDED WITH FLAT ROOF: CITY COMMENTS	A S
2024-04-04	1	GFA, BUILDING AND DOOR HEIGHT ADJUSTED	K K

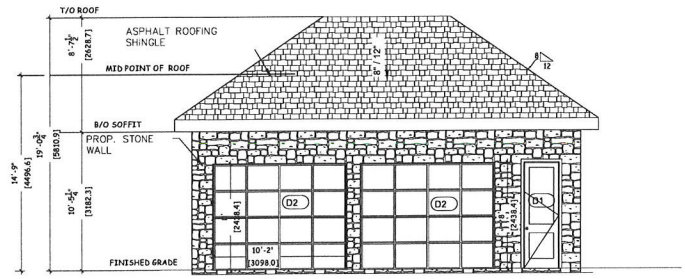
REVISIONS:

PROJECT: 10 KENNY COURT
 CLIENT: Mr. PUNIA
 XXXXX
 XXXXX

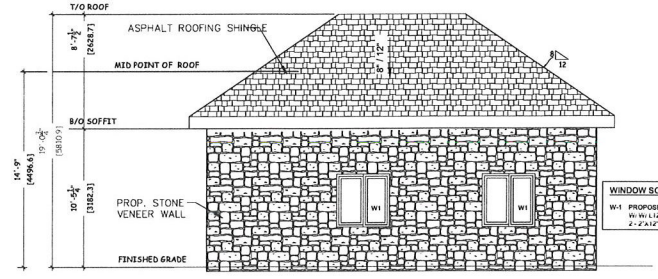
deSign
 Fine Ltd.
 CONSULTING ENGINEERS
 96 KENNEDY ROAD SOUTH
 BRAMPTON, ON L6W 9E7
 Ph: 905-452-8200 Fax: 905-452-8285
 www.thedesignfine.com

DRAWING TITLE:
DETACHED GARAGE

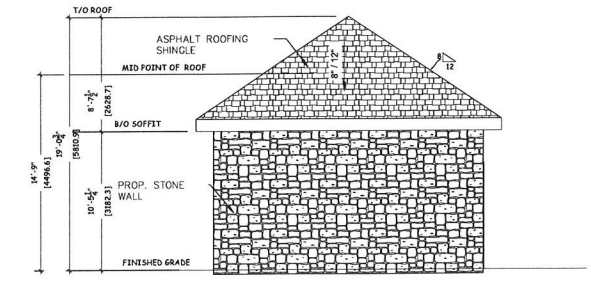
DESIGN: BBS	SCALE: 3/16" = 1'-0"	DRAWING NO:
DRAWN: BBS	DATE: JAN, 2024	A01
CHECKED: BBS	PROJECT NO: DFL-2024	



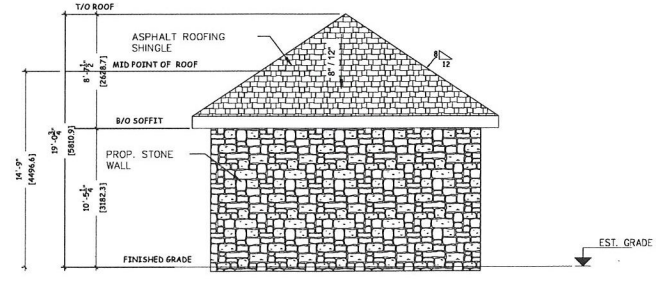
1 FRONT ELEVATION



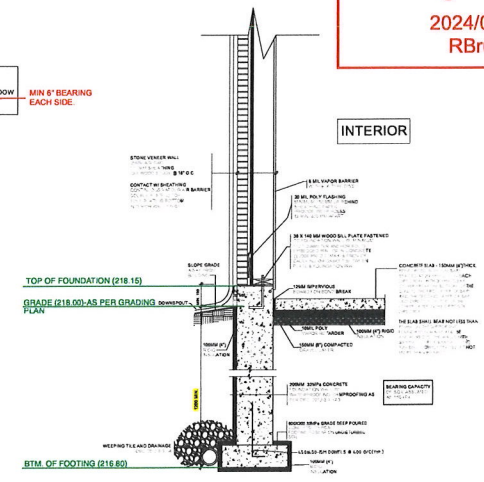
2 REAR ELEVATION



1 LEFT ELEVATION



2 RIGHT ELEVATION



FOUNDATION DETAIL
 Scale: N.T.S.

ALL DIMS ARE FEET/INCHES UNLESS NOTED OTHERWISE

Zoning Non-compliance Checklist

File No.
A-2024-0355

Owner: Subhash Chander Punia
Address: 10 KENNY CRT
Zoning: RE2
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
DETACHED GARAGE	<p>To permit a garage door height of 2.44m (8 ft)</p> <p>To permit a detached garage and an attached garage,</p> <p>To permit a proposed detached garage having a setback of 9.7m from a street,</p> <p>To permit a detached garage having a gross floor area of 101.29 sq. m (1,090.27 sq. ft)</p> <p>To permit a detached garage having a height of 6.80m (22.31 ft),</p>	<p>whereas the by-law permits a maximum garage door height of 2.4m (7.87 ft.)</p> <p>whereas the by-law only permits one detached private garage on each lot, provided that there is no attached garage or carport already on the lot;</p> <p>whereas the by-law permits a detached garage to be no closer to a street than the required front yard depth (12m) for a main building;</p> <p>whereas the by-law permits a detached garage having a maximum gross floor area of 48 sq.m</p> <p>whereas the by-law permits a detached garage with a maximum height of 4.50m to the midpoint of the sloped roof</p>	<p>10.4.1 (J)</p> <p>10.4.1 (a)</p> <p>10.4.1 (d)</p> <p>10.4.1 (g)</p> <p>10.4.1 (h)</p>
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			

Philip Gaspar
Reviewed by Zoning

September 12, 2024
Date