

OCT 01 2024

Committee of Adjustment

REVISED

For Office Use Only

(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0359

Flower City



brampton.ca

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** ISHAN VASUDEVA, BABLI BABLI
Address 12 ABELL DR BRAMPTON, ON, L6V 2V8

Phone # 647-219-4693 **Fax #** _____
Email ISHAN.VASUDEVA1998@GMAIL.COM

2. **Name of Agent** PAVNEET KAUR(NOBLE PRIME SOLUTIONS LTD)
Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email APPLICATIONS@NOBLELTD.CA

3. **Nature and extent of relief applied for (variances requested):**

-TO PERMIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM BUILDING HEIGHT OF 6M
-TO PERMIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM GROSS FLOOR AREA OF 54.84 SQUARE METRES

4. **Why is it not possible to comply with the provisions of the by-law?**

-WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5M OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS, ON A LOT ON ALL OTHER RESIDENTIAL ZONES;
-WHEREAS THE BY-LAW PERMITS A MAXIMUM GROSS FLOOR AREA OF 35 SQUARE METRES IN ALL OTHER ZONES.

5. **Legal Description of the subject land:**

Lot Number 343
Plan Number/Concession Number M27
Municipal Address 12 ABELL DR BRAMPTON, ON, L6V 2V8

6. **Dimension of subject land (in metric units)**

Frontage 9.29
Depth 31.87
Area 276.66

7. **Access to the subject land is by:**

Provincial Highway
Municipal Road Maintained All Year
Private Right-of-Way

Seasonal Road
Other Public Road
Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY SEMI DETACHED HOUSE

PROPOSED BUILDINGS/STRUCTURES on the subject land:

DETACHED GARDEN SUITE WITH THE ARE OF 27.40

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	8.05	_____
Rear yard setback	9.30	_____
Side yard setback	3.15	_____
Side yard setback	0	_____

PROPOSED

Front yard setback	NO CHANGE	_____
Rear yard setback	2.52	_____
Side yard setback	1.80	_____
Side yard setback		_____

10. Date of Acquisition of subject land: _____

11. Existing uses of subject property: REISIDENTIAL

12. Proposed uses of subject property: REISIDENTIAL

13. Existing uses of abutting properties: REISIDENTIAL

14. Date of construction of all buildings & structures on subject land: _____

15. Length of time the existing uses of the subject property have been continued: _____

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

In the matter of the required sign(s) to be posted on the property subject of application(s) to the Committee of Adjustment to meet the notice requirements of Ontario Regulation 197/96 amended by Ontario Regulation 505/98 and Ontario Regulation 200/96 amended by Ontario Regulation 508/98

AFFIDAVIT

I, Pavneet Kaur of the City of Brampton
(your name) (Name of city, town, village)

being the Applicant Authorized agent Agent's rep. having made application(s) to the
(check appropriate box)

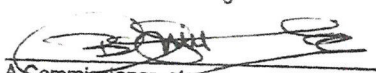
Committee of Adjustment of the Corporation of the City of Brampton, for the property located at: 12 Abell Dr

Make oath and say as follows:

1. I hereby declare that I will post the required sign(s) along each street frontage of the property, approximately 1.0m – 1.5m in height, either on the property line or not more than 1.0m back from the property line, in a location clearly visible from the street and include on the face of the sign the following information:
 - a. Application number(s);
 - b. Date, time and location of the hearing;
 - c. The purpose and effect of the consent application and/or the minor variance(s).
2. I hereby declare that I will provide a photo of the posted sign via email to the Secretary Treasurer of the Committee of Adjustment at coa@brampton.ca no later than the date the sign is erected, and I will remove the sign no later than the day after the meeting.

Sworn before me at the City of Brampton in the Regional Municipality of Peel, this

15th day of Aug 2024



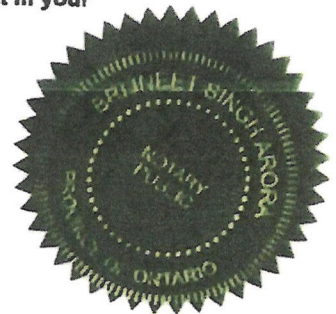
Pavneet Kaur
Signature of Applicant/Authorized Agent

A Commissioner, etc.
BRINEET SINGH ARORA
Barrister Solicitor & Notary Public

Note: Minor Variance Signs must be posted ten (10) calendar days prior to the meeting date, and Consent Signs must be posted no later than twenty (20) calendar days prior to the meeting date.

305, 50 Sunny Meadows Blvd
Brampton Ontario L6R 0Y7
Ph# 905-791-2500; Fax # 905-790-7737

Failure to comply with the above noted posting requirements will result in your application being deferred to a future meeting date.



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Pavneet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 15 DAY OF August, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Pavneet Kaur, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Region OF Peel
IN THE Province OF
Ontario THIS 15th DAY OF
Aug, 2024.

Pavneet Kaur
Signature of Applicant or Authorized Agent

A Commissioner in and for Ontario
Barrister Solicitor & Notary Public
Commissioner of Oaths in and for Ontario
309 - 50 Sunny Meadow Blvd,
Brampton Ontario L6R 0Y7

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED _____

Date Application Deemed _____

**Appointment of Authorized Agent
Two-Unit Dwelling Registration**

To: The Chief Building Official and Director of Building
Planning & Infrastructure Services
City of Brampton
8850 McLaughlin Road, Unit 1
Brampton, ON L6Y 5T1

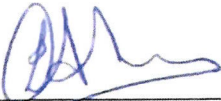

Re: Registration of a Two-Unit Dwelling at 12 ABELL DR, BRAMPTON, ON,
(municipal address) L6V2V8

I/we ISHAN VASUDEVA & BABLI BABLI
(print the full name of the owner(s))

the undersigned, being the registered owner(s) of the subject property, hereby authorize
NOBLE PRIME SOLUTIONS LTD
(print the full name of the authorized agent(s))

to make application to the City of Brampton for registration of a two-unit dwelling on the
subject lands.

Dated this 16 day or JULY, 2024.
(date) (month) (year)

 
(signature of owner(s))

(signature of owner(s))

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR., BRAMPTON, ON, L6V 2V8

I/We, ISHAN VASUDEVA & BABLI BABLI
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 16 day of JULY, 2024



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, L6V2V8

I/We, ISHAN VASUDEVA & BABLI BABLI
please print/type the full name of the owner(s)

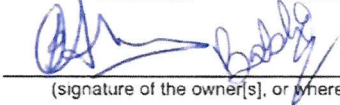
the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Noble Prime Solutions Ltd

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 16 day of JULY, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

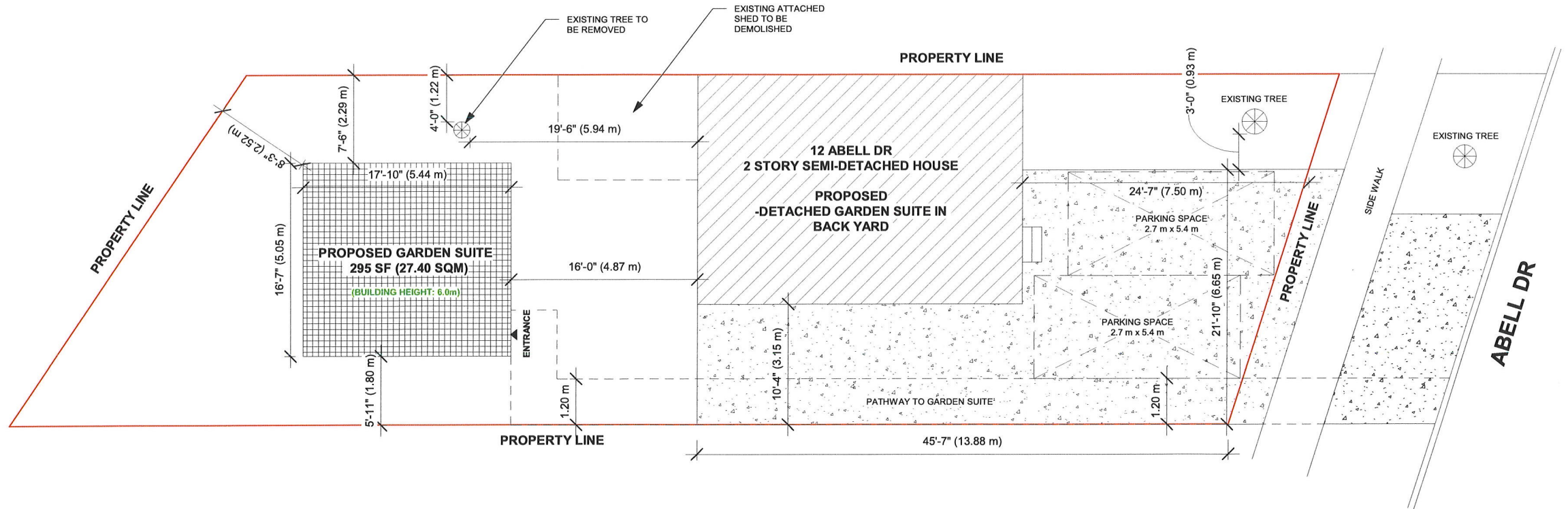
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

MINOR VARIANCE

-TO PERMIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM BUILDING HEIGHT OF 6M WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5M OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS, ON A LOT ON ALL OTHER RESIDENTIAL ZONES;

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Received / Revised

OCT 01 2024

Committee of Adjustment

SITE PLAN/ GRADING PLAN	
<small>DRAWN BY:</small> NK	<small>CHECKED BY:</small> JB
<small>PROJECT NUMBER:</small> 24R-30476	

<small>The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer</small>	
<small>QUALIFICATION INFORMATION (Required unless design is exempted under 3.2.5 Division C of OBC)</small>	
<small>DESIGNER</small> Tanvir Rai	<small>BCIN</small> 103482
<i>Tanvir Rai</i>	
<small>FIRM</small> Noble Prime Solutions Ltd	<small>BCIN</small> 118716

<small>THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.</small>	
<small>ADDRESS:</small> 12 ABELL DR, BRAMPTON, ON	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON, ON. info@nobleltd.ca (437) 888 1800	
01	ISSUED FOR VARIANCE
AUG 07/24	
<small>DATE:</small> AUG 07/24	<small>DWG No:</small>
<small>SCALE:</small> 1 : 100	A-1

OCT 01 2024

Committee of Adjustment

Flower City



brampton.ca

REVISED.

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(to be inserted by the Secretary-Treasurer
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FILE NUMBER: A-2024-0359

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APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

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1. **Name of Owner(s)** ISHAN VASUDEVA, BABLI BABLI
Address 12 ABELL DR BRAMPTON, ON, L6V 2V8

Phone # 647-219-4693 **Fax #** _____
Email ISHAN.VASUDEVA1998@GMAIL.COM

2. **Name of Agent** PAVNEET KAUR(NOBLE PRIME SOLUTIONS LTD)
Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email APPLICATIONS@NOBLELTD.CA

3. **Nature and extent of relief applied for (variances requested):**
-TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m,

4. **Why is it not possible to comply with the provisions of the by-law?**
-WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE.

5. **Legal Description of the subject land:**
Lot Number 343
Plan Number/Concession Number M27
Municipal Address 12 ABELL DR BRAMPTON, ON, L6V 2V8

6. **Dimension of subject land (in metric units)**
Frontage 9.29
Depth 31.87
Area 276.66

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY SEMI DETACHED HOUSE

PROPOSED BUILDINGS/STRUCTURES on the subject land:

DETACHED GARDEN SUITE WITH THE ARE OF 27.40

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	8.05	_____
Rear yard setback	9.30	_____
Side yard setback	3.15	_____
Side yard setback	0	_____

PROPOSED

Front yard setback	NO CHANGE	_____
Rear yard setback	2.52	_____
Side yard setback	1.80	_____
Side yard setback		_____

10. Date of Acquisition of subject land: _____

11. Existing uses of subject property: REISIDENTIAL

12. Proposed uses of subject property: REISIDENTIAL

13. Existing uses of abutting properties: REISIDENTIAL

14. Date of construction of all buildings & structures on subject land: _____

15. Length of time the existing uses of the subject property have been continued: _____

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well

- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic

- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Pavneet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 15 DAY OF August, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Pavneet Kaur, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
Region OF Peel
IN THE Province OF
Ontario THIS 15th DAY OF
Aug, 2024.

Pavneet Kaur
Signature of Applicant or Authorized Agent

A Commissioner of Oaths
Barrister Solicitor & Notary Public
Commissioner of Oaths in and for Ontario
309-50 Sunny Meadow Blvd,
Brampton Ontario L6R 0Y7
Ph# 905-791-2500; Fax # 905-790-7757

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED _____

Date Application Deemed _____

**Appointment of Authorized Agent
Two-Unit Dwelling Registration**

To: The Chief Building Official and Director of Building
Planning & Infrastructure Services
City of Brampton
8850 McLaughlin Road, Unit 1
Brampton, ON L6Y 5T1

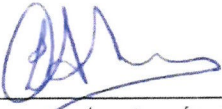

Re: Registration of a Two-Unit Dwelling at 12 ABELL DR, BRAMPTON, ON,
(municipal address) L6Y 2V8

I/we ISHAN VASUDEVA & BABLI BABLI
(print the full name of the owner(s))

the undersigned, being the registered owner(s) of the subject property, hereby authorize
NOBLE PRIME SOLUTIONS LTD
(print the full name of the authorized agent(s))

to make application to the City of Brampton for registration of a two-unit dwelling on the
subject lands.

Dated this 16 day or JULY, 2024.
(date) (month) (year)

 
(signature of owner(s))

(signature of owner(s))

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, L6V 2V8

I/We, ISHAN VASUDEVA & BABLI BABLI
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 16 day of JULY, 2024



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, L6N2V8

I/We, ISHAN VASUDEVA & BABLI BABLI
please print/type the full name of the owner(s)

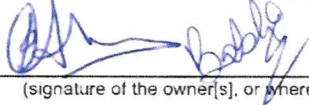
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Noble Prime Solutions Ltd

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 16 day of JULY, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

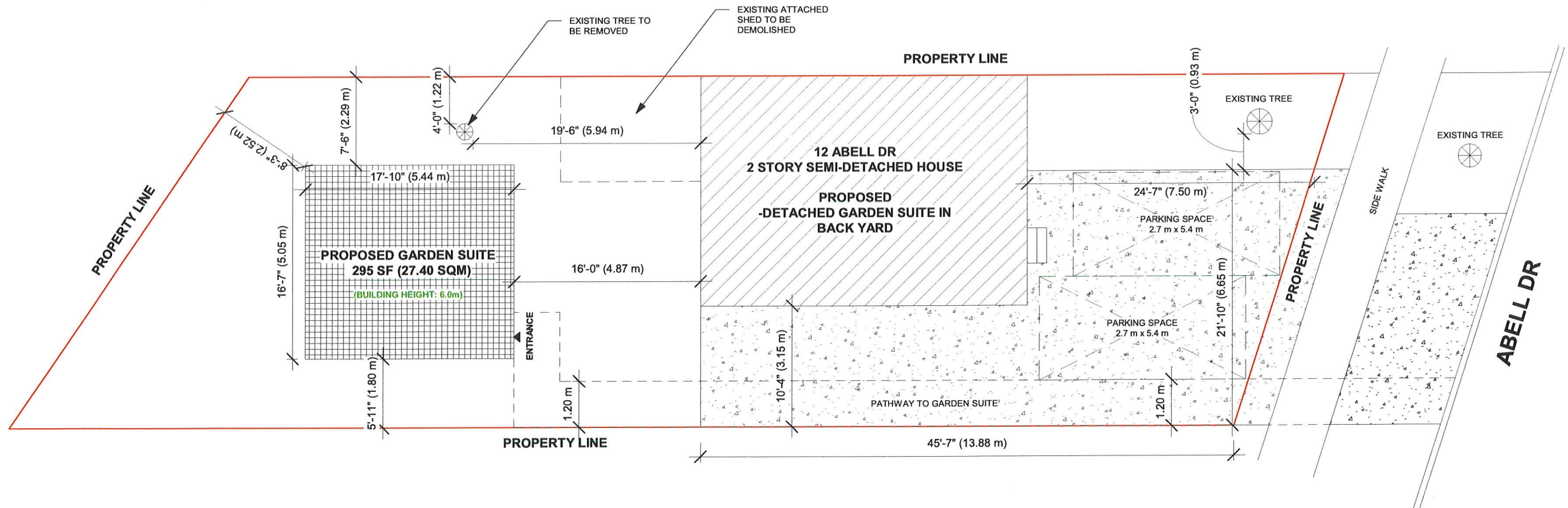
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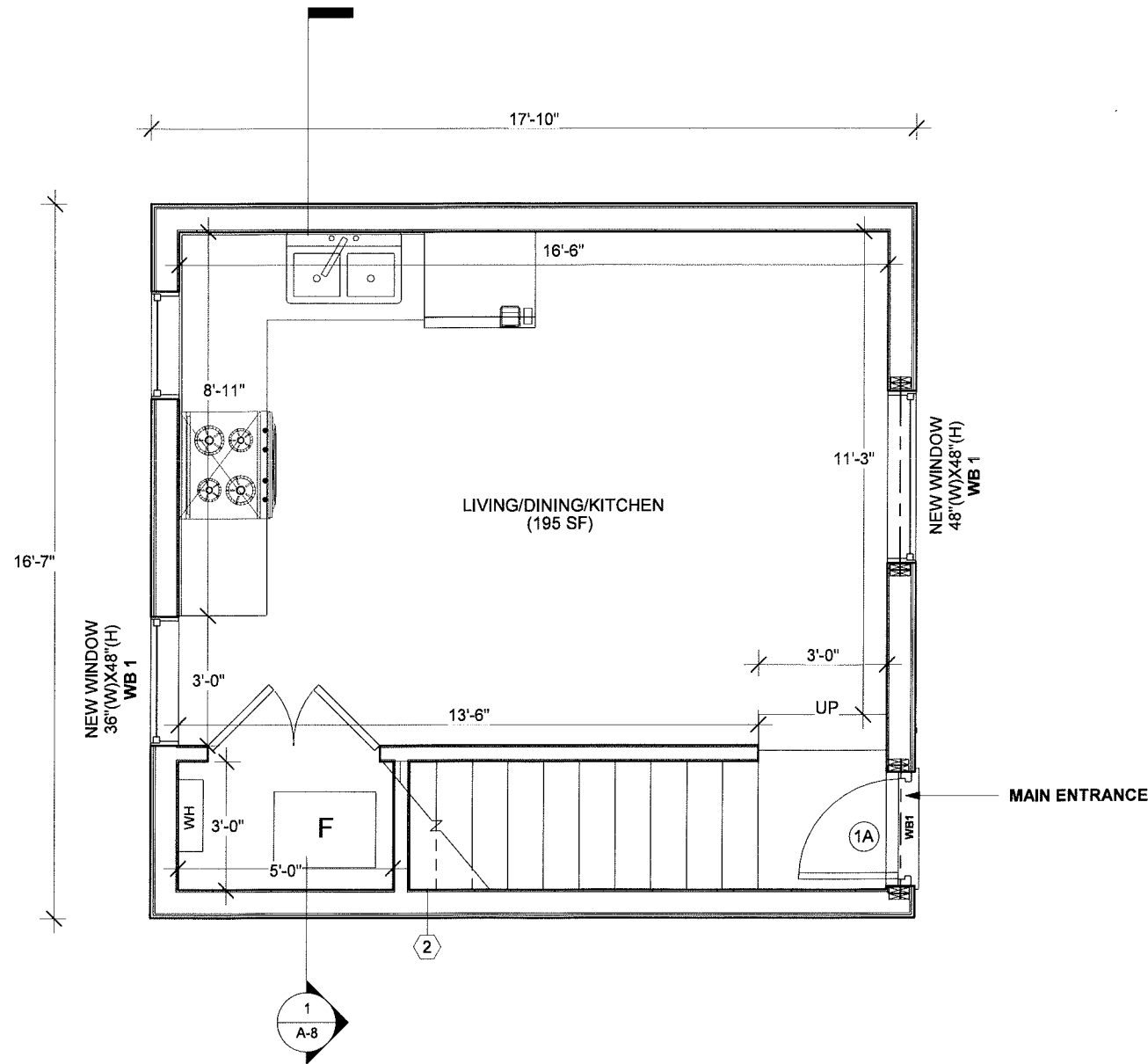
NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

MINOR VARIANCE

-TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m, WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE.



<p>SITE PLAN/ GRADING PLAN</p>	<p>The undersigned has reviewed and taken responsibility for this design and has qualifications and met the requirements set out in the Ontario Building Code to be a designer</p>		<p>THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.</p>	
	<p>QUALIFICATION INFORMATION (Required unless design is exempted under 3.2.5 Division C of OBC)</p>		<p>ADDRESS: 12 ABELL DR, BRAMPTON, ON</p>	
	<p>DESIGNER Tanvir Rai</p>	<p>BCIN 103482</p>	<p>NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON, ON. info@nobleltd.ca (437) 888 1800</p>	
	<p>FIRM Noble Prime Solutions Ltd</p>	<p>BCIN 118716</p>	<p>01 ISSUED FOR VARIANCE</p>	<p>AUG 07/24</p>
<p>DRAWN BY: NK</p>	<p>CHECKED BY: JB</p>	<p>PROJECT NUMBER: 24R-30476</p>	<p>AUG 07/24</p>	<p>DATE: AUG 07/24 SCALE: 1 : 100</p>
		<p>DWG No: A-1</p>		



GARDEN SUITE AREA: 295 SF (27.40 SQM)

Received / Revised

OCT 01 2024

Committee of Adjustment

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

GROUND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Tanvir Rai

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

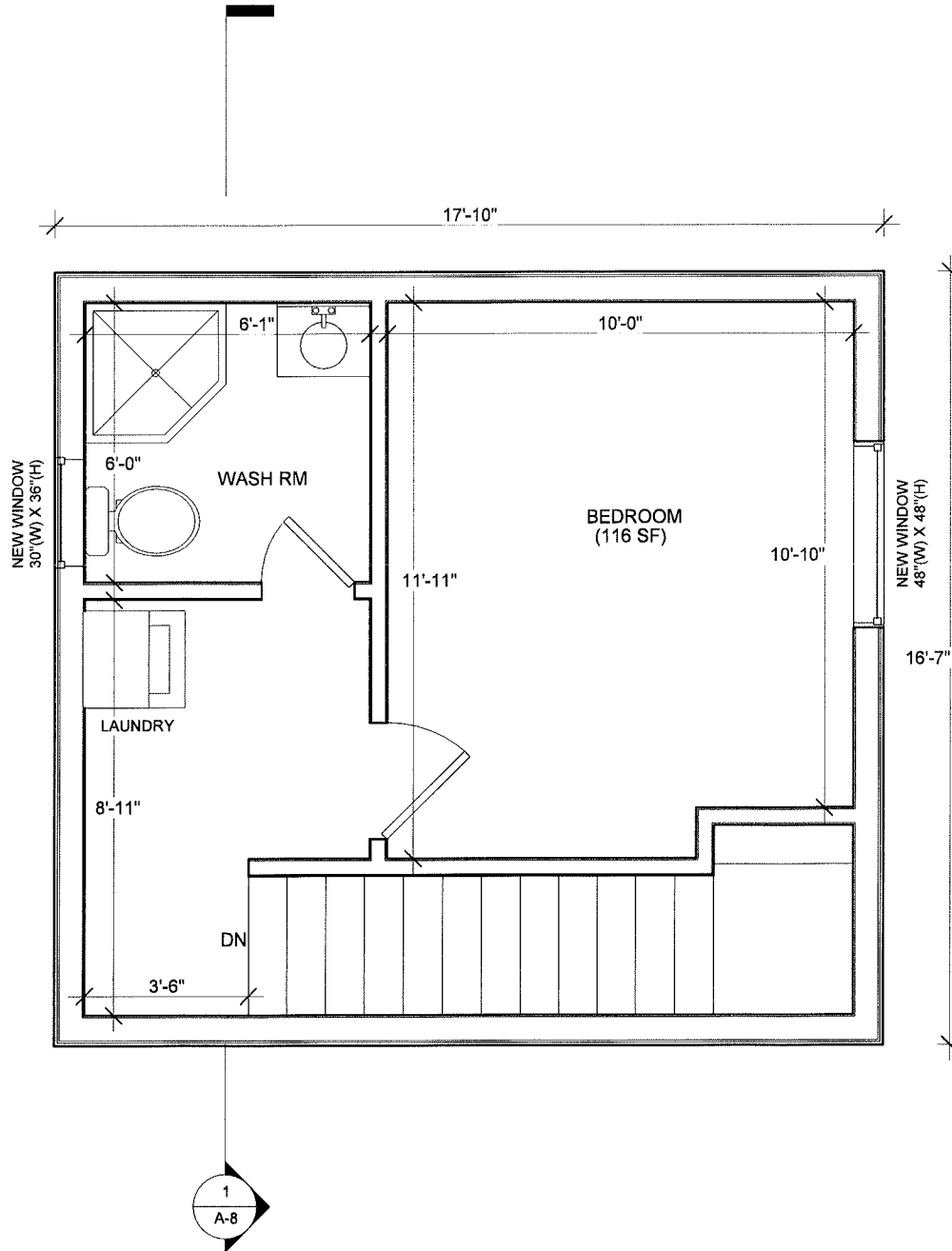
01 ISSUED FOR PERMIT AUG 22/24

ADDRESS:
12 ABELL DR,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 24R-30476

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: AUG 22/24 DWG No:
SCALE: 1 : 35 A-2



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

SECOND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Tanvir Rai

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

01 ISSUED FOR PERMIT	AUG 22/24
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ADDRESS:
12 ABELL DR,
BRAMPTON, ON

DRAWN BY: SHK	CHECKED BY: JB
PROJECT NUMBER: 24R-30476	

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobletd.ca
(437) 888 1800

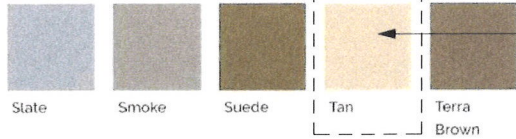
DATE: AUG 22/24	DWG No.
SCALE: 1 : 35	A-3

Received / Revised

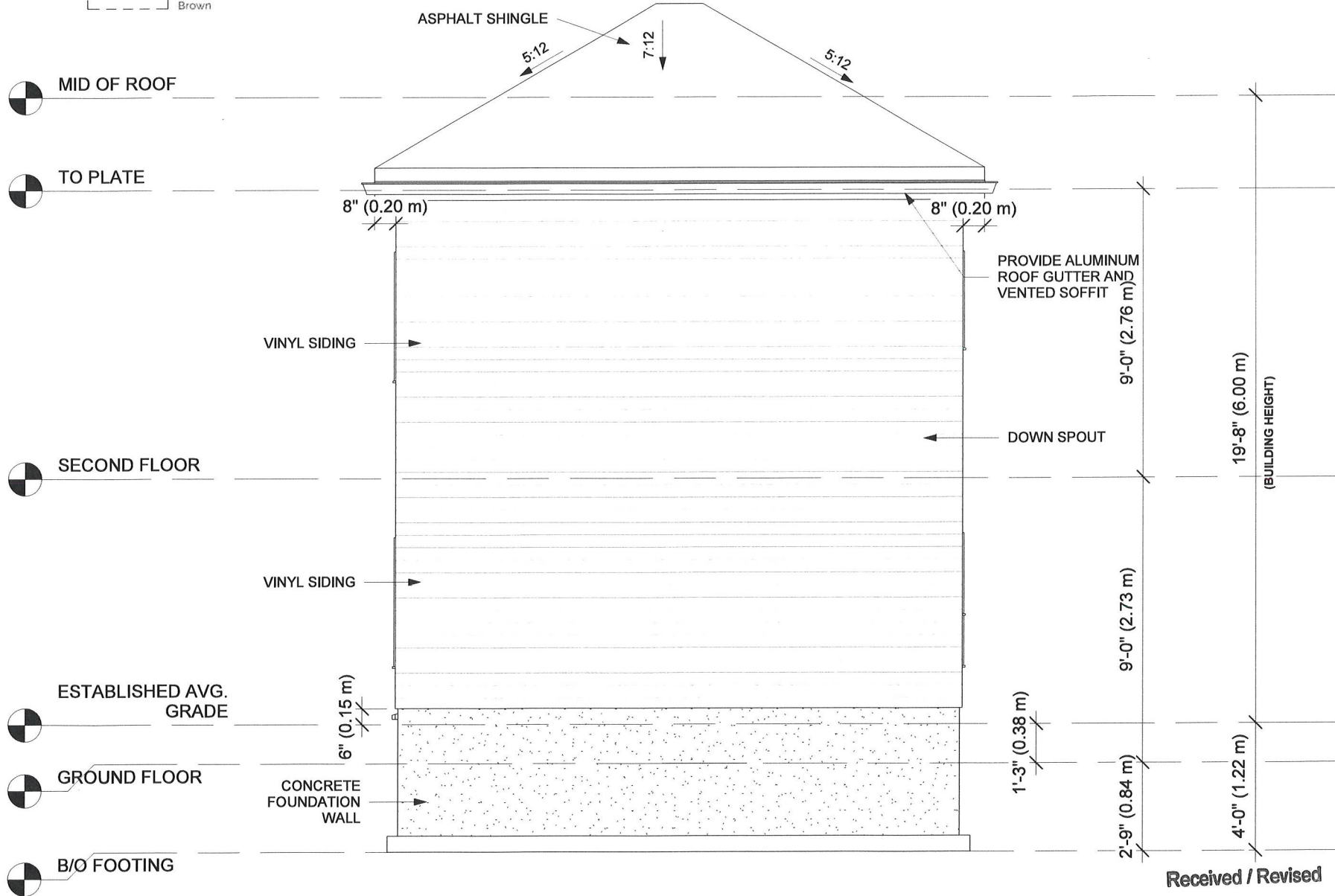
OCT 01 2024

Committee of Adjustment

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



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RIGHT SIDE ELEVATION

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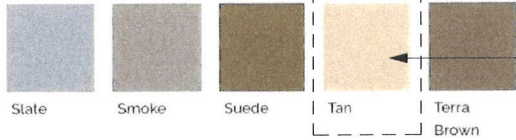
DATE: AUG 22/24	DWG. No.:
SCALE: 1:40	A-4

Received / Revised

OCT 01 2024

Committee of Adjustment

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR

MID OF ROOF

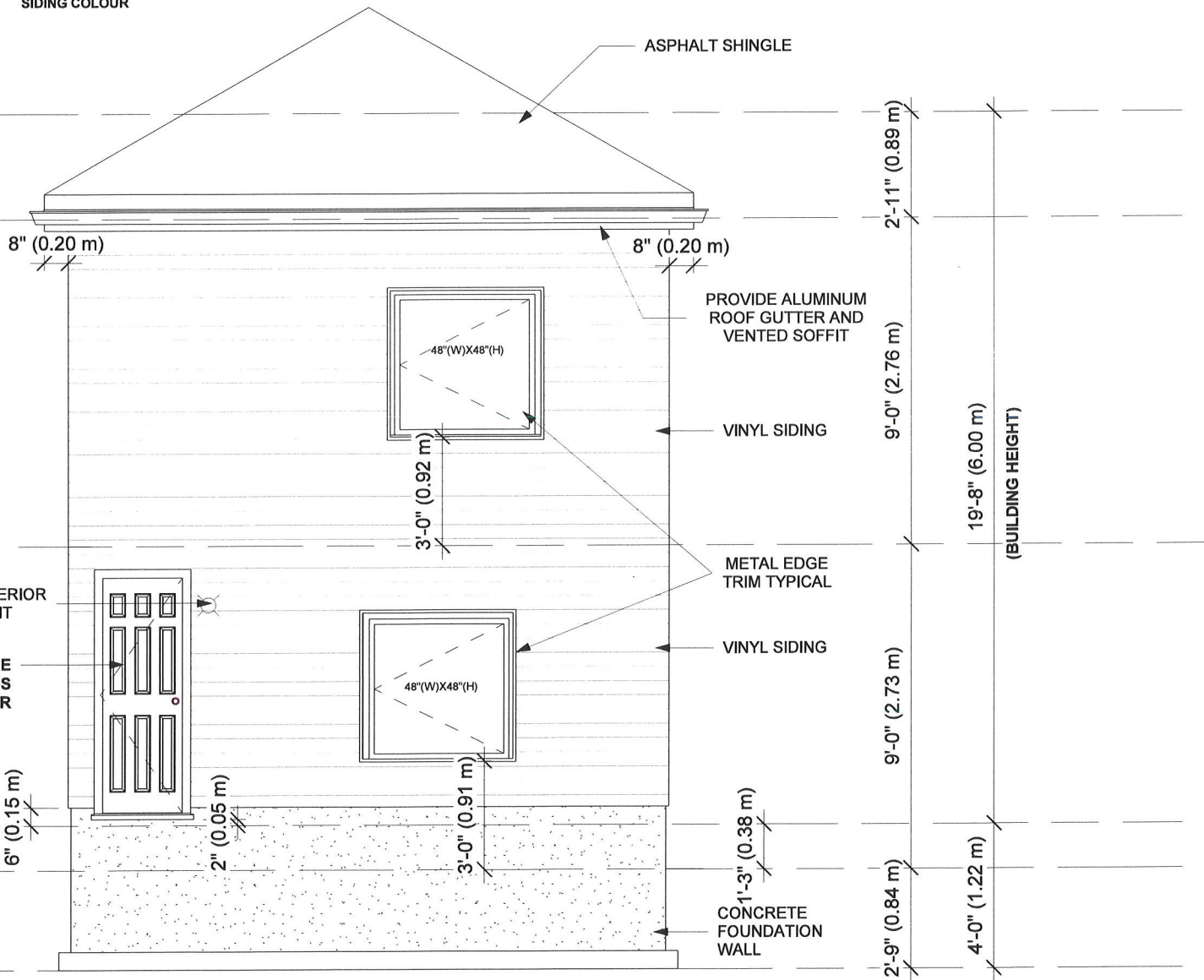
TO PLATE

SECOND FLOOR

ESTABLISHED AVG. GRADE

GROUND FLOOR

B/O FOOTING



FRONT ELEVATION

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[Signature]

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Noble Prime Solutions Ltd	118716

AUG 22/24

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DRAWN BY:	SHK	CHECKED BY:	JB
PROJECT NUMBER:	24R-30476		

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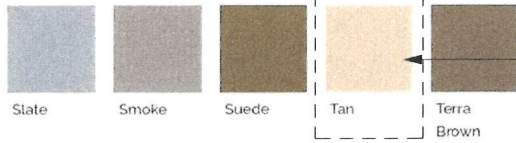
DATE:	AUG 22/24	DWG No.	A-5
SCALE:	1 : 40		

Received / Revised

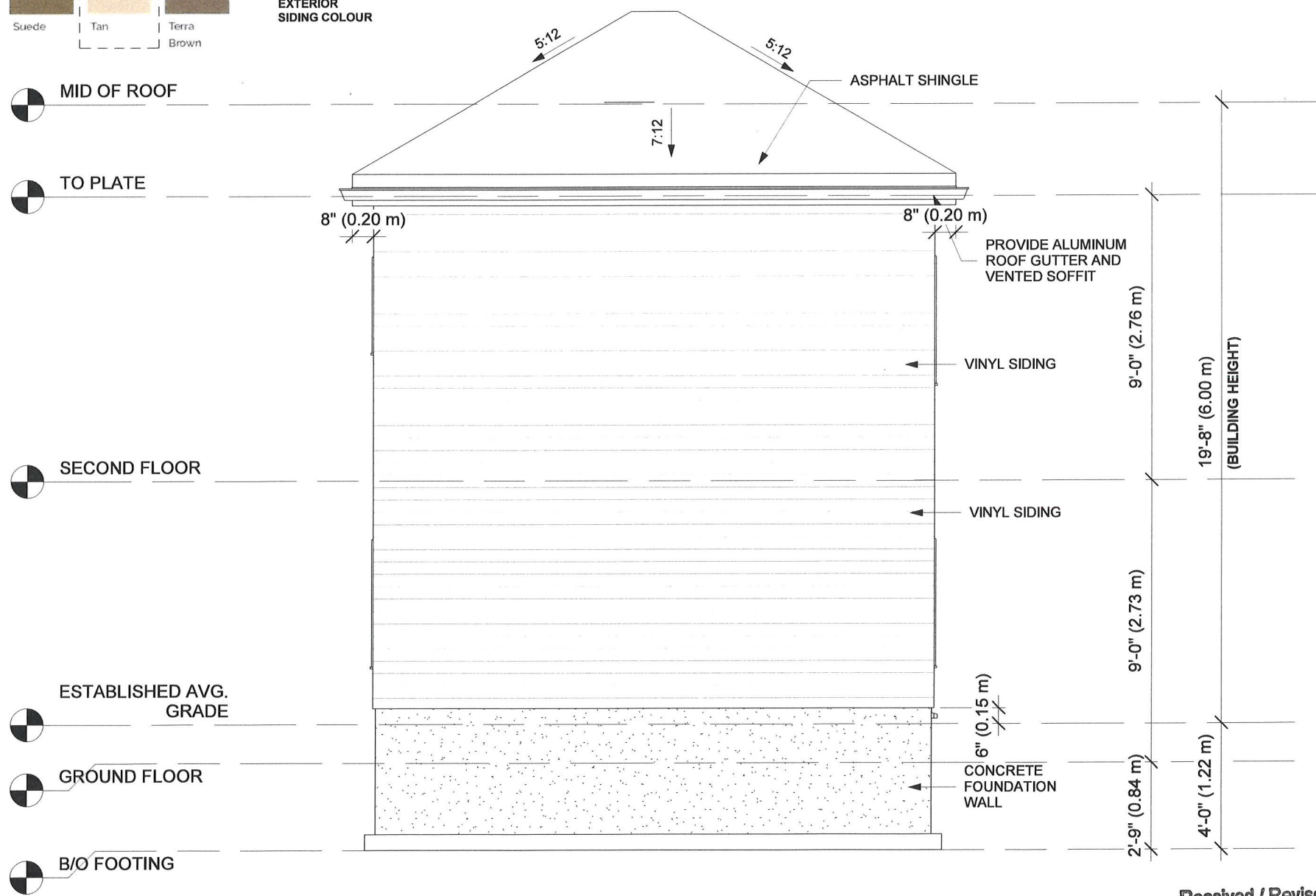
OCT 01 2024

Committee of Adjustment

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



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LEFT SIDE ELEVATION

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Noble Prime Solutions Ltd	118716

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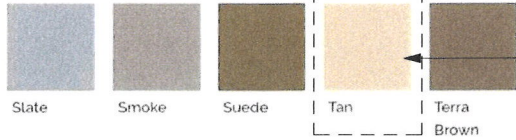
Received / Revised

OCT 01 2024

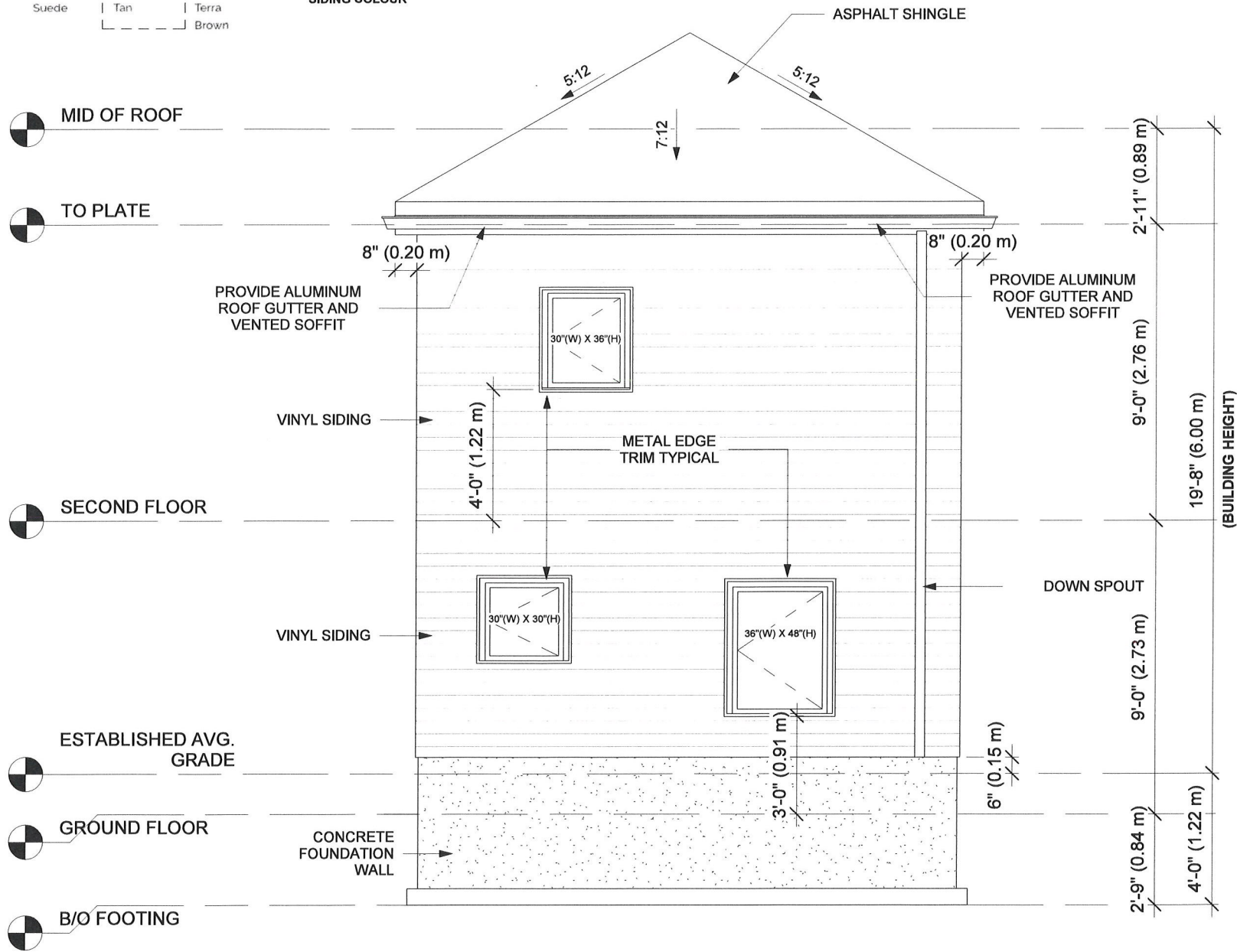
Committee of Adjustment

DATE: AUG 22/24	DWG No. A-6
SCALE: 1 : 40	

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



Received / Revised

OCT 01 2024

Committee of Adjustment

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL CONDITIONS AND VARIATIONS FROM THE SUPPLIED INFORMATION. DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REAR ELEVATION

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[Signature]

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

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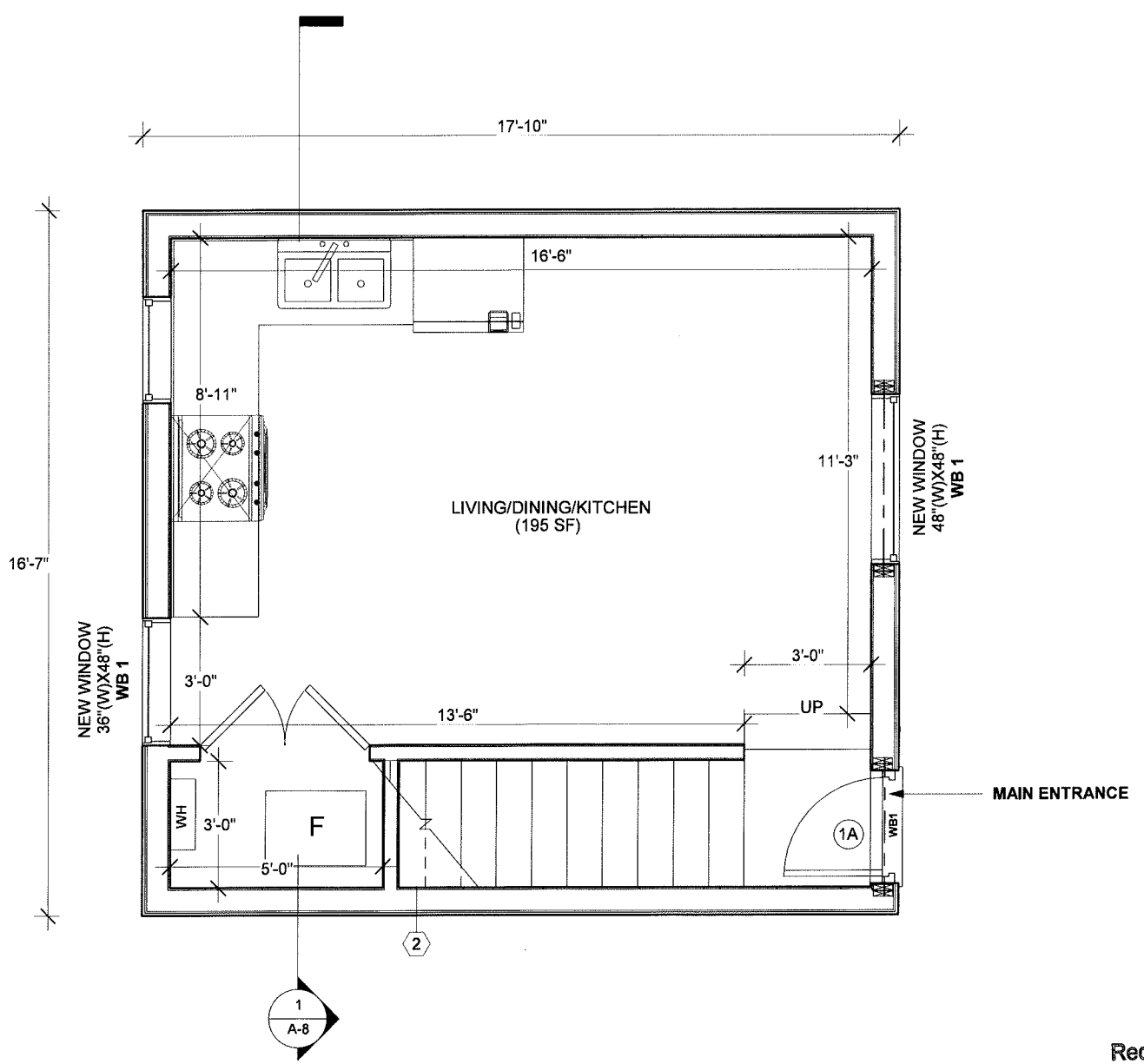
ADDRESS:
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BRAMPTON, ON

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PROJECT NUMBER: 24R-30476

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info@nobleltd.ca
(437) 888 1800

DATE: AUG 22/24	DWG No.:
SCALE: 1 : 40	A-7



GARDEN SUITE AREA: 295 SF (27.40 SQM)

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 OCT 01 2024
 Committee of Adjustment

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GROUND FLOOR

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Tanvir Rai	103482

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FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

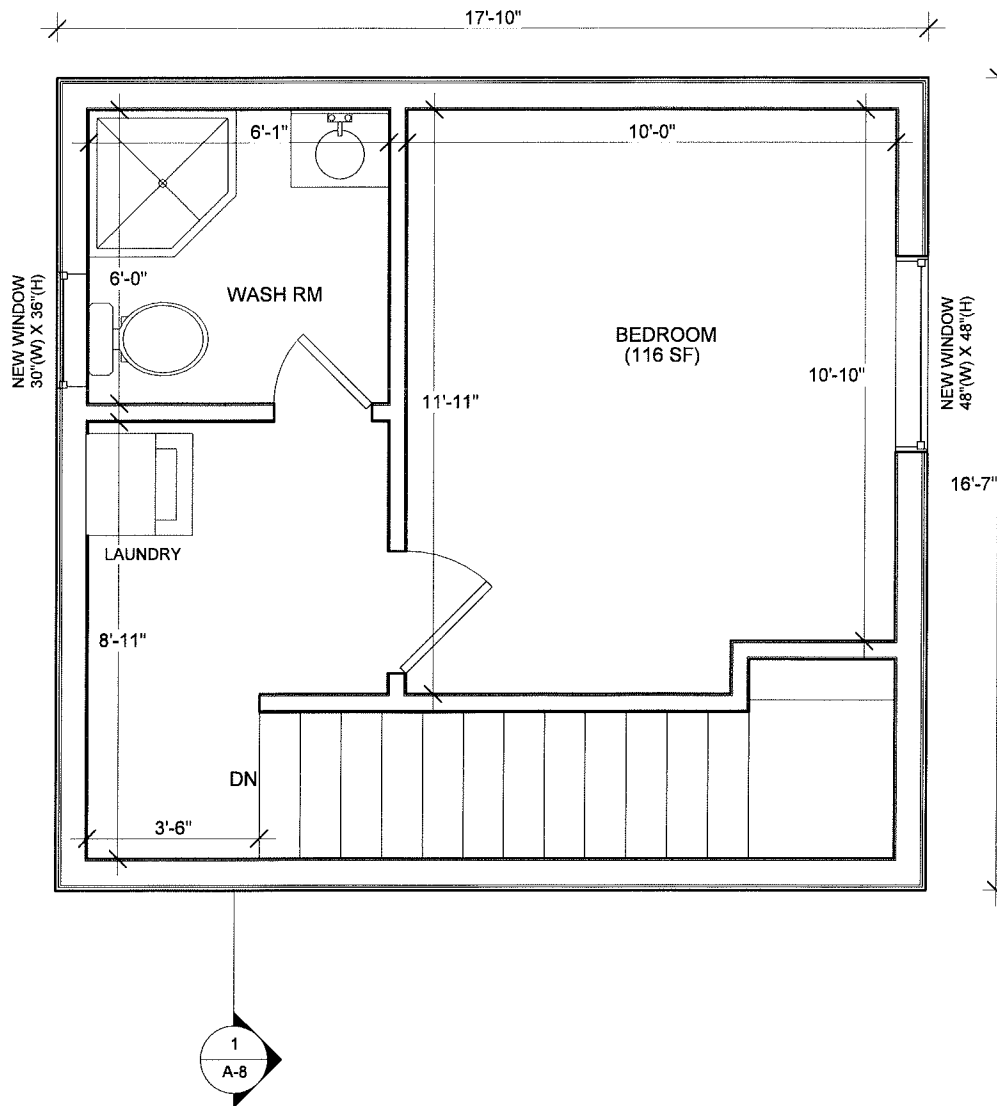
01 ISSUED FOR PERMIT AUG 22/24

ADDRESS:
 12 ABELL DR,
 BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
 PROJECT NUMBER: 24R-30476

NOBLE PRIME SOLUTIONS LTD.
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 UNIT 19,
 BRAMPTON, ON.
 info@nobleitd.ca
 (437) 888 1800

DATE: AUG 22/24 DWG No.
 SCALE: 1:35 A-2



Received / Revised
OCT 01 2024
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Tanvir Rai	103482
<i>Tanvir Rai</i>	
FIRM	BCIN
Noble Prime Solutions Ltd	118716
AUG 22/24	

01 ISSUED FOR PERMIT AUG 22/24

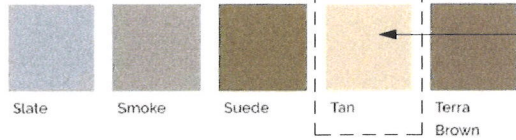
ADDRESS:
12 ABELL DR,
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DRAWN BY: SHK CHECKED BY: JB
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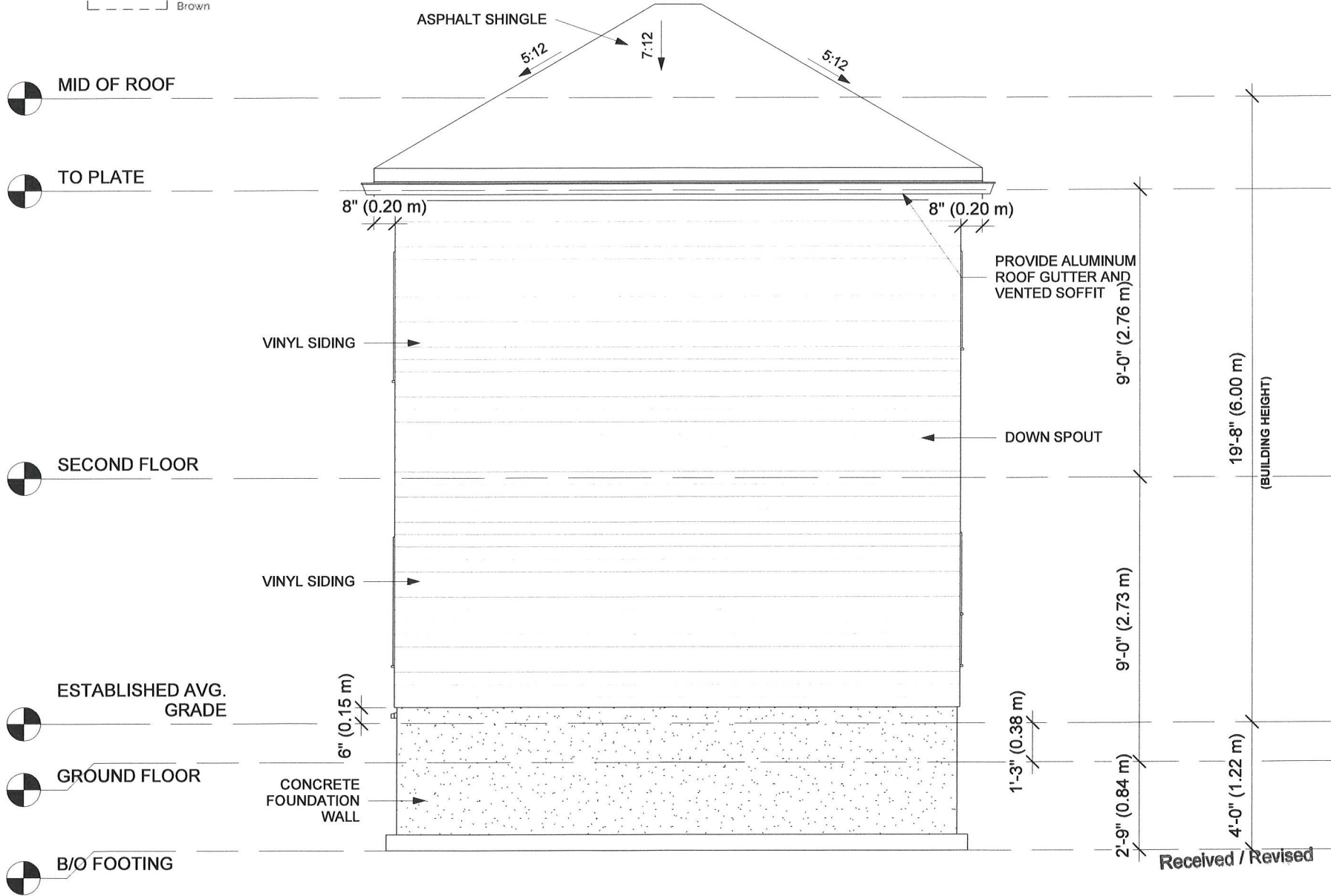
NOBLE PRIME SOLUTIONS LTD.
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DATE: AUG 22/24
SCALE: 1:35
PAGE No. A-3

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



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RIGHT SIDE ELEVATION

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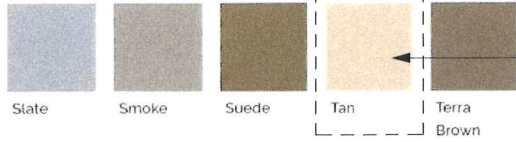
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SCALE: 1 : 40	A-4

Received / Revised

OCT 01 2024

Committee of Adjustment

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR

MID OF ROOF

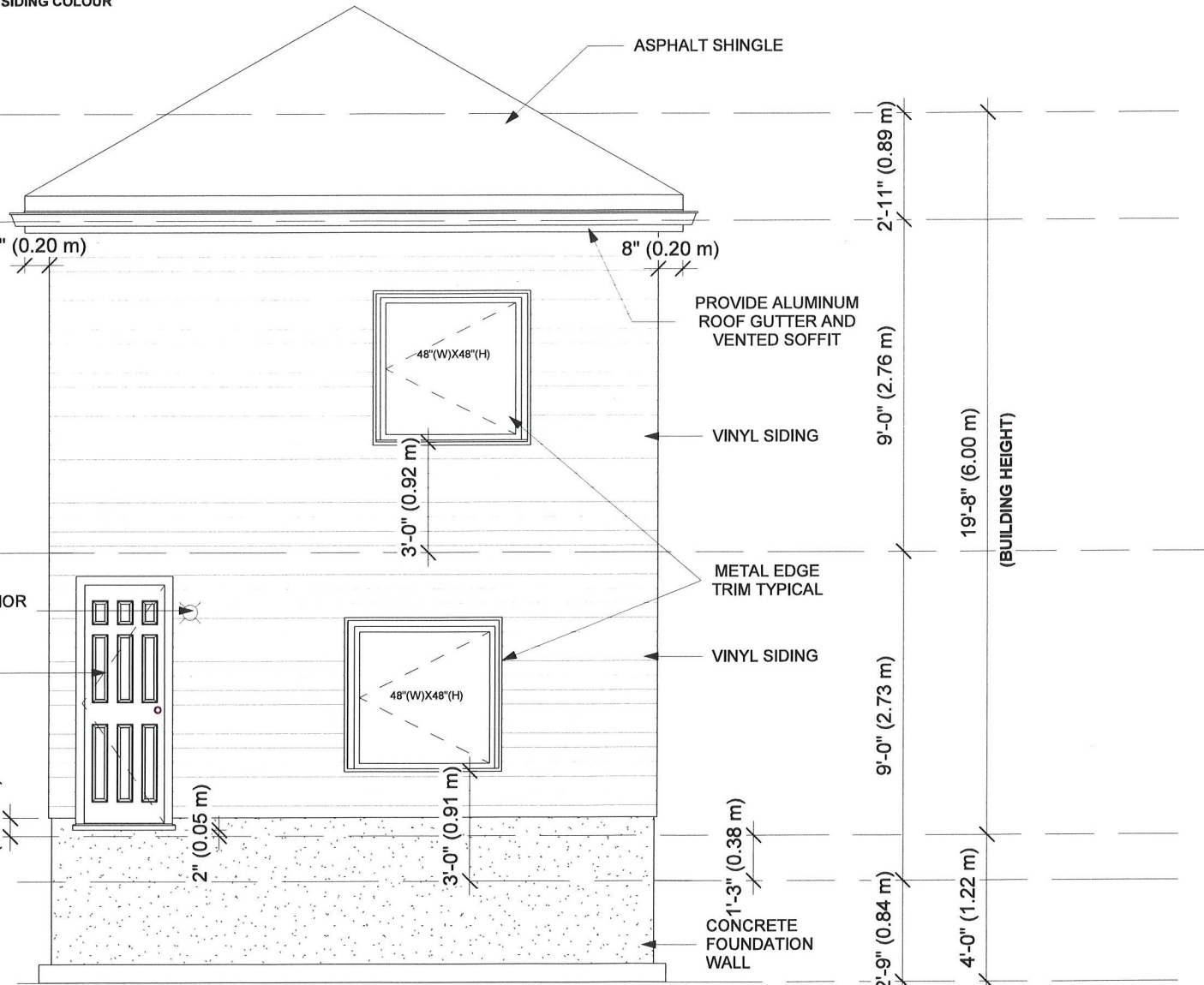
TO PLATE

SECOND FLOOR

ESTABLISHED AVG. GRADE

GROUND FLOOR

B/O FOOTING



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FRONT ELEVATION

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DESIGNER	BCIN
Tanvir Rai	103482

[Signature]

FIRM	BCIN
Noble Prime Solutions Ltd	118716

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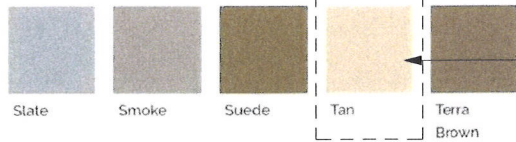
SCALE: 1 : 40	A-5
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Received / Revised

OCT 01 2024

Committee of Adjustment

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



MID OF ROOF



TO PLATE



SECOND FLOOR



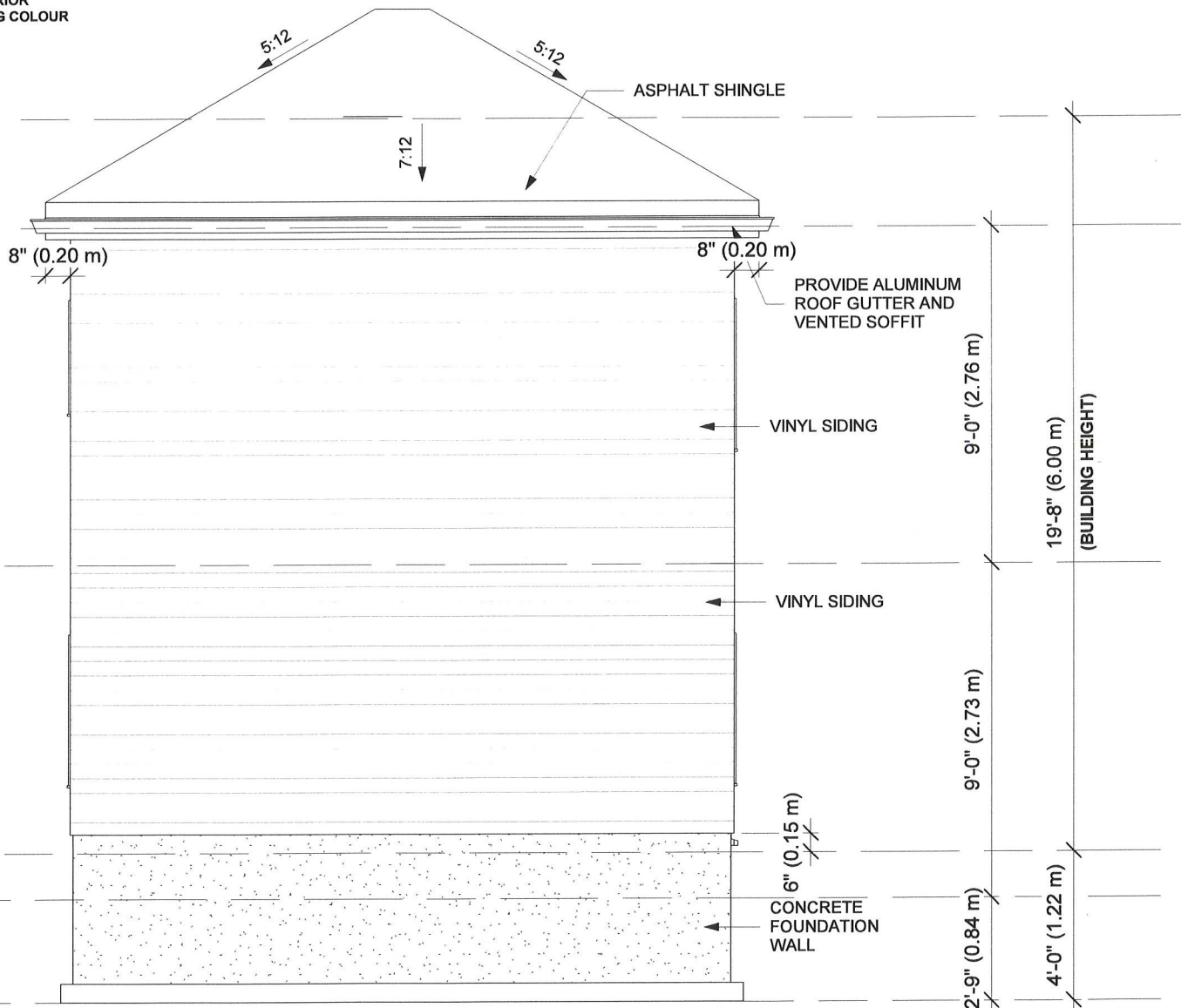
ESTABLISHED AVG. GRADE



GROUND FLOOR



B/O FOOTING



PROVIDE ALUMINUM ROOF GUTTER AND VENTED SOFFIT

VINYL SIDING

VINYL SIDING

6" (0.15 m)

CONCRETE FOUNDATION WALL

9'-0" (2.76 m)

9'-0" (2.73 m)

2'-9" (0.84 m)

19'-8" (6.00 m)
(BUILDING HEIGHT)

4'-0" (1.22 m)

Received / Revised

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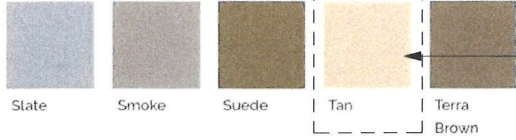
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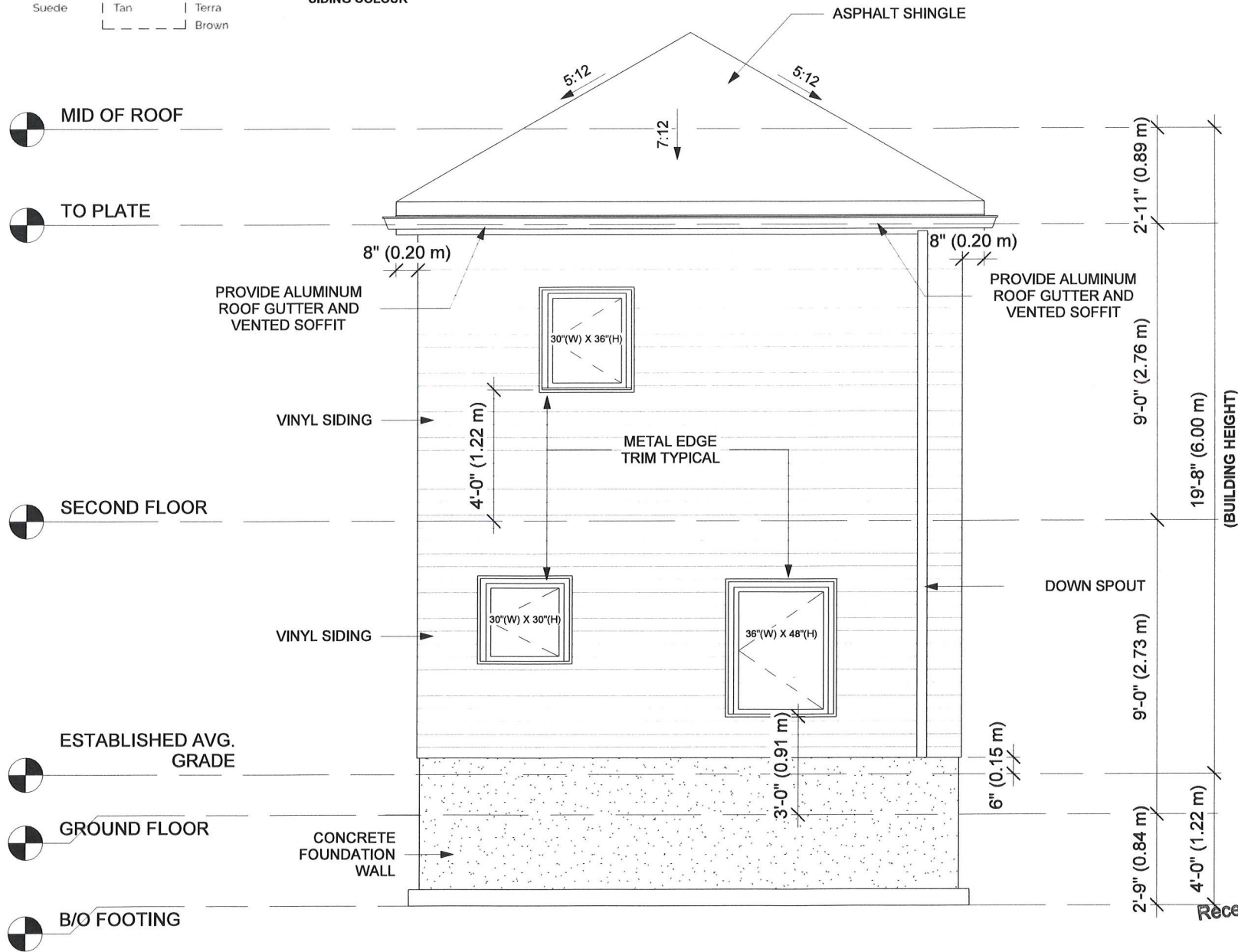
NOBLE PRIME SOLUTIONS LTD.
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DATE: AUG 22/24	DWG No.
SCALE: 1:40	A-6

COLOUR OPTIONS:



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DATE: AUG 22/24	DWG. No.: A-7
SCALE: 1 : 40	



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A - 2024 - 0359

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** ISHAN VASUDEVA, BABLI BABLI
Address 12 ABELL DR BRAMPTON, ON, L6V 2V8

Phone # 647-219-4693 **Fax #** _____
Email ISHAN.VASUDEVA1998@GMAIL.COM

2. **Name of Agent** PAVNEET KAUR(NOBLE PRIME SOLUTIONS LTD)
Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email APPLICATIONS@NOBLELTD.CA

3. **Nature and extent of relief applied for (variances requested):**

-TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m
 -TO PERMIT A GARDEN SUITE WITH A CLEAR ACCESS OF 1.2m STARTING FROM THE END OF THE DRIVEWAY INSTEAD OF THE STREET.

4. **Why is it not possible to comply with the provisions of the by-law?**

WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE

5. **Legal Description of the subject land:**
Lot Number 343
Plan Number/Concession Number M27
Municipal Address 12 ABELL DR BRAMPTON, ON, L6V 2V8

6. **Dimension of subject land (in metric units)**
Frontage 9.29
Depth 31.87
Area 276.66

7. **Access to the subject land is by:**

Provincial Highway <input type="checkbox"/>	Seasonal Road <input type="checkbox"/>
Municipal Road Maintained All Year <input checked="" type="checkbox"/>	Other Public Road <input type="checkbox"/>
Private Right-of-Way <input type="checkbox"/>	Water <input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY SEMI DETACHED HOUSE

PROPOSED BUILDINGS/STRUCTURES on the subject land:

DETACHED GARDEN SUITE WITH THE ARE OF 27.40

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 8.05
 Rear yard setback 9.30
 Side yard setback 3.15
 Side yard setback 0

PROPOSED

Front yard setback NO CHANGE
 Rear yard setback 2.52
 Side yard setback 1.80
 Side yard setback _____

10. Date of Acquisition of subject land: _____

11. Existing uses of subject property: REISIDENTIAL

12. Proposed uses of subject property: REISIDENTIAL

13. Existing uses of abutting properties: REISIDENTIAL

14. Date of construction of all buildings & structures on subject land: _____

15. Length of time the existing uses of the subject property have been continued: _____

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well

- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic

- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Pavneet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 15 DAY OF August, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Pavneet Kaur, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
Region OF Peel
IN THE Province OF
Ontario THIS 15th DAY OF
Aug, 2024.

Pavneet Kaur
Signature of Applicant or Authorized Agent

A COMMISSIONER OF OATHS
Barrister Solicitor & Notary Public
Commissioner of Oaths in and for Ontario
309-50 Sunny Meadow Blvd,
Brampton Ontario L6R 0Y7
Ph# 905-791-2500; Fax # 905-790-7757

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
Present Zoning By-law Classification: R2A

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

JOHN C. CABRAL 2024-09-12
Zoning Officer Date

DATE RECEIVED Sept 13, 2024
Date Application Deemed _____
VL

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, L6V2V8

I/We, ISHAN VASUDEVA & BABLI BABLI
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 16 day of JULY, 2024



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, L6V2V8

I/We, ISHAN VASUDEVA & BABLI BABLI
please print/type the full name of the owner(s)

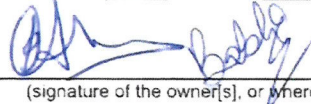
the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Noble Prime Solutions Ltd

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 16 day of JULY, 2024.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

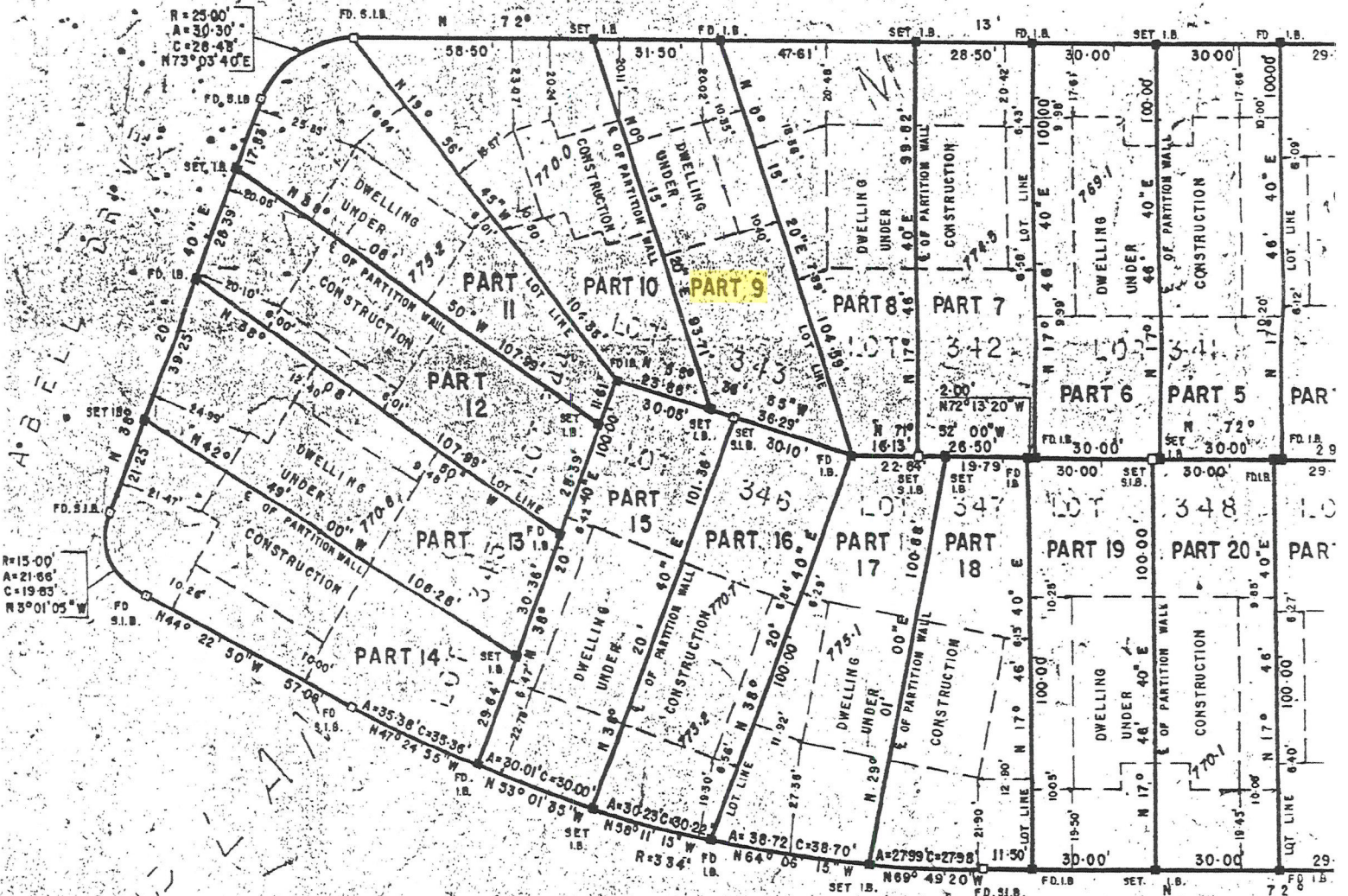
NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PLAN OF SURVEY OF
LOTS 339 TO 352; BOTH INCLUSIVE, PLAN
CITY OF BRAMPTON (FORMERLY TOWN OF BRAM)
REGIONAL MUNICIPALITY OF PEEL

SCALE 1" = 30'

J. RADY-PENTEK, O.L.S., 1974

ABELL DRIVE



NOTE

- S.I.B. DENOTES IRON BAR 1" SQUARE BY 48" LONG
- I.B. DENOTES IRON BAR 1/2" SQUARE BY 24" LONG
- FD. DENOTES FOUND
- DENOTES FINISHED FLOOR ELEVATION

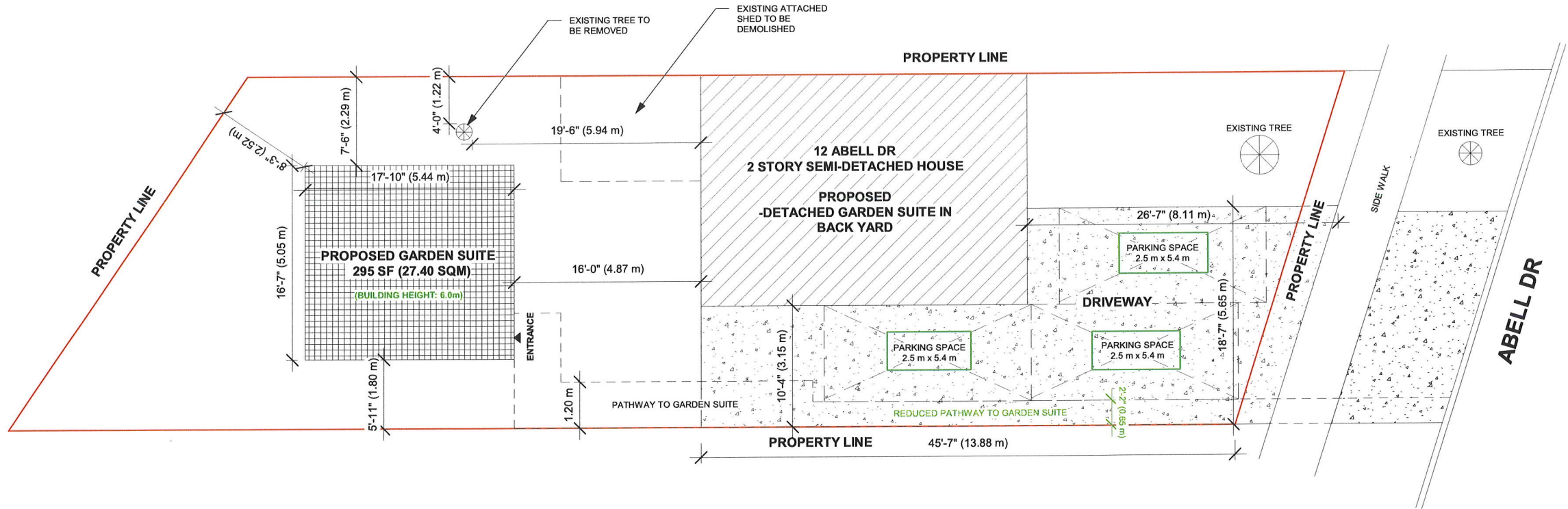
THE N 72° 13' 20" W OF THE NORTHERLY LIMIT OF HANSEN ROAD, ACCORDING TO PLAN M-27, GOVERNS ALL BEARINGS HEREON.

SURVEYOR'S

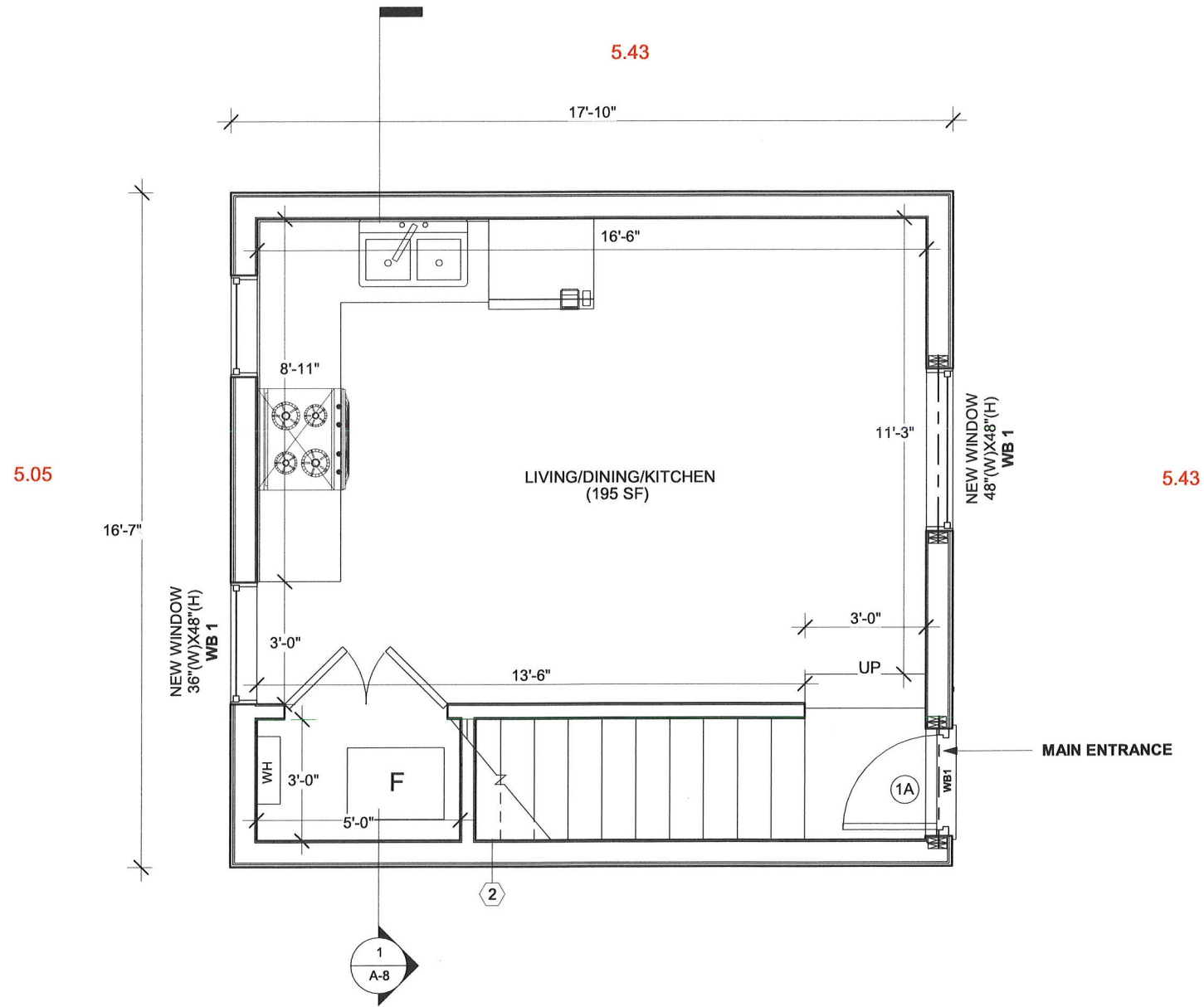
- I HEREBY CERTIFY
- 1. THAT THIS SURVEY
- THE SURVEYS ACCORDING TO THE PLAN MADE THEREUNDER
- 2. THAT I WAS PRESENT AND REPRESENTED BY
- 3. THAT THIS PLAN
- 4. THAT THE SURVEY

MINOR VARIANCE

- TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m, WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE;
- TO PERMIT A GARDEN SUITE WITH A CLEAR ACCESS OF 0.65m FROM THE STREET, WHEREAS ZONING BY LAW REQUIRES A MINIMUM 1.2m OF CLEAR PATHWAY TO A GARDEN SUITE;
- TO PERMIT PARKING SPACES ON DRIVEWAY WITH A SIZE 2.5m X 5.4m, WHEREAS ZONING BY LAW REQUIRES A MINIMUM PARKING SIZE OF 2.7m X 5.4m ON A DRIVEWAY.



<h3>SITE PLAN/ GRADING PLAN</h3>	The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer		THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.	
	QUALIFICATION INFORMATION <small>(Required unless design is exempted under 3.2.5 Division C of OBC)</small>		ADDRESS: 12 ABELL DR, BRAMPTON, ON	
	DESIGNER Tanvir Rai	BCIN 103482	NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON, ON. info@nobleltd.ca (437) 888 1800	
	FIRM Noble Prime Solutions Ltd	BCIN 118716		
DRAWN BY: NK PROJECT NUMBER: 24R-30476	CHECKED BY: JB AUG 07/24	01 ISSUED FOR VARIANCE	AUG 07/24	DATE: AUG 07/24 SCALE: 1 : 100 DWG No: A-1



GARDEN SUITE AREA: 295 SF (27.40 SQM)

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL CONDITIONS, DIMENSIONS, AND MATERIALS. THE CONTRACTOR MUST VERIFY THE DESIGN/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

GROUND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Tanvir Rai

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

01 ISSUED FOR PERMIT	AUG 22/24
----------------------	-----------

ADDRESS:
12 ABELL DR,
BRAMPTON, ON

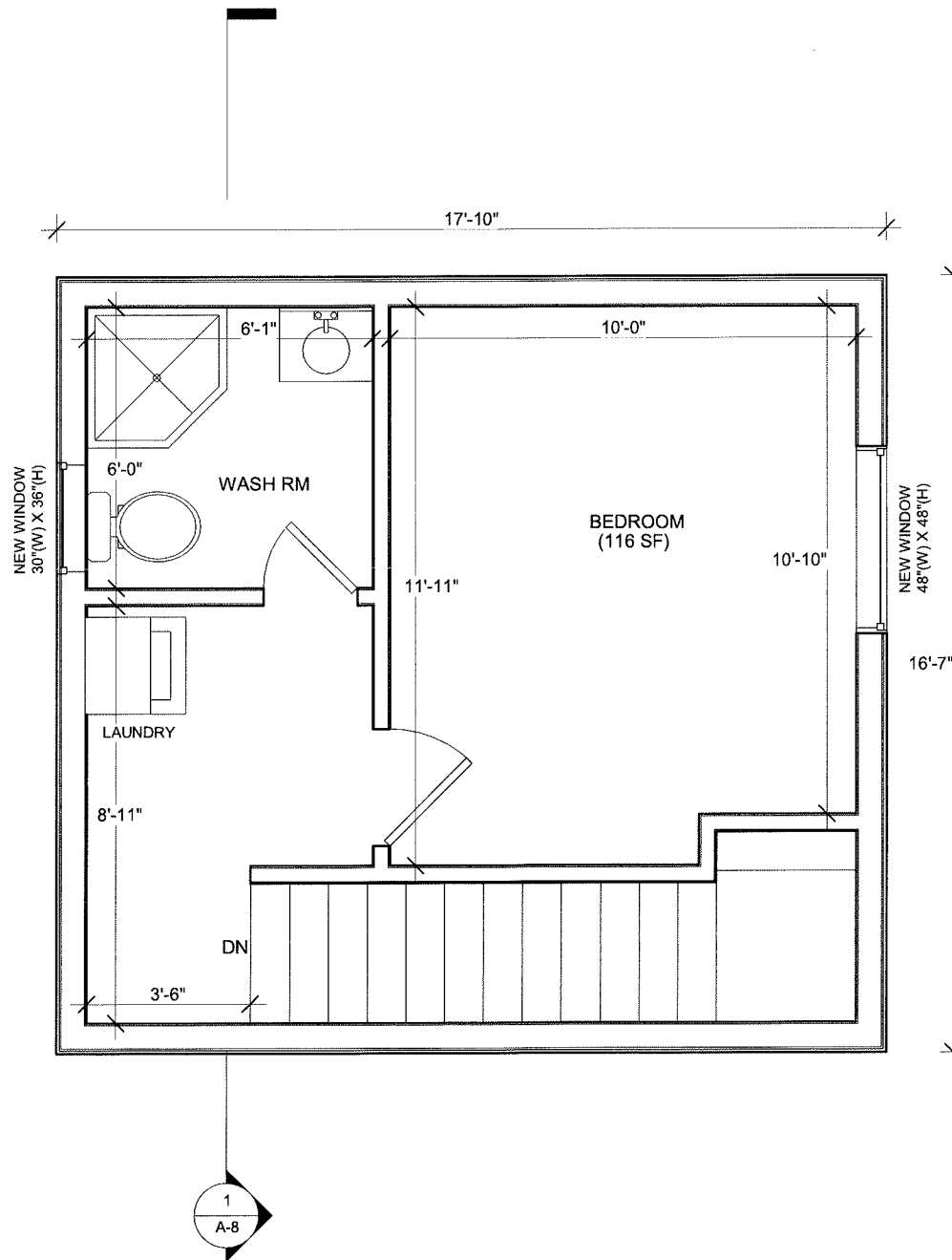
DRAWN BY: NK CHECKED BY: JB

PROJECT NUMBER: 24R-30476

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: AUG 22/24 DWG No:

SCALE: 1 : 35 **A-2**



1
A-8

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER IMMEDIATELY IN WRITING OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

SECOND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

[Signature]

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

01 ISSUED FOR PERMIT	AUG 22/24
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ADDRESS:
12 ABELL DR,
BRAMPTON, ON

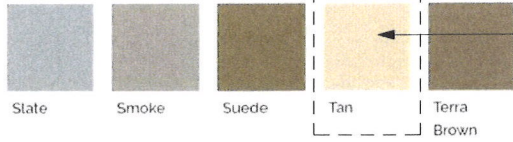
DRAWN BY: SHK	CHECKED BY: JB
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PROJECT NUMBER: 24R-30476

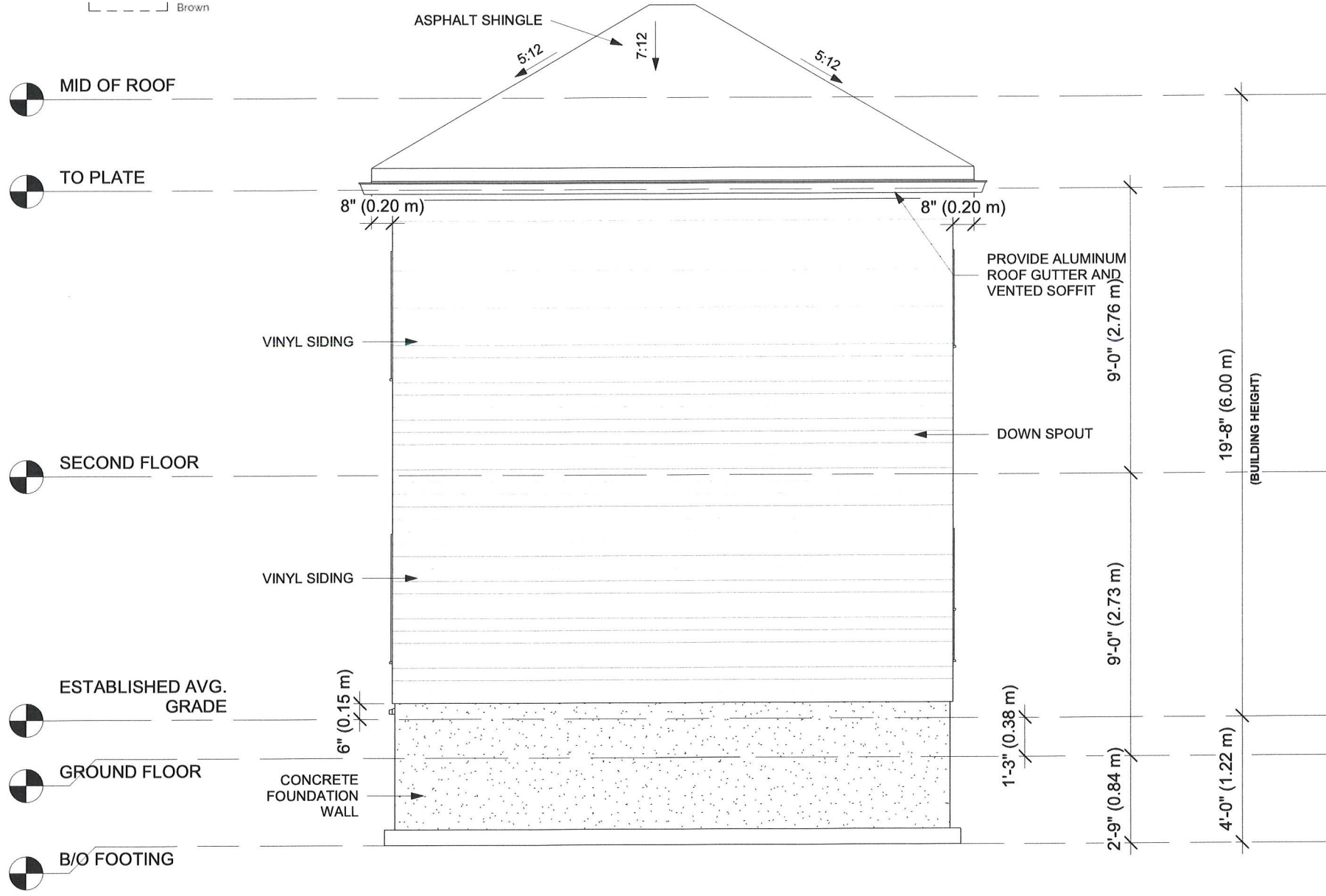
NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobletd.ca
(437) 888 1800

DATE: AUG 22/24	DWG No:
SCALE: 1 : 35	A-3

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS OF THE SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

RIGHT SIDE ELEVATION

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

(Signature)

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

01 ISSUED FOR PERMIT	AUG 22/24
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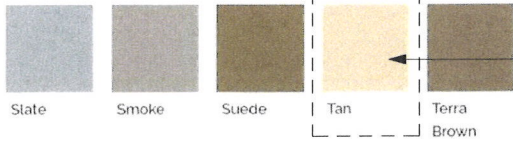
ADDRESS:
12 ABELL DR,
BRAMPTON, ON

DRAWN BY: SHK	CHECKED BY: JB
PROJECT NUMBER:	24R-30476

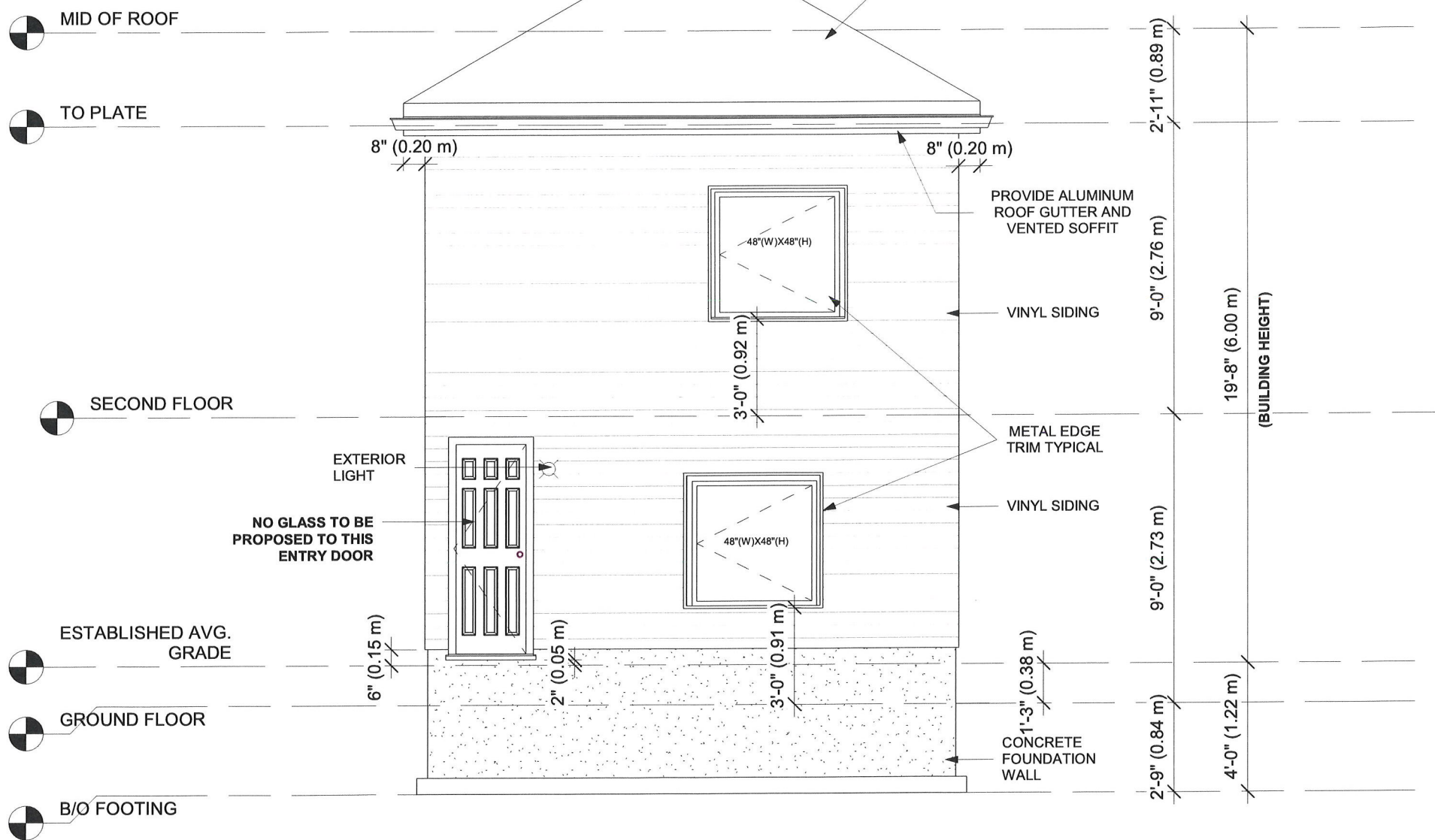
NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: AUG 22/24	DWG No:
SCALE: 1 : 40	A-4

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD AND NOTIFY THE DESIGNER IMMEDIATELY IN WRITING OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

FRONT ELEVATION

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

[Signature]

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

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01 ISSUED FOR PERMIT	AUG 22/24
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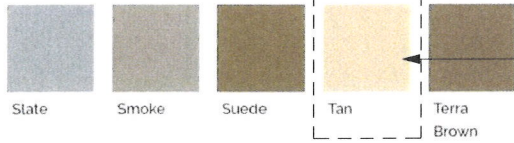
ADDRESS:
12 ABELL DR,
BRAMPTON, ON

DRAWN BY: SHK	CHECKED BY: JB
PROJECT NUMBER: 24R-30476	

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: AUG 22/24	DWG No: A-5
SCALE: 1 : 40	

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR

MID OF ROOF

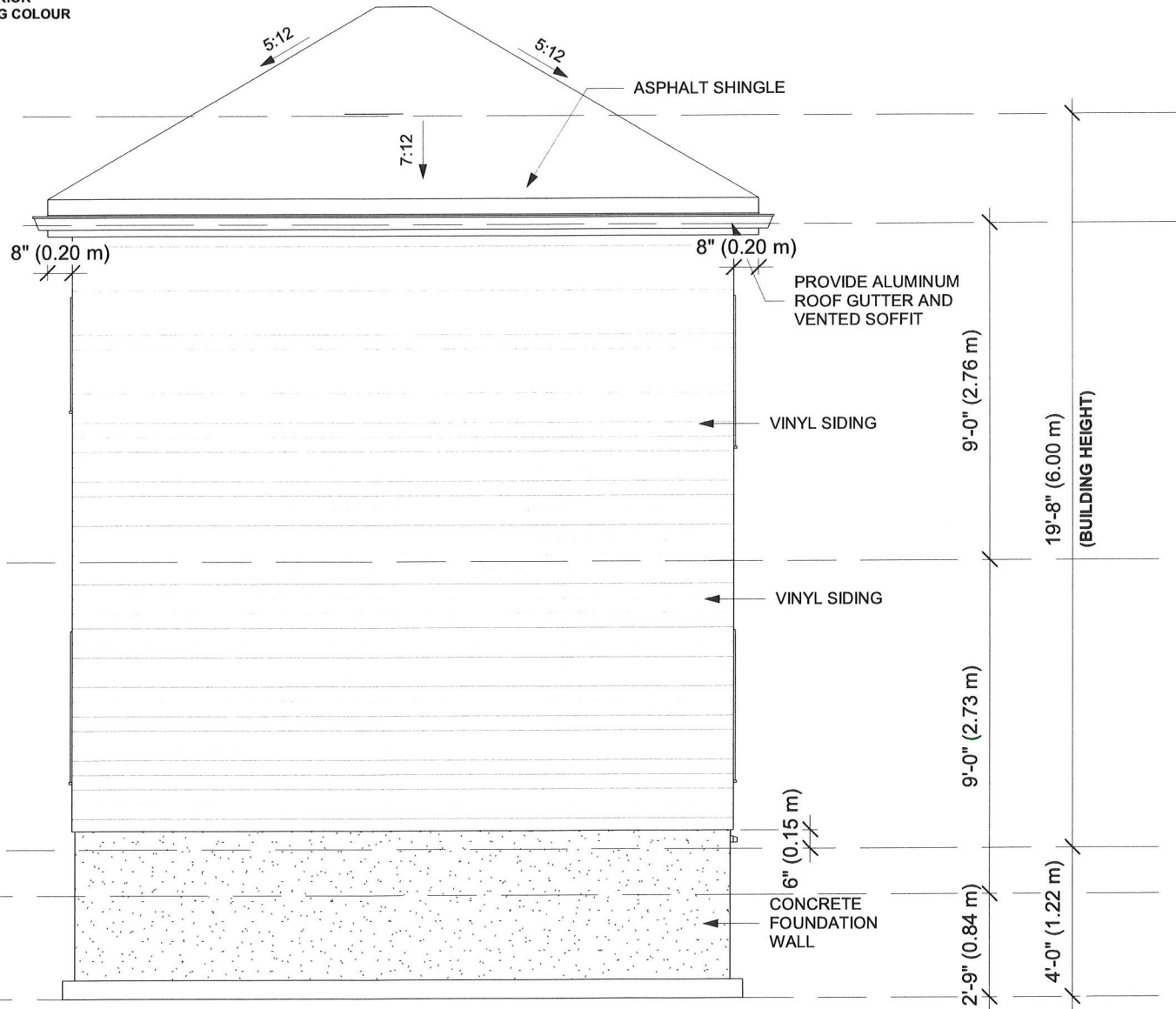
TO PLATE

SECOND FLOOR

ESTABLISHED AVG. GRADE

GROUND FLOOR

B/O FOOTING



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

LEFT SIDE ELEVATION

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Tanvir Rai

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

01 ISSUED FOR PERMIT	AUG 22/24
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ADDRESS:
12 ABELL DR,
BRAMPTON, ON

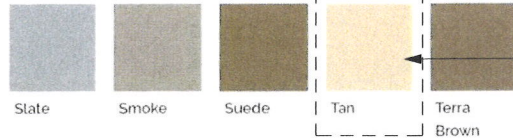
DRAWN BY: SHK	CHECKED BY: JB
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PROJECT NUMBER: 24R-30476

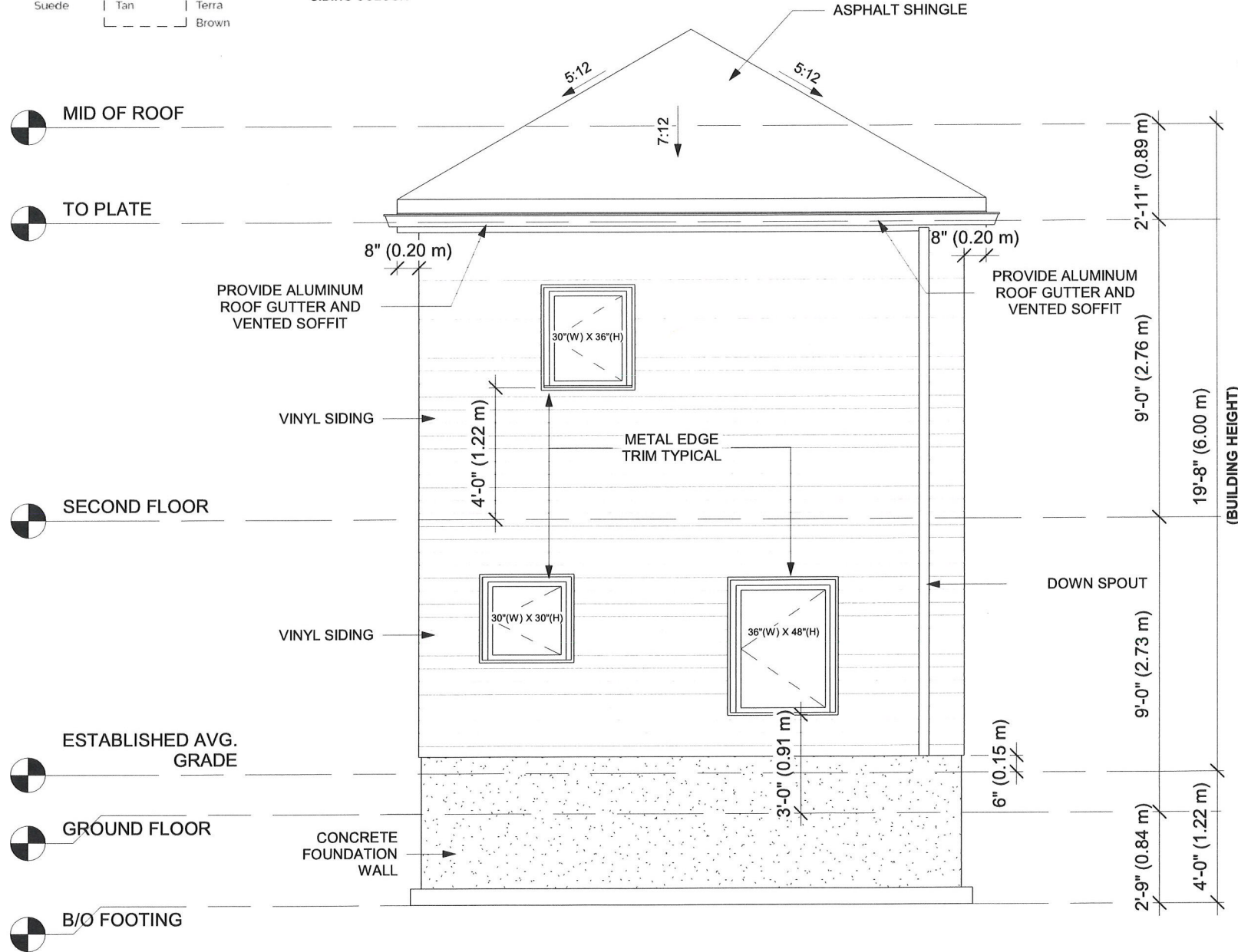
NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: AUG 22/24	DWG No:
SCALE: 1 : 40	A-6

COLOUR OPTIONS:



PROPOSED EXTERIOR SIDING COLOUR



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGN ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REAR ELEVATION

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION (Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

[Signature]

FIRM	BCIN
Noble Prime Solutions Ltd	118716

AUG 22/24

01 ISSUED FOR PERMIT	AUG 22/24
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ADDRESS:
12 ABELL DR,
BRAMPTON, ON

DRAWN BY: SHK	CHECKED BY: JB
PROJECT NUMBER:	24R-30476

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobletd.ca
(437) 888 1800

DATE: AUG 22/24	DWG No: A-7
SCALE: 1 : 40	

Zoning Non-compliance Checklist

File No.

A-2024-0359

Applicant: ISHAN VASUDEVA, BABLI BABLI
 Address: 12 Abell Dr, Brampton, ON L6V 2V8
 Zoning: R2A
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
SETBACKS			
GARDEN SUITE	To permit a 2-storey garden suite having a maximum gross floor area of 54.84m ² (590.29ft ²)	Whereas the by-law permits a maximum gross floor area of 35m ² in all other zones.	10.16.2.(c)
	To permit a 2-storey garden suite having a maximum building height of 6.0m (19'-8")	Whereas the by-law permits a maximum building height of 4.5m or the height of the principal building, whichever is less, on a lot in all other Residential zones	10.16.2.(h)
	To permit a 2-storey garden suite having a minimum 0.65m (2'-2") wide unobstructed pedestrian path of travel	Whereas the by-law requires a minimum 1.2m wide unobstructed pedestrian path of travel.	10.16.2.(j)
PARKING	To permit 3 parking spaces on the driveway, all having a minimum width of 2.5m	Whereas the by-law requires a minimum parking space width of 2.7m	6.17.1.(a)
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
GARAGE DOOR HEIGHT			

John C. Cabral
 Reviewed by Zoning

2024-09-12
 Date

**Appointment of Authorized Agent
Two-Unit Dwelling Registration**

To: The Chief Building Official and Director of Building
Planning & Infrastructure Services
City of Brampton
8850 McLaughlin Road, Unit 1
Brampton, ON L6Y 5T1

Re: Registration of a Two-Unit Dwelling at 12 ABELL DR, BRAMPTON, ON,
(municipal address) L6Y 2V8

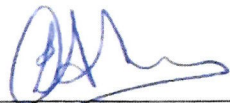

I/we ISHAN VASUDEVA & BABLI BABLI
(print the full name of the owner(s))

the undersigned, being the registered owner(s) of the subject property, hereby authorize
NOBLE PRIME SOLUTIONS LTD

(print the full name of the authorized agent(s))

to make application to the City of Brampton for registration of a two-unit dwelling on the
subject lands.

Dated this 16 day or JULY, 2024.
(date) (month) (year)

 
(signature of owner(s))

(signature of owner(s))