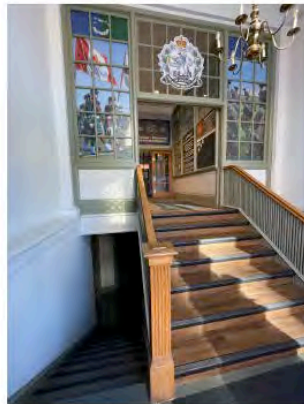


HERITAGE IMPACT ASSESSMENT



LORNE SCOTS REGIMENTAL MUSEUM (FORMER CARNEGIE LIBRARY)
55 QUEEN STREET EAST, BRAMPTON

ACCESSIBILITY UPGRADES_11 SEP 2024

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
Built Heritage Consultant
mhobson@bell.net

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EXECUTIVE SUMMARY

Hobson Heritage Consulting was retained by the City of Brampton to provide a *Heritage Impact Assessment* (HIA) for proposed accessibility upgrades to the former Brampton Carnegie Library at 55 Queen Street East. The subject property is a City-owned Designated heritage building that is currently occupied by the Lorne Scots Regimental Museum.

The proposed accessibility upgrades include the following:

- construction of an exterior wheelchair ramp at the front entrance on Queen Street
- interior alterations to the stairs inside the front entrance to accommodate a wheelchair lift
- interior alterations to an existing washroom on the lower level to create a barrier free washroom

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the building through the main entrance on Queen Street therefore presents accessibility challenges including exterior steps up to the front door and interior stairs inside the entrance vestibule up to the main floor where the exhibition space is and down to the lower level where the washrooms are.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing

Therefore, it is recommended that the Heritage Permit Application be approved, subject to the following conditions:

1. that the architect provides detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing
3. that the arborist monitors tree protection during construction of the wheelchair ramp

1.0 INTRODUCTION

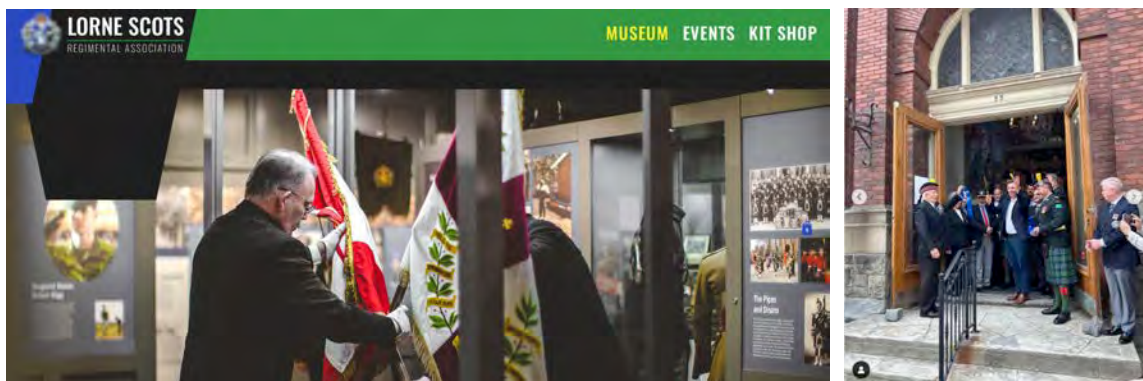
Preparation of this report included site investigation carried out by Lebel & Boulaire, a review of relevant heritage policies and applicable legislation, historical research, and consultation with heritage staff at the City of Brampton. Research assistance was provided by Nick Moreau, Archivist at the Region of Peel Archives.

2.0 LOCATION & SITE DESCRIPTION



FRONT ENTRANCE ON QUEEN STREET – accessibility upgrades are proposed for the main entrance to the building

The subject property is situated in Downtown Brampton at the corner of Queen Street East and Chapel Street. The subject building is the former Brampton Carnegie Library that has been adaptively reused as a City-owned facility. The main floor of the building has recently opened to the public as the new location of the Lorne Scots Regimental Museum.



LORNE SCOTS REGIMENTAL MUSEUM – relocated to the Old Library in May 2024

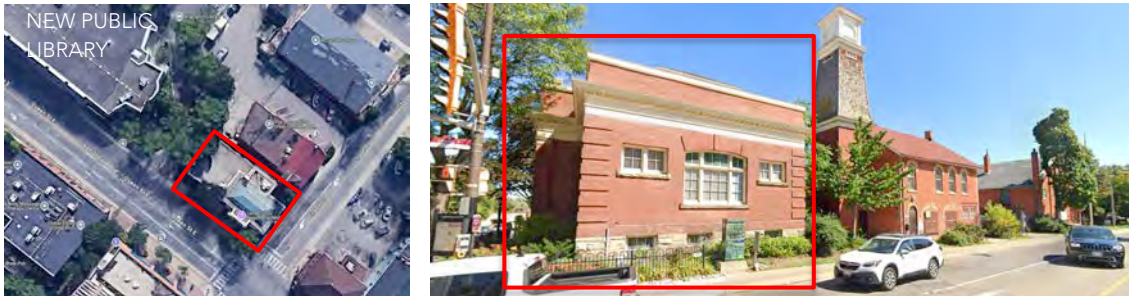
3.0 HERITAGE PLANNING CONTEXT

The subject property was Designated under Part IV of the *Ontario Heritage Act* in 1982 for its architectural and historical significance as the former Brampton Carnegie Library. It was designed by Wickson & Gregg Architects in 1906 and constructed in 1907.

The *Designation By-law* is attached as an appendix to this report. Typical of some older by-laws enacted prior to the 2005 changes to the Ontario Heritage Act, it has a very brief Statement of Significance and does not have a list of heritage attributes. For the purposes of this *Heritage Impact Assessment*, potential heritage attributes are understood to be original exterior and interior features.

In 2013, Steven Burgess Architects prepared a *Conservation Plan* for the building. The report recommended minor repairs be carried out over the next five years. A *Heritage Permit* was issued in 2017 and the recommended conservation work appears to have been undertaken. The building appears to be in very good condition.

The subject building is adjacent to the Old Brampton Fire Hall and Armouries. This cluster of built heritage resources occupies a prominent corner and is adjacent to the Brampton Public Library.



CORNER OF QUEEN STREET & CHAPEL STREET – Old Carnegie Library, Fire Hall & Armouries

4.0 CULTURAL HERITAGE VALUE

The subject property is the former Brampton Carnegie Library constructed in 1906-07 in a Beaux-Arts style. It was designed by prominent Toronto architects Wickson & Gregg and funded by the Carnegie Foundation. The Carnegie foundation was established by the American businessman and philanthropist Andrew Carnegie and provided funds for construction of 111 public libraries across Ontario in the early 20th century. Wickson & Gregg designed three Carnegie Libraries in Ontario in Paris, Brampton, and Toronto (with Alfred Chapman).¹

In the 1930s an addition was built on the east side of the library in a similar style. In 1974 a new public library was built next door and the Old Library was closed and the building re-purposed for municipal uses. Since 1974 it has housed several different non-profit organizations. The interior, except for the front entrance vestibule, has been extensively altered. The exterior is well preserved.

¹ Robert Hill, entry for Alfred Frank Wickson in the *Biographical Dictionary of Architects in Canada 1800-1950*.



HISTORIC PHOTOS SHOWING THE ORIGINAL EXTERIOR AND INTERIOR – exterior features remain intact but the interior has been extensively altered. The glazed partition wall visible in the 1911 photo of the interior remains and will be impacted by the proposed changes. [Region of Peel Archives]

The reasons for Designation statement included in the *Designation By-law* is provided below:

REASONS FOR DESIGNATION

Built in 1906, this building was constructed in the Beaux Arts style, similar to its sibling in Toronto. This style exhibits classical features such as a rusticated basement level, constructed of large stone. A main living storey which is constructed of bricks is divided above by a running frieze, creating the appearance of a third level, or attic. These three divisions are traditional and it is intriguing to see the practice carried out on a small scale. The most interesting feature is the main entrance which illustrates the

architectural plasticity of the Beaux Arts style. Brick simulated pilasters create a porch-like entrance area. It is topped with a circular arch, than branches from the running frieze. But ironically it recedes back instead of projecting forward as most pediments do. Large windows framed with "basket-handle" arches adequately light the reading areas. The slanting Mansard roof is of a French origin. The Old Carnegie Library is a rare example of the short lived Beaux Art Style in Brampton.

Heritage Attributes referenced in the 1982 Designation By-law:

- Beaux-Arts Classical details
- brick exterior walls including the running frieze and attic
- rusticated stone foundation
- main entrance including the brick pilasters, portico, circular arch, running frieze, recessed pediment
- large windows framed with "basket handle" arches
- mansard roof

It should be noted that no interior elements are mentioned in the Reasons for Designation. Most likely because interior alterations were anticipated so that the building could be rehabilitated for other uses.

5.0 PROPOSED ALTERATIONS

The proposed accessibility upgrades include changes to the main entrance so that the exhibition gallery on the main floor and the washrooms on the lower level will be fully accessible.

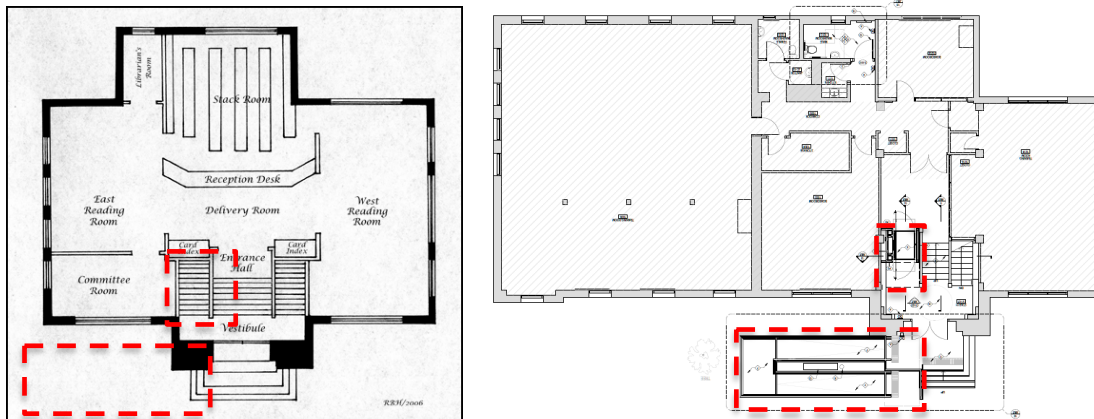
The proposed changes include the following:

- construction of a wheelchair ramp at the front entrance on Queen Street
- modifications to the stairs inside the front vestibule to accommodate a wheelchair lift to serve the main floor, vestibule, and lower level
- renovation of an existing washroom on the lower level to create an accessible washroom.

Drawings and renderings for the proposed changes have been prepared by Lebel & Boulaire and are included in the appendix of this report.

Exterior Wheelchair Ramp

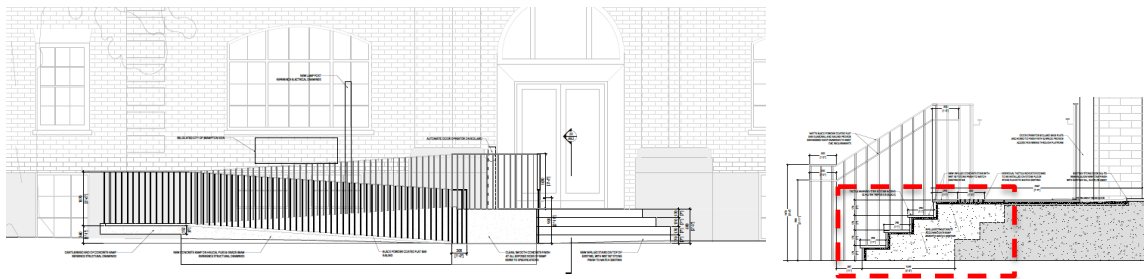
A new concrete wheelchair ramp will be installed to provide access to the front entrance. The top of the ramp will match the level the vestibule floor level, eliminating the step at the exterior door threshold. The foundation for the ramp has been designed so that it will not impact any of the existing trees in front of the building. A simple black steel railing is proposed.



PROPOSED EXTERIOR WHEELCHAIR RAMP & INTERIOR LIFT

Left: Sketch of the original interior 1st floor layout by Hulley – annotated to show the impacted areas

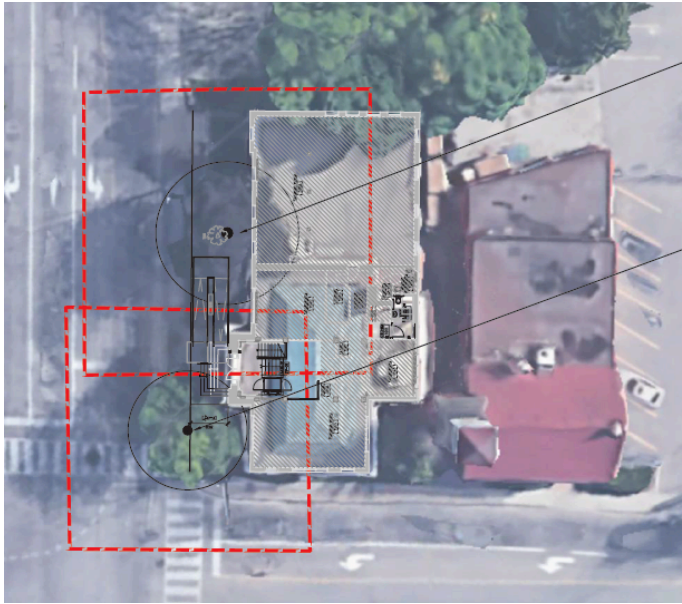
Right: Proposed alterations by Lebel & Boulaire – annotated to show the proposed exterior ramp and interior lift



PROPOSED EXTERIOR WHEELCHAIR RAMP ON THE QUEEN STREET ELEVATION

Left: a simple black steel railing is proposed to match existing railings
 the top of the existing landing will be raised to meet the floor level at the interior
 the door opener will be installed on a bollard (not affixed to the building)
 the existing sign and lamppost will be relocated

Right: detail showing the new concrete extension on the left side of the landing to accommodate the new ramp

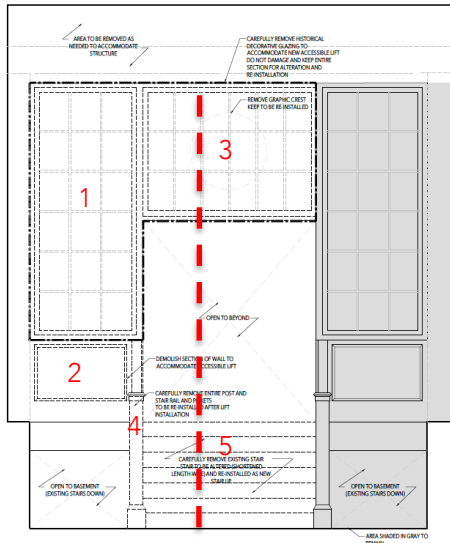


- 1 European Beech
Diameter at Breast Height: 940 MM
Spread: 12M
Height: 14M
Trunk Integrity: Good
Status: Retain
 - 2 Honey Locust
Diameter at Breast Height: 400 MM
Spread: 10M
Height: 15M
Trunk Integrity: Good
Status: Retain
- Tree Protection zone as required by the City of Brampton
- Tree can support minor injury however, helical piers instead of full footings would be best solution

TREE PROTECTION ZONE – the foundation has been designed so that it will not damage trees in front of the building

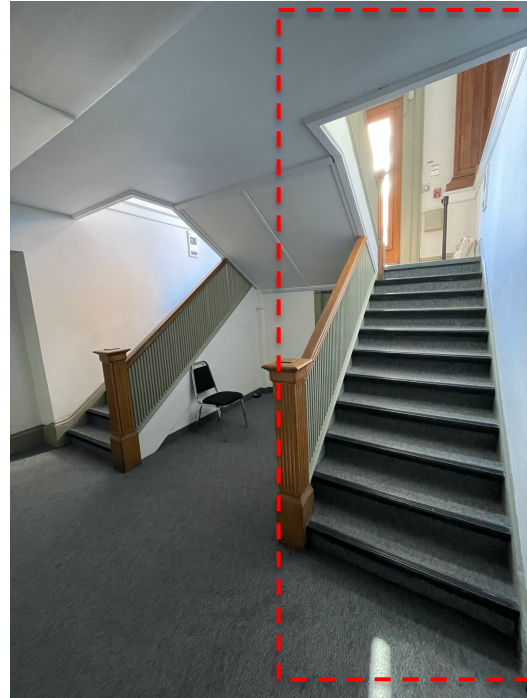
Interior Wheelchair Lift

A new wheelchair lift will be installed in the entrance vestibule to provide access to the main floor, vestibule, and the lower level. The existing stairs consist of a central stair up to the main floor and two flanking stairs down to the lower level. The new lift will be installed in the stairwell on the left side of the central stair. Unfortunately, the stairwell is too narrow to accommodate the smallest lift available, so this opening will have to be enlarged. To accommodate the enlarged opening for the lift, the central stair will be removed and rebuilt to fit the reduced central opening. The glazed partition wall at the top of the stairs will be removed where the lift is installed and the portion above the central entrance will be removed and replicated to fit the smaller opening.



- 1 GLAZED PARTITION WALL BESIDE THE ENTRANCE TO BE REMOVED FOR NEW LIFT
 - 2 KNEE WALL BESIDE THE ENTRANCE TO BE REMOVED FOR THE NEW LIFT
 - 3 GLAZED PARTITION WALL ABOVE THE ENTRANCE TO BE REMOVED & REPLICATED FOR A SMALLER OPENING
 - 4 OAK RAILING & NEWEL POST TO BE SALVAGED & REUSED FOR THE REBUILT STAIRS
 - 5 EXISTING STAIRS TO MAIN FLOOR TO BE REMOVED & REBUILT FOR A SMALLER OPENING
- ENLARGED OPENING TO ACCOMMODATE THE NEW LIFT

PROPOSED ALTERATIONS TO THE STAIRS INSIDE THE VESTIBULE to accommodate the proposed chair lift



PROPOSED PASSENGER LIFT – existing stairwell to the left to be enlarged to accommodate a passenger lift

Left: vestibule and stairs up to the main floor where the new exhibition gallery is located – existing oak railings and newel post impacted by the renovations will be salvaged and relocated

Right: stairs to the lower level where the barrier free washroom is located - existing oak railings and newel post impacted by the renovations will be salvaged and relocated

Proposed Barrier Free Washroom

An existing washroom on the lower level will be renovated so that it can provide barrier free access. It is a modern 2-piece washroom that does not have any heritage features. The door casing at the entrance to the washroom appears to be an original wood casing and there is original wood baseboard in the corridor outside the washroom.



PROPOSED BARRIER FREE WASHROOM – no heritage features in this area – the original door casing and baseboards in the corridor outside the washroom will not be impacted

6.0 HERITAGE IMPACT ASSESSMENT

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the building through the main entrance on Queen Street therefore presents accessibility challenges including exterior steps up to the front door and interior stairs inside the entrance vestibule up to the main floor where the exhibition space is and down to the lower level where the washrooms are.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing



PROPOSED WHEELCHAIR LIFT

Left: Example showing the type of wheelchair lift that has been proposed

Right:

1. central stair to be removed and rebuilt to provide space for the wheelchair lift
2. side stair to be removed and the opening widened to accommodate the wheelchair lift
3. portions of the glazed partition wall that will be replicated to fit the new dimensions
4. salvaged newel post and railings reinstated on the new stairs

7.0 RECOMMENDATIONS

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the main floor of the building includes stone steps up to the front door and an interior vestibule with stairs up to the main floor and down to the basement level.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing

The proposed changes represent an approach that will have the least impact on heritage features, is compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance. The approach is generally consistent with guidance for rehabilitation projects in the *Standard & Guidelines for the Conservation of Historic Places in Canada*.

Therefore, it is recommended that the Heritage Permit Application be approved, subject to the following conditions:

1. that the architect provides detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing
3. that the arborist monitors tree protection during construction of the wheelchair ramp

Accessibility

Providing people of all ages, interests and abilities with access to historic places is highly desirable and a frequently mandated social goal. Generally, the solutions that best balance accessibility needs with heritage value are those that enhance the use and appreciation of an historic place for everyone. Work should be carefully planned and undertaken so that impact on an historic place's heritage value and character-defining elements is minimized: the objective is to provide the highest level of access with the lowest level of impact. To determine the most appropriate solutions, accessibility and conservation specialists, and users, should be consulted early in the planning process.

Standards & Guidelines for the Conservation of Historic Places in Canada (2010) – general guidelines for rehabilitation projects.

8.0 SOURCES

Beckman, Margaret et al. *The Best Gift; a Record of the Carnegie Libraries in Ontario* (1984)

Hulley, Robert B. "Brampton Carnegie Library," Nov 30, 2007. Accessed online (originally published in the Brampton Heritage Times)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit* (2006)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Stevens Burgess Architects, *Five Year Conservation Plan; Brampton Library, 55 Queen Street, Brampton* (2013)

9.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION

*photos provided by Lebel & Bouliane unless otherwise noted



FRONT ELEVATION ON QUEEN STREET EAST (Google Streetview)



MAIN ENTRANCE ON QUEEN STREET EAST (Google Streetview)



EXTERIOR – MAIN ENTRANCE: raised entrance with additional stairs inside to the main floor



EXTERIOR – MAIN ENTRANCE: stone steps, paved path & sidewalk, landscaped area enclosed by a wrought iron fence



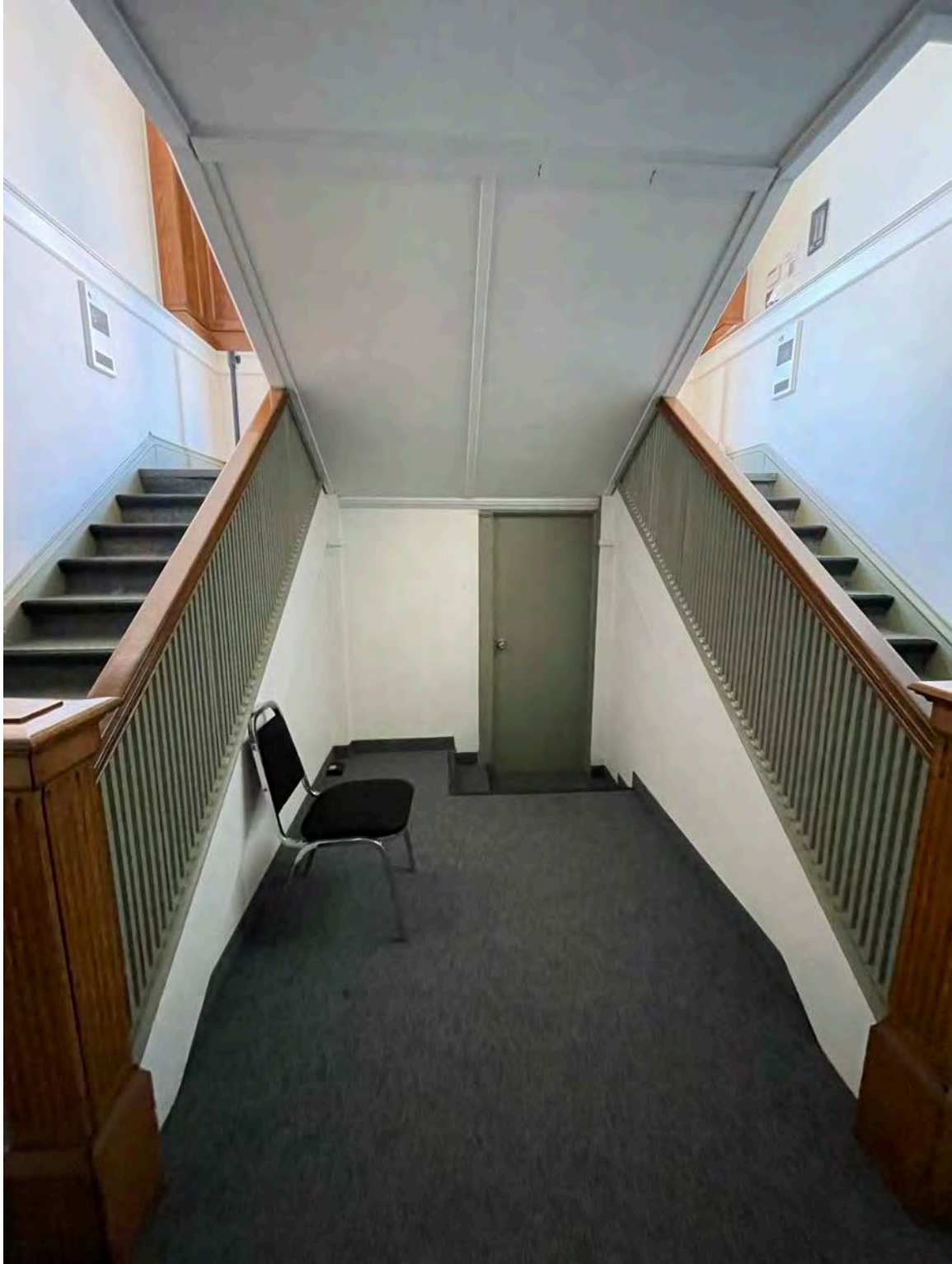
INTERIOR – VESTIBULE: stairs up and entrance to the Regimental Museum main gallery located on the main floor



INTERIOR – VESTIBULE: original interior finishes and features include the oak newel posts and railings, the plaster & lathe walls, wood & plaster trim and the glazed partition wall at the top of the stairs – new vinyl flooring and carpeting has been installed on top of the original stair treads and risers



INTERIOR – LOWER LEVEL: view looking up to the entrance vestibule from the lower level – two sets of stairs down to the lower level and one set of stairs to the main floor – original features and finishes include the oak newel posts and railings – plaster & lathe walls and wood baseboards – wall to wall carpet has been installed on the original stair treads and risers



INTERIOR – LOWER LEVEL – underside of the stairs has plater and lathe with a wood or plaster moulding – there are steps down to the janitor’s closet under the staircase



WASHROOM – existing two-piece washroom on the lower level – no original finishes or features - modern fixtures, drywall, vinyl flooring & acoustic tile ceiling – door casing on outer side may be original



WASHROOM – existing two-piece washroom on the lower level – nor original features or finishes - modern fixtures, drywall, vinyl flooring & acoustic tile ceiling – door casing on interior side is not original

APPENDIX B: HISTORIC DOCUMENTATION



HISTORIC PHOTO – EXTERIOR (c.1907): the original exterior

[Region of Peel Archives]



HISTORIC PHOTO – INTERIOR (1911): the original interior of the Carnegie Library – the glazed partition wall remains

[Region of Peel Archives]



HISTORIC PHOTO – EXTERIOR (1930s?): before the addition was built [Region of Peel Archives]



HISTORIC PHOTO – INTERIOR (1940s): - the interior when it still housed the public library [Region of Peel Archives]



HISTORIC PHOTO – EXTERIOR (1952): before the handrails was installed

[Region of Peel Archives]



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 9-82

To designate the Carnegie Library as a property of historical and architectural value and interest

WHEREAS section 29 of The Ontario Heritage Act, 1974 (R.S.O. 1980, c. 337, as amended) authorizes the council of a municipality to pass by-laws designating properties within the municipality to be of historic or architectural value or interest;

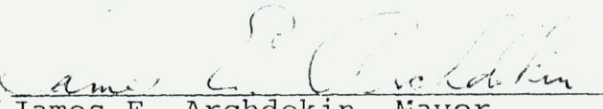
AND WHEREAS the council of The Corporation of the City of Brampton has given notice of its intention to so designate the property known as the Carnegie Library, located at 55 Queen Street East in the City of Brampton, in accordance with the requirements of section 29(3) of the said Act;

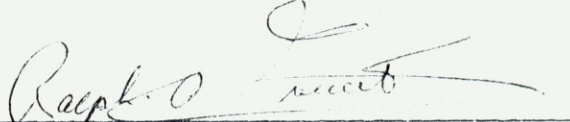
AND WHEREAS no notice of objection has been served upon the Clerk of The Corporation of the City of Brampton within the time limited for so doing, as set out in section 29(5) of the said Act;

NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows: ;

1. The property known as the Carnegie Library and described in Schedule A to this by-law is hereby designated to be a property of historic and architectural value and interest.

READ a FIRST, SECOND and THIRD TIME and PASSED in Open Council this
25th day of January, 1982.


James E. Archdekin, Mayor


Ralph A. Everett, Clerk

SCHEDULE A TO BY-LAW 9-82

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, in the Regional Municipality of Peel; containing an area of 0.17 acres more or less and being composed of those parts of Lots 7 and 8, Registered Plan BR-2 (being a subdivision of part of the West half of Lot 5, Concession 1, East of Hurontario Street) in the said City described as follows:

Premising that the bearings herein are astronomic, referred to the Southeasterly limit of Queen Street East as being North 37 degrees 46' East in accordance with a Plan of Survey deposited in the Registry Office for the Registry Division of Peel (No. 43) as Instrument Number 260728V.S.;

COMMENCING at the intersection of the Northeasterly limit of Chapel Street with the Southeasterly limit of Queen Street East, being also the westerly angle of said Lot 7;

THENCE North 37 degrees 46' East along the said Southeasterly limit of Queen Street East, a distance of 120.12 feet;

THENCE South 51 degrees 30' East parallel to the said Northeasterly limit of Chapel Street, a distance of 62.5 feet;

THENCE South 37 degrees 46' West parallel to the said Southeasterly limit of Queen Street East, a distance of 120.12 feet to the aforesaid Northeasterly limit of Chapel Street;

THENCE North 51 degrees 30' West along the last mentioned limit, a distance of 62.5 feet to the point of commencement.

The hereinbefore described parcel of land being the lands described in Registered Instrument Number 200040V.S. and shown on a Plan of Survey dated April 9, 1951 signed by Frank Kitts, O.L.S. and attached to Registered Instrument Number 25421.

NUMBER OF DESIGNATION

8

NAME OF PROPERTY

The Carnegie Library

MUNICIPAL ADDRESS OR LOCATION

55 Queen Street East

LEGAL DESCRIPTION

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, in the Regional Municipality of Peel; containing an area of 0.17 acres more or less and being composed of those parts of Lots 7 and 8, Plan BR-2 (being a subdivision of part of the West Half of Lot 5, Concession 1, East of Hurontario Street) in the said City described as follows:

Premising that the bearings herein are astronomic, referred to the Southeasterly limit of Queen Street East as being North 37 degrees 46' East in accordance with a Plan of Survey deposited in the Registry Office for the Registry Division of Peel (No. 43) as Instrument Number 260728VS;

COMMENCING at the intersection of the Northeasterly limit of Chapel Street with the Southeasterly limit of Queen Street East, being also the westerly angle of said Lot 7;

THENCE North 37 degrees 46' East along the said Southeasterly limit of Queen Street East, a distance of 120.12 feet;

THENCE South 51 degrees 30' East parallel to the said Northeasterly limit of Chapel Street, a distance of 62.5 feet;

THENCE South 37 degrees 46' West parallel to the said Southeasterly limit of Queen Street East, a distance of 120.12 feet to the aforesaid Northeasterly limit of Chapel Street;

THENCE North 51 degrees 30' West along the last mentioned limit, a distance of 62.5 feet to the point of commencement.

The hereinbefore described parcel of land being the lands described in Registered Instrument Number 200040V.S. and shown on a Plan of Survey dated April 9, 1951 signed by Frank Kitts, O.L.S. and attached to Registered Instrument Number 25421.

NAME AND ADDRESS OF OWNER

The Corporation of the City of Brampton
150 Central Park Drive
Brampton, Ontario L6T 2T9

REASONS FOR DESIGNATION

Built in 1906, this building was constructed in the Beaux Arts style, similar to its sibling in Toronto. This style exhibits classical features such as a rusticated basement level, constructed of large stone. A main living storey which is constructed of bricks is divided above by a running frieze, creating the appearance of a third level, or attic. These three divisions are traditional and it is intriguing to see the practice carried out on a small scale. The most interesting feature is the main entrance which illustrates the

architectural plasticity of the Beaux Arts style. Brick simulated pilasters create a porch-like entrance area. It is topped with a circular arch, than branches from the running frieze. But ironically it recedes back instead of projecting forward as most pediments do. Large windows framed with "basket-handle" arches adequately light the reading areas. The slanting Mansard roof is of a French origin. The Old Carnegie Library is a rare example of the short lived Beaux Art Style in Brampton.

NUMBER AND DATE OF PASSAGE OF BY-LAW
DESIGNATING PROPERTY

By-law Number: 9-82
Date of Passage: January 25th, 1982

REGISTRATION NUMBER AND REGISTRATION
DATE OF DESIGNATING BY-LAW

Registration Number: 601500
Registration Date: February 3rd, 1982

Lorne Scots Regimental Museum

55 Queen Street East, Brampton ON, L6W 2A8

ISSUED FOR PERMIT & TENDER
JULY 24, 2024



1249 Dundas Street West Toronto M6J 1X6 . Arch-LB.com

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This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions, material types and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.

This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

Seals:

ONTARIO BUILDING CODE DATA MATRIX

PART 11 - RENOVATION OF EXISTING BUILDING

Name of Practice		Lebel & Bouliane	
Address 1		1249 Dundas St. W.	
Address 2		Toronto, ON	
Contact		Luc Bouliane	
Name of Project		Lorne Scots Regimental Museum - Accessibility Upgrades	
Location/Address		55 Queen St E, Brampton ON L6W 2A8	
Date	18-Jul-24	Seal & Signature	
11.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST AMENDMENT	O.Reg. 191/14
11.01 PROJECT TYPE	Renovation	[A] 1.1.2.	
	Limited renovation for accessibility upgrades to the Lorne Scots Regimental Museum No change to occupancy or load		
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE	3.1.2.1.(1)
	A2	Other assembly occupancies	Museum (Existing)
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	NO	3.2.2.7.	
11.04 BUILDING AREA (m ²)	DESCRIPTION	EXISTING	NEW
	Museum	765.00	0.00
	TOTAL	765.0	765.0
11.05 BUILDING HEIGHT	1	STOREYS ABOVE GRADE	7.8
		(m) ABOVE GRADE	3.2.1.1.
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS	2	STREETS(S)	3.2.2.10. & 3.2.5.
11.07 BUILDING SIZE	LARGE	T.11.2.1.1.B.-N.	
11.08 EXISTING BUILDING CLASSIFICATION	CHANGE IN MAJOR OCCUPANCY	NO	11.2.1.1.
	CONSTRUCTION INDEX	-	T.11.2.1.1.A.
	HAZARD INDEX	NOT APPLICABLE	T.11.2.1.1.B.-N.
	IMPORTANCE CATEGORY	-	
11.09 RENOVATION TYPE	BASIC RENOVATION	11.3.3.1. & 11.3.3.2.	
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANT TYPE	BASED ON
	No Change in Occupancy or load		
	TOTAL	-	
11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE	
	FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE
	No Change in Occupancy or load		
11.12 BARRIER-FREE DESIGN	Yes	11.3.3.2.(2)	
11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL	NO	11.4.2.1.
	INCREASE IN OCCUPANT LOAD	NO	11.4.2.2.
	CHANGE OF MAJOR OCCUPANCY	NO	11.4.2.3.
	PLUMBING	NO	11.4.2.4.
	SEWAGE SYSTEM	NO	11.4.2.5.
11.14 COMPENSATING CONSTRUCTION	STRUCTURAL	NO	11.4.3.2.
	INCREASE IN OCCUPANT LOAD	NO	11.4.3.3.
	CHANGE OF MAJOR OCCUPANCY	NO	11.4.3.4.
	PLUMBING	NO	11.4.3.5.
	SEWAGE SYSTEM	NO	11.4.3.6.
11.15 COMPLIANCE ALTERNATIVES PROPOSED	NO	11.5.1.1.	
11.16 NOTES			

1 ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C

October 2016
Ontario Building Code Data Matrix, Part 11
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ISSUED FOR PERMIT / TENDER

ISSUE FOR CLIENT REVIEW

x	x	A0.0 COVER PAGE
		ARCHITECTURAL
x	x	A0.1 SITE SURVEY
x	x	A0.2 SITE PLAN
x	x	A0.3 ASSEMBLIES
x	x	A1.0 BASEMENT FLOOR DEMOLITION PLAN
x	x	A1.1 GROUND FLOOR DEMOLITION PLAN
x	x	A1.5 BASEMENT FLOOR DEMOLITION RCP
x	x	A1.6 GROUND FLOOR DEMOLITION RCP
x	x	A2.0 BASEMENT FLOOR PLAN
x	x	A2.1 GROUND FLOOR PLAN
x	x	A3.0 BASEMENT FLOOR RCP
x	x	A3.1 GROUND FLOOR RCP
x	x	A5.0 INTERIOR ELEVATIONS
x	x	A5.1 INTERIOR ELEVATIONS
x	x	A6.0 DOOR HARDWARE
x	x	A8.0 RAMP PLAN
x	x	A8.1 RAMP ELEVATIONS
x	x	A8.2 DETAILS
x	x	A8.3 INTERIOR SECTIONS
		STRUCTURAL
x		S1.01 FOUNDATION PLAN
x		S1.02 BASEMENT PLAN SHOWING GROUND FLOOR FRAMING
x		S1.03 GROUND FLOOR PLANS SHOWING ROOF FRAMING
		MECHANICAL
x		M1 MECHANICAL LEGENDS, NOTES & SCHEMATICS
x		M2 KEY PLANS
		M3 EXISTING & NEW MECHANICAL PLANS
		ELECTRICAL
x		E1 ELECTRICAL LEGEND AND NOTES
x		E2 KEY PLANS
x		E-3 EXISTING & ELECTRICAL PLANS

01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots Regimental Museum

PROJECT DIRECTORY

CLIENT:
CITY OF BRAMPTON
Joel Rasiah
647 203 7645
joel.rasiah@brampton.ca

ARCHITECT:
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Luc@Arch-LB.com

MECHANICAL & ELECTRICAL ENGINEER:
SURI & ASSOCIATES LTD.
Rohin Suri
647 981 7621
rsuri@suriassoc.com

STRUCTURAL ENGINEER:
CONTACT ENGINEERING
Tim Joyce
647 708 3960
tim@contactengineering.ca

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.24

COVER PAGE

Drawing No:


A0.0

PLAN OF SURVEY
SHOWING TOPOGRAPHICAL INFORMATION OF
PART OF LOTS 7, 8
REGISTERED PLAN BR-2
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:250
5m 0m 5m 10m 15metres

TOPOTEC INC.
ONTARIO LAND SURVEYORS

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-10991



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

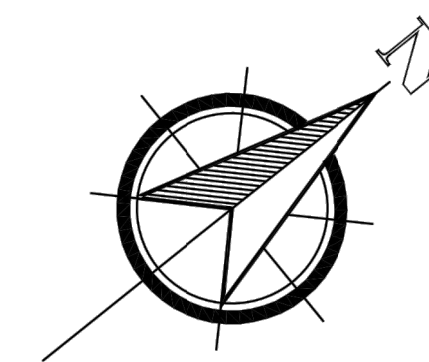
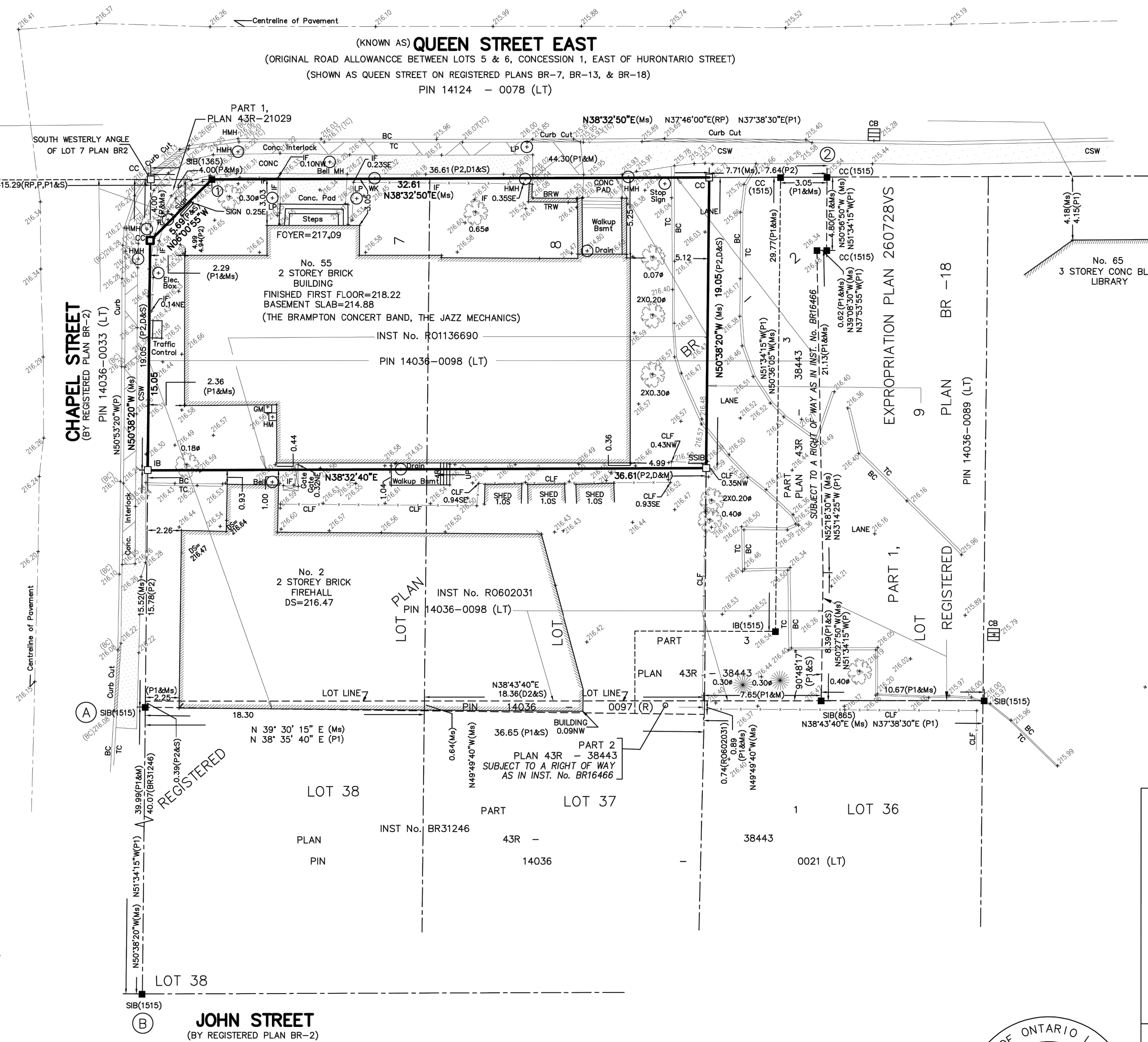
METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ELEVATION
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF BRAMPTON BENCH MARK No. 0011954U591F HAVING AN ELEVATION OF 214.118 METRES. Datum: CGVD28: 78

BEARING
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS OF SPECIFIED CONTROL POINTS 'A' AND 'B', USING THE LEICA SMARTNET RTK NETWORK, AND ARE REFERRED TO THE 3° MTM COORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST LONGITUDE. (3° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS)(2010)).
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99987148.

3° MTM ZONE 10 COORDINATES NAD 83 (CSRS)(2010)(CENTRAL MERIDIAN 79°30' WEST LONGITUDE) THE MTM COORDINATES LISTED BELOW ARE TO URBAN ACCURACY AND COMPLY WITH SUBSECTION 14(2) OF ONTARIO REGULATION 218/10 FILED UNDER THE SURVEYORS ACT.		
SPECIFIED CONTROL POINTS		
MONUMENT ID.	EASTING	NORTHING
(A) CC	X = 283983.899	Y = 4838574.367
(B) SIB	X = 284014.821	Y = 4838548.962
REFERENCE POINTS		
POINT	EASTING	NORTHING
1	X = 283959.659	Y = 4838599.419
2	X = 283984.790	Y = 4838630.957

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



SITE STATISTICS:
LOT AREA=689.3 Sq.m

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- PB DENOTES PLASTIC BAR
- CP DENOTES CONCRETE PIN
- 1515 DENOTES TED VAN LANKVELD, O.L.S.
- 1365 DENOTES BASTIN JOHN STASSEN, O.L.S.
- (NI) DENOTES NOT IDENTIFIED
- 865 DENOTES DONALD PETER McLEAN, O.L.S.
- P1 DENOTES PLAN 43R-21029
- P2 DENOTES PLAN 43R-38443
- P2 DENOTES PLAN OF SURVEY BY FRANK KITTO, O.L.S. DATED APRIL 9, 1951
- D1 DENOTES INSTRUMENT No.R01136690
- UP DENOTES UTILITY POLE
- CLF DENOTES CHAIN LINK FENCE
- IF DENOTES IRON FENCE
- (Ms) DENOTES MEASURED
- (S) DENOTES SET
- GM DENOTES GAS METER
- WK DENOTES WATER KEY
- DS DENOTES DOOR SILL ELEVATION
- HM DENOTES HYDRO METER
- FH DENOTES FIRE HYDRATE
- CSW DENOTES CONCRETE SIDE WALK
- CONC DENOTES CONCRETE
- MH DENOTES MANHOLE
- CB DENOTES CATCH BASIN
- TC DENOTES TOP OF CURB
- BC DENOTES BOTTOM OF CURB
- TL DENOTES TRAFFIC LIGHT
- HMH DENOTES HYDRO MANHOLE
- LP DENOTES LIGHT POLE
- BSMT DENOTES BASEMENT
- 1.3.4.5 DENOTES EXISTING GRADE ELEVATION
- 0.1φ DENOTES DECIDUOUS TREE WITH DIMENTION
- 0.1φ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
- N/S/E/W NORTH/SOUTH/EAST/WEST
- HOUSE TIES ARE TAKEN TO BRICK UNLESS NOTED OTHERWISE
- MH AND CB ELEVATIONS ARE CONSIDERED AS TOP OF MH AND TOP OF CB ELEVATIONS.

SURVEYOR'S CERTIFICATE

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF OCTOBER, 2021.

JANUARY 19, 2022
DATE

Bahram Amirnezhad
BAHRAM AMIRNEZHAD P.ENG.
ONTARIO LAND SURVEYOR

01	Permit & Tender	2024.07.24
No.	Issued for	Date

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.15

SITE SURVEY

FIELD: H.S DRAWN: L.H CHECKED: B.A

JOB No. 910

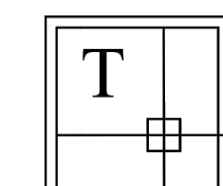
CAD FILE: 55 QUEEN ST-E4.DWG

Drawing No:

A0.1

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TOPOTEC Inc.
Ontario Land Surveyors

108 STEELES AVENUE EAST, MARKHAM ON L3T 1A4
Phone: (416) 219-9956
Office: (647) 632-9088
www.Topotec.ca
Bahram@Topotec.ca, bahram4700@hotmail.com

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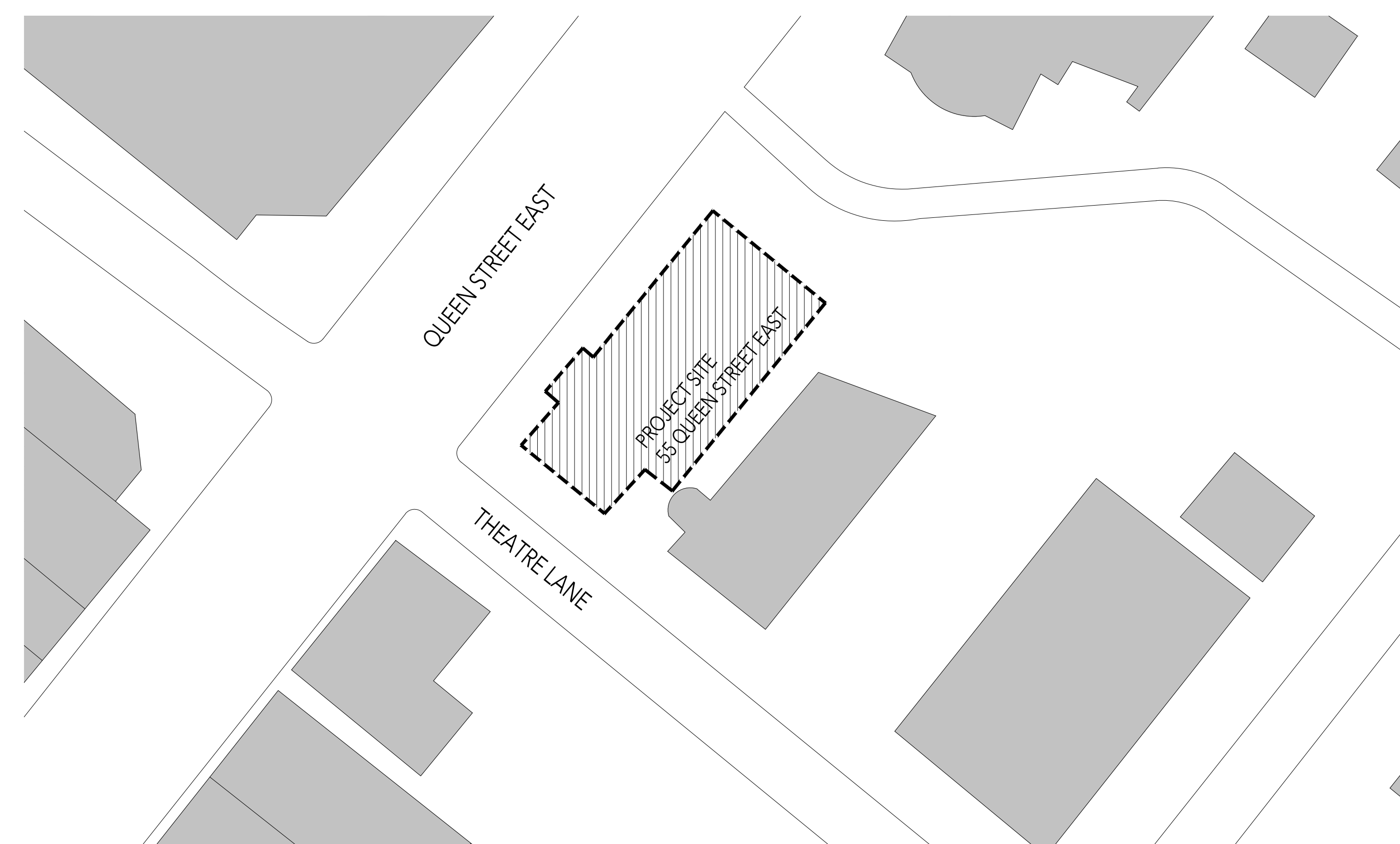
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LEBEL & BOULIANE

Seals:



No.	Permit & Tender Issued for	2024.07.24 Date
01	Permit & Tender	2024.07.24

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	23-022
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.15

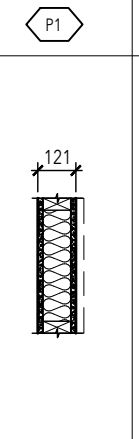
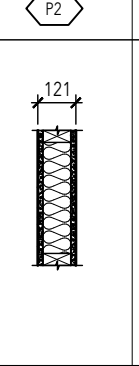
SITE PLAN

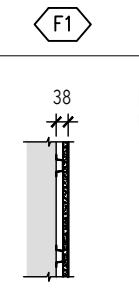
SITE PLAN
SCALE = 1:1 NTS
20
A0.2

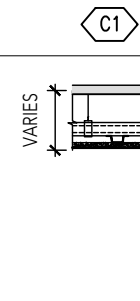
Drawing No:

A0.2

ASSEMBLIES	
GENERAL NOTES:	
1.	ALL NEW PARTITIONS ARE P1 TYPE, UNLESS OTHERWISE NOTED.
2.	UNLESS NOTED OTHERWISE, EXTEND ALL GYPSUM BOARD AND METAL STUDS TO US OF STRUCTURE COMPLETE WITH DEFLECTION TRACK AND CONT. ACOUSTIC SEAL UNLESS OTHERWISE NOTED.
3.	USE WATER RESISTANT GWB IN LIEU OF STANDARD GWB, IN ALL WET AREAS, INCLUDING AREAS ADJACENT TO KITCHEN SINKS, JANITOR SINKS, ETC.
4.	USE TILE BACKER BOARD/CEMENT BOARD IN LIEU OF STANDARD GWB WHERE TILE FINISH IS LOCATED (SEE SPECIFICATIONS AND ROOM FINISH SCHEDULE.)
5.	ALL PARTITIONS/FURRING ARE TO BE CONTINUOUSLY REINFORCED TO ACCOMMODATE WALL CABINETS/V.V. WHERE INDICATED. PROVIDE BRACING AND BLOCKING WHERE REQUIRED.
6.	SUBSTRATE SHOWN MAY NOT BE PRESENT OR MAY VARY - REFER TO PLANS AND ELEVATIONS.

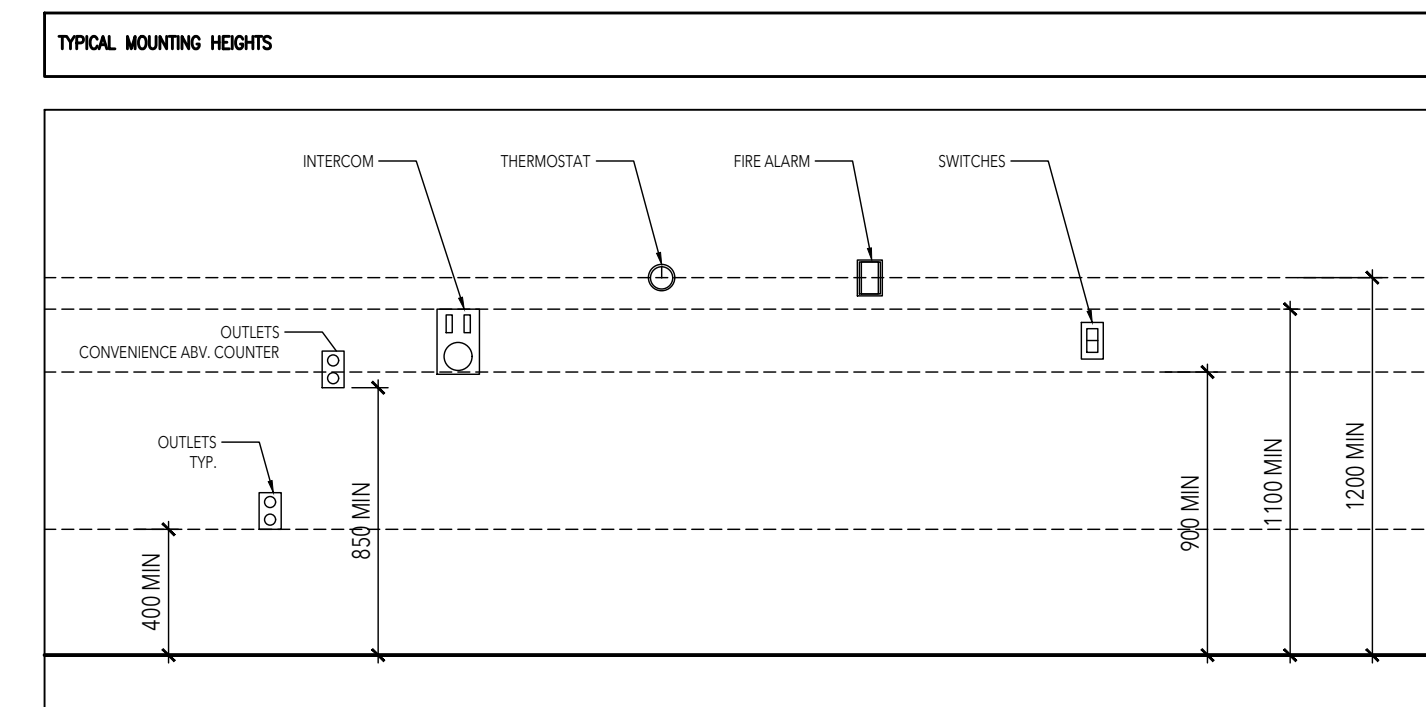
PARTITION TYPES:										
T1	<p>INTERIOR PARTITION 121+mm</p>  <table border="1"> <tr> <td>GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)</td> <td>15.9mm</td> <td>[5/8"]</td> </tr> <tr> <td>2x4 SPS STUDS @ 400 C.C. WITH BATT</td> <td>89mm</td> <td>[3-1/2"]</td> </tr> <tr> <td>GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)</td> <td>15.9mm</td> <td>[5/8"]</td> </tr> </table> <p>MIN. 89mm ACOUSTIC BATT INSULATION CONTINUOUS ACOUSTIC SEALANT AT PERIMETER. SUPPORTS ANCHORED TO FLOOR AS REQ.</p> <p>STC 47</p>	GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)	15.9mm	[5/8"]	2x4 SPS STUDS @ 400 C.C. WITH BATT	89mm	[3-1/2"]	GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)	15.9mm	[5/8"]
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2x4 SPS STUDS @ 400 C.C. WITH BATT	89mm	[3-1/2"]								
GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)	15.9mm	[5/8"]								
T2	<p>ELEVATOR PARTITION 121mm</p>  <table border="1"> <tr> <td>TYPE X GYPSUM WALLBOARD</td> <td>15.9mm</td> <td>[5/8"]</td> </tr> <tr> <td>2x4 SPS STUDS @ 400 C.C.</td> <td>89mm</td> <td>[3-1/2"]</td> </tr> <tr> <td>TYPE X GYPSUM WALLBOARD</td> <td>15.9mm</td> <td>[5/8"]</td> </tr> </table> <p>MIN. 89mm ACOUSTIC BATT INSULATION CONTINUOUS ACOUSTIC SEALANT AT PERIMETER. SUPPORTS ANCHORED TO FLOOR AS REQ.</p> <p>*ENSURE MINIMUM WALL THICKNESS IS PROVIDED FOR INSTALLATION OF ELEVATOR REFERENCE STRUCTURAL DRAWINGS</p>	TYPE X GYPSUM WALLBOARD	15.9mm	[5/8"]	2x4 SPS STUDS @ 400 C.C.	89mm	[3-1/2"]	TYPE X GYPSUM WALLBOARD	15.9mm	[5/8"]
TYPE X GYPSUM WALLBOARD	15.9mm	[5/8"]								
2x4 SPS STUDS @ 400 C.C.	89mm	[3-1/2"]								
TYPE X GYPSUM WALLBOARD	15.9mm	[5/8"]								

FURRING TYPES:							
F1	<p>FURRING TYPE F1</p>  <table border="1"> <tr> <td>EXISTING PARTITION</td> <td>22mm</td> <td>[7/8"]</td> </tr> <tr> <td>FURRING CHANNEL</td> <td>15.9mm</td> <td>[5/8"]</td> </tr> </table>	EXISTING PARTITION	22mm	[7/8"]	FURRING CHANNEL	15.9mm	[5/8"]
EXISTING PARTITION	22mm	[7/8"]					
FURRING CHANNEL	15.9mm	[5/8"]					

CEILING TYPES:													
C1	<p>SUSPENDED GWB CEILING</p>  <table border="1"> <tr> <td>EXISTING STRUCTURE</td> <td>42mm</td> <td>[1-5/8"]</td> </tr> <tr> <td>SUSPENDED METAL STUDS FRAMING, GAUGE 45-ROD @ 410 C.C.</td> <td>42mm</td> <td>[1-5/8"]</td> </tr> <tr> <td>FURRING CHANNELS @ 10 C.C.</td> <td>22mm</td> <td>[7/8"]</td> </tr> <tr> <td>GYPSUM WALLBOARD</td> <td>15.9mm</td> <td>[5/8"]</td> </tr> </table>	EXISTING STRUCTURE	42mm	[1-5/8"]	SUSPENDED METAL STUDS FRAMING, GAUGE 45-ROD @ 410 C.C.	42mm	[1-5/8"]	FURRING CHANNELS @ 10 C.C.	22mm	[7/8"]	GYPSUM WALLBOARD	15.9mm	[5/8"]
EXISTING STRUCTURE	42mm	[1-5/8"]											
SUSPENDED METAL STUDS FRAMING, GAUGE 45-ROD @ 410 C.C.	42mm	[1-5/8"]											
FURRING CHANNELS @ 10 C.C.	22mm	[7/8"]											
GYPSUM WALLBOARD	15.9mm	[5/8"]											

SYMBOL LEGEND	
	ELEVATION DETAIL REFERENCE
	ELEVATION DETAIL REFERENCE
	SECTION DETAIL REFERENCE
	DETAIL REFERENCE
	ROOM TAG
	WALL/PARTITION TYPE
	WINDOW/INTERIOR SCREEN TYPE
	DOOR TAG
	MILLWORK TAG
	FLOOR MATERIAL CHANGE
	ELEVATION REFERENCE
	REVISION NUMBER
	GRID LINE REFERENCE
	EXISTING WALL
	ITEM TO BE DEMOLISHED

ABBREVIATIONS			
A.B.	AIR BARRIER	FB	ELECTRICAL FLOOR BOX
ACT	ACOUSTIC TILE	FD	FLOOR DRAIN
ACB	ACOUSTIC CEILING TILE	FE	FIRE EXTINGUISHER CABINET
ACR	ACOUSTIC CONCRETE BLOCK	FD	FIRE HOSE CABINET
AD	AREA DRAIN	FIN	FINISH
ADDL	ADDITIONAL	FL / FLR	FLOOR
AIF	ADDITIONAL ABOVE FINISHED FLOOR	FP	FINISHED OPENING
A.H.U.	AIR HANDLING UNIT	FR	FIRE PROTECTION
A.V. ALUM	ALUMINUM	FRK	FIRE RESISTANCE RATING
AO	AUTO OPERATOR	FT	FELT
ARCA	ARCHITECTURAL	GAUV	GLAZIING
AVB / AVV	AIR BARRIER / AIR & VAPOUR BARRIER MEMBRANE	GL	GLASS
B	BENCH - FOLD UP BARRIER FREE SHOWER	GW / GWG	GYPSUM WALL BOARD
BB	BRICK COURSES	HC	HOLLOW CORE WOOD
BC	BRICK FREE	HB	HOSE BIB
BF	BROOM FINISH DIRECTION	HCW	HOLLOW CORE WOOD
BFIN	BULLDOG MATERIALS EVALUATION	HM	HOLLOW METAL
BMC	BRICK MASONRY	HO	MAGNETIC HOLD OPEN
BR	BOTTOM OF	HTG	HEATING
B/O	BOTTOM OF	IF	INSIDE FACE
CB	CONCRETE BLOCK	IMP	INSULATED METAL PANEL
C.P.	CHECK ON SITE	INT	INTERIOR
C.C.S.	CONCRETE	INTK	INTAKE
CONC	CONCRETE	IRGBW	IMPACT RESISTANT GWB
CONT	CENTRE TO CENTRE	IT	JOINT
CC	CONTROL JOINT	JB	JOINT
CJ	CLEAR	LF	LIGHT FIXTURE
CLR	CENTRE LINE	LIN	LINOLEUM
CL	CLEAN OUT	LN	LINENET
CO	CONTROL PANEL	MATL	MATERIAL
CP	CARD READER	MECH	MECHANICAL
CR	CLEAR SEALER	MD	METAL DECK
CS	CERAMIC TILE	MFR	MANUFACTURER
CT	COCKEY	MR	MIRROR
CIO	COMPLETE WITH CURTAIN WALL	MO	MAGNETIC OPENING
CW	CURTAIN WALL	MS	METAL SILING
CW / C.W.	CURTAIN WALL	MTL	METAL
DCT	DRAWER CHANGING TABLE	MW	MICROWAVE
DF	DRAINAGE	NBC	NATIONAL BUILDING CODE
D.O.	DISHWASHER	NC	NOT IN CONTRACT
DW	DRAWING	Nb.	NUMBER
DWG	DRAWING	NRC	NATIONAL RESEARCH COUNCIL
EPFS	EXTERIOR INSULATED FINISHING SYSTEM	ORC	ONTARIO BUILDING CODE
ELECT	ELECTRICAL PANEL	OC	ON CENTRE
EP	EXPOSED	OF	OUTSIDE FACE
EX / EXIST	ENCLOSURE	O.T.B.	OPEN TO BELOW
EXP	EXTERIOR	PC	PARTICLE CORE
ENCL	ENCLOSURE	PERM.	PERIMETER
EXT	EXTERIOR	PFP	PERFORATED PLATE
		PL	PLATE
		PLAM	PLASTIC LAMINATE
		PREFR / FR	PERFORATED METAL
		PSC	PREFINISHED PLASTER SKIM COAT ON GWB
		PT	PAINT
		P.T.	PRESSURE TREATED
		PWF	PRESERVED WOOD FOUNDATION GRADE PLYWOOD
		RAH	ROOF ACCESS HATCH
		RBR	RUBBER FLOORING
		RCP	REFLECTED CEILING PLAN
		RD	ROOF DRAIN
		REC	RECESSED
		REFURB	REFURBISHED
		RFL	RAGGED FLOOR
		RO	ROUGH OPENING
		RWL	RAIN WATER LEADER
		SAM / S.A.M.	SELF ADHERED MEMBRANE (FORMING PART OF CONTINUOUS AIR / VAPOUR BARRIER)
		SG / SGL	SANDGRADED GLAZING
		SIM	SIAMSE CONNECTION
		S.C	SCREEN
		SCW	SOLID CORE WOOD
		SMD	SMOKE DETECTOR
		SPF	SPORTS FLOORING
		SPS	SPANDREL PANEL / GLASS
		SS / S STL	STAINLESS STEEL
		SSS	STRUCTURAL SILICONE GLAZING SYSTEM
		STT	STONE TILE
		STL	STEEL
		STN	STRUCTURAL
		STRCT	STRUCTURAL
		SYN	SYNTHETIC WOOD POLYMER LUMBER
		TB	TACK BOARD
		TS	TO BE ISSUED
		TCS	TEMPERED GLASS
		TCL	TEMPERED
		TMP	TECTUM PRODUCT PANELS
		TRFEC	TRANSLUCENT WALL ASSEMBLY
		TWA	TYPICAL
		TYP	TYPICAL
		T.B.I	TO BE ISSUED
		TEP	TEXTURED CORE PLAST
		TYP	TYPICAL
		TYP	WALL MOUNTED TELEVISION
		T.V.	TELEVISION
		US	UNDERSIDE OF
		US	UNDERSIDE OF
		US	UNDERSIDE OF
		VF	VENETIAN FIELD
		VN	VINYL COMPOSITION TILE
		WCT	WINDOW
		W / WIN	WINDOW
		WBR	WHITE BOARD RECESSED
		WBS	WHITE BOARD SURFACE MOUNT
		WC	WATER CLOSET
		WD	WOOD
		WF	WOOD FOUNTAIN
		WV	WOOD VENEER
		ZN	ZINC



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This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. This contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.
This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

Seals:

01 Permit & Tender 2024.07.24
No. Issued for Date

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No. 24-002
Drawn by TT
Reviewed by MS
Scale NTS
Plot Date 2024.07.15

ASSEMBLIES

Drawing No:

A0.3

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LEBEL & BOULIANE

Seals:

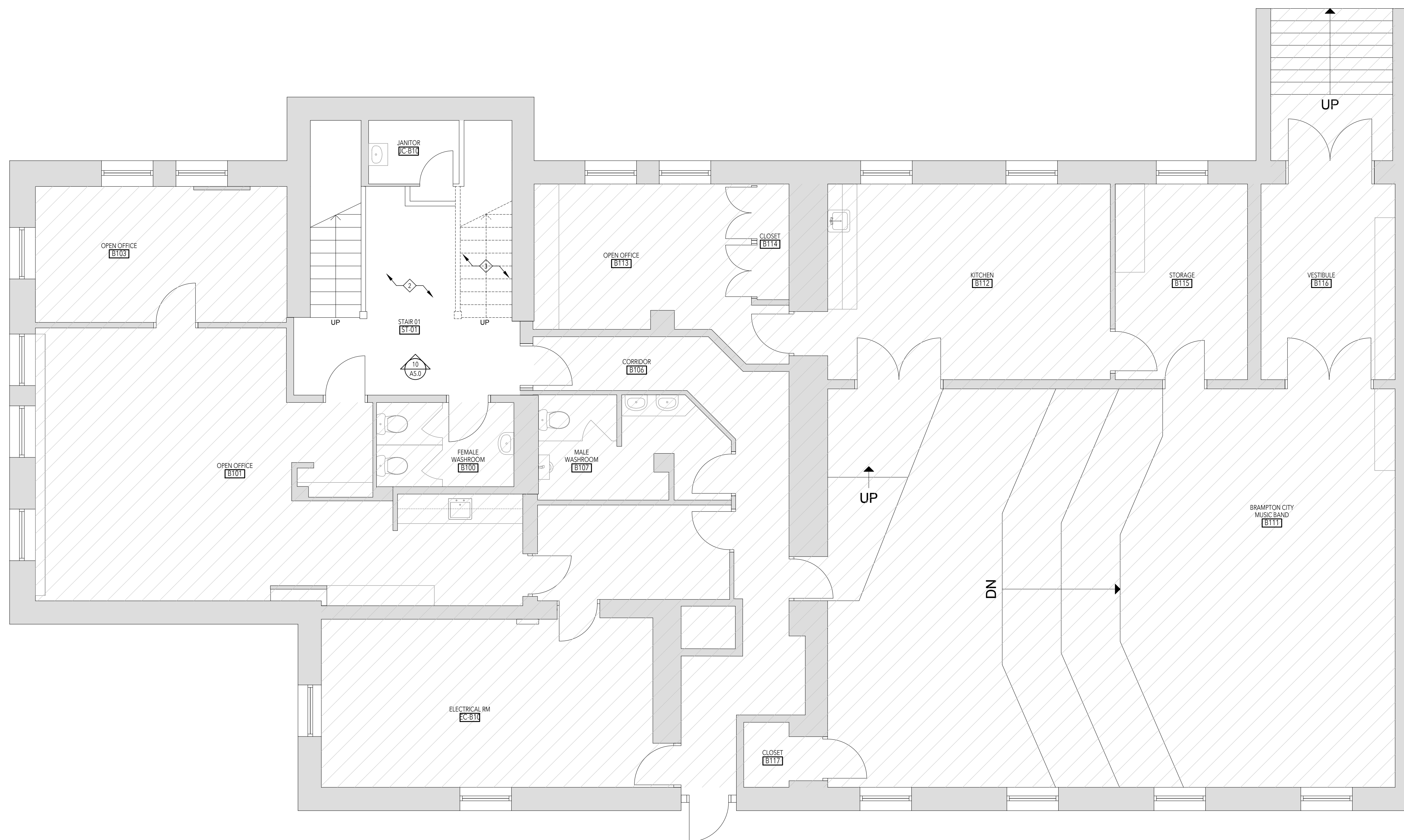
GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS.
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED.
3. COORDINATE WITH MUSEUM AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREA.
4. PROTECT AREAS OF WORK EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE. PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION PROJECT AND MAINTAIN ADJACENT TENANT AREAS.
5. REFER TO OWNER DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
6. REMOVE ALL UNLINED HANGERS, FACTURES, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK.
7. REMOVE ALL EXISTING LIGHT FIXTURES AND ANY ASSOCIATED SENSORS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. RET. RCPs AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL BUILDING UNDER LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS, AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
9. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
10. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL / ELECTRICAL DEMOLITION.
11. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITIZERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT. DISPOSE OF OR REMOVE FROM SITE IF NOT USED. OBTAIN TENANT APPROVAL REQUIRED.
12. MAKE GOOD ALL EXISTING WALLS TO REMAIN. PATCH ALL DAMAGES TO WALLS/CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS.
13. WHERE EXISTING FLOORING IS REMOVED, CONTRACTOR TO COORDINATE WITH FINAL FINISH MATERIAL TO PROVIDE CLEAN AND LEVEL SURFACE TO ACCOMMODATE NEW FLOORING.

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN
- DENOTES AREA NOT IN SCOPE OF WORK
- DENOTES EXISTING TO BE DEMOLISHED

- ① REMOVE EXISTING INTERIOR PARTITION OR FLURRED OUT WALL TO US CEILING OR SLAB, INCLUDING DOOR, FRAMES, DATA AND POWER. PATCH & REPAIR ANY DRYPWALL FLOOR AND CEILING DAMAGED BY DEMO AND PREP FOR NEW.
- ② REMOVE EXISTING FLOORING AND ADHESIVES TO EXTENT REQUIRED TO ACCOMMODATE NEW FLOORING AND NEW PARTITIONS. REFER TO NEW ARCHITECTURAL PLANS.
- ③ REMOVE EXISTING STAIR AND HAND RAIL. CAREFULLY REMOVE ITEMS AND SALVAGE FOR USE IN NEW STAIR CONSTRUCTION.
- ④ REMOVE EXISTING DOOR AND FRAME.
- ⑤ REMOVE PORTION OF EXISTING DECORATIVE GLAZING, SALVAGE AND RE-INSTALL. MAY REQUIRE ALTERATION.
- ⑥ REMOVE EXISTING MBE. REFERENCE MBE DRAWINGS.
- ⑦ REMOVE EXISTING PLUMBING, ACCESSORIES AND EQUIPMENT. KEEP FOR RE-INSTALLATION TO ACCESSIBILITY STANDARDS CODE.
- ⑧ EXISTING LAMP POST TO BE REMOVED.
- ⑨ EXISTING CITY OF BRAMPTON SIGN TO BE REMOVED AND RELOCATED.
- ⑩ REMOVE EXISTING BASEBOARDS EXCEPT THAT IS PART OF NEW BARRIER FREE WASHROOM.

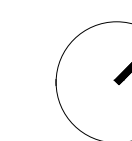


01	Permit & Tender	2024.07.24
No.	Issued for	Date

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.03



**BASEMENT
DEMOLITION PLAN**

BASEMENT DEMOLITION PLAN

SCALE = 1: 50

10
A1.0

Drawing No:

A1.0

GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS.
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED.
3. COORDINATE WITH MUSEUM AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISRUPTION TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREAS.
4. PROTECT AREA OF WORK EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION PROJECT AND MAINTAIN ADJACENT TENANT AREAS.
5. REFER TO OWNER DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
6. REMOVE ALL UNPAID HANGERS, SYSTEMS, LOOSE NAIL, CEILING ETC FROM EXISTING WALLS AND CEILING TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK.
7. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SENSORS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. REF ROFS AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL BUILDING AND LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
9. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
10. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL, ELECTRICAL DEMOLITION.
11. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITIZERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT. DEMOLISH OR REMOVE FROM SITE IF NOT USED. OWNER/TENANT APPROVAL REQUIRED.
12. MAKE GOOD ALL EXISTING WALLS TO REMAIN. PATCH ALL DAMAGES TO WALLS/CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS.
13. WHERE EXISTING FLOORING IS REMOVED, CONTRACTOR TO COORDINATE WITH FINAL FRESH MATERIAL TO PROVIDE CLEAN AND LEVEL SURFACE TO ACCOMMODATE NEW FLOORING.

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN
- DENOTES AREA NOT IN SCOPE OF WORK
- DENOTES EXISTING TO BE DEMOLISHED
- ① REMOVE EXISTING INTERIOR PARTITION OR CURBED OUT WALL TO USE CEILING OR SLAB. INCLUDING DOOR, FRAMES, DATA AND POWER. PATCH & REPAIR ANY DRYWALL FLOOR AND CEILING DAMAGED BY DEMO AND PREP FOR NEW.
- ② REMOVE EXISTING FLOORING AND ADHESIVES TO EXTENT REQUIRED TO ACCOMMODATE NEW FLOORING AND NEW PARTITIONS. REFER TO NEW ARCHITECTURAL PLANS.
- ③ REMOVE EXISTING STAIR AND HAND RAIL. CAREFULLY REMOVE ITEMS AND SALVAGE FOR USE IN NEW STAIR CONSTRUCTION.
- ④ REMOVE EXISTING DOOR AND FRAME.
- ⑤ REMOVE PORTION OF EXISTING DECORATIVE GLAZING, SALVAGE AND RE-INSTALL, MAY REQUIRE ALTERATION.
- ⑥ REMOVE EXISTING MSE, REFERENCE MSE DRAWINGS.
- ⑦ REMOVE EXISTING PLUMBING, ACCESSORIES AND EQUIPMENT. KEEP FOR RE-INSTALLATION TO ACCESSIBILITY STANDARD CODE.
- ⑧ EXISTING LAMP POST TO BE REMOVED.
- ⑨ EXISTING CITY OF BRAMPTON SIGN TO BE REMOVED AND RELOCATED.
- ⑩ REMOVE EXISTING BASEBOARDS (EXTENT THAT IS PART OF NEW BARRIER FREE WASHROOM).

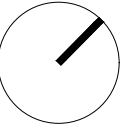


01	Permit & Tender	2024.07.24
No.	Issued for	Date

**Lorne Scots
Regimental Museum**

Project Address
55 Queen Street East
Brampton L6W 2A6

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.24



**GROUND FLOOR
DEMOLITION PLAN**

Seals:

GENERAL DEMOLITION NOTES - REFLECTED CEILING PLAN

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS.
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED.
3. COORDINATE WITH MUSEUM AND CITY AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREAS.
4. PROTECT AREA OF WORK, EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, INCLUDING BUT NOT LIMITED TO EXISTING MASONRY WALLS IN CORRIDOR, HISTORIC WOOD DOORS, DOOR FRAMES AND TRIM, AND HISTORIC WOOD MILLWORK TO REMAIN AS NOTED IN DRAWINGS.
5. PROVIDE EJECT BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION, PROTECT AND MAINTAIN ADJACENT TENANT AREAS.
6. REFER TO OWNERS DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
7. REMOVE ALL UNUSED HANGERS, FASTENERS, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING IN FUTURE WORK.
8. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SMOKE, HANGERS, HANGWARE, CONDUIT AND WIRING NOT REQUIRED FOR RE-INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. REF SCPS AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. REMOVE ALL EXISTING EXIT SIGNS. CAP ELECTRICAL WHERE NEW SIGNS ARE NOT REQUIRED.
10. FIRE ALARM DEVICES TO BE RELOCATED AS REQUIRED.
11. ALL BUILDING WIDE LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS, AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
12. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL/ELECTRICAL DEMOLITION.
13. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SAFETY DEVICES, FIRE EXTINGUISHERS & OTHER IAC ACCESSORIES AND EQUIPMENT. DEMOLISH OR REMOVE FROM SITE IF NOT USED. OWNER/TENANT APPROVAL REQUIRED.
14. MAKE GOOD ALL EXISTING CEILING TO REMAIN. PATCH ALL DAMAGES TO CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS.
15. REMOVE EXISTING TRIMS MOUNTED ON WALLS, UNLESS NOTED OTHERWISE TO REMAIN.

ABBREVIATION & ADDITIONAL NOTES:

- E EXISTING TO REMAIN
- R DENOTES EXISTING TO BE REMOVED
- R/R DENOTES EXISTING TO BE REMOVED AND REPLACED
- R/L DENOTES EXISTING TO BE REMOVED AND RELOCATED

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN
- DENOTES AREA NOT IN SCOPE OF WORK

- 1 REMOVE EXISTING T BAR GRID, TILES, ASSOCIATED LIGHTING AND MECHANICAL TRIMS. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION SCOPE.
- 2 WHERE CEILING IS TO BE EXPOSED, CLEAN UP, CUTBACK TO SOURCE AND BUNCH LOOSE WIRING TO SUIT NEW CEILING LAYOUT. MAINTAIN CONCEALED ROUTING WHERE REQUIRED. CUT BACK MECHANICAL AND DUCTING AS REQUIRED. REMOVE UNWANTED ADHESIVES, FASTENERS AND ANY UNWANTED BUILDING MATERIALS. CLEAN UP CEILING AND PREP ALL EXPOSED AREAS FOR PAINTING.
- 3 REMOVE EXISTING DRIPWALL CEILING AND ASSOCIATED LIGHTING TO THE EXTENTS REQUIRED TO ACCOMMODATE NEW ACCESSIBLE LIFT. PATCH AND REPAIR EDGES TO MEET NEW DRIPWALL LIFT SURROUND.
- 4 EXISTING LIGHTING TO BE REMOVED AND RELOCATED.
- 5 REMOVE EXISTING MOULDING, PATCH AND REPAIR WALL.



01	Permit & Tender	2024.07.24
No.	Issued for	Date

**Lorne Scots
Regimental Museum**

Project Address
55 Queen Street East
Brampton L6W 2A6

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.04

**BASEMENT FLOOR
DEMOLITION RCP**

GENERAL DEMOLITION NOTES - REFLECTED CEILING PLAN

- PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS.
- PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED.
- COORDINATE WITH MUSEUM AND CITY AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREAS.
- PROTECT AREA OF WORK, EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, INCLUDING BUT NOT LIMITED TO EXISTING MASONRY WALLS IN CORRIDOR, HISTORIC WOOD DOORS, DOOR FRAMES AND TRIM, AND HISTORIC WOOD MILLWORK TO REMAIN AS NOTED IN DRAWINGS.
- PROTECT EXISTING BARRELS TO ALL AREAS AFFECTED BY THE DEMOLITION. PROTECT AND MAINTAIN ADJACENT TENANT AREAS.
- REFER TO OWNERS DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
- REMOVE ALL UNUSED HANGERS, FASTENERS, LOOSE PARTS, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK.
- REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SENSORS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. REF RCPs AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE ALL EXISTING EXIT SIGNS, CAP ELECTRICAL WHERE NEW SIGNS ARE NOT REQUIRED.
- FIRE ALARM DEVICES TO BE RELOCATED IF REQUIRED.
- ALL BUILDING LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS, AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
- MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL/ELECTRICAL DEMOLITION.
- REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT. DEMOLISH OR REMOVE FROM SITE IF NOT USED. OWNER/TENANT APPROVAL REQUIRED.
- MAKE GOOD ALL EXISTING CEILING TO REMAIN. PATCH ALL DAMAGES TO CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF THE FINISH WHERE OCCURS.
- REMOVE EXISTING TRIMS MOUNTED ON WALLS, UNLESS NOTED OTHERWISE TO REMAIN.

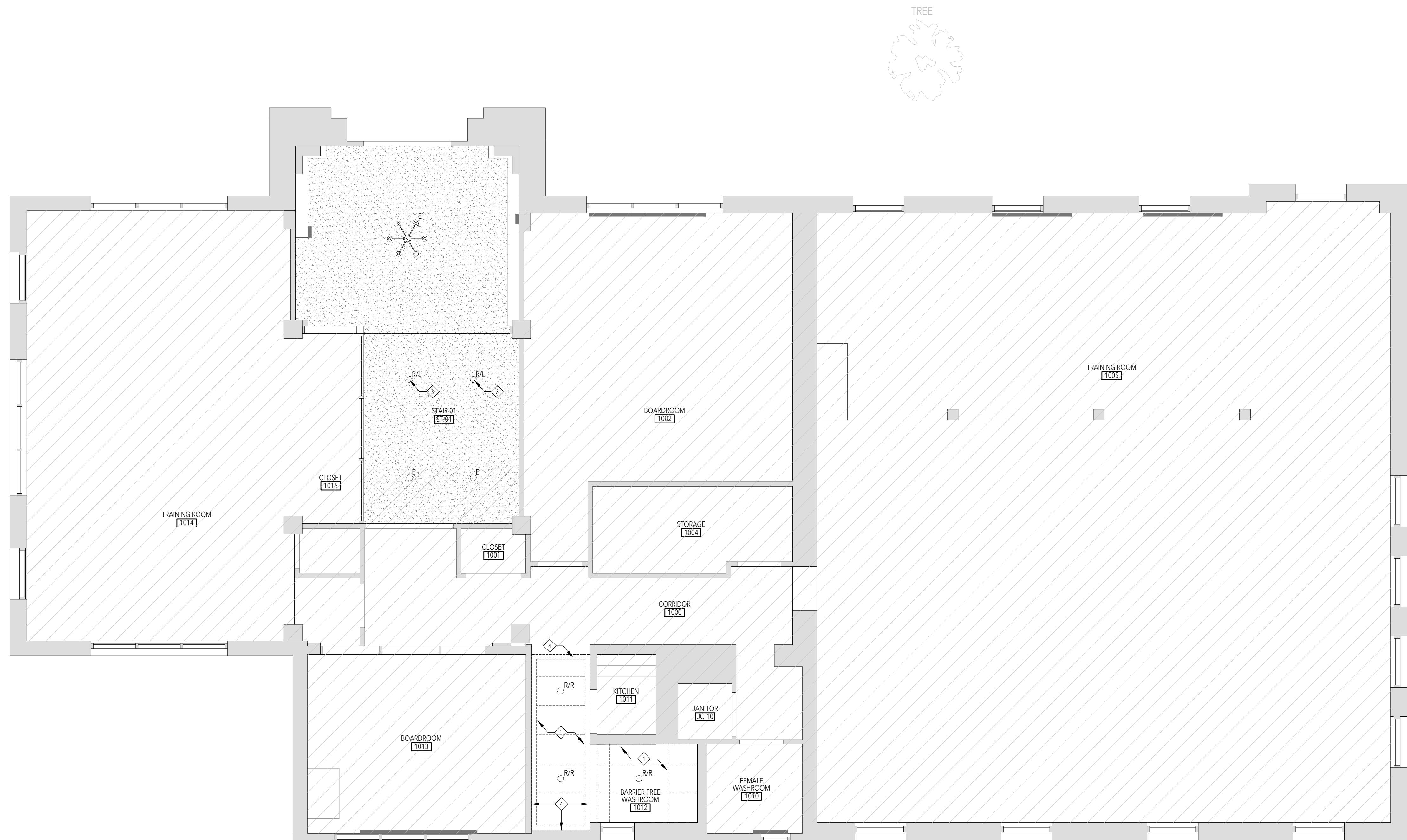
ABBREVIATION & ADDITIONAL NOTES

- E EXISTING TO REMAIN
- R DENOTES EXISTING TO BE REMOVED
- R/R DENOTES EXISTING TO BE REMOVED AND REPLACED
- R/L DENOTES EXISTING TO BE REMOVED AND RELOCATED

PLAN DEMOLITION KEY NOTES

- DENOTES EXISTING TO REMAIN
- DENOTES AREA NOT IN SCOPE OF WORK

- ◇ REMOVE EXISTING T BAR GRID, TIES, ASSOCIATED LIGHTING AND MECHANICAL TRIMS. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION SCOPE.
- ◇ WHERE CEILING IS TO BE EXPOSED, CLEAN UP, CUTBACK TO SOURCE, AND BUNCH LOOSE WIRING TO SLIT NEW CEILING LAYOUT. MAINTAIN CONCEALED ROUTING WHERE REQUIRED. CUT BACK MECHANICAL AND DUCTING AS REQUIRED. REMOVE UNWANTED ADHESIVES, FASTENERS AND ANY UNWANTED BUILDING MATERIALS. CLEAN UP CEILING AND PREP ALL EXPOSED AREAS FOR PAINTING.
- ◇ REMOVE EXISTING DRYWALL CEILING AND ASSOCIATED LIGHTING TO THE EXTENTS REQUIRED TO ACCOMMODATE NEW ACCESSIBLE LIFT PATCH AND REPAIR EDGES TO MEET NEW DRYWALL LIFT SURROUND.
- ◇ EXISTING LIGHTING TO BE REMOVED AND RELOCATED
- ◇ REMOVE EXISTING MOULDING, PATCH AND REPAIR WALL

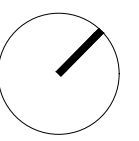


01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots Regimental Museum

Project Address
55 Queen Street East
Brampton L6W 2A6

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.04









GROUND FLOOR DEMOLITION RCP

GENERAL NOTES

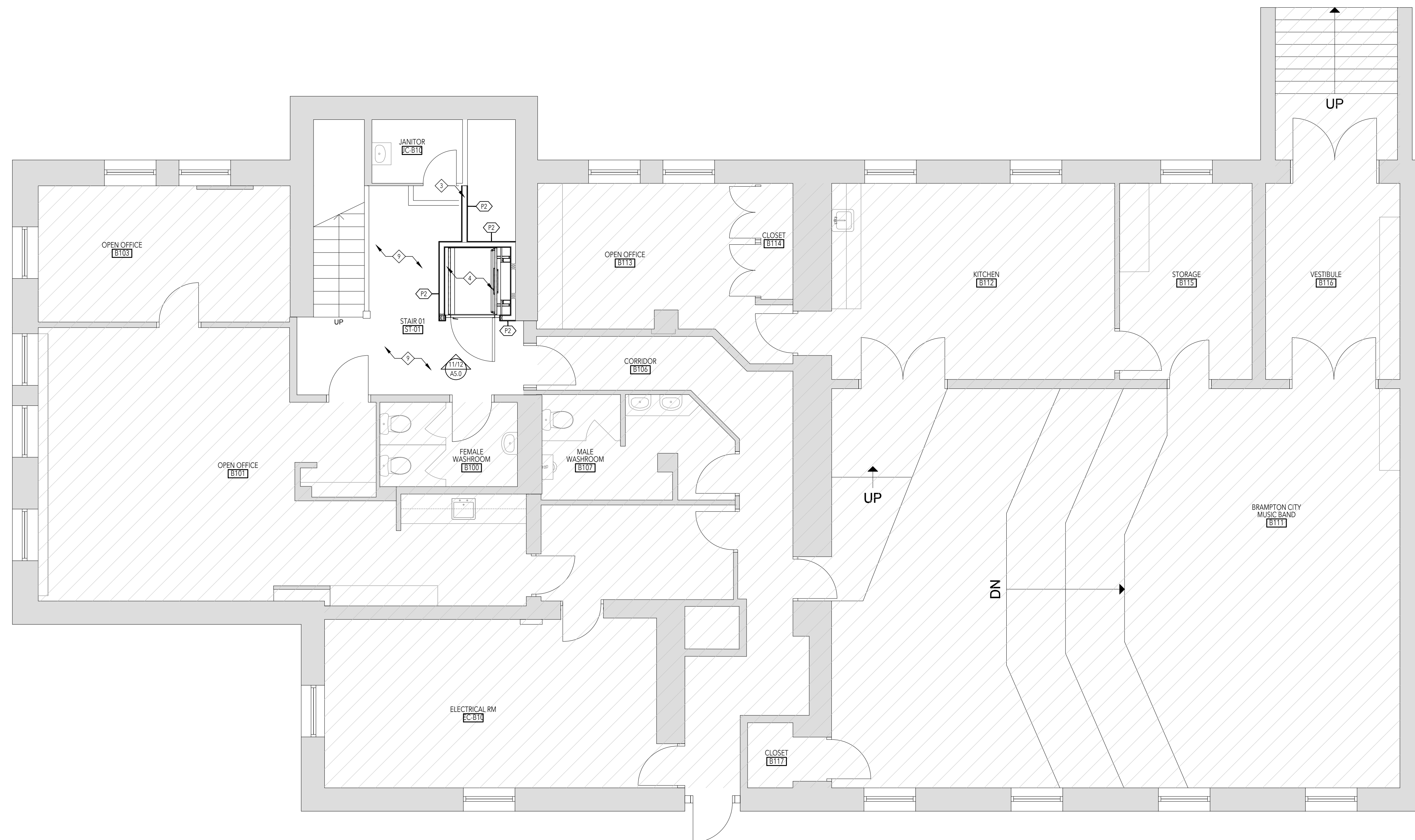
1. WALLS SHOULD EXTEND FROM FLOOR TO UNDERSIDE OF SLAB ABOVE. ANY PENETRATIONS THROUGH WALL SHOULD BE OVERSIZED, FILLED WITH BATT INSULATION AND SEALED WITH NON-HARDENING ACOUSTIC CAULK WITH A MINIMUM MOVEMENT CAPABILITY OF +/-25%. REFER TO INTERIOR DETAILS.
2. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECHANICAL DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND BATHS OR PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CAN NOT BE POSITIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FINISHED FACE OF PARTITION, UNLESS OTHERWISE NOTED.
5. MAKE GOOD ALL EXISTING DRYWALL TO REMAIN.
6. ALL EXISTING FIRE RATED ASSEMBLIES TO MAINTAIN EXISTING RATING.
7. PROVIDE BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
8. UNLESS OTHERWISE NOTED, DOOR OPENINGS ARE 101mm FROM ADJACENT RETURN WALL.
9. WHERE LOCATED AGAINST WALL PAINTED TO PT1, WALL PLATES, RECEPTACLES, DATA OUTLETS ETC TO BE PROVIDED IN WHITE.

LEGEND

-  DENOTES EXISTING TO REMAIN
-  GENERAL INDICATES AREA NOT IN SCOPE
-  NEW CONSTRUCTION
-  DOOR TAG
-  PARTITION TAG
-  DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

PLAN KEY NOTES

1. PROVIDE BLOCKING AS NECESSARY FOR WALL MOUNTED EQUIPMENT/ACCESSORIES/PLUMBING FIXTURES
2. MAKE GOOD EXISTING WALL, PREPARE FOR PAINT FINISH BENJAMIN MOORE CC-30 OXFORD WHITE
3. NEW GWB AND WALL BASE TO MATCH BENJAMIN MOORE CC-30 OXFORD WHITE
4. NEW ACCESSIBLE LIFT WITH GWB SURROUND, REFERENCE ELECTRICAL / MECHANICAL AND STRUCTURAL DRAWINGS FOR FURTHER DETAILS
5. NEW RECONSTRUCTED STAIR AND HANDRAIL, MADE FROM REMOVED EXISTING STAIR AND TO MATCH DESIGN OF EXISTING STAIR
6. NEW AUTO DOOR OPERATOR, REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
7. NEW ACCESSIBLE RAMP, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
8. NEW EXTERIOR LIGHT POST, REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
9. NEW VINYL FLOORING: TARKETT ACCENT CONCRETE COOL GREY
10. EXISTING PLUMBING / ACCESSORIES AND EQUIPMENT TO BE RE-INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES
11. EXISTING STAIRS TO BE WIDENED THROUGH NEW INFILL, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
12. EXISTING DOOR AND FRAME TO BE RELOCATED
13. EXISTING CITY SIGNAGE TO BE RELOCATED TO ACCOMMODATE RAMP
14. RELOCATED EXISTING RADIATOR
15. NEW WALKOFF CARPET FLOORING: BURMATX GRIMBUSTER NEWMARKET GREY



01	Permit & Tender	2024.07.24
No.	Issued for	Date

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.23

BASEMENT FLOOR PLAN

BASEMENT FLOOR PLAN

SCALE = 1: 50

10
A2.0

Drawing No:

A2.0

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Do not scale this drawing.

This drawing shall not be used for construction purposes unless counter-signed.

LEBEL & BOULIANE

Seals:

GENERAL NOTES

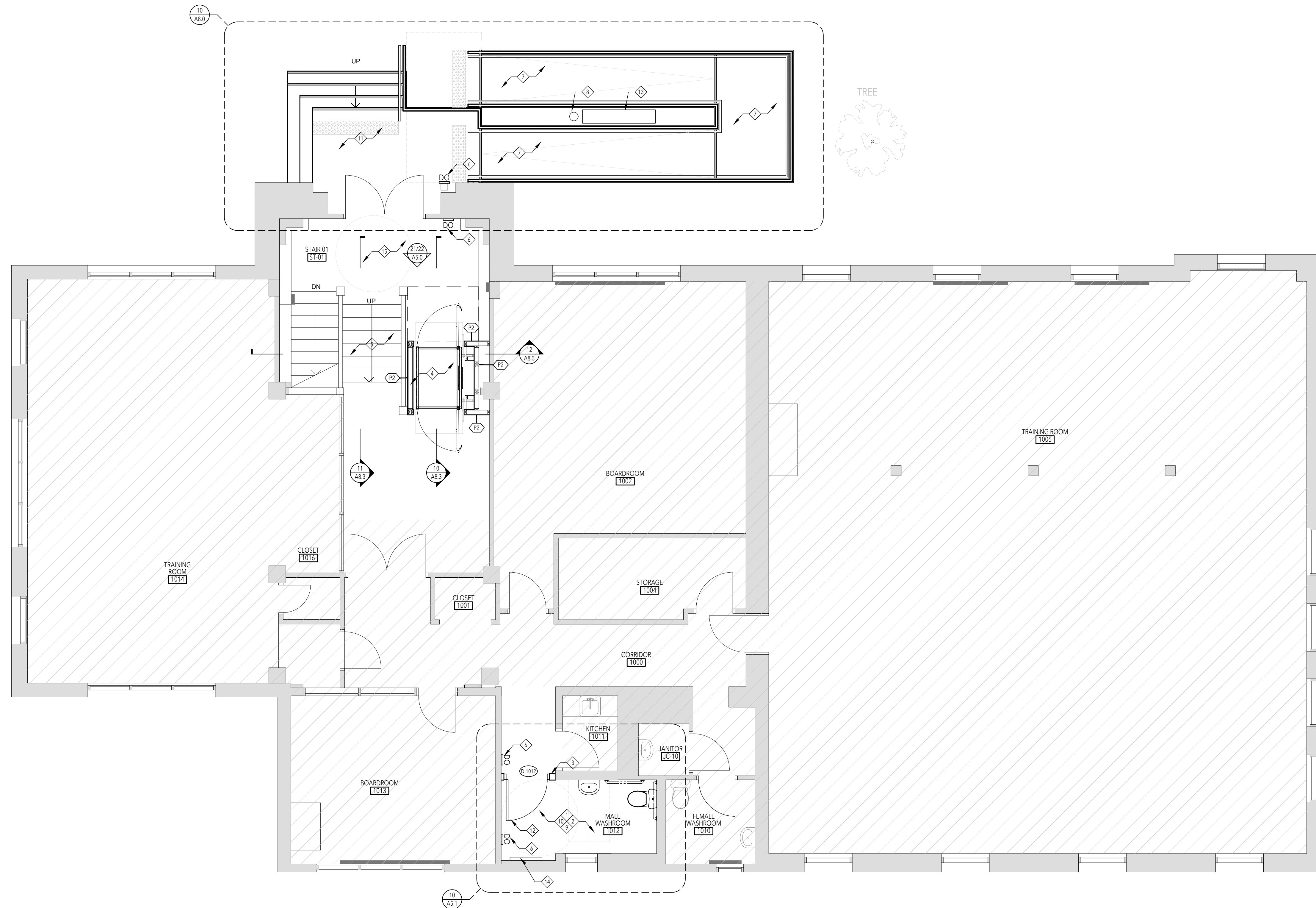
1. WALLS SHOULD EXTEND FROM FLOOR TO UNDERSIDE OF SLAB ABOVE. ANY PENETRATIONS THROUGH WALL SHOULD BE OVERSIZED, FILLED WITH BATT INSULATION AND SEALED WITH NON-HARDENING ACOUSTIC CAULK WITH A MINIMUM MOVEMENT CAPABILITY OF +.25%. REFER TO INTERIOR DETAILS.
2. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECHANICAL DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CAN NOT BE POSITIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FINISHED FACE OF PARTITION, UNLESS OTHERWISE NOTED.
5. MAKE GOOD ALL EXISTING DRYWALL TO REMAIN.
6. ALL EXISTING FIRE RATED ASSEMBLIES TO MAINTAIN EXISTING RATING.
7. PROVIDE BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
8. UNLESS OTHERWISE NOTED, DOOR OPENINGS ARE 101mm FROM ADJACENT RETURN WALL.
9. WHERE LOCATED AGAINST WALL PAINTED TO P11, WALL PLATES, RECEPTACLES, DATA OUTLETS ETC. TO BE PROVIDED IN WHITE.

LEGEND

- DENOTES EXISTING TO REMAIN
- GENERAL INDICATES AREA NOT IN SCOPE
- NEW CONSTRUCTION
- DOOR TAG
- PARTITION TAG
- DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

PLAN KEY NOTES

- PROVIDE BLOCKING AS NECESSARY FOR WALL MOUNTED EQUIPMENT/ACCESSORIES/PLUMBING FIXTURES
- MAKE GOOD EXISTING WALL, PREPARE FOR PAINT FINISH BENJAMIN MOORE CC 30 OXFORD WHITE
- NEW GWB AND WALL BASE TO MATCH BENJAMIN MOORE CC 30 OXFORD WHITE
- NEW ACCESSIBLE LIFT WITH GWB SURROUND. REFERENCE ELECTRICAL / MECHANICAL AND STRUCTURAL DRAWINGS FOR FURTHER DETAILS
- NEW RECONSTRUCTED STAIR AND HANDRAIL, MADE FROM REMOVED EXISTING STAIR AND TO MATCH DESIGN OF EXISTING STAIR
- NEW AUTO DOOR OPERATOR. REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW ACCESSIBLE RAMP. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW EXTERIOR LIGHT POST. REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW VINYL FLOORING. FARKETT ACCENT CONCRETE COOL GREY
- EXISTING PLUMBING / ACCESSORIES AND EQUIPMENT TO BE RE-INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES
- EXISTING STAIRS TO BE WIDENED THROUGH NEW WELL. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXISTING DOOR AND FRAME TO BE RELOCATED
- EXISTING CITY SIGNAGE TO BE RELOCATED TO ACCOMMODATE RAMP
- RELOCATED EXISTING RADIATOR
- NEW HAIKOFF CARPET FLOORING: BURMATEX GRIMBUSTER NEWMARKET GREY



01 Permit & Tender 2024.07.24
No. Issued for Date

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No. 24-002
Drawn by TT
Reviewed by MS
Scale 1:50
Plot Date 2024.07.23

GROUND FLOOR PLAN

GROUND FLOOR PLAN

SCALE = 1: 50

10
A2.1

Drawing No:

A2.1

Seals:




GENERAL NOTES

1. MAKE GOOD ALL EXISTING AREAS ADJACENT NEW.
2. ALL CEILING HEIGHT TO MATCH EXISTING CEILING.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.





ABBREVIATION & ADDITIONAL NOTES

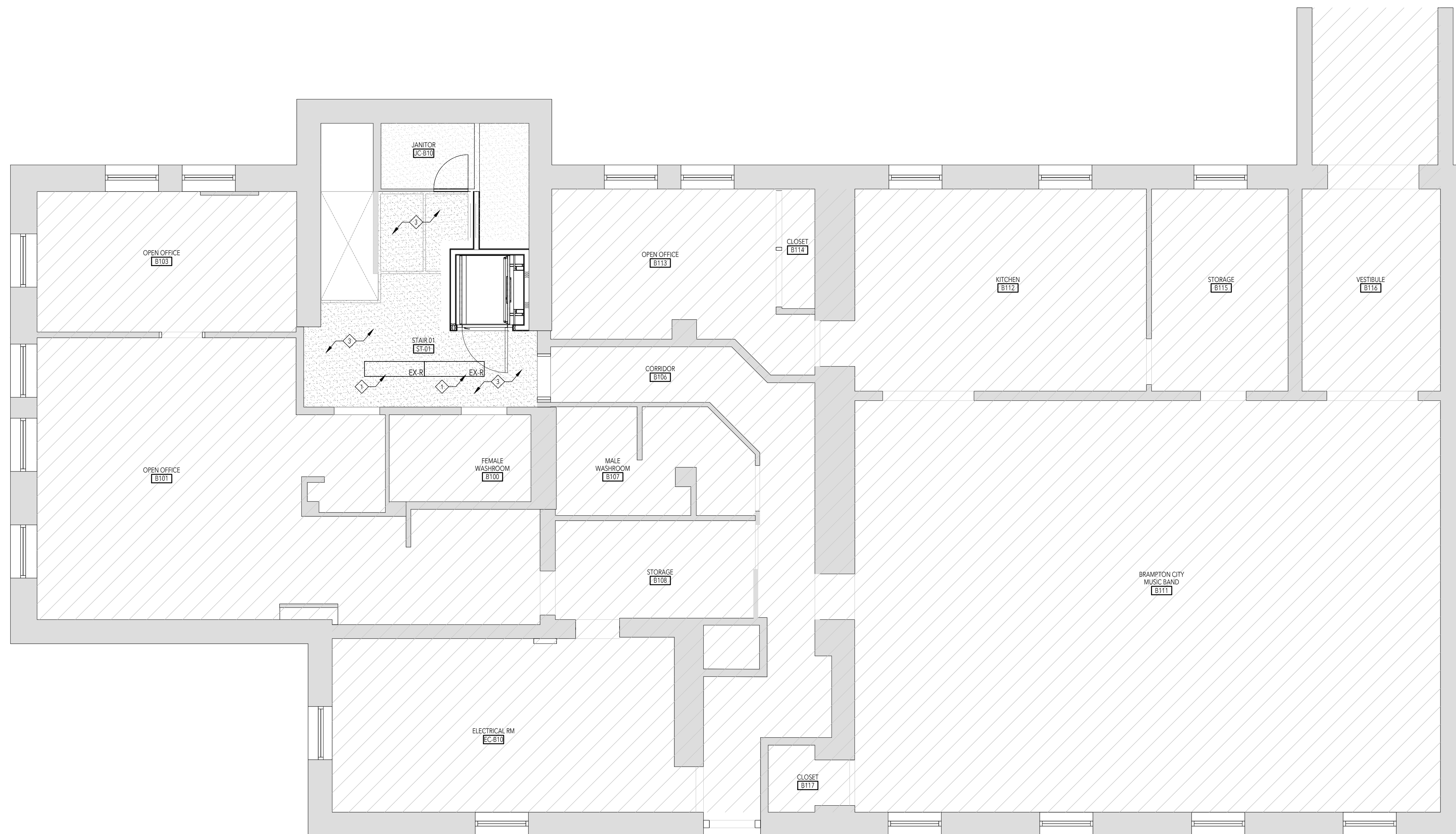
- E EXISTING TO REMAIN
- R DENOTES EXISTING TO BE REMOVED
- RW DENOTES EXISTING TO BE REMOVED AND REPLACED
- RL DENOTES EXISTING TO BE REMOVED AND RELOCATED

RCP LEGEND

-  GENERAL: INDICATES EXISTING TO REMAIN
-  GENERAL: INDICATES AREA NOT IN SCOPE
-  GWS CEILING

RCP KEYNOTES

-  EXISTING LIGHTS TO BE RELOCATED, MAKE GOOD DRYWALL CEILING AND PAINT
-  NEW GWS CEILING HEIGHT TO MATCH EXISTING CEILING HEIGHT. PAINTED FT1 BENJAMIN MOORE CC 20 OXFORD WHITE
-  EXISTING GWS CEILING TO BE MADE GOOD AND REPAINTED AFTER ACCOMMODATION OF NEW ACCESSIBLE LIFT NEW TRIM TO MATCH EXISTING CEILING
-  NEW L1 LIGHT : SIGMA 2 LITELINE, WHITE RECESSED 300X



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**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	23-003
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.06.17

BASEMENT FLOOR RCP

BASEMENT FLOOR RCP

SCALE = 1: 50

10
A3.0

Drawing No:

A3.0

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LEBEL & BOULIANE

Seals:

GENERAL NOTES

1. MAKE GOOD ALL EXISTING AREAS ADJACENT NEW.
2. ALL CEILING HEIGHT TO MATCH EXISTING CEILING.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

ABBREVIATION & ADDITIONAL NOTES:

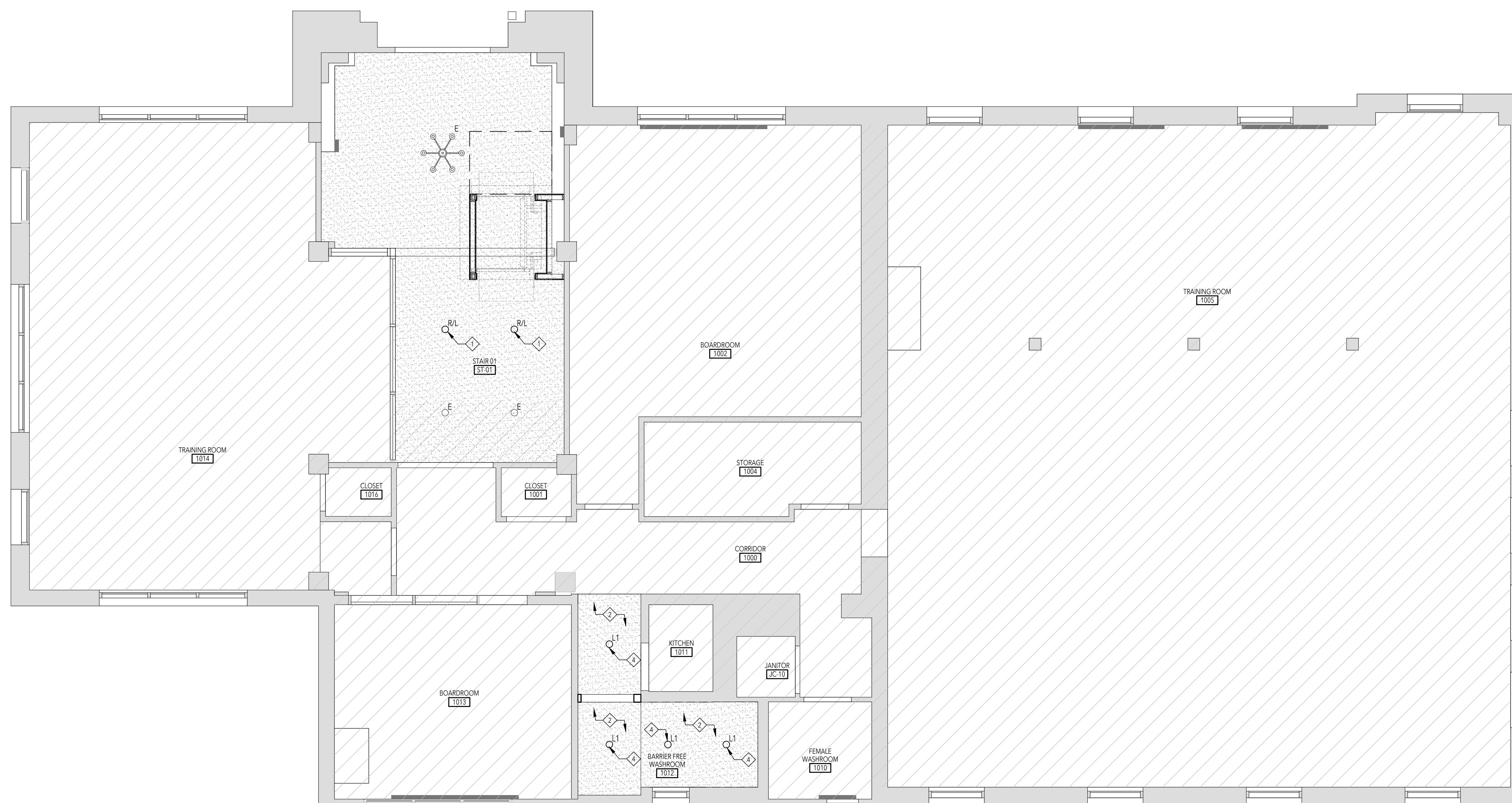
- E EXISTING TO REMAIN
- R DENOTES EXISTING TO BE REMOVED
- R/R DENOTES EXISTING TO BE REMOVED AND REPLACED
- RL DENOTES EXISTING TO BE REMOVED AND RELOCATED

RCP LEGEND:

- GENERAL INDICATES EXISTING TO REMAIN
- GENERAL INDICATES AREA NOT IN SCOPE
- ▨ GWB CEILING

RCP KEYNOTES

- 1 EXISTING LIGHTS TO BE RELOCATED, MAKE GOOD DRYWALL CEILING AND PAINT
- 2 NEW GWB CEILING HEIGHT TO MATCH EXISTING CEILING HEIGHT PAINTED PT-1 BENJAMIN MOORE CC 30 OXFORD WHITE
- 3 EXISTING GWB CEILING TO BE MADE GOOD AND REPAINTED AFTER ACCOMMODATION OF NEW ACCESSIBLE LIFT NEW TRIM TO MATCH EXISTING CEILING
- 4 NEW L1 LIGHT - SIGMA 2 LIFELINE, WHITE RECESSED 3000K

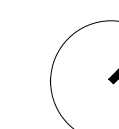


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**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
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Project No. 23-003
Drawn by TT
Reviewed by MS
Scale NTS
Plot Date 2024.05.30



GROUND FLOOR RCP

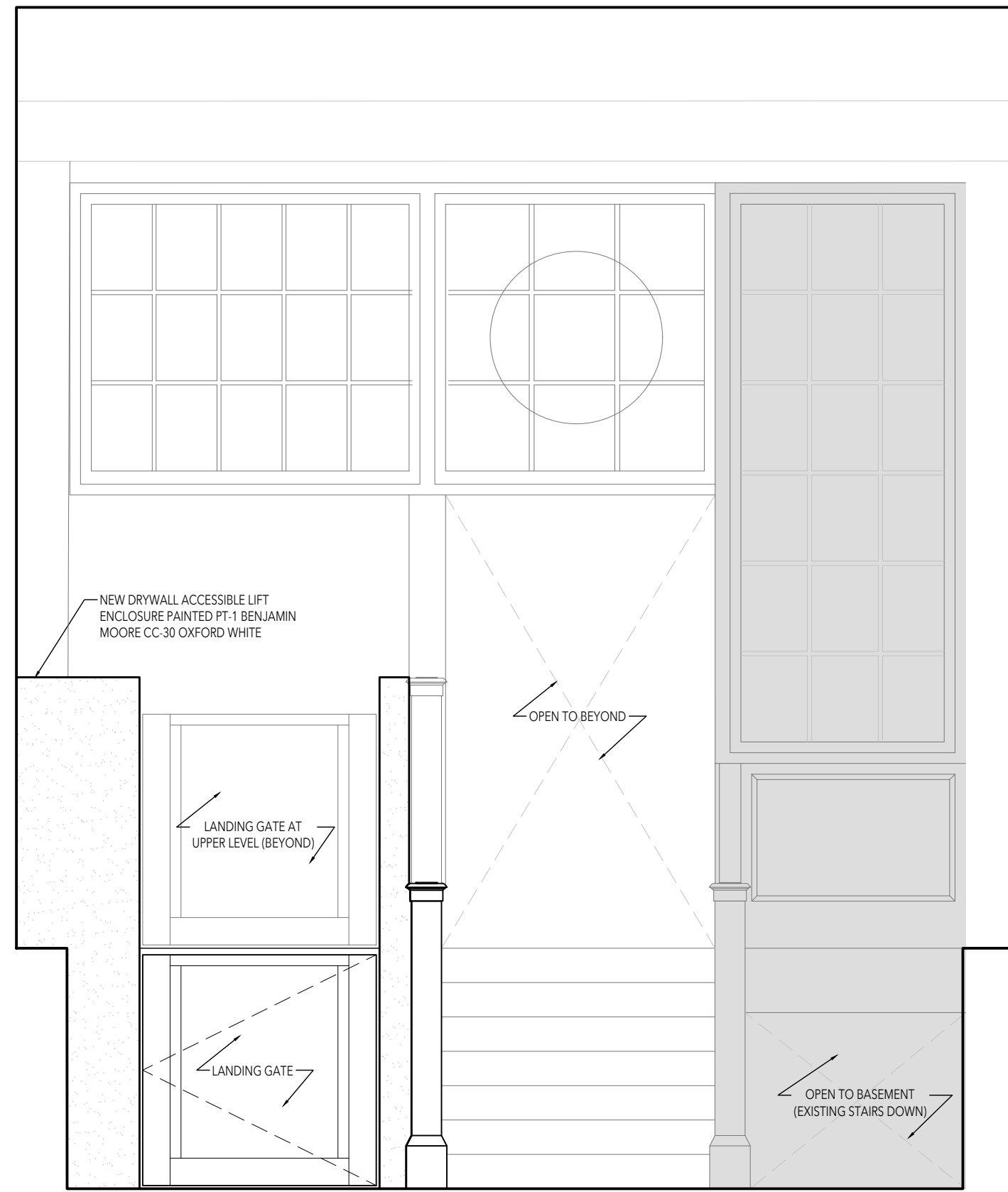
GROUND FLOOR RCP

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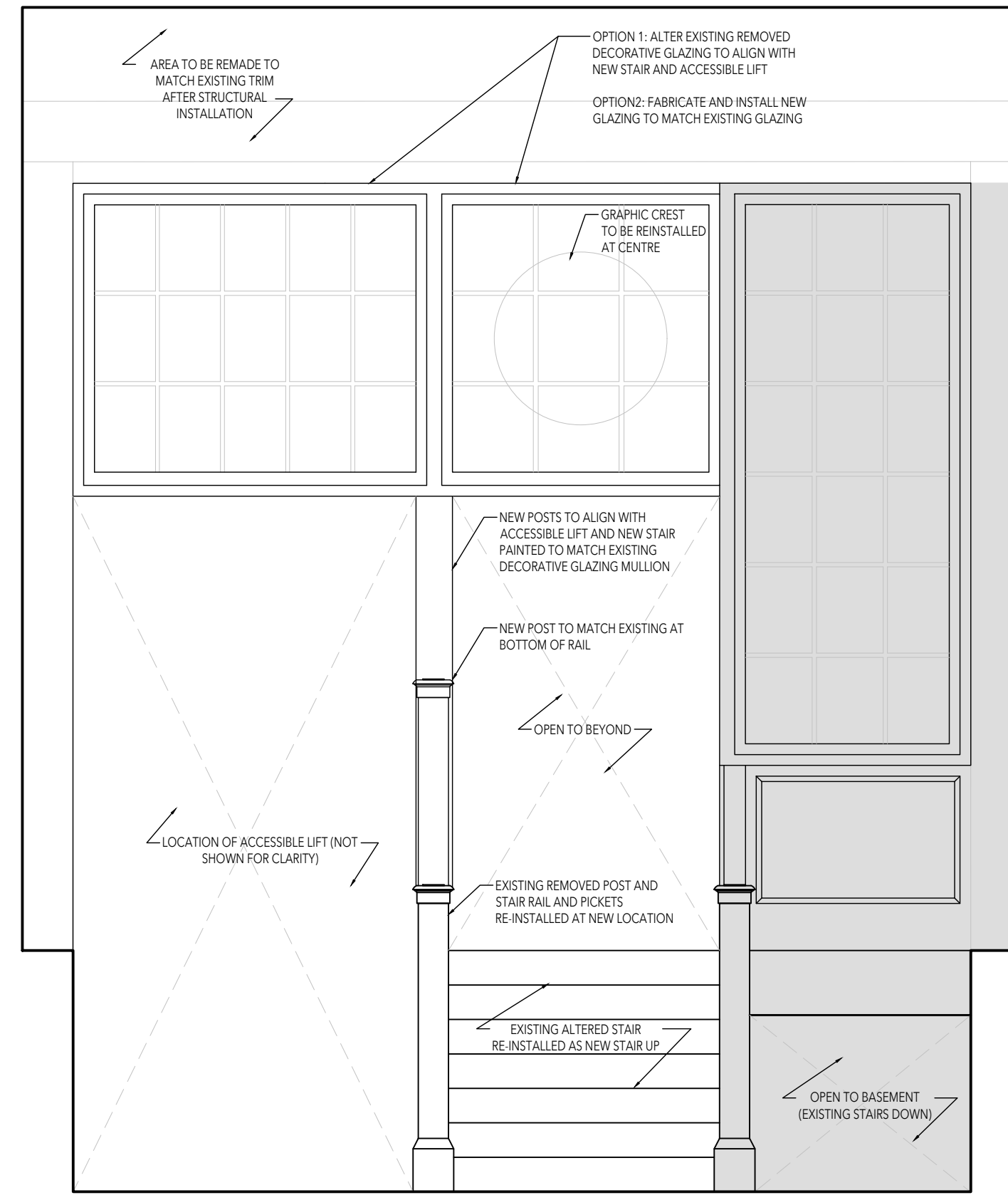
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Drawing No:

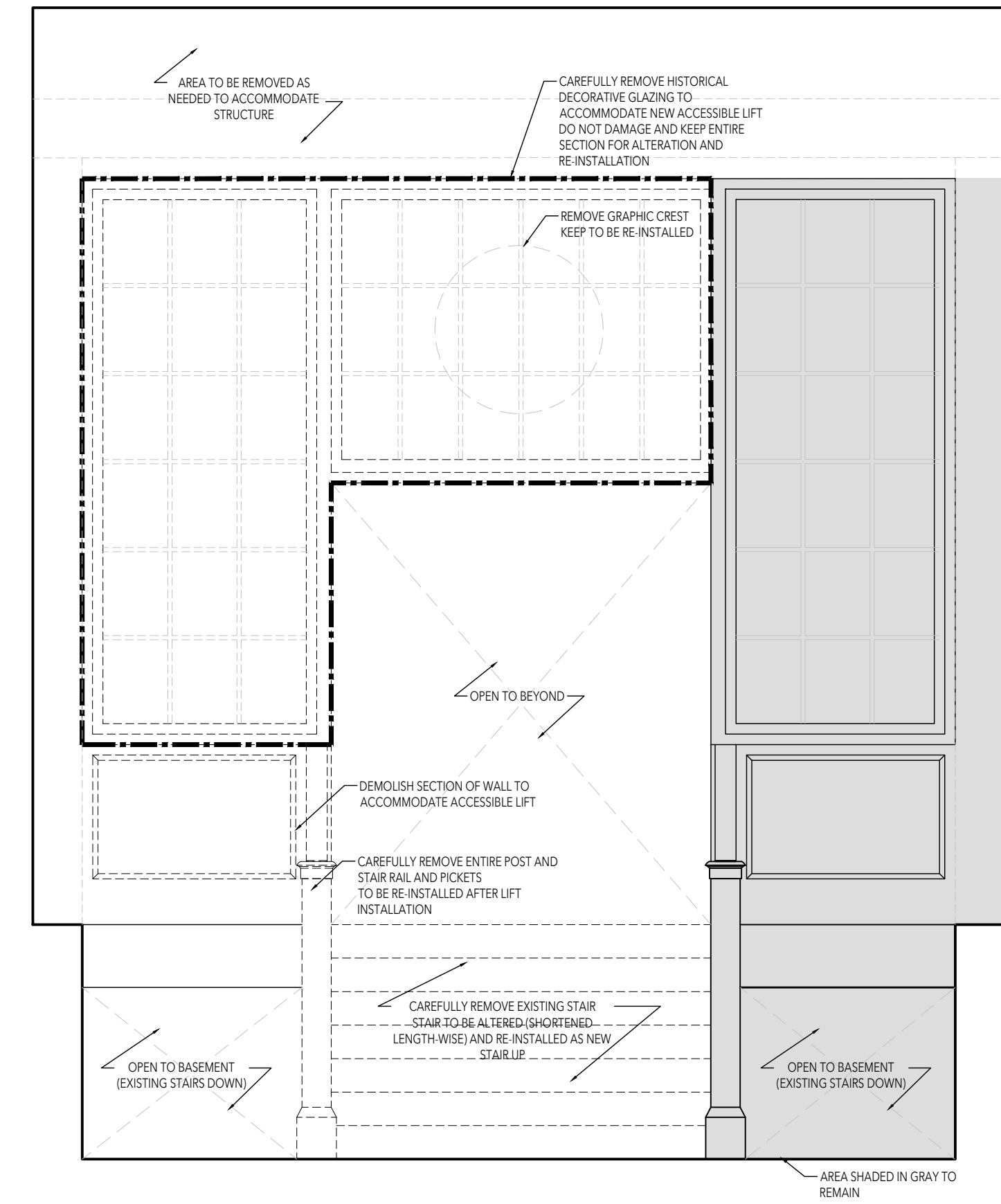
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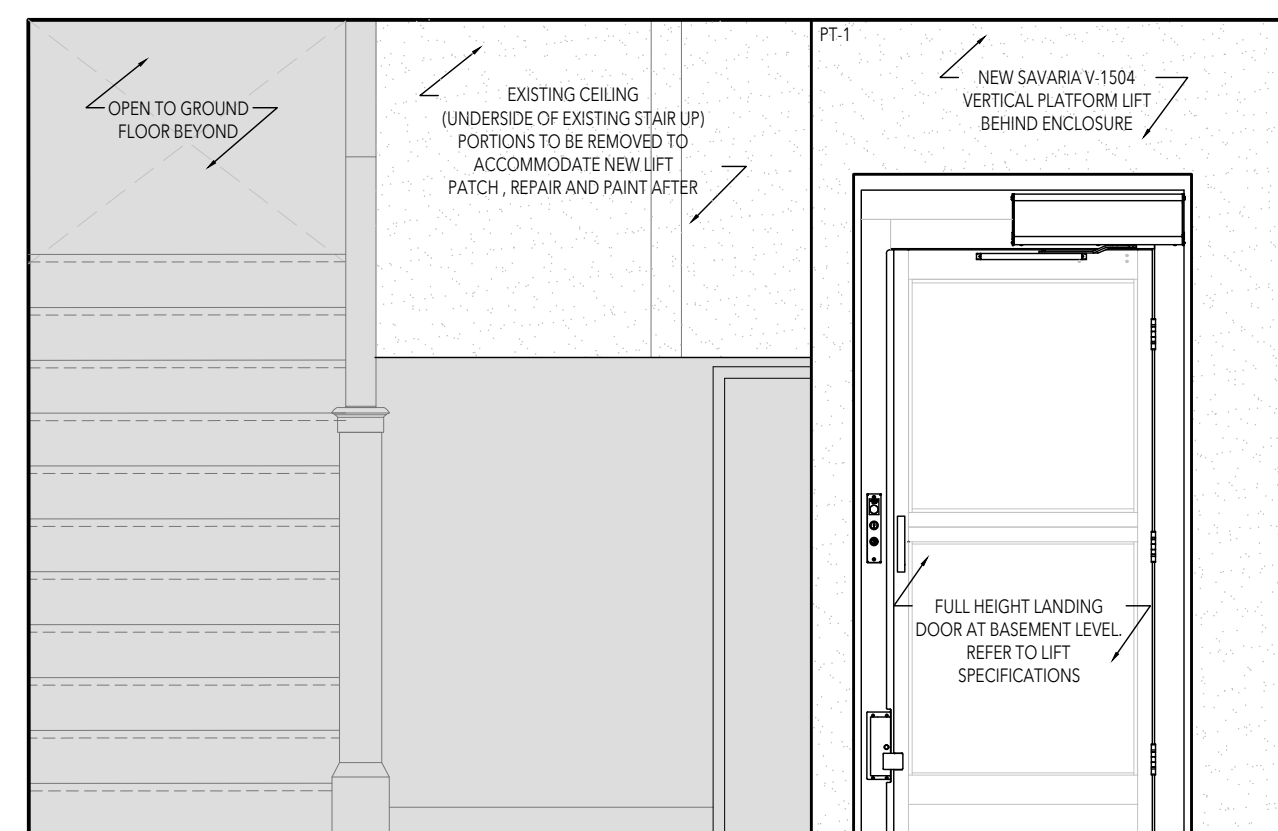
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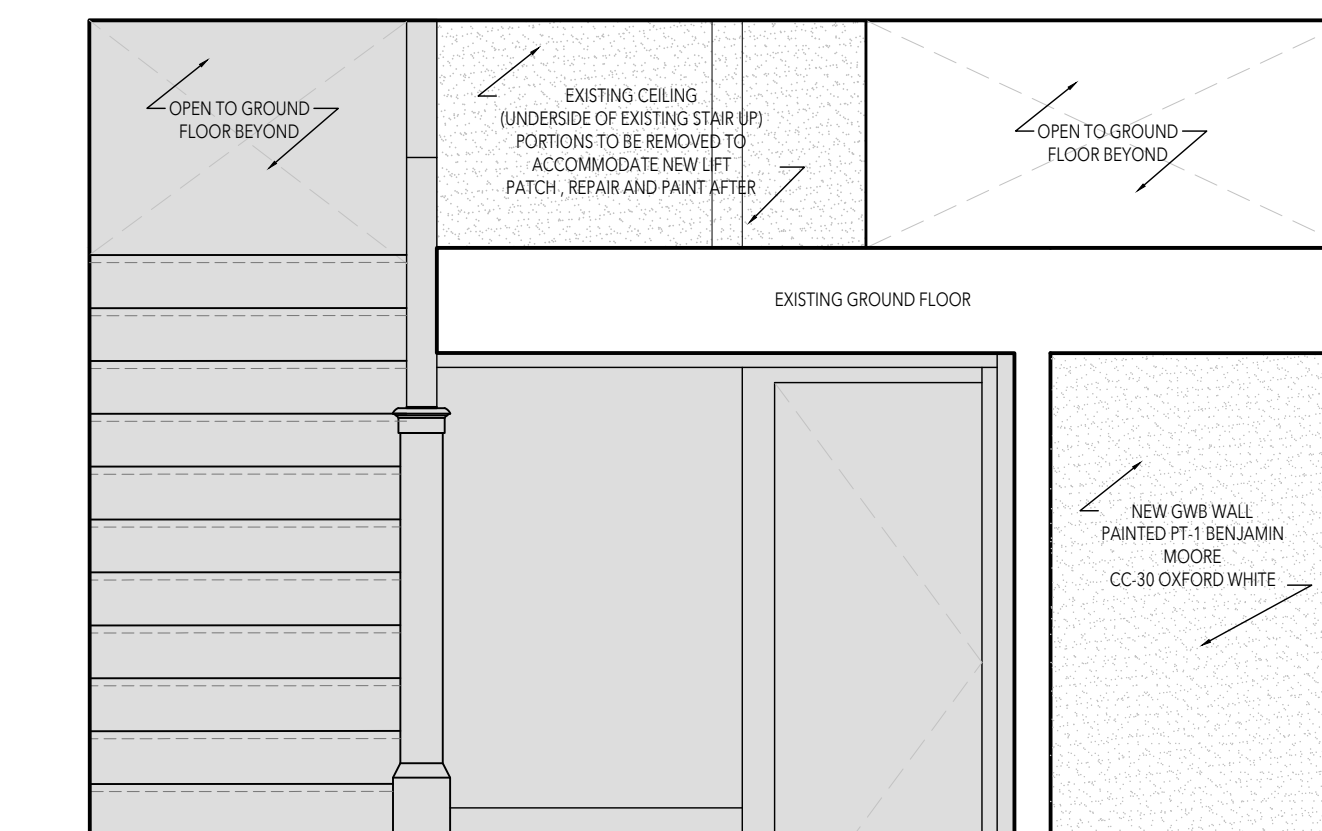
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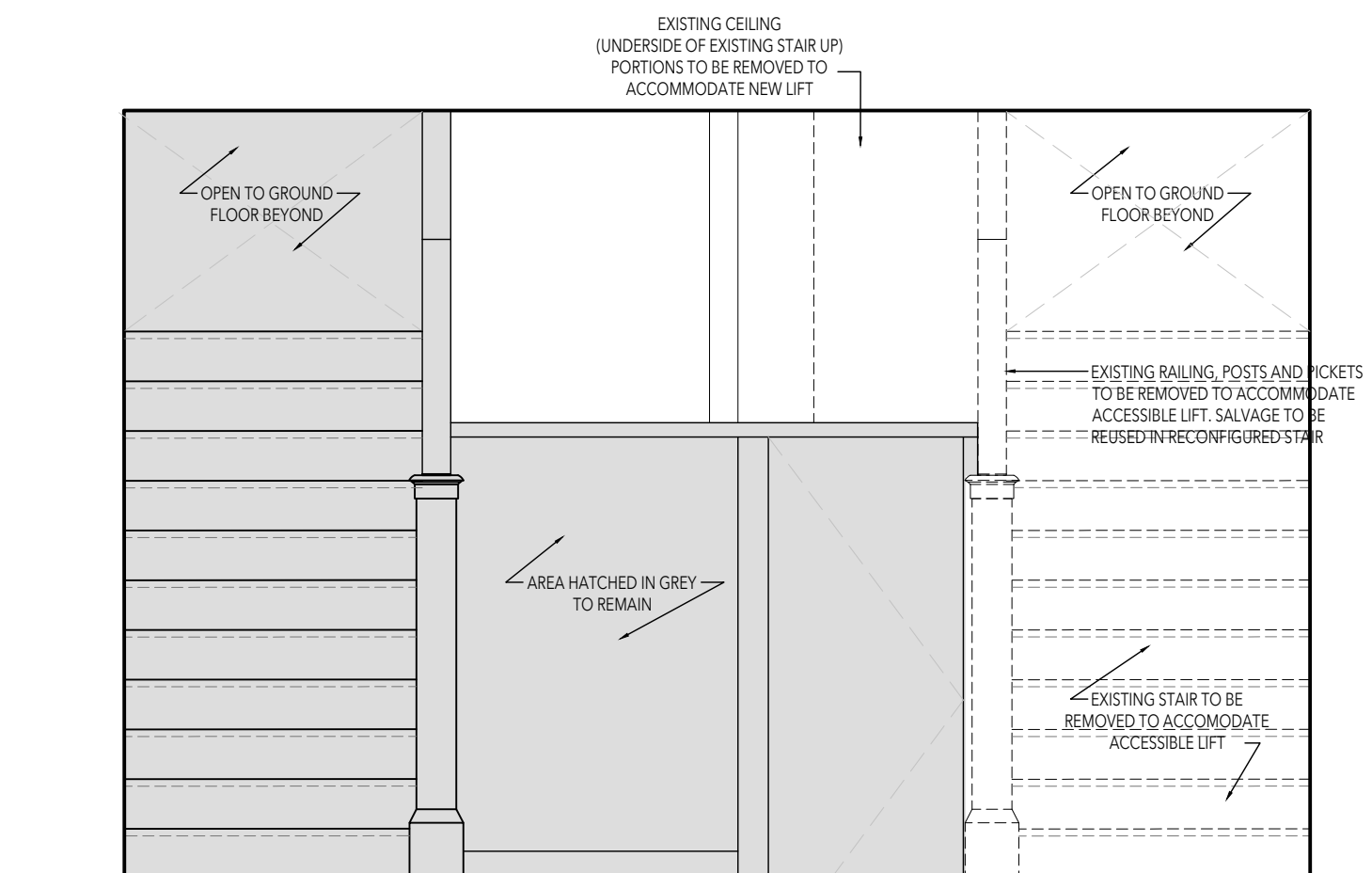
ENTRY ELEVATION - DEMO 20
SCALE = 1: 50 A5.0



ENTRY ELEVATION - NEW (IN FRONT OF LIFT) 12
SCALE = 1: 50 A5.0



BASEMENT ELEVATION - NEW (BEHIND LIFT) 11
SCALE = 1: 50 A5.0



BASEMENT ELEVATION - DEMO 10
SCALE = 1: 50 A5.0

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**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
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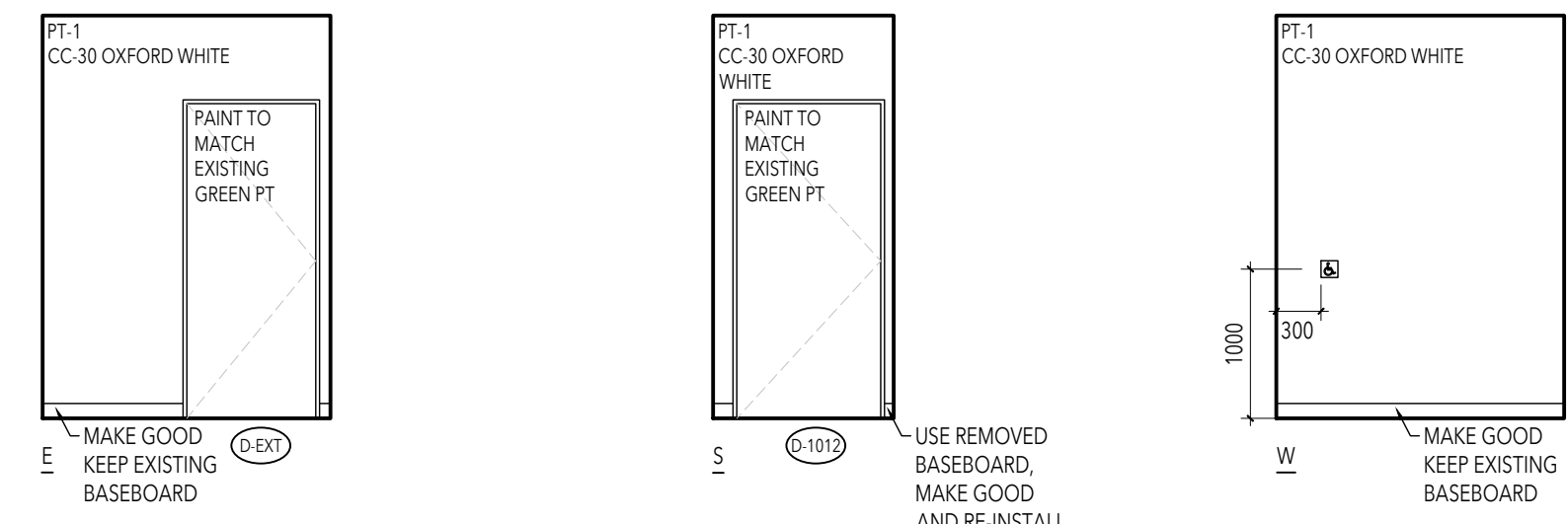
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Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.24

INTERIOR ELEVATIONS

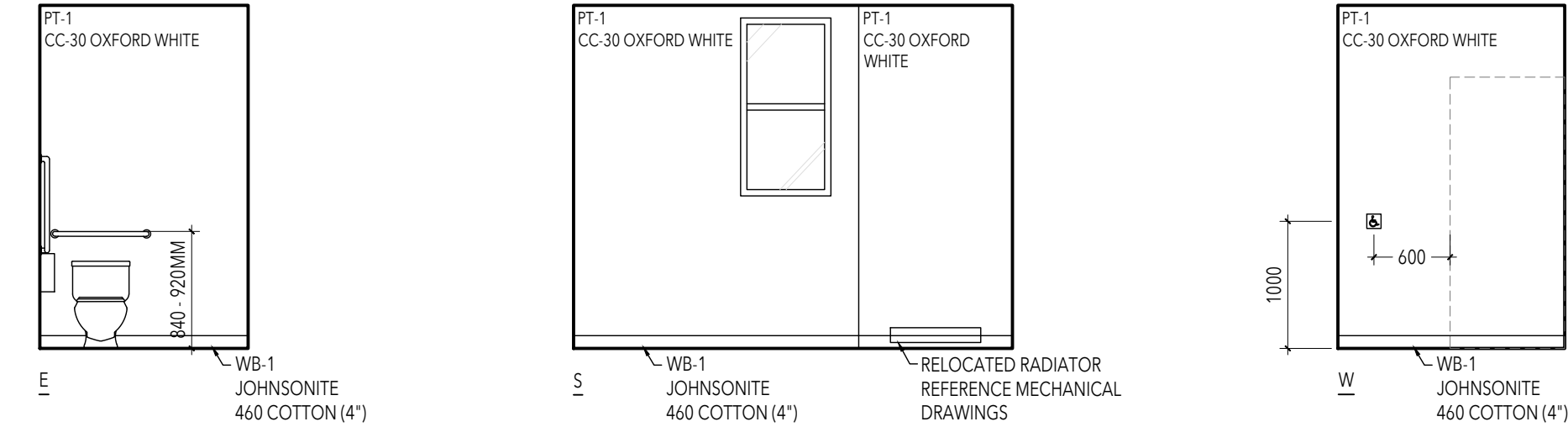
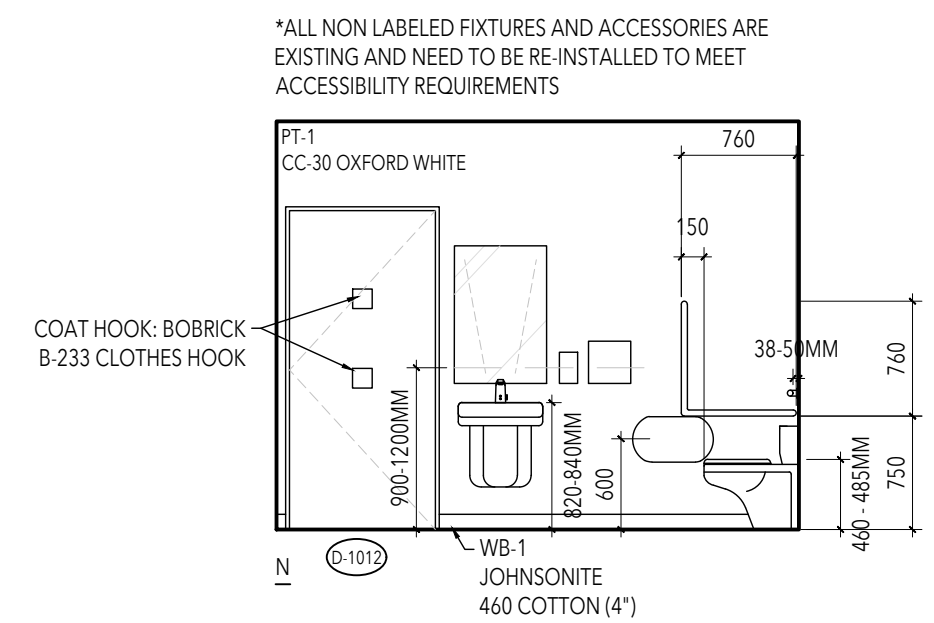
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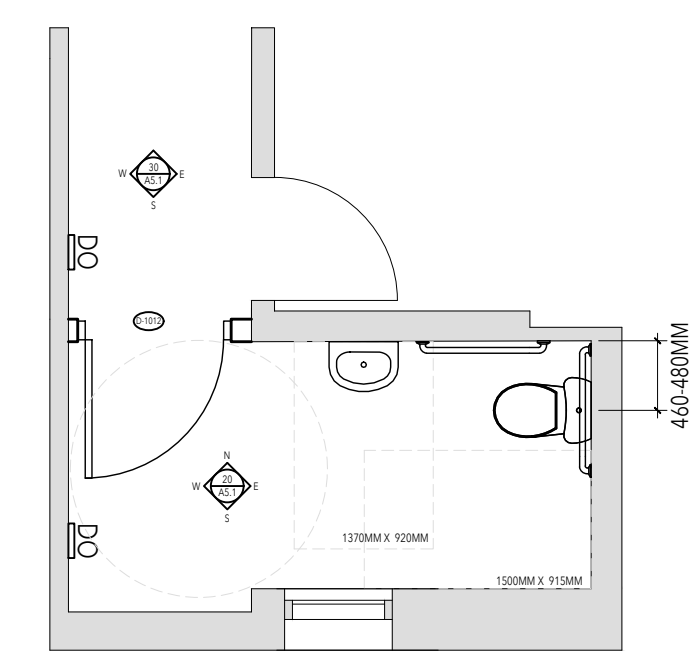
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WASHROOM CORRIDOR 30
SCALE = 1: 50
A5.1



ACCESSIBLE WASHROOM 20
SCALE = 1: 50
A5.1



ACCESSIBLE WASHROOM 10
SCALE = 1: 50
A5.1

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**Lorne Scots
Regimental Museum**

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55 Queen Street East,
Brampton L6W 2A8

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Plot Date	2024.07.24

ACCESSIBLE WASHROOM

Drawing No:

A5.1

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Seals:

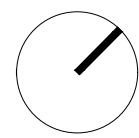
..\\..\\..B. Design Development\3.0 Schedules\2024.07.18_Door Hardware\2024.07.17_Regimental Museum_Door Schedule.jpg

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**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
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Plot Date	2024.07.18



DOOR HARDWARE

BASEMENT FLOOR RCP

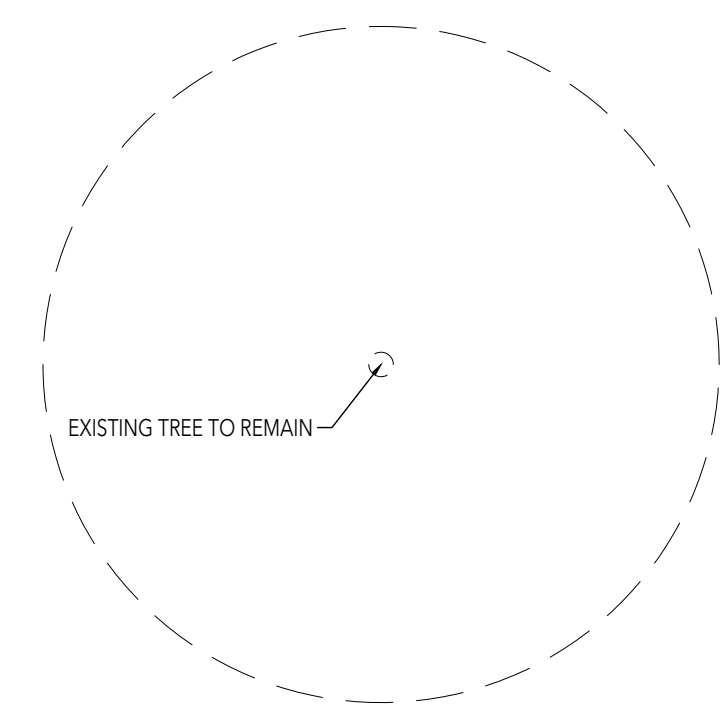
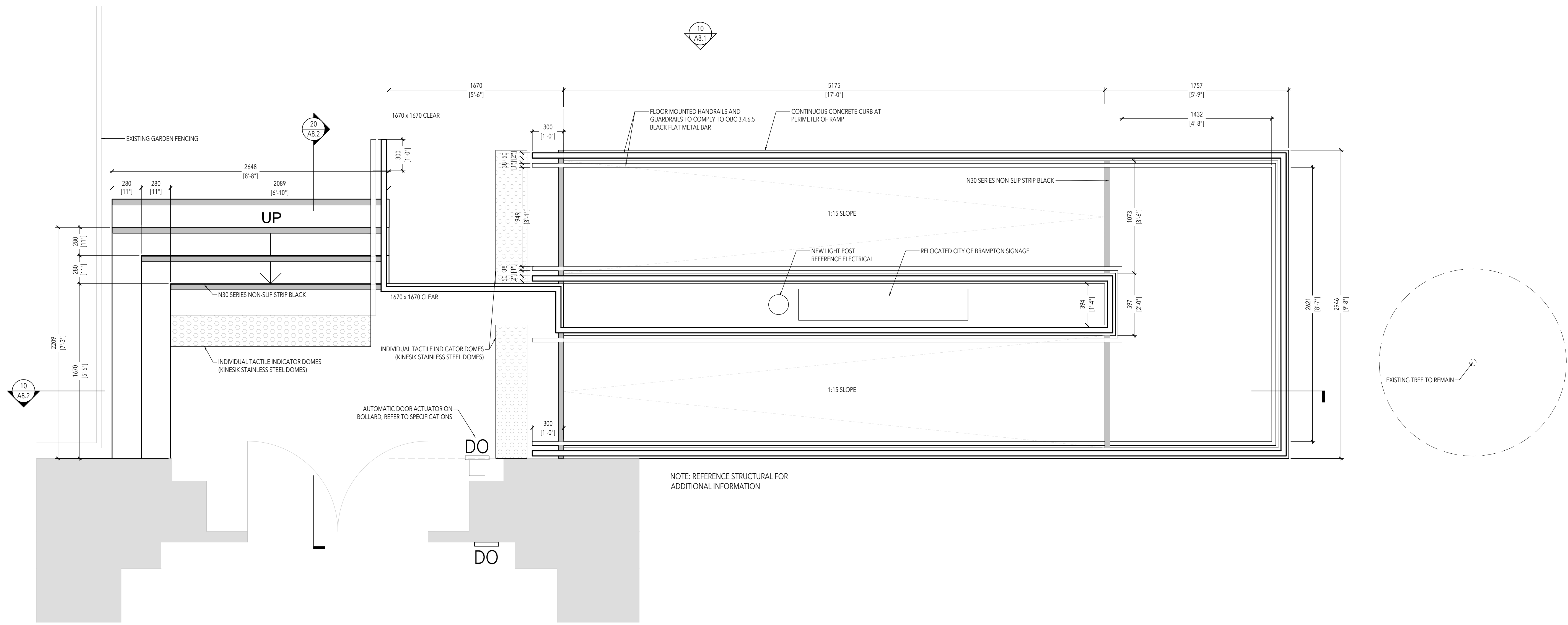
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A6.0

Drawing No:

A6.0

Seals:



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**Lorne Scots
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55 Queen Street East,
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Project No.	24-002
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Plot Date	2024.07.23

RAMP PLAN

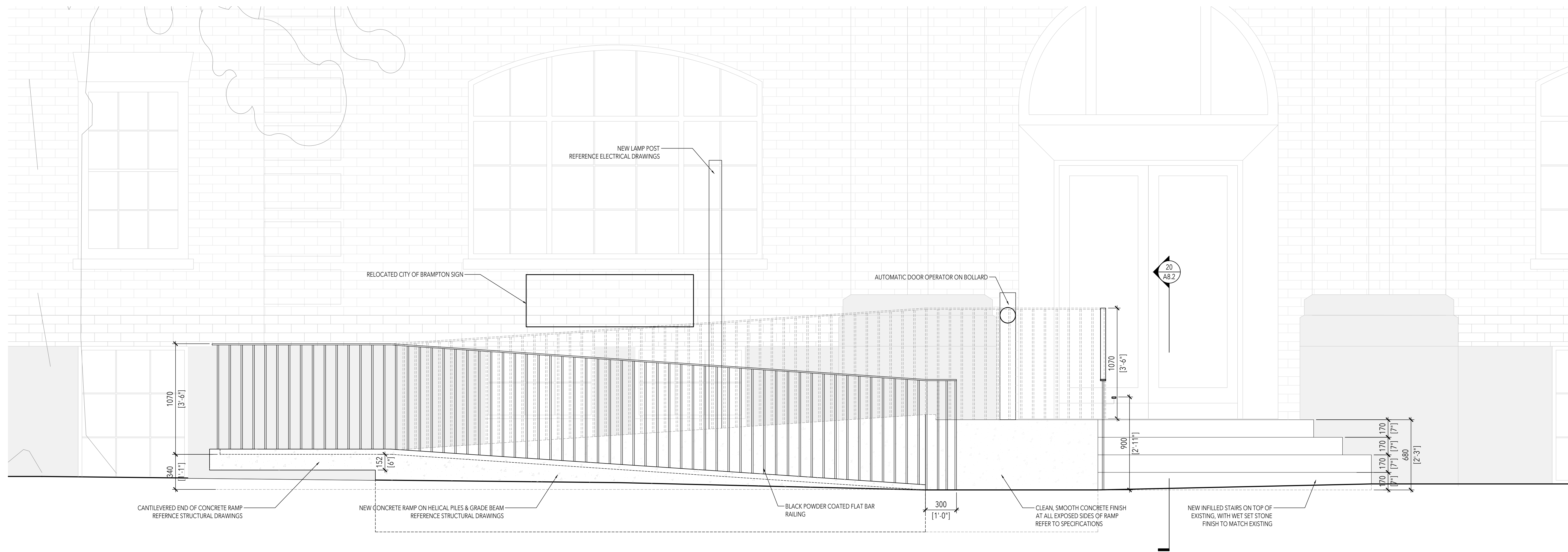
RAMP PLAN
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A8.0

Drawing No:

A8.0

Seals:



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**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
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Project No.	23-003
Drawn by	TT
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Scale	NTS
Plot Date	2024.07.23

RAMP ELEVATION

RAMP ELEVATION

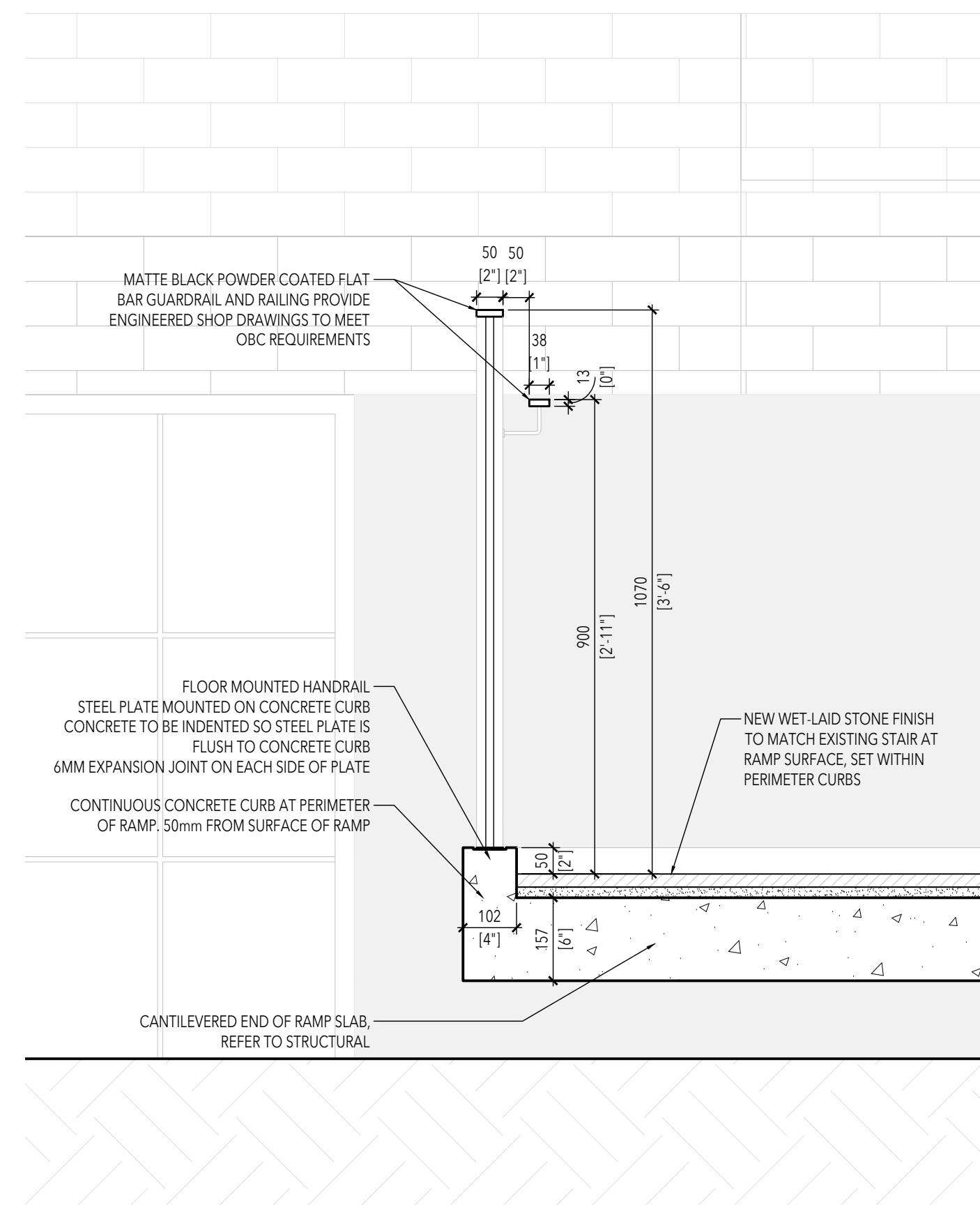
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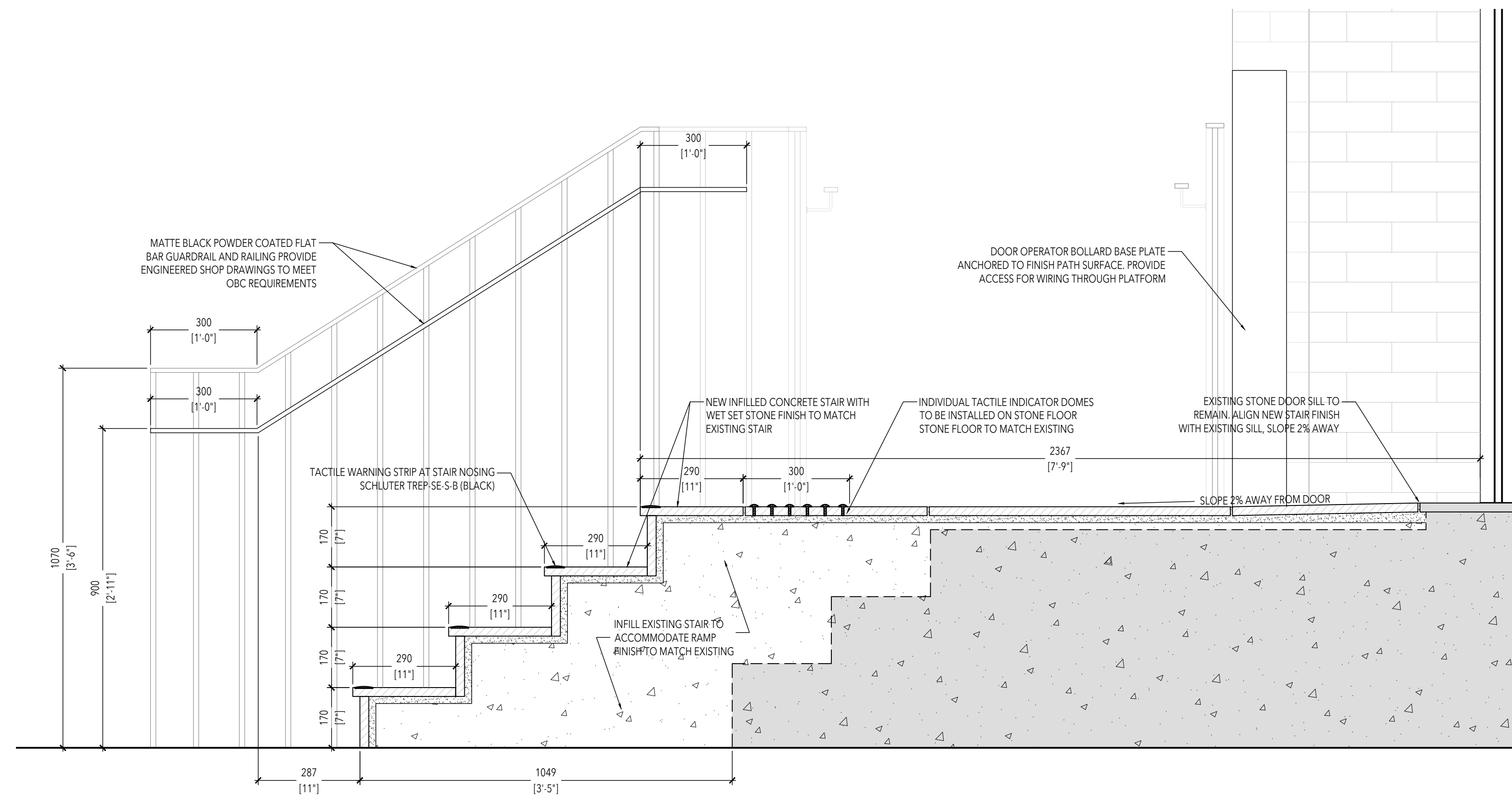
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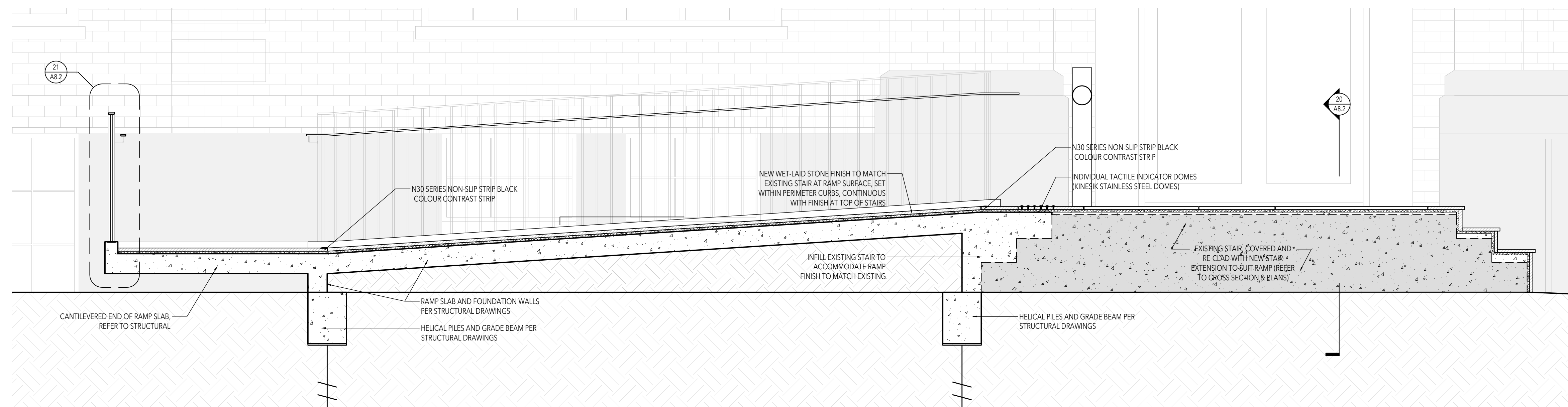
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EXTERIOR STAIR 21
SCALE = 1: 20
A8.2



EXTERIOR STAIR 20
SCALE = 1: 10
A8.2



EXTERIOR STAIR 10
SCALE = 1: 20
A8.2

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**Lorne Scots
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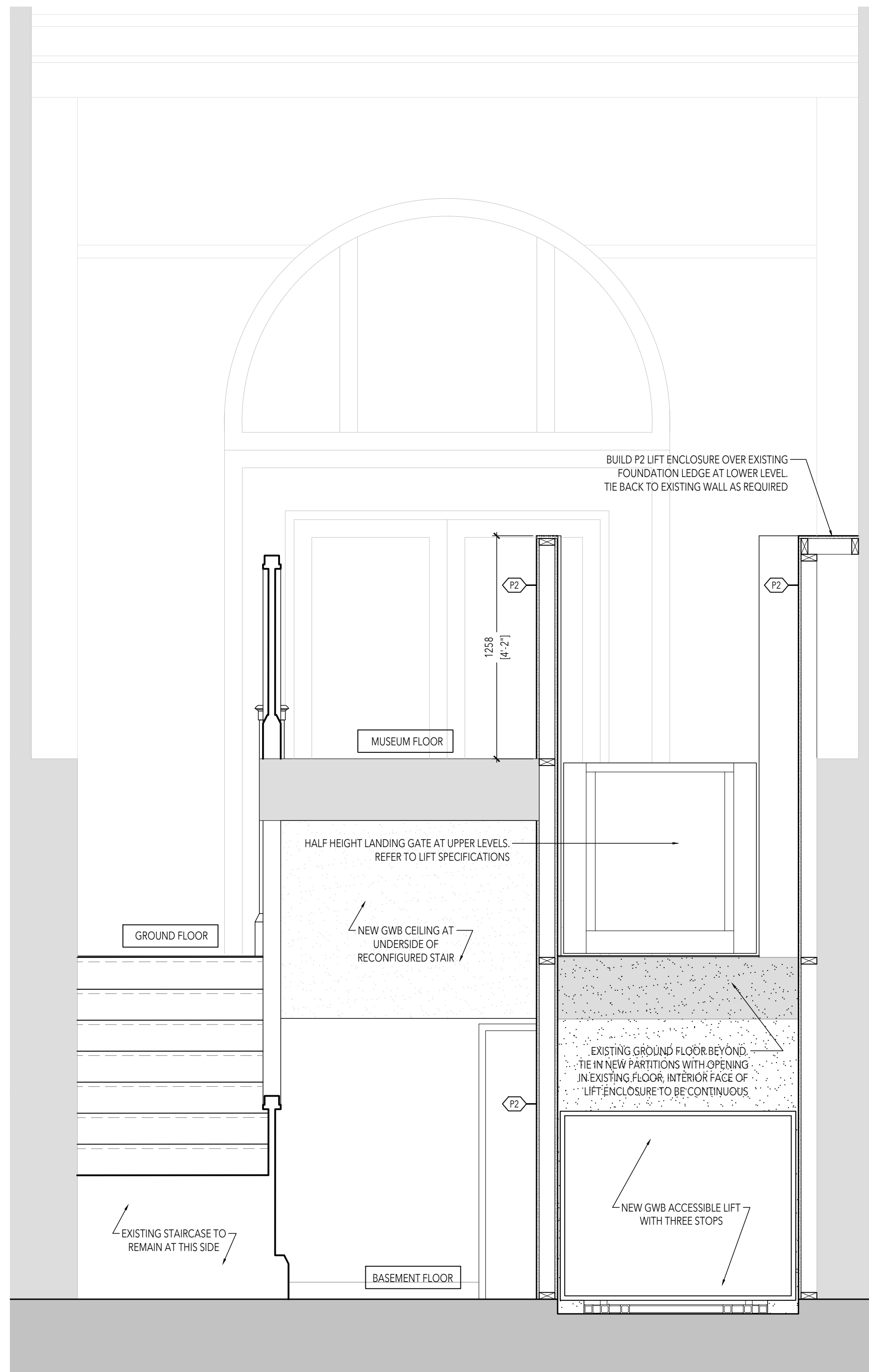
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Drawn by	TT
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Plot Date	2024.07.23

DETAILS

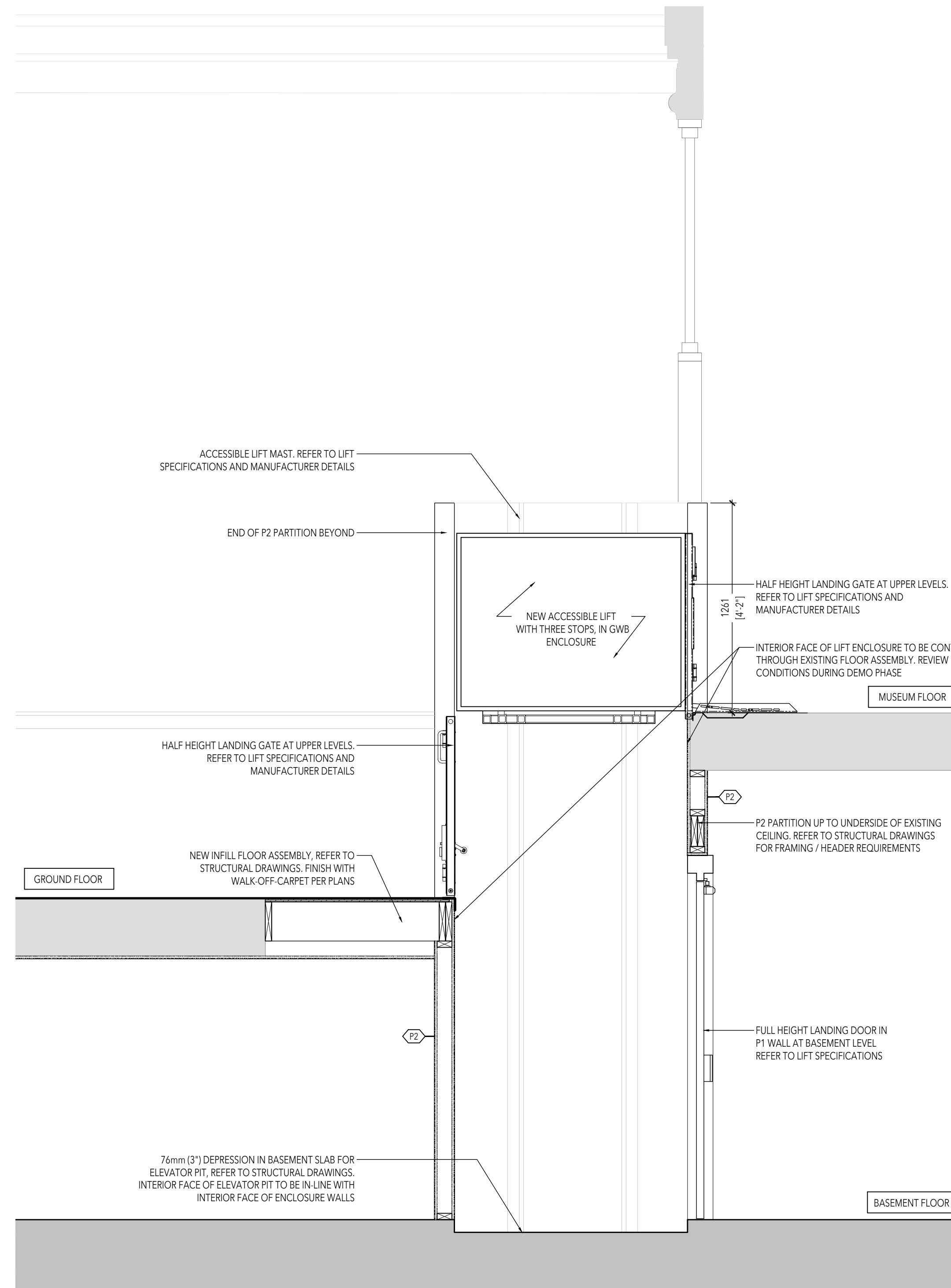
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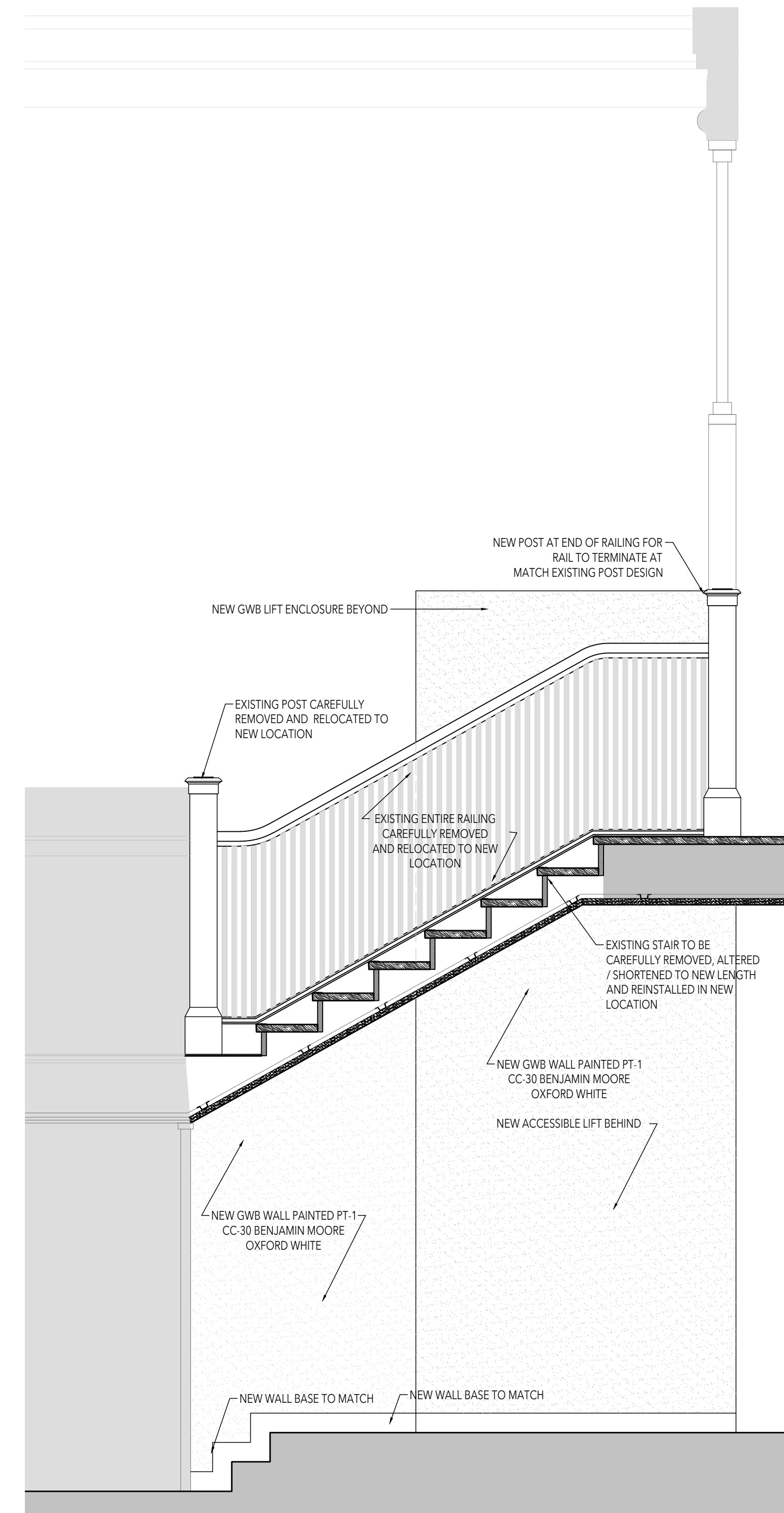
Seals:



INTERIOR SECTION C
 SCALE = 1: 20
 12
 A8.3



INTERIOR SECTION B
 SCALE = 1: 20
 11
 A8.3



INTERIOR SECTION A
 SCALE = 1: 20
 10
 A8.3

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Project No.	23-003
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INTERIOR SECTIONS

Drawing No:

A8.3