

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

0328

FILE NUMBER: A-2024-0328

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Leonlehcer E Agcaoili ; Jerry Mae Ann Agcaoili; Joshua Aaron Agcaoili
Address 78 Deerpark Crescent, Brampton. ON. L6X 2T7
Phone # 647-686-7359 **Fax #** _____
Email jaybee.bagara@yahoo.ca

2. **Name of Agent** Muhammad Adnan Tahir
Address 14 Torrance Woods, Brampton. ON. L6Y 2N3
Phone # 647-509-3230 **Fax #** _____
Email design@wedesignbuild.ca

3. **Nature and extent of relief applied for (variances requested):**
Relief request is for the following item;
To permit a reduced min. required side yard setback of 1.23M for second storey instead of a min. required side yard set back of 1.8M
The property falls within the Mature Neighborhood as defined by the Zoning By-law. As per Zoning By Law Section 10.27(b)(i).,The minimum required side yard setback is "1.2m for the first storey, or part thereof, plus 0.6m for each additional storey, or part thereof, where the lot width is less than, or equal to, 16m."

4. **Why is it not possible to comply with the provisions of the by-law?**
The owner needs to build a new bed room at second floor above the existing garage utilizing the same foot print . The proposed side yard setback left at second floor is 1.23 metres while required minimum set back is 1.80 meters. A relief of 0.57 M is requested.

5. **Legal Description of the subject land:**
Lot Number 195 PART 2
Plan Number/Concession Number M - 416
Municipal Address 78 Deerpark Crescent, Brampton. ON. L6X 2T7

6. **Dimension of subject land (in metric units)**
Frontage 9 M
Depth 31.2 M
Area 283.81 SQ. M.

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Two story Single Dwelling Unit
Ground Floor Gross Floor Area: 643 Sq. ft. 59.73 Sq. M
Width: 6.77M length: 15.66M Height: 9M (Appx.) Existing to remain

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Existing to Remain

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.11M
Rear yard setback 9.79 M
Side yard setback 0.98 M
Side yard setback 1.23 M

PROPOSED

Front yard setback 6.11M
Rear yard setback 9.79 M
Side yard setback 0.98 M
Side yard setback 1.23 M

10. Date of Acquisition of subject land: Unknown
11. Existing uses of subject property: Single Unit Dwelling
12. Proposed uses of subject property: Two Unit Dwelling
13. Existing uses of abutting properties: Residential - Detached
14. Date of construction of all buildings & structures on subject land: 1987
15. Length of time the existing uses of the subject property have been continued: 37 Years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

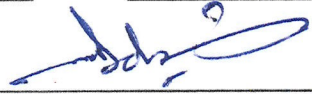
Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton
THIS 27th DAY OF July Aug, 20 24

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Muhammad Adnan Tahir OF THE City _____ OF Brampton
IN THE Region OF Ontario Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City _____ OF Brampton
IN THE Region OF
PEEL Province _____ OF
Ontario THIS 27 DAY OF
July Aug, 20 24

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires June 21, 2027.



A Commissioner etc.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	_____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
_____ Zoning Officer	_____ Date

DATE RECEIVED Aug 27, 2024
Date Application Deemed Complete by the Municipality VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 78 Deerpark Crescent, Brampton. ON. L6X 2T7

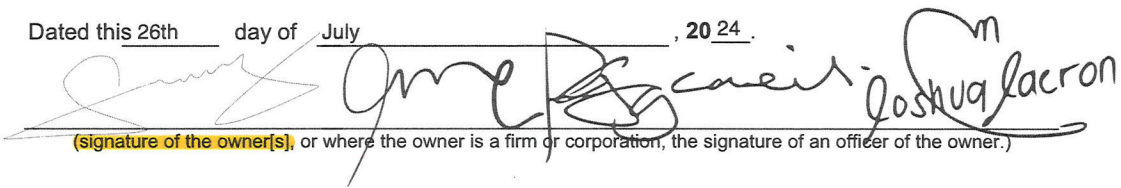
I/We, Leonhcer Agcaoili Jaery Mae Ann Agcaoili Rechel Agcaoili Joshua Aeron Agcaoili
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

weDesignBuild Inc. c/o Muhammad Adnan Tahir
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 26th day of July, 2024.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

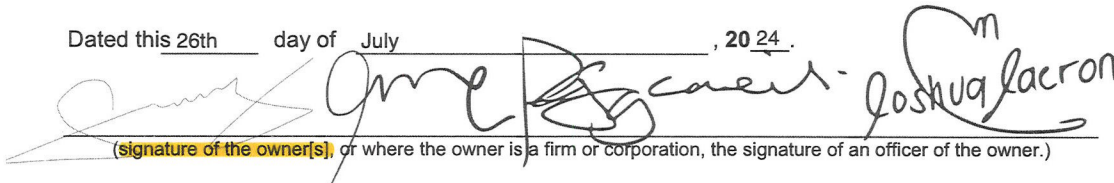
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 78 Deerpark Crescent, Brampton. ON. L6X 2T7

I/We, Leonleher Agcaoili Jaery Mae Ann Agcaoili Rechel Agcaoili Joshua Aeron Agcaoili
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 26th day of July, 20 24.


(signature of the owner(s) or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

ROAD

LOT 215 LOT 218 LOT 219 LOT 220 LOT 221 LOT 222

DEERPARK CRESCENT

BROOKVIEW

LOT 158

FAIRGLEN AVENUE

PART I LOT REG'D 195 PART 2 PART 3 LOT PLAN 196 PART 4 PART 5 LOT 197

LOT 194 LOT 193 LOT 192 LOT 191 LOT 187 LOT 186

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

TO - 5213

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 43R-106:

RECEIVED AND DEPOSITED

DATE: FEBRUARY 8, 1983.

DATE: 17 Feb 1983

G.T. YATES O.L.S.

Abigail Post Deputy LAND REGISTRAR FOR THE LAND TITLES DIVISION OF PEEL AT 11:11 A.M. (N84)

PARTS 1 to 4 Incl. PART OF PARCEL PLAN - 1, SECTION M - 416

APPROVED FEB. 16, 1983

PART 5 ALL OF PARCEL 197-2 SECTION M - 416 SUBJECT TO A RIGHT AS IN TRANSFER 396293.

C. Watson ASST. EXAMINER OF SURVEYS

CAUTION! THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

METRIC! DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PLAN OF SURVEY OF LOTS 195, 196 AND PART OF LOT 197 REGISTERED PLAN M-416 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL



SCALE 1:250 G.T. YATES, O.L.S. - 1982.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATION MADE THEREUNDER; 2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF DECEMBER, 1982.

DATE FEBRUARY 8, 1983

G.T. YATES ONTARIO LAND SURVEYOR

LEGEND

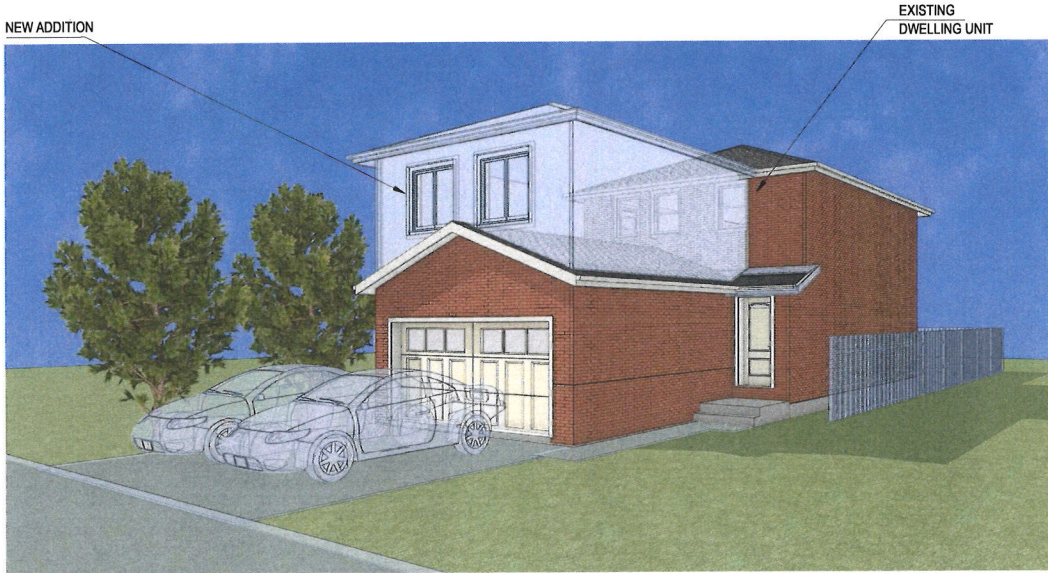
BEARINGS ARE ASTRONOMIC, REFERRED TO THE SOUTH LIMIT OF DEERPARK CRESCENT N 81°48'44"W AS SHOWN ON REGISTERED PLAN M-416. ■ DENOTES SURVEY MONUMENT FOUND CF DENOTES CONCRETE FOUNDATION □ DENOTES SURVEY MONUMENT SET RP DENOTES REGISTERED PLAN SSIB DENOTES SHORT STANDARD IRON BAR (Y) DENOTES YATES & YATES LIMITE SIB DENOTES STANDARD IRON BAR O.L.S. IB DENOTES IRON BAR ALL FOUND BARS ARE BY MCBAIN, MILLESSE, CARMICHAEL AND BURTON, O.L.S. UNLESS STATED

YATES & YATES LIMITED ONTARIO LAND SURVEYORS SUITE 703, 250 CONSUMERS ROAD WILLOWDALE, ONTARIO M2J 4V6 (416) 498-9240

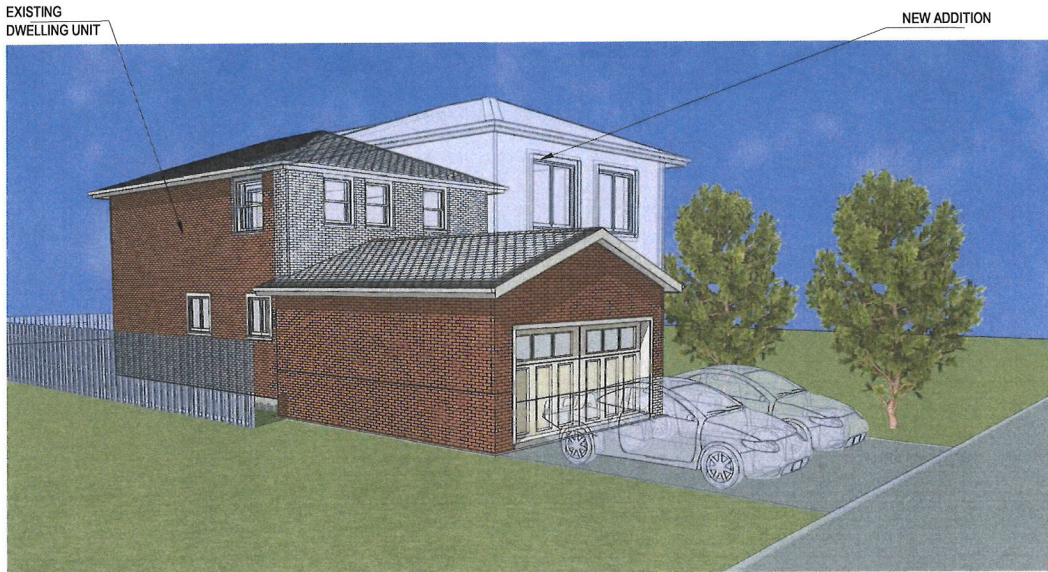
Drawn by: Susan Samuel Checked by: J.D. MARTIN PS - 82 - 86 W.O. FILE 82-292 M-416(Peel)

78 DEERPARK CRESCENT - BRAMPTON - ON L6X 2T7

NEW BASEMENT APARTMENT & ADDITION OF NEW BEDROOM ABOVE EXIST. GARAGE AT SECOND FLOOR



STREET VIEW



STREET VIEW

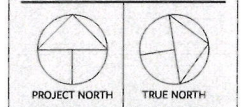
LIST OF DRAWINGS		
Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A100
2	LEGENDS & SCHEDULES	A101
3	SITE LAYOUT PLAN	A102
4	EXISTING / AS-BUILT BASEMENT PLAN	A103
5	NEW BASEMENT APARTMENT PLAN	A104
6	EXISTING GROUND FLOOR PLAN	A105
7	NEW GROUND FLOOR PLAN	A106
8	EXISTING SECOND FLOOR	A107
9	NEW SECOND FLOOR	A108
10	EXISTING ROOF PLAN	A109
11	NEW ROOF PLAN	A110
12	NEW / EXISTING FRONT ELEVATION	A111
13	NEW / EXISTING LEFT SIDE ELEVATION	A112
14	SECTION A-A	A113
15	WALL SECTION DETAILS	A114
16	WALK OUT DETAILS - PLAN	A115
17	WALK OUT DETAILS - SECTION & NOTES	A116
18	WALK OUT DETAILS - SECTIONS	A117



LOCATION PLAN

GENERAL NOTES:
 COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
 THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.
 WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS
QUALIFICATION INFORMATION
 Registered Under Design in Ontario Under Reg. C. 32.0.1 OF THE BUILDING CODE
 Registered Name: **weDesignBuild Inc.** 307242 BCN
 Registered Under Design in Ontario Under Reg. C. 32.0.1 OF THE BUILDING CODE
 Registered Name: **weDesignBuild Inc.** 311005 BCN

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
PROJECT ADDRESS
 78 DEERPARK CRESCENT BRAMPTON
DRAWING TITLE
 TITLE PAGE & LIST OF DRAWINGS
PROJECT NO.
 20240601

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A000
 DATE MODIFIED
 JUNE 26, 2024

CONSTRUCTION NOTES

- 1 FOUNDATION WALL WITH EXISTING INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2X4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., ½" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- 1A FOUNDATION WALL WITH NEW INSULATION
NEW FOUNDATION WALL, MOISTURE BARRIER, 2X4 STUDS @ 16" O.C., R20ci (SEE SB-12 TABLE 3.1.1.11. (IP)) INSULATION, 6 MIL POLYETHYLENE V.B., ½" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- 2 INTERIOR WALLS
NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- 2A INTERIOR FIRE RATED WALLS
PROVIDE *Wad from SB-3* AS FIRE SEPARATION WALL SEPARATING FINISHED BASEMENT/ SECOND UNIT FROM THE PRINCIPAL RESIDENCE AND BETWEEN FURNACE ROOM AND FINISHED BASEMENT/ SECOND UNIT
SB-3, Wad, FIRE RESISTANCE : 60 MIN, STC: 53
- 2B INTERIOR PARTITIONS (PLUMBING & HVAC WALLS)
38X140 (2"X6") STUDS @ 400mm (16") O.C. 2X TOP PLATE, SINGLE BOTTOM PLATE, TRIPLE STUDS AT CORNERS, 2X STUDS AT OPENINGS, 12.7mm (½") DRYWALL - 2 SIDES TAPED AND SANDED. 6MIL POLY SEPARATION BETWEEN CONC. AND WOOD
- 3 NEW CEILING
½" REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. JOINTS TAPED AND SEALED AND PAINTED.
- 3A NEW CEILING
1/2" TYPE X DRYWALL CEILING ATTACHED TO RESILIENT CHANNELS @406 MM O.C. WITH ABSORPTIVE MATERIAL IN CAVITY, TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. MINIMUM FIRE RESISTANCE RATING 30 MINUTES AS PER C147. AS PER WALL ASSEMBLY OBC SB-3: F9g.
- 3B NOT APPLICABLE
- 3C EXISTING CEILING
EXISTING DRY WALL CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF THE GROUND FLOOR ASSEMBLY SHALL SATISFY THE HORIZONTAL FIRE SEPARATION REQUIREMENT AS PER COMPLIANCE ALTERNATIVE C-152b OF PART 11 OF OBC 2012.
- 4 BITUMINOUS DAMPROOFING WITH FOUNDATION WALL DRAINAGE AS PER O.B.C. 9.13 & 9.14.
- 5 FOUNDATION WALL POURED CONCRETE WALL FOUNDATION (SEE PLANS) WITH DRAINAGE LAYER, ON A CONTINUOUS KEYED CONC. FTG. WATER-CEMENT RATIO = 0.7. BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL. FOOTING IN LIVABLE AREAS TO PROVIDE MOISTURE BARRIER SEPARATION BETWEEN FOOTING AND FOUNDATION WALL R 20 CI. INSULATION FOR BASEMENT FOUNDATION WALLS.
- 6 MECHANICAL VENTILATION
50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP.
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.
- 7 INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE)
ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA INCLUDING BASEMENT - AS PER OBC 9.10.19
- 8 INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19
- 9 BLANKET INSUL., FROM U/S OF SUBFLOOR TO 200mm (8") ABOVE CONC. SLAB, MOISTURE BARRIER INCLUDED WITH BLANKET. PROVIDE FULL HEIGHT BLANKET INSUL. ON COLD STORAGE WALLS. (SEE SB-12 TABLE 3.1.1.11. (IP)).
- 10 SUB FLOOR/FLOOR JOISTS/ ENGINEERED FLOORS
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON ENGINEERED FLOOR JOISTS. (SEE STRUCTURAL DWGS. FOR SIZE, SPACING AND TYPE).
CONVENTIONAL FRAMING
FINISHED FLOOR ON 22.2mm (7/8") TONGUE AND GROOVE O.S.B. SUB FLOOR ON WOOD FLOOR JOISTS (SEE FLOOR PLANS FOR SIZE, SPACING AND TYPE). PROVIDE SOLID BLOCKING @ 1200mm (3'-11") O.C. MAX. BELOW WALLS RUNNING PARALLEL TO JOISTS. REFER TO 9.23.9.4. ALL SUB FLOORS TO BE GLUED AND NAILED.

- 11 NON-COMBUSTIBLE INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)) , 6 MIL. POLY V.B., (WARM SIDE), 12.7mm (1/2") HIGH DENSITY BOARD. TAPED, SANDED & PRIMED. MIN. RSI 3.52 (R20) ABOVE INNER SURFACE OF EXTERIOR WALLS.
- 12 CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS.
PROVIDE DRYER VENT. (9.32.1.1 (5)). INSTALL A DRYER BOX IN ANY FINISHED LAUNDRY ROOMS, 4" BOX FOR EXT. WALLS AND 6" TYPE FOR INT. WALLS. BOXES ON EXT. WALLS TO BE DIRECTLY VENTED TO OUTSIDE.
- 13 EXHAUST & VENTS:
PROVIDE A SUPPLEMENT EXHAUST AIR INTAKE IN EACH KITCHEN, BATHROOM, WATER CLOSET, AND LAUNDRY ROOM (AND LAUNDRY) IN ACCORDANCE WITH O.B.C. 9.32.3.5.
- 14 ALL STAIRS/EXTERIOR STAIRS
ALL SIZES SHALL CONFORM TO THE TABLE 9.8.4.1 AS REFERRED BELOW
Table 9.8.4.1
Rise for Rectangular Treads, Tapered Treads & Winders and Run for Rectangular Treads
Forming Part of Sentences 9.8.4.1 (1) and 9.8.4.2. (1)

Stair Type	Max. Rise,mm, for All Steps	Min. Rise,mm, for All Steps	Max. Run,mm, for Rect. Treads	Min. Run,mm, for Rect. Treads
Private Stairs	200	125	355	255
Min. Headroom	1950	(O.B.C. 9.8.2.)	Min. Width	860

- 15 GUARD/HANDRAIL 9.8.7.4
ALL GUARDS SECURED IN CONFORMANCE TO OBC STANDARDS.
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STAIR = 865mm (2'-10")
GUARD RAIL @ EXT. LANDING (GREATER THAN 1800 [5'-11"] ABOVE FIN. GRADE) = 1070MM (3'-6")
HAND RAIL @ LNT. LANDING = 865mm (2'-10")
HAND RAIL @ LNT. STAIR = 865mm (2'-10")
WOOD / METAL PICKETS < 100mm (4") BETWEEN
NOTE: FOR GUARDS - NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") & 900mm (2'-11") ABOVE SURFACE WILL FACILITATE CLIMBING.
- 16 ROOF CONSTRUCTION
SHINGLES ON 9.5mm (3/8") PLYWOOD OR 11.1 mm (7/16") O.S.B., C/W "H" CLIPS ROOF FRAMING AS PER PLAN. FINISH & SLOPE TO MATCH WITH EXISTING.
- 17 PROVIDE ICE AND WATERSHED EAVES PROTECTION TO EXTEND 760mm (2'-6") BEYOND INTERIOR FACE OF WALL & 910mm (3'-0") MIN. FROM EAVES.
- 18 PROVIDE ROOF VENTS EQUALLY SPACED ON EITHER SIDE OF THE ROOF, EQUAL TO 1 :300 OF CEILING AREA WITH A MIN. 50% AT EAVES
- 19 MAINTAIN VENTILATION AS PER 9.19.1. OBC
- 20 WHERE THE ATTIC ACCESS SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 0.32 M² IN AREA WITH NO DIMENSION LESS THAN 545 mm (21 ½"). OR MIN DIMENSION 500mm X 700mm. MINIMUM R60 AS PER TABLE 3.1.1.11. (IP) ABOVE INNER SURFACE FOR INSULATION.
- 21 ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED AS PER 9.19.1 VENTING (OBC)
- 22 PRE-FINISHED VINYL SOFFIT
- 23 38X140 (2"X6") WOOD FASCIA, ALUMINUM CLAD.
- 24 PRE-FINISHED ALUM. EAVES TROUGH AND RAINWATER LEADER.
- 25 PREFINISHED METAL FLASHING OR G.I. METAL FLASHING.
- 26 ROUGH-IN CONDUIT FOR FUTURE INSTALLATION OF AN ELECTRIC VEHICLE CHARGER
- 27 REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO AND BEHIND A WATER CLOSET PER 9.5.2.3 (SEE 3.8.3.8.(3)(a) AND 3.8.3.8.(5),(7))
- 28 CERAMIC TILE WALLS, AND CEILING IN SHOWER C/W PREFORMED SHOWER BASE OR MOSAIC FLOOR. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(2)(g) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET
- 29 CERAMIC TILE WALLS TO CEILING IN TUB ALCOVES WITH SHOWER HEADS OR 18" IN HEIGHT IN TUB ALCOVES WITHOUT SHOWER HEADS. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN ACCORDANCE WITH 9.5.2.3 SEE 3.8.3.13.(4)(e) AND 3.8.3.8.(7) REFER TO SECTION ON THIS SHEET

- 30 GAS-PROOF WALLS AND CEILING BETWEEN HOUSE AND GARAGE, 12.7mm (½") GYPSUM BOARD (TAPED, CAULKED, SANDED AND PRIMED), 11.1mm (7/16") SHEATHING ON HABITABLE WALLS, 6 MIL POLY V.B. ON WARM SIDE, BATT INSULATION IN WALLS (SEE SB-12 TABLE 3.1.1.11. (IP)), FOAM INSULATION IN FLOOR (SEE SB-12 TABLE 3.1.1.11. (IP)).
- 31 45mm THICK SOLID CORE WOOD DOOR, 20 MIN FIRE RATED DOOR W/ SELF CLOSURE (9.10.13.2 & 9.10.13.3)
- 32 DOUBLE PANEL DOOR W/ WEATHER STRIPPING AND SELF CLOSURE (9.10.13.15)
- 33 PROVIDE CHIMNEY HOOD OVER STOVE & EXHAUST TO EXTERIOR OBC 9.32.3.5
- 34 PROVIDE 100mm (4") DIA. P.V.C. PIPE VENT WITH INSECT SCREEN & LOUVRE. (1 VENT PER 50 SQ.FT.)
- 35 500X150 (20"X6") CONTINUOUS CONC. FOOTING. MIN. SOIL BEARING CAPACITY TO BE 75 KPa
- 36 PRE-CAST CONCRETE TRIM (SIZE TO BE SPECIFIED) REFER TO ELEVATIONS.
- 37 PRE-CAST CONCRETE SILL.
- 38 ALL INSULATION VALUES SHALL BE USED AS PER SB-12 TABLE 3.1.1.11. (IP) FOR ZONE 1 AS PER ENERGY EFFICIENCY DESIGN SUMMARY-PERSPECTIVE METHOD
- 39 PROVIDE EPDM WATERPROOFING MEMBRANE W/ MIN. 2" POLYISOCYANURATE RIGID FOAM INSULATION, ADHESIVE AND SEALANT (TAPERED FOR DRAINAGE)
- 40 EXISTING BRICK VENEER WALL FINISH TO REMAIN.
- 41 FRAME WALL CONSTRUCTION (STUCCO FINISH)
STUCCO FINISH AS APPROVED. EXTERIOR TYPE SHEATHING (2"X6") STUDS @ 400 (16") O.C., R 19+5 ci INSULATION (SEE SB-12 TABLE 3.1.1.11. (IP)) , 6 MIL. POLY V.B., DOUBLE PLATE A@TOP SOLE PLATE @ BOTTOM. ½" DRYWALL TAPED, SANDED & FINISHED.
- 42 EXISTING FLOOR STRUCTURE TO REMAIN.
- 43 EXISTING CEILING STRUCTURE TO REMAIN.
- 44 EXISTING ROOF TO REMAIN AS IS.
- 45 REMOVE EXISTING ROOF OVERHANGS AS SHOWN IN DOTTED.
- 46 MIN. 32 MPa 150mm (6") POURED CONCRETE SLAB, 150X150 (9"X9") W.W.M. REINFORCING. MIN. 100mm (4") GRAVEL FILL, SLOPE SLAB DOWN 150mm (6") MIN.
- 47 MIN. 100mm (4") DIAMETER WEEPING TILE, MIN. 150mm (6") GRAVEL COVER.
- 48 WEEP-HOLES @ MAX. 600mm (2'-0") O.C. W/ CONT. FLASHING EXTENDING ¾" BEYOND EXTERIOR WALL.
- 49 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, "EMERGENCY LIGHTING EQUIPMENT" - AS PER OBC 9.9.12

GENERAL NOTES

- ALL WORKS SHALL BE ACCORDING TO BUILDING CODE 2012 & THE CITY OF BRAMPTON BY LAWS & STANDARDS.
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION COMMENCES.
- ALL WOOD STUDS IN THE CONSTRUCTION SHALL BE S.P.F NO.1 OR NO. 2.
- MINIMUM BEARING OF STEEL LINTELS SHALL BE 150MM.
- MINIMUM BEARING OF WOOD BEAM /LINTELS SHALL BE 90MM.
- MINIMUM BEARING OF WOOD JOISTS SHALL BE 40MM.
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF ALL CONSTRUCTION WORKS.
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION.
- FOR ALL ELECTRICAL WORKS AND PERMIT, CONTACT THE ELECTRICAL SAFETY AUTHORITY.

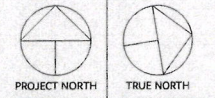
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS
QUALIFICATION INFORMATION
 WEDESIGNBUILD INC. 333 0001
 3025
 333 0001



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON
 DRAWING TITLE
GENERAL NOTES

PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A100
 DATE MODIFIED
 JUNE 26, 2024

SCHEDULES

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	NEW LIVING / DINING / KIT.	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-5"	EXISTING FINISHES TO REMAIN
2	NEW BED ROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-5"	EXISTING FINISHES TO REMAIN
3	EXIST. FURNACE ROOM	CONC.				DRYWALL	PAINT	DRYWALL	PAINT		EXISTING FINISHES TO REMAIN
4	NEW BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-5"	NEW ADDITION
5	EXIST. HALLWAY	WOOD	STAIN			DRYWALL	PAINT	DRYWALL	PAINT	7'-5"	EXISTING FINISHES TO REMAIN
MAIN FLOOR											
6	EXISTING LIVING/ DINING	ENG. WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
7	EXIST. DINETTE / KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
8	POWDER	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
9	FOYER	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
10	GARAGE	CONC.		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
SECOND FLOOR											
11	BEDROOMS (EXIST.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
12	NEW BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	REMODELED & NEW BATH
13	EXIST. HALLWAY	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	EXISTING FINISHES TO REMAIN
14	BEDROOM (NEW ADDN.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	NEW ADDITION
15	LAUNDRY	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-0"	

DOORS AND WINDOWS SCHEDULE

NOs.	SIZE	SILL	QUANTITY	DESCRIPTION	LOCATION	REMARKS
DOORS						
D1	2'-6" X 6'-8"	0'-0"	01	GLASS DOOR	NEW BASEMENT REAR SIDE ENTRANCE	SLIDING DOOR WITH FIXED GLASS PANELS
D2	2'-8" X 6'-8"	0'-0"	01	PANEL DOOR	FURNACE ROOM, STAIRS TO BASEMENT UNIT	20 MIN. FIRE RATED DOOR
D3	2'-6" X 6'-8"	0'-0"	03	PANEL DOOR	NEW BED ROOM	
D4	2'-0" X 6'-8"	0'-0"	03	PANEL DOOR	NEW BATHROOM	
D5	4'-0" X 6'-8"	0'-0"	03	PANEL DOOR	NEW LAUNDRY	DOUBLE DOOR
WINDOWS						
W1	2'-6" X 2'-6"	4'-2"	01	ALUMINUM WINDOW	NEW BED ROOM (BASEMENT)	EGRESS TYPE WINDOW
W2	4'-0" X 4'-0"	2'-8"	01	ALUMINUM WINDOW	NEW BED ROOM (SECOND FLOOR)	AS PER MANUFACTURER SPECS & STANDARDS
W3	4'-0" X 3'-6"	3'-2"	02	ALUMINUM WINDOW	NEW BED ROOM (SECOND FLOOR)	AS PER MANUFACTURER SPECS & STANDARDS

NOTE:

"DE" DENOTES EXISTING DOORS TO REMAIN.
 "WE" DENOTES EXISTING WINDOWS TO REMAIN.

DOOR SCHEDULE NOTES












- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS.
- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE NOTES

- ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN
- ALL WINDOW SIZES & SILL HEIGHTS ARE MENTIONED IN THE SCHEDULE.

LEDGEND

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3" ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	
50 CFM EXHAUST FAN VENTED TO EXTERIOR CW RATED CAP	
FD: FLOOR DRAIN	
SPRINKLER	
SD: SMOKE DETECTOR + STROBE: (VISUAL SIGNALING DEVICE)	
CO: CARBON MONOXIDE DETECTOR	
LIGHT	
EMERGENCY LIGHT	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	

GENERAL NOTES:

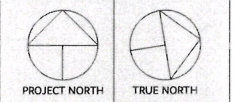
COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, REPRODUCED OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV DATE DESCRIPTION

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THESE DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS OTHERWISE EXEMPT UNDER DIV. C-3.2.2. OF THE BUILDING CODE
 Member No. 102742
 Name: **weDesignBuild Inc.**
REGISTRATION INFORMATION
 REQUIRED UNLESS OTHERWISE EXEMPT UNDER DIV. C-3.2.2. OF THE BUILDING CODE
 weDesignBuild Inc. 11005
 P. 1000



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

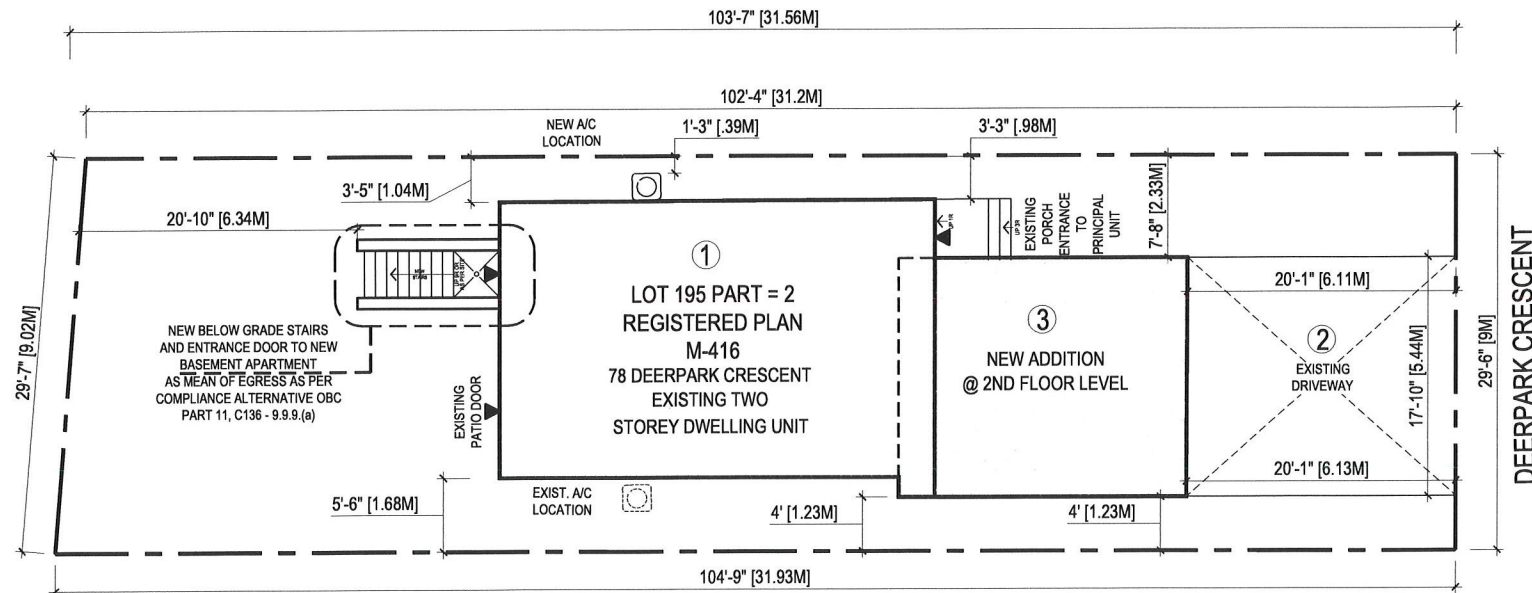
DRAWING TITLE
LEGENDS & SCHEDULES

PROJECT NO.
20240601

DRAWN **M.N.** CHECKED **H.M.**

DRAWING NO.
A101

DATE MODIFIED
 JUNE 26, 2024



SITE PLAN

SCALE : $\frac{1}{8}" = 1'-0"$

LOT STATISTICS

ZONING: R2C
 LOT NO: 195 - PART 2
 PLAN NO: M-416
 LOT AREA: 283.81 M²
 LOT FRONTAGE: 29'-6" = 9.0 M
 LOT DEPTH: 103'-7" = 31.56 M

- ① EXISTING DOUBLE STOREY DWELLING TO REMAIN
- ② EXISTING DRIVEWAY
- ③ NEW ADDITION AT 2ND FLOOR
- ▲ ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. M.)	% AGE COVERAGE
TOTAL LOT AREA	3055	283.81	100 %
EXISTING LOT COVERAGE	1011	93.92	33.09%
MAXIMUM ALLOWED LOT COVERAGE	----	----	--- %

SCOPE OF WORK

NEW BASEMENT APARTMENT INCLUDING ONE NEW BASEMENT WINDOW & A NEW BELOW GRADE STAIRS FROM THE REAR YARD. ADDITION OF NEW BEDROOM AT SECOND FLOOR ABOVE EXISTING GARAGE AND A NEW WASHROOM & LAUNDRY AT SECOND FLOOR.

GROSS FLOOR AREA CALCULATIONS

A- PRINCIPAL RESIDENCE

BASEMENT FINISHED AREA (BASEMENT APARTMENT + FURNACE ROOM AREA):	59.73 M ²
EXISTING GROUND FLOOR AREA:	59.73 M ²
NEW SECOND FLOOR AREA (INCLUDING NEW ADDITION):	93.27 M²
TOTAL AREA:	212.73 M²

B- BASEMENT

NEW BASEMENT APARTMENT 2nd DWELLING AREA:	52.95 M²
BASEMENT APARTMENT GFA IS 24.89 % OF PRINCIPAL RESIDENCE GFA	

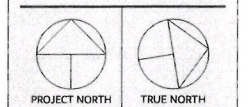
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, COPIED, REPRODUCED OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREIN SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S CODES BY LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION OF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION
-----	------	-------------



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION
 QUALIFIED UNDER DESIGN BY REGISTRATION ACT, OREGON, C-2222, OF THE BUILDING CODE
 Member No.: 102742
 Name: [Signature]
 REGISTRATION INFORMATION
 REGISTRATION UNDER DESIGN BY REGISTRATION ACT, OREGON, C-2222 OF THE BUILDING CODE
 Registration No.: 111100
 Full Name: [Signature]

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
PROJECT ADDRESS
 78 DEERPARK CRESCENT BRAMPTON

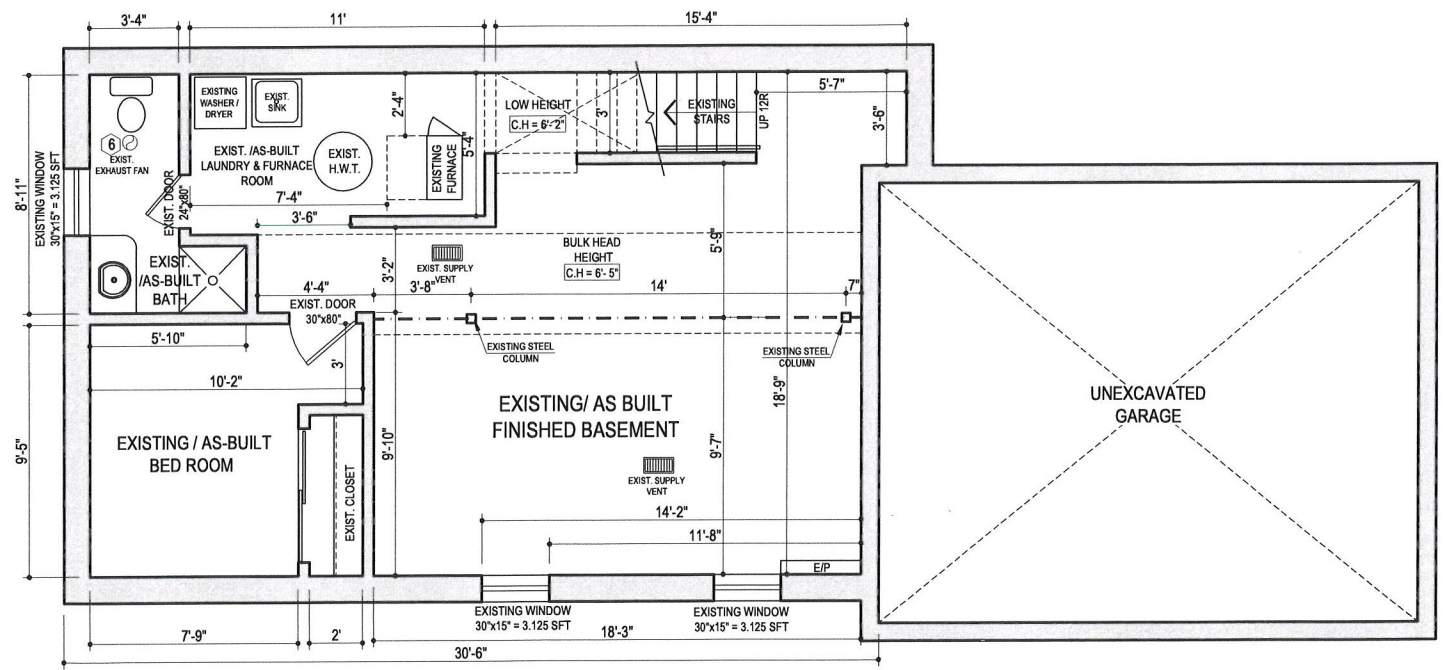
DRAWING TITLE
 SITE PLAN

PROJECT NO.
 20240601

DRAWN
 H.N.

CHECKED
 H.M.

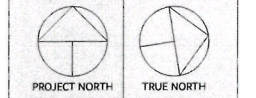
DRAWING NO.
A102
DATE MODIFIED
 JUNE 26, 2024



EXISTING / AS-BUILT BASEMENT FLOOR PLAN
 SCALE : $\frac{3}{16}'' = 1'-0''$
 [Symbol] EXISTING WALLS

GENERAL NOTES:
 COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
 THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.
 WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE.
QUALIFICATION INFORMATION
 Registered Under Design in Ontario Under Reg. C-33.1.1 OF THE BUILDING CODE
 Registered Name: **weDesignBuild Inc.** 111005
 Registration Number: **102742**
 Registered Address: **111005**

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
PROJECT ADDRESS
 78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
 EXIST. BASEMENT FLOOR PLAN

PROJECT NO.
 20240601

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A103
DATE MODIFIED
 JUNE 26, 2024

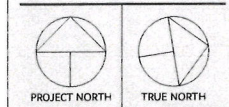
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, REPRODUCED OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER WRITTEN APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

REQUIRED UNDER SECTION 1.1 OF THE ONTARIO BUILDING CODE, C. 3.3.3. OF THE BUILDING CODE

Heron Hall: 102742
Name: **REGISTRATION INFORMATION**
weDesignBuild Inc. 111003
P.001

weDesignBuild Inc.
MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR

PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

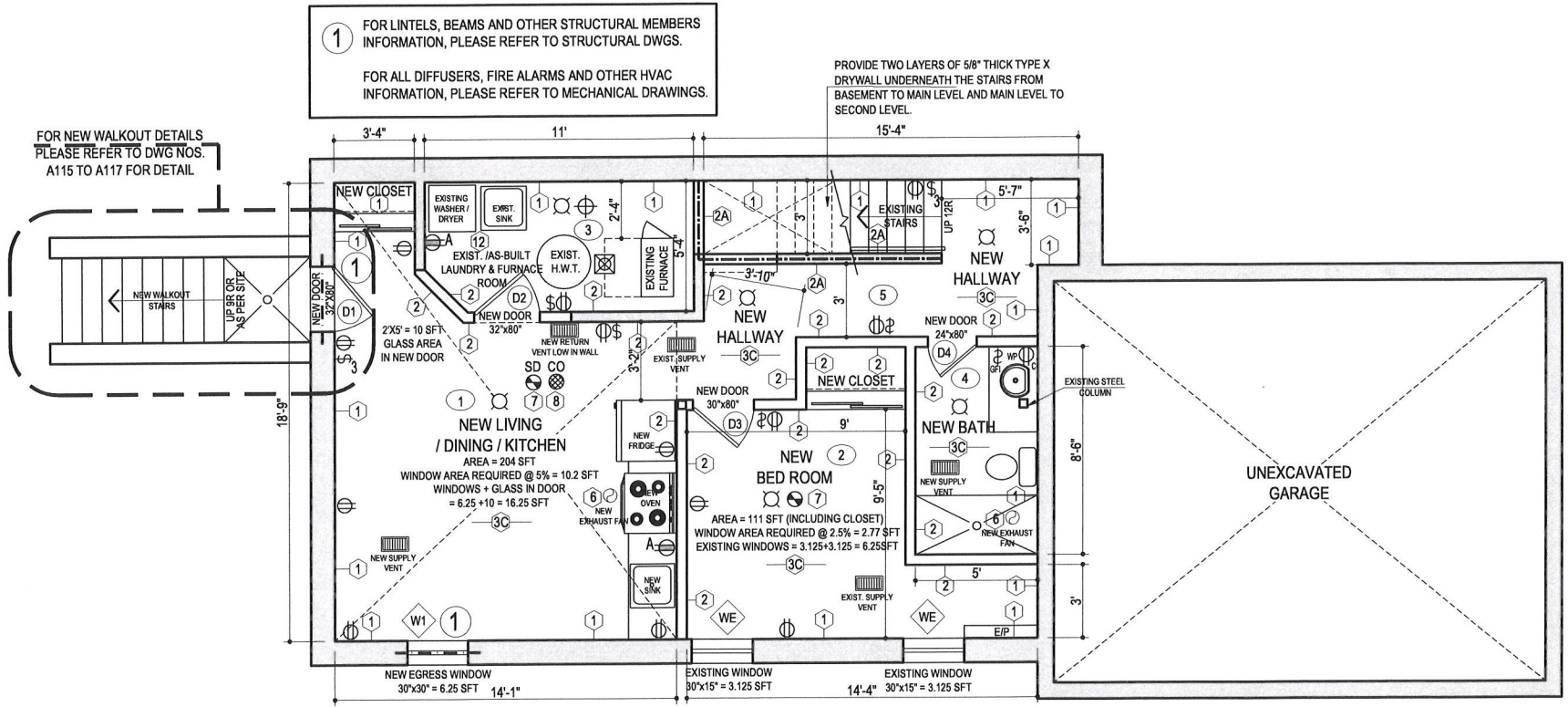
DRAWING TITLE
NEW BASEMENT FLOOR PLAN

PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A104

DATE MODIFIED
JUNE 26, 2024



① FOR LINTELS, BEAMS AND OTHER STRUCTURAL MEMBERS INFORMATION, PLEASE REFER TO STRUCTURAL DWGS.

FOR ALL DIFFUSERS, FIRE ALARMS AND OTHER HVAC INFORMATION, PLEASE REFER TO MECHANICAL DRAWINGS.

PROVIDE TWO LAYERS OF 5/8" THICK TYPE X DRYWALL UNDERNEATH THE STAIRS FROM BASEMENT TO MAIN LEVEL AND MAIN LEVEL TO SECOND LEVEL.

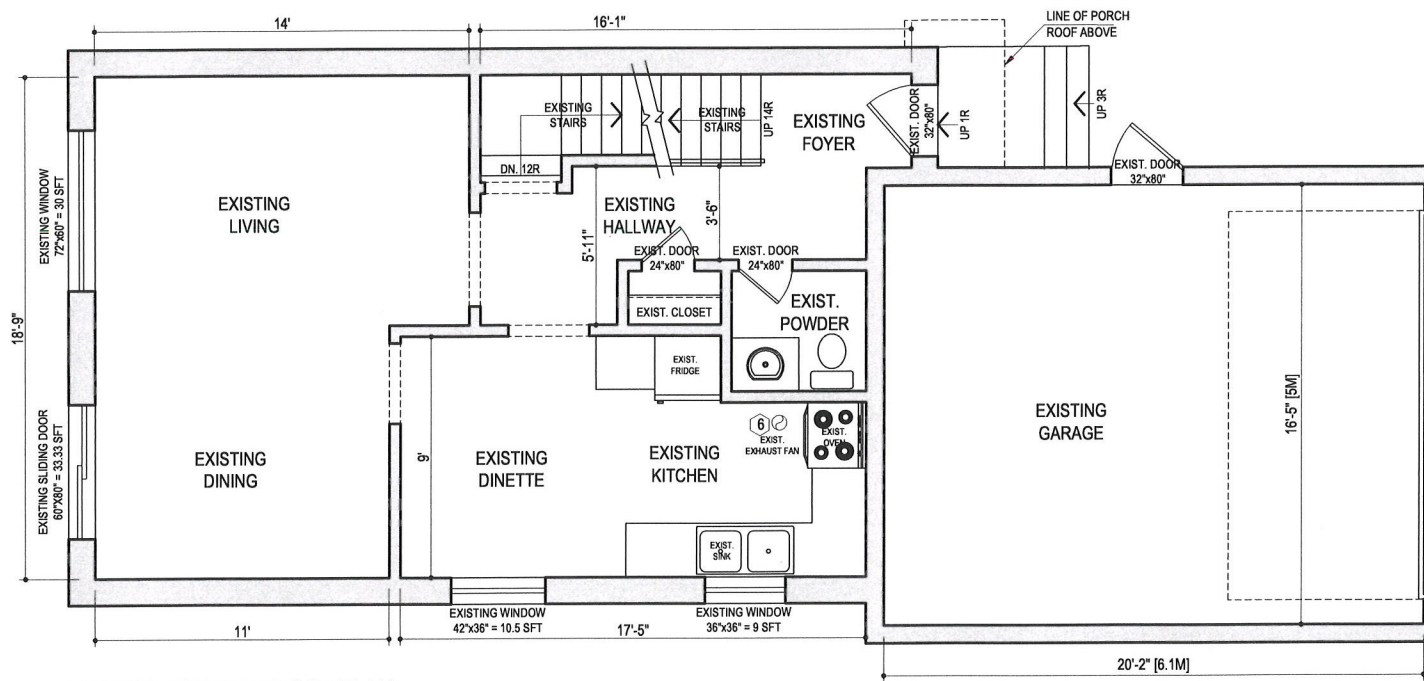
FOR NEW WALKOUT DETAILS PLEASE REFER TO DWG NOS. A115 TO A117 FOR DETAIL

NEW BASEMENT APARTMENT PLAN

SCALE : 3/16" = 1'-0"

BASEMENT APARTMENT AREA : 570 SFT. / 52.95 M²
CEILING HEIGHT = 7'-5"

- EXISTING WALLS
- PROVIDE 5/8" TYPE X DRYWALL ON NEW OR EXISTING WALL
- NEW WALLS



EXISTING GROUND FLOOR PLAN

SCALE : $\frac{3}{16}'' = 1'-0''$

EXISTING WALLS

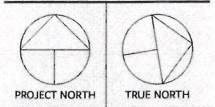
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-1.1.1.1 OF THE BUILDING CODE
 Name: **weDesignBuild Inc.** 111001
 P. No. 111001



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

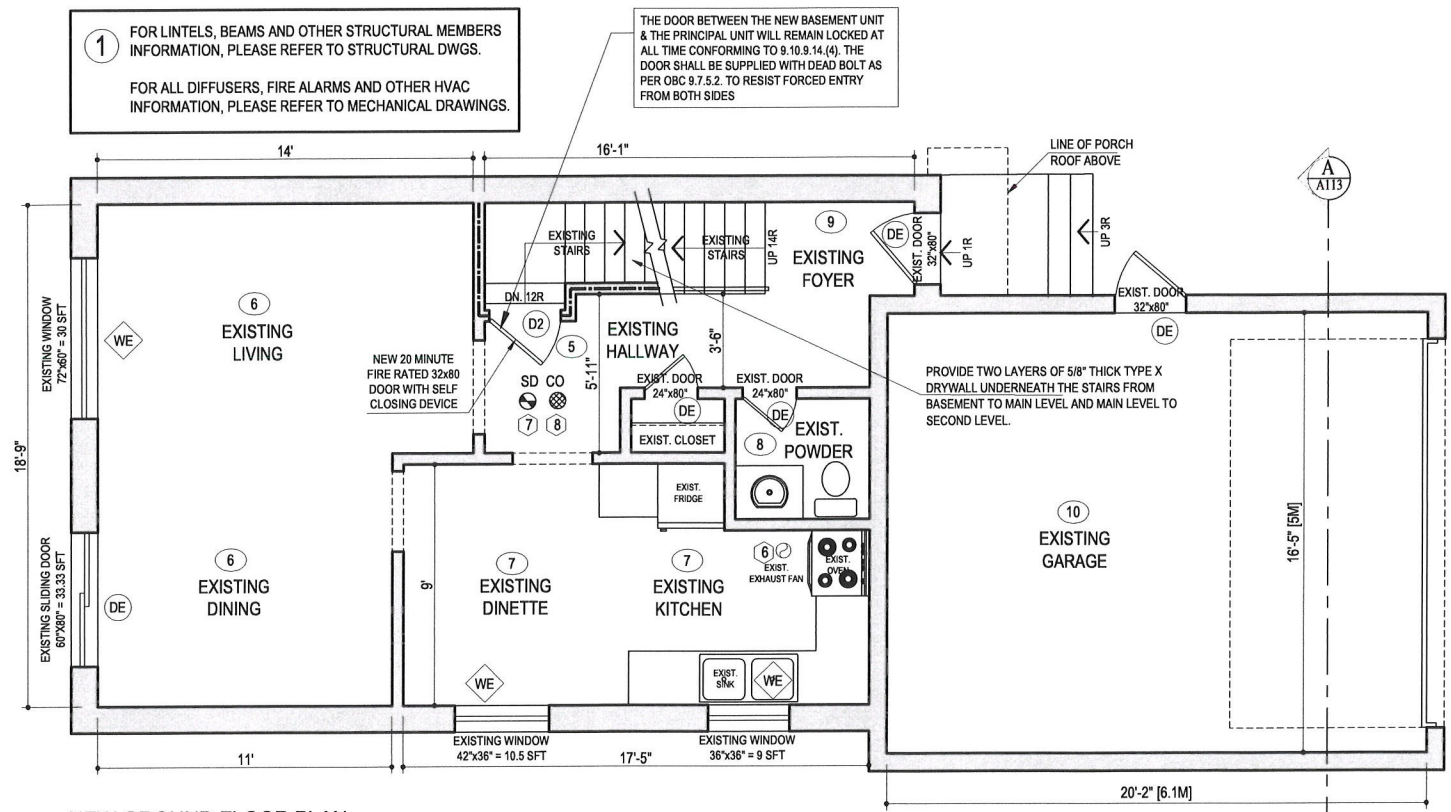
PROJECT TITLE
 BASEMENT APARTMENT
 AS 2ND UNIT & ADDITION
 AT 2ND FLOOR
PROJECT ADDRESS
 78 DEERPARK
 CRESCENT BRAMPTON

DRAWING TITLE
 EXISTING GROUND
 FLOOR PLAN
PROJECT NO.
 20240601

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A105

DATE MODIFIED
 JUNE 26, 2024



1 FOR LINTELS, BEAMS AND OTHER STRUCTURAL MEMBERS INFORMATION, PLEASE REFER TO STRUCTURAL DWGS.
FOR ALL DIFFUSERS, FIRE ALARMS AND OTHER HVAC INFORMATION, PLEASE REFER TO MECHANICAL DRAWINGS.

THE DOOR BETWEEN THE NEW BASEMENT UNIT & THE PRINCIPAL UNIT WILL REMAIN LOCKED AT ALL TIME CONFORMING TO 9.10.9.14.(4). THE DOOR SHALL BE SUPPLIED WITH DEAD BOLT AS PER OBC 9.7.5.2. TO RESIST FORCED ENTRY FROM BOTH SIDES

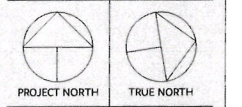
PROVIDE TWO LAYERS OF 5/8" THICK TYPE X DRYWALL UNDERNEATH THE STAIRS FROM BASEMENT TO MAIN LEVEL AND MAIN LEVEL TO SECOND LEVEL.

NEW GROUND FLOOR PLAN
SCALE : $\frac{3}{16}" = 1'-0"$
GROUND FLOOR AREA = 643 SFT. / 59.73 M²
CEILING HEIGHT = 8'-0"

- EXISTING WALLS
- PROVIDE 5/8" TYPE X DRYWALL ON NEW OR EXISTING WALL
- NEW WALLS

GENERAL NOTES:
COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE CREDITED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

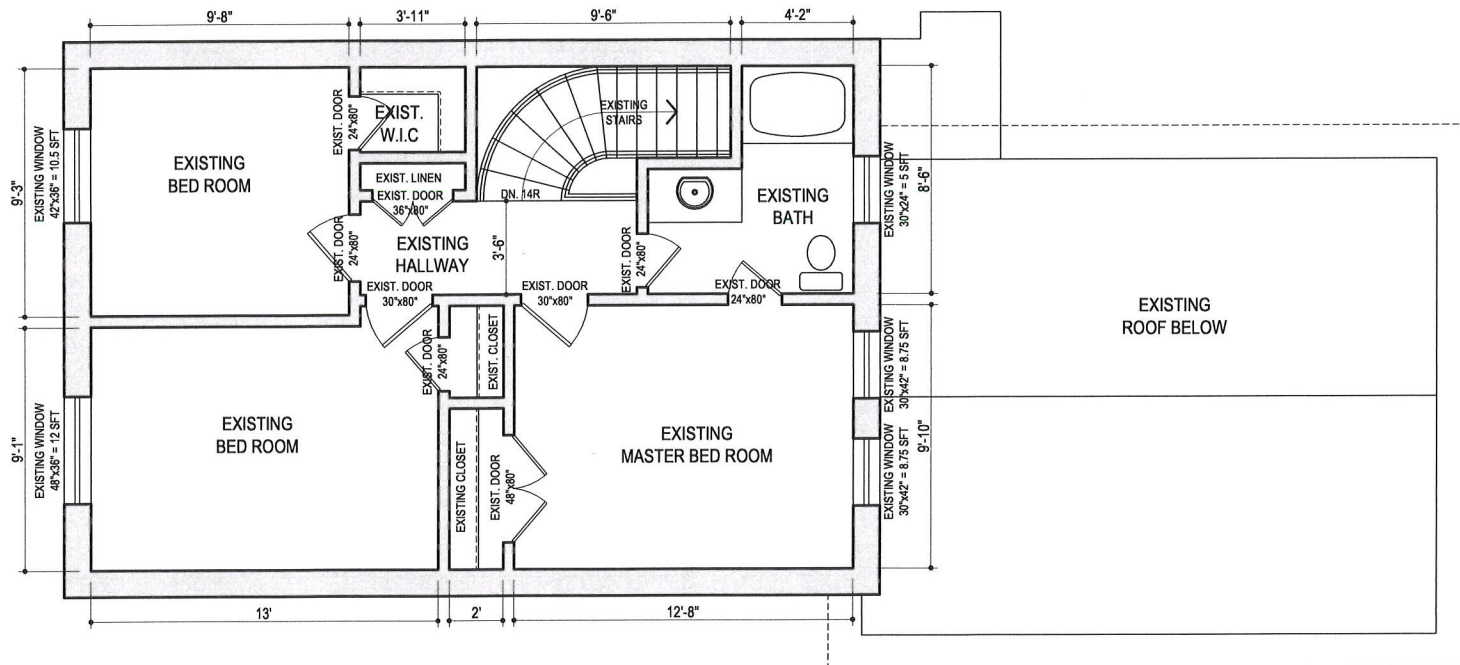
REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS
QUALIFICATION INFORMATION
REGISTERED UNDER DESIGNER IN EXEMPT UNDER OBC C-3.3.1. OF THE BUILDING CODE
Honeywell Miller 307242 BCR
Name
REGISTRATION INFORMATION
REGISTERED UNDER DESIGNER IN EXEMPT UNDER OBC C-3.3.1. OF THE BUILDING CODE
weDesignBuild Inc. 331000 BCR
weDesignBuild Inc.

weDesignBuild Inc.
MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
PROJECT ADDRESS
78 DEER PARK
CRESCENT BRAMPTON
DRAWING TITLE
NEW GROUND FLOOR PLAN
PROJECT NO.
20240601
DRAWN
M.N.
CHECKED
H.M.
DRAWING NO.
A106
DATE MODIFIED
JUNE 26, 2024



EXISTING SECOND FLOOR PLAN

SCALE : $\frac{3}{16}'' = 1'-0''$

SECOND FLOOR AREA = 633 SFT. / 58.80 M²

CEILING HEIGHT = 8'-0"

EXISTING WALLS

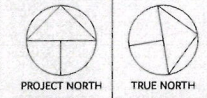
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

REGISTRATION INFORMATION
 WEDESIGNBUILD INC. 111001
 2024



weDesignBuild Inc.

MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

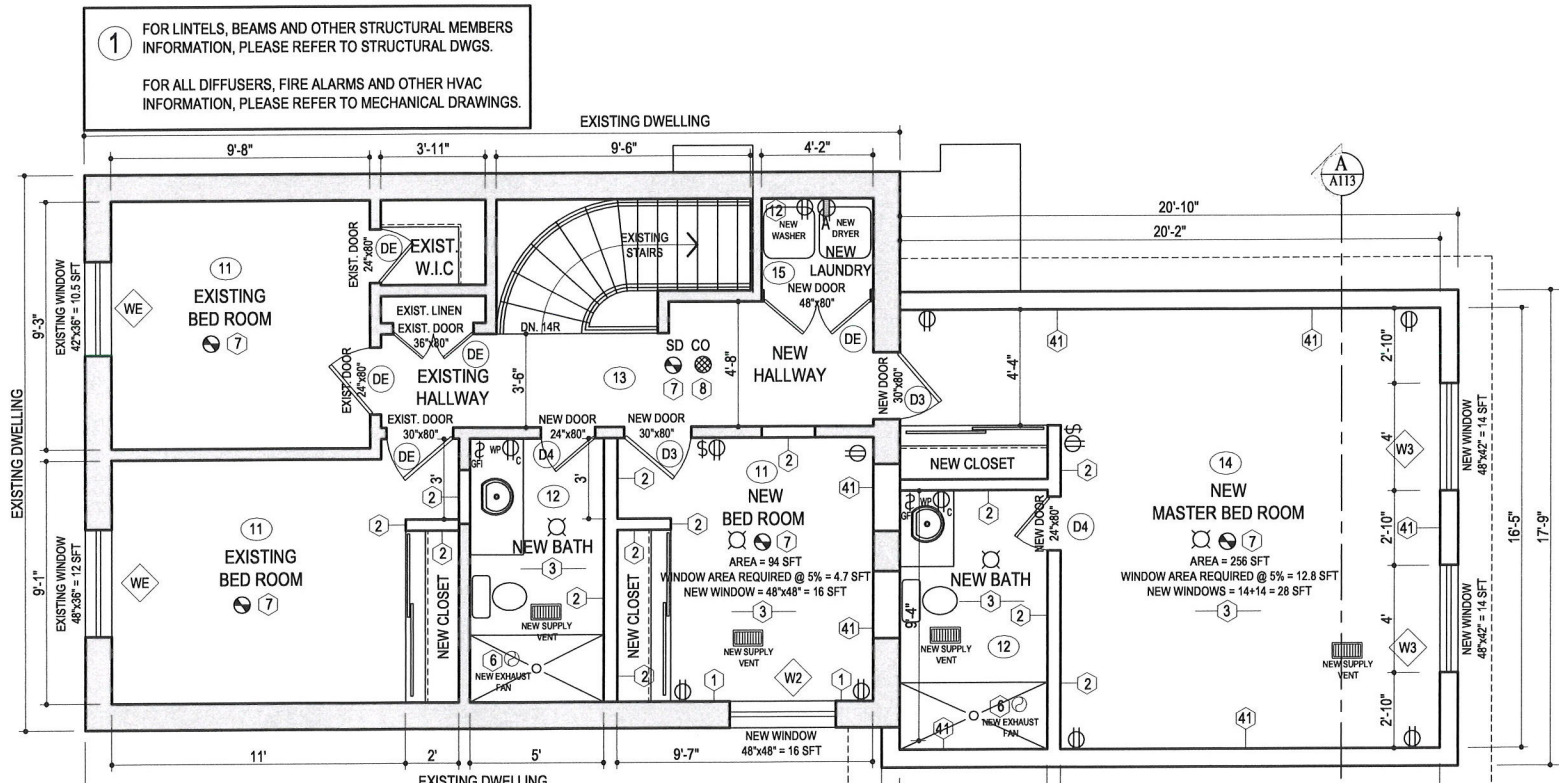
PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
EXIST. SECOND FLOOR PLAN
 PROJECT NO.
20240601

DRAWN	CHECKED
M.N.	H.M.

DRAWING NO.
A107

DATE MODIFIED
 JUNE 26, 2024



① FOR LINTELS, BEAMS AND OTHER STRUCTURAL MEMBERS INFORMATION, PLEASE REFER TO STRUCTURAL DWGS.

FOR ALL DIFFUSERS, FIRE ALARMS AND OTHER HVAC INFORMATION, PLEASE REFER TO MECHANICAL DRAWINGS.

NEW SECOND FLOOR PLAN

SCALE : $\frac{3}{16}'' = 1'-0''$
 SECOND FLOOR AREA = 633 SFT. / 58.80 M²
 NEW ADDITION AREA = 371 SFT. / 34.46 M²
 CEILING HEIGHT = 8'-0"

EXISTING WALLS
 NEW WALLS

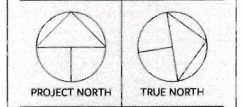
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, COPIED OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION OF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND BY THE PLUMBER OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION
 REGISTERED ARCHITECT IN ONTARIO UNDER REG. C. 323.1 OF THE BUILDING CODE
 Name: **Harvey M. H. H.** REG. NO. 322742
REGISTRATION INFORMATION
 REGISTERED UNDER DESIGN IN ONTARIO UNDER REG. C. 323.1 OF THE BUILDING CODE
 Name: **weDesignBuild Inc.** REG. NO. 11100

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

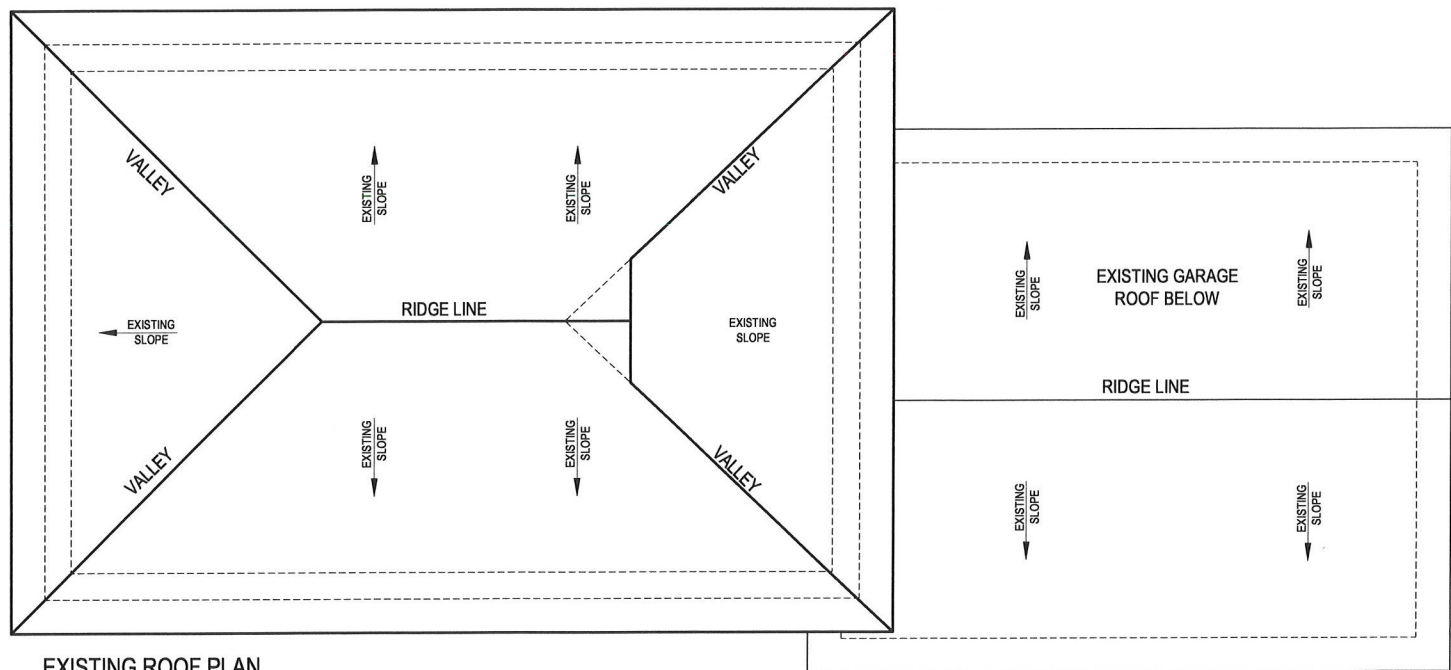
DRAWING TITLE
NEW SECOND FLOOR PLAN
 PROJECT NO.
20240601

DRAWN
M.N.

CHECKED
H.M.

DRAWING NO.
A108

DATE MODIFIED
JUNE 26, 2024



EXISTING ROOF PLAN
 SCALE : $\frac{3}{16}'' = 1'-0''$

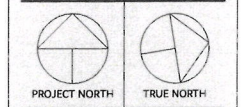
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTERED UNDER DESIGN BY EXEMPT UNDER DIV. C - 32.1.1 OF THE BUILDING CODE
 Minimum Health: 307242
 Name: **weDesignBuild Inc.**

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN BY EXEMPT UNDER DIV. C - 32.1.1 OF THE BUILDING CODE
weDesignBuild Inc. 111001
 Firm Name: 111001

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
EXISTING ROOF PLAN

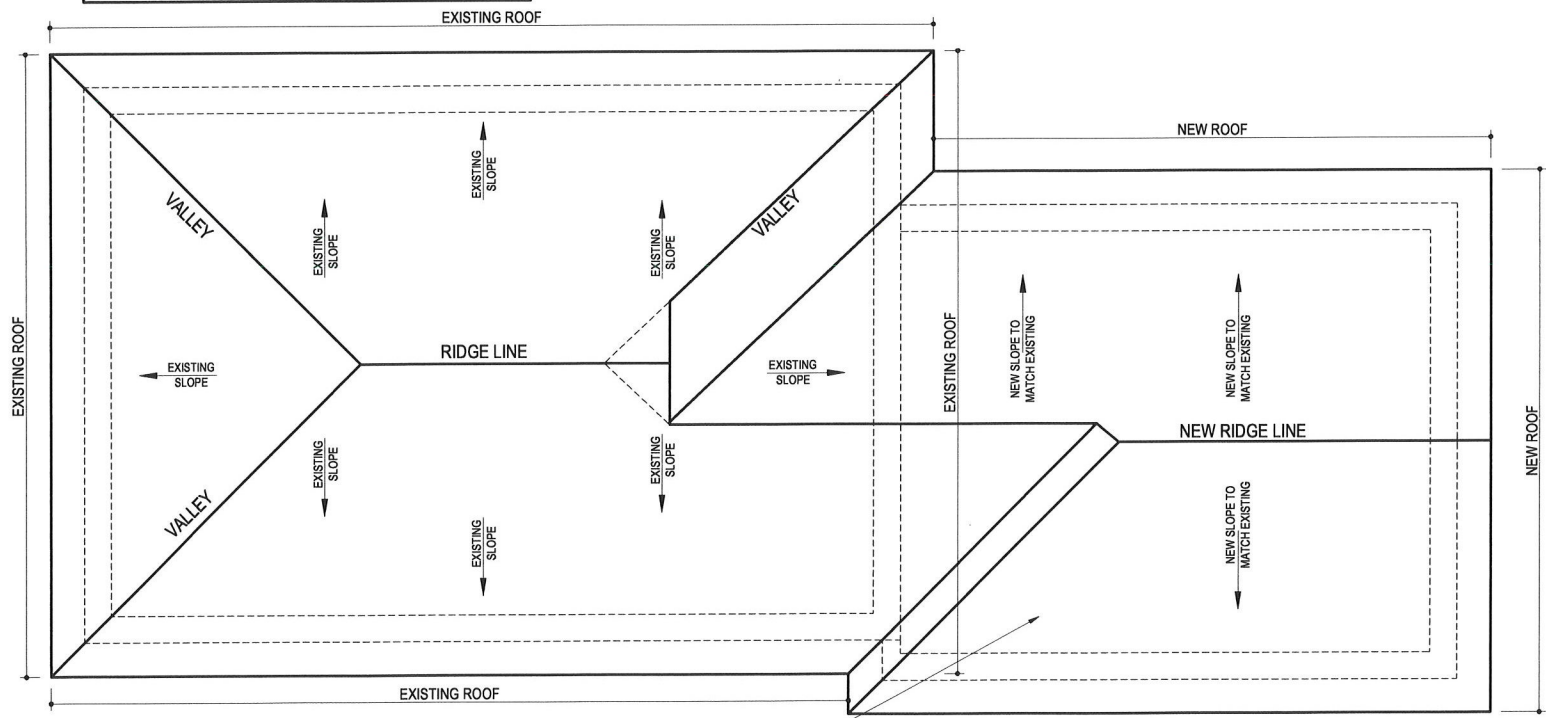
PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A109

DATE MODIFIED
JUNE 26, 2024

① FOR LINTELS, BEAMS AND OTHER STRUCTURAL MEMBERS INFORMATION, PLEASE REFER TO STRUCTURAL DWGS.
 FOR ALL DIFFUSERS, FIRE ALARMS AND OTHER HVAC INFORMATION, PLEASE REFER TO MECHANICAL DRAWINGS.



NEW / ROOF PLAN
 SCALE : $\frac{3}{16}'' = 1'-0''$

SHADED AREA DENOTES NEW ROOF

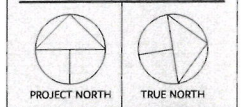
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SLOPE NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES AMONG THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS QUALIFICATION INFORMATION

REQUIRED UNDER DESIGN BY CERTIFY UNDER OAC C-33.1.2 OF THE BUILDING CODE
 PROFESSIONAL DESIGNER: 202742 BC28

REQUIRED UNDER DESIGN BY CERTIFY UNDER OAC C-33.1.2 OF THE BUILDING CODE
 WEDESIGNBUILD INC. 111005 BC28



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

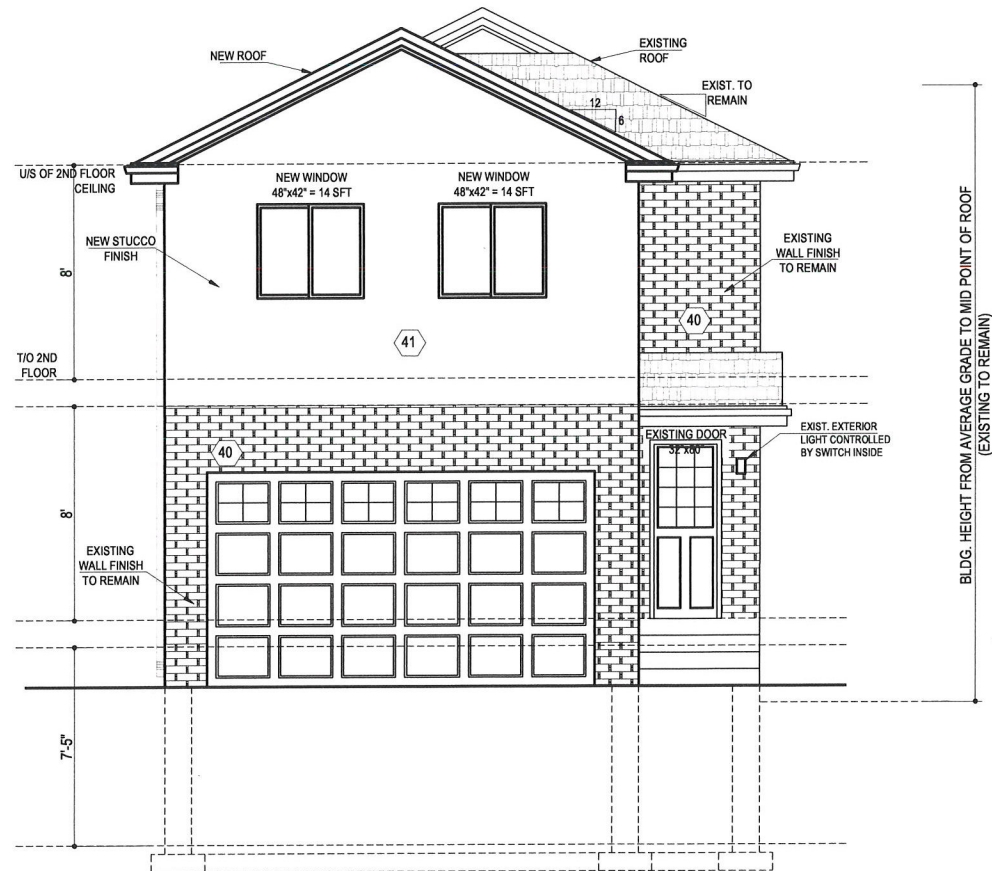
PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON
 DRAWING TITLE
NEW ROOF PLAN

PROJECT NO.
20240601

DRAWN	CHECKED
M.N.	H.M.

DRAWING NO.
A110

DATE MODIFIED
 JUNE 26, 2024



NEW / EXISTING FRONT ELEVATION

SCALE : $\frac{3}{16}'' = 1'-0''$

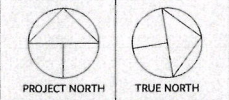
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXCLUDED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.1.1 OF THE BUILDING CODE

387243
3018
Name
387243
3018

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.1.1 OF THE BUILDING CODE

weDesignBuild Inc. 111001
Per Name 3018



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
**BASEMENT APARTMENT
AS 2ND UNIT & ADDITION
AT 2ND FLOOR**
PROJECT ADDRESS
**78 DEERPARK
CRESCENT BRAMPTON**

DRAWING TITLE
ELEVATION

PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A111

DATE MODIFIED
JUNE 26, 2024

GENERAL NOTES:

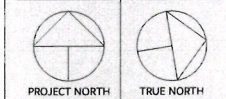
COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV DATE DESCRIPTION

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION
 WEDESIGNBUILD INC. 151005
 151005
 151005



weDesignBuild Inc.
 MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 BASEMENT APARTMENT
 AS 2ND UNIT & ADDITION
 AT 2ND FLOOR
PROJECT ADDRESS
 78 DEERPARK
 CRESCENT BRAMPTON
DRAWING TITLE
 ELEVATION

PROJECT NO.
 20240601

DRAWN M.N. **CHECKED** H.M.

DRAWING NO.

A112

DATE MODIFIED
 JUNE 26, 2024



NEW / EXISTING LEFT SIDE ELEVATION

SCALE : $\frac{3}{16}'' = 1'-0''$

GLAZED OPENINGS:
 WALL AREA: 619 SFT / 57.50 M²
 LIMITING DISTANCE = 1.68 M
 WINDOW AREA PROVIDED: 16+10.5+9+6.25
 +3.125+3.125 = 48 SFT / 4.45 M² (7.75%)
 WINDOW AREA ALLOWED: 08%

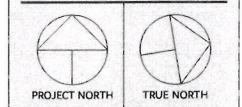
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS OR DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION

Member No: 307742
 Name: **weDesignBuild Inc.**
 REGISTRATION INFORMATION
 In Ontario Under OBC C-32.1 of the Building Code
 11001
 BCR

weDesignBuild Inc.
 MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR

PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
SECTION A A

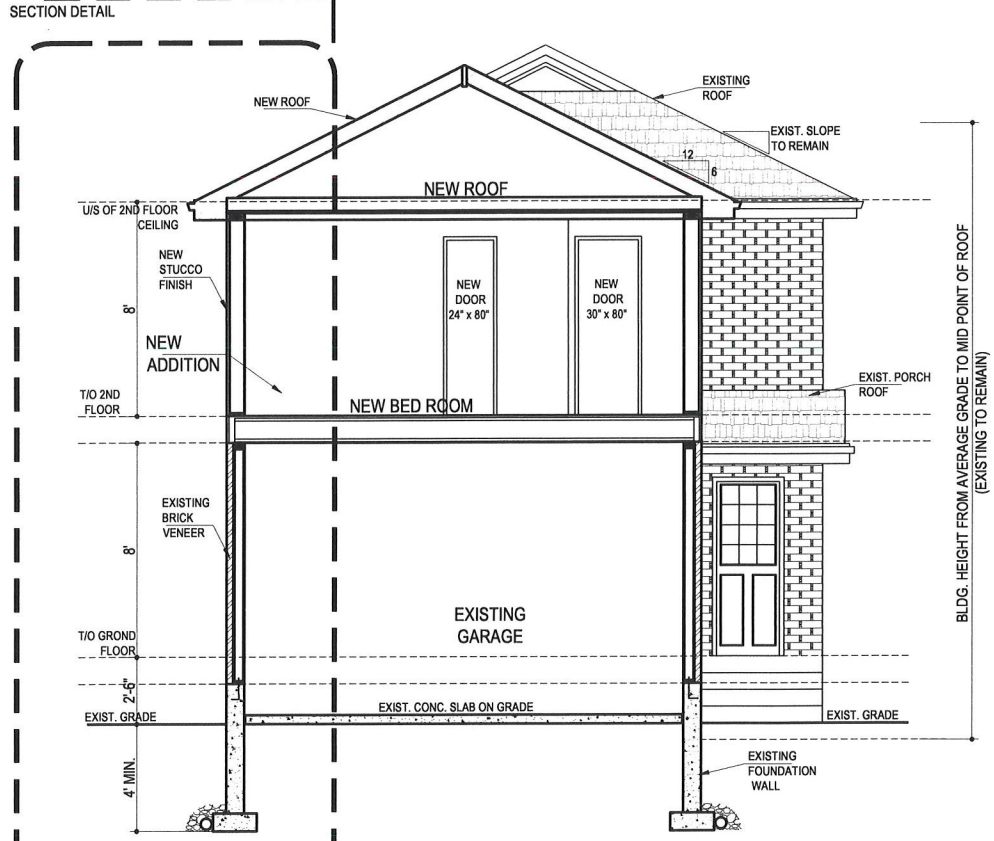
PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A113

DATE MODIFIED
 JUNE 26, 2024

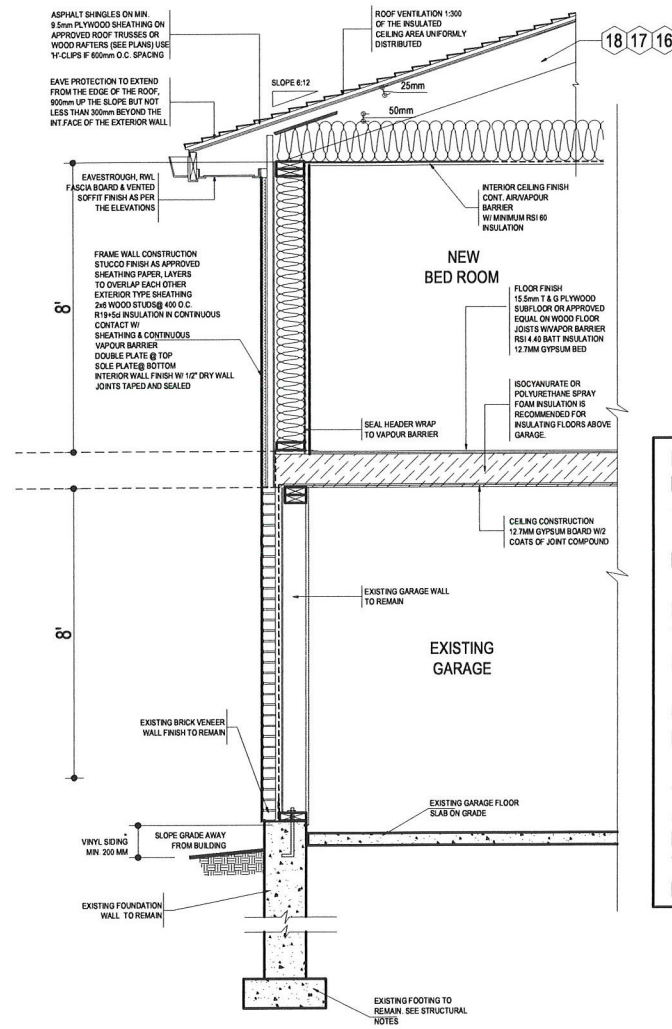
PLEASE REFER DWG NO. A-114 FOR WALL



SECTION "A-A"
 SCALE: $\frac{3}{16}'' = 1'-0''$

FOR LINTELS, BEAMS AND OTHER STRUCTURAL MEMBERS INFORMATION, PLEASE REFER TO STRUCTURAL DWGS.

FOR ALL DIFFUSERS, FIRE ALARMS AND OTHER HVAC INFORMATION, PLEASE REFER TO MECHANICAL DRAWINGS.



18 17 16

FOR LINTELS, BEAMS AND OTHER STRUCTURAL MEMBERS INFORMATION, PLEASE REFER TO STRUCTURAL DWGS.

FOR ALL DIFFUSERS, FIRE ALARMS AND OTHER HVAC INFORMATION, PLEASE REFER TO MECHANICAL DRAWINGS.

**EXTERIOR WALL SECTION
TYPICAL DETAIL**

SCALE: N.T.S

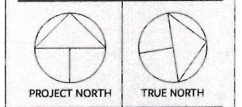
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LOANED, REPRODUCED, COPIED OR OTHERWISE COMED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING SQUARE OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS QUALIFICATION INFORMATION

REGISTERED PROFESSIONAL ENGINEER
 Name: **weDesignBuild Inc.**
 REG. NO.: **113001**

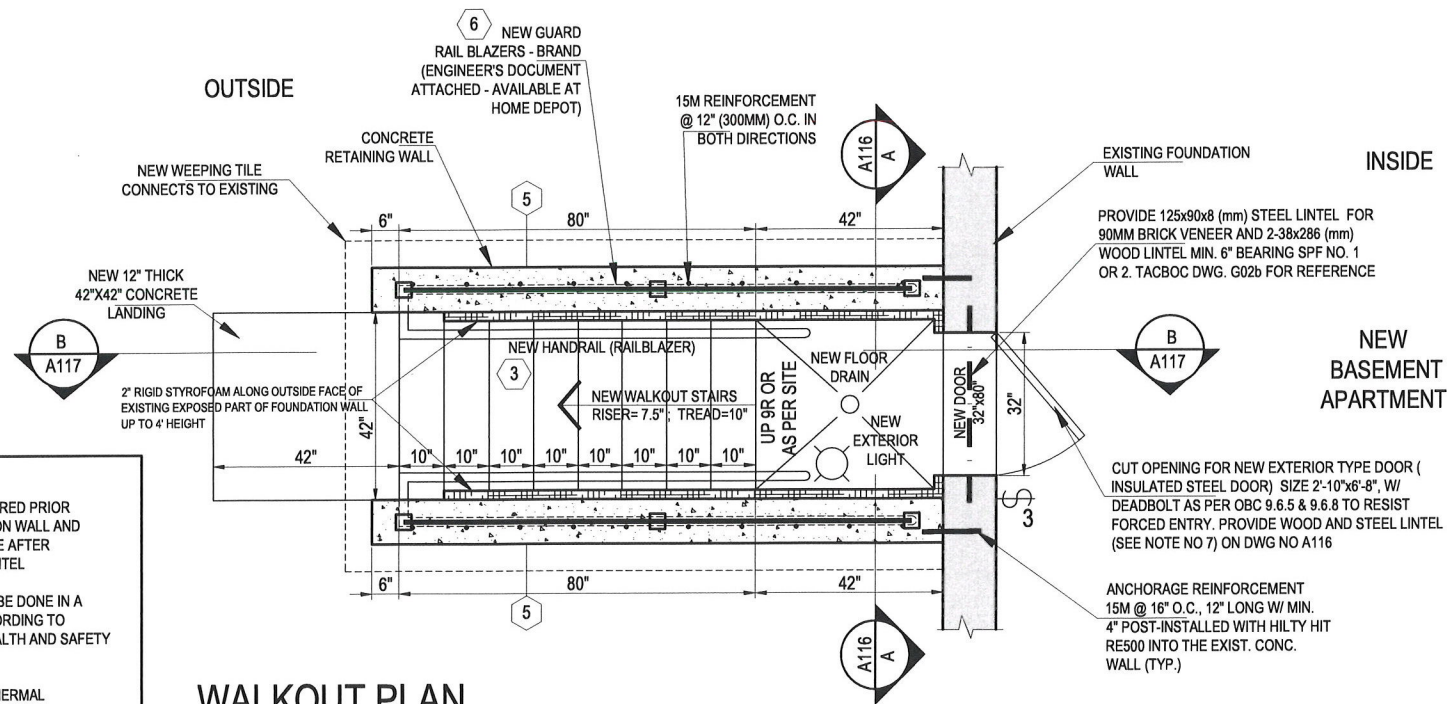
weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR
 PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
NEW SECTION WALL DETAILS

PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
DRAWING NO. A114	
DATE MODIFIED JUNE 26, 2024	



NOTE:

- JOIST SHALL BE SHORED PRIOR CUTTING FOUNDATION WALL AND SHALL BE DISMANTLE AFTER INSTALLATION OF LINTEL
- EXCAVATION SHALL BE DONE IN A STABLE SLOPE ACCORDING TO "OCCUPATIONAL HEALTH AND SAFETY ACT".
- SOPRA-XPS RIGID THERMAL INSULATION BOARD (SPECS. SHEET ATTACHED)

WALKOUT PLAN

SCALE $\frac{3}{8}'' = 1'$

FOR DETAILS, PLEASE SEE DRAWINGS A116 & A117

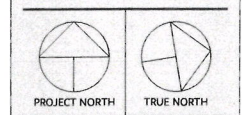
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREIN SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 12.2.3. OF THE BUILDING CODE

Professional Name: M. AFZAL
 Registration No: 100130007
 Date: JULY 08, 2024

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 12.2.3. OF THE BUILDING CODE

weDesignBuild Inc. 111001
 100130007



weDesignBuild Inc.
 MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR

PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
WALKOUT STAIR DETAIL

PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A115

DATE MODIFIED
 JUNE 26, 2024

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 4 7/8" (125 MM) MINIMUM 7 7/8" (200 MM) MAXIMUM
RUN 10" (255 MM) MINIMUM 14" (355 MM) MAXIMUM
ADJUST TOTAL NUMBER OF STEPS TO SUITE GRADE AT SITE.
ALL SIZES SHALL CONFORM TO O.B.C TABLE 9.8.4.1.

4. INSULATION

4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.

4b. 4" RIGID STYROFOAM UNDER STAIR SLAB, LOWER LANDING AND OUTSIDE FACE OF RETAINING WALLS

5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

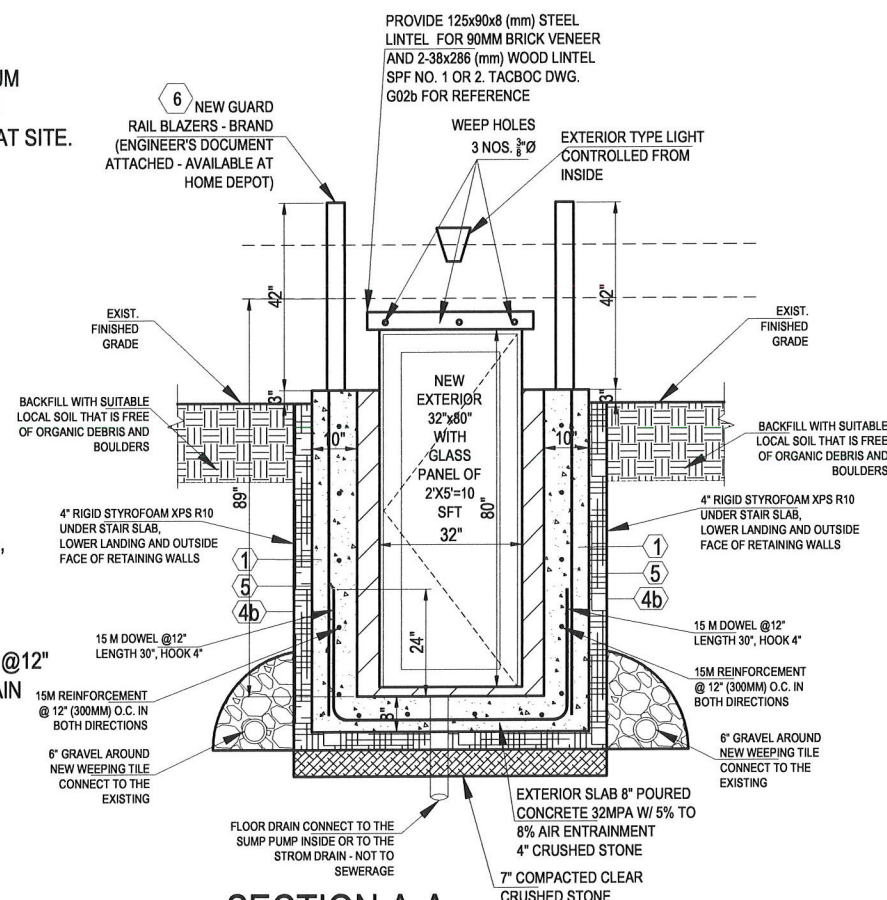
PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @ 12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS -

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY.



SECTION A-A

SCALE $\frac{3}{8}" = 1'$

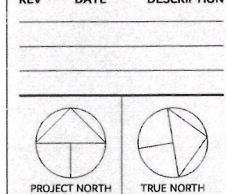
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LOANED, REPRODUCED, COPIED OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO REGULATORY DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS QUALIFICATION INFORMATION

REGISTERED PROFESSIONAL ENGINEER
M. AFZAL
100130007
JULY 08, 2024

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN BY EXEMPT UNDER O.C. 23.1.1 OF THE BUILDING CODE
weDesignBuild Inc. 111001
P. H. H.



weDesignBuild Inc.
MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
**BASEMENT APARTMENT
AS 2ND UNIT & ADDITION
AT 2ND FLOOR**
PROJECT ADDRESS
**78 DEERPARK
CRESCENT BRAMPTON**

DRAWING TITLE
**WALKOUT STAIR
DETAIL**

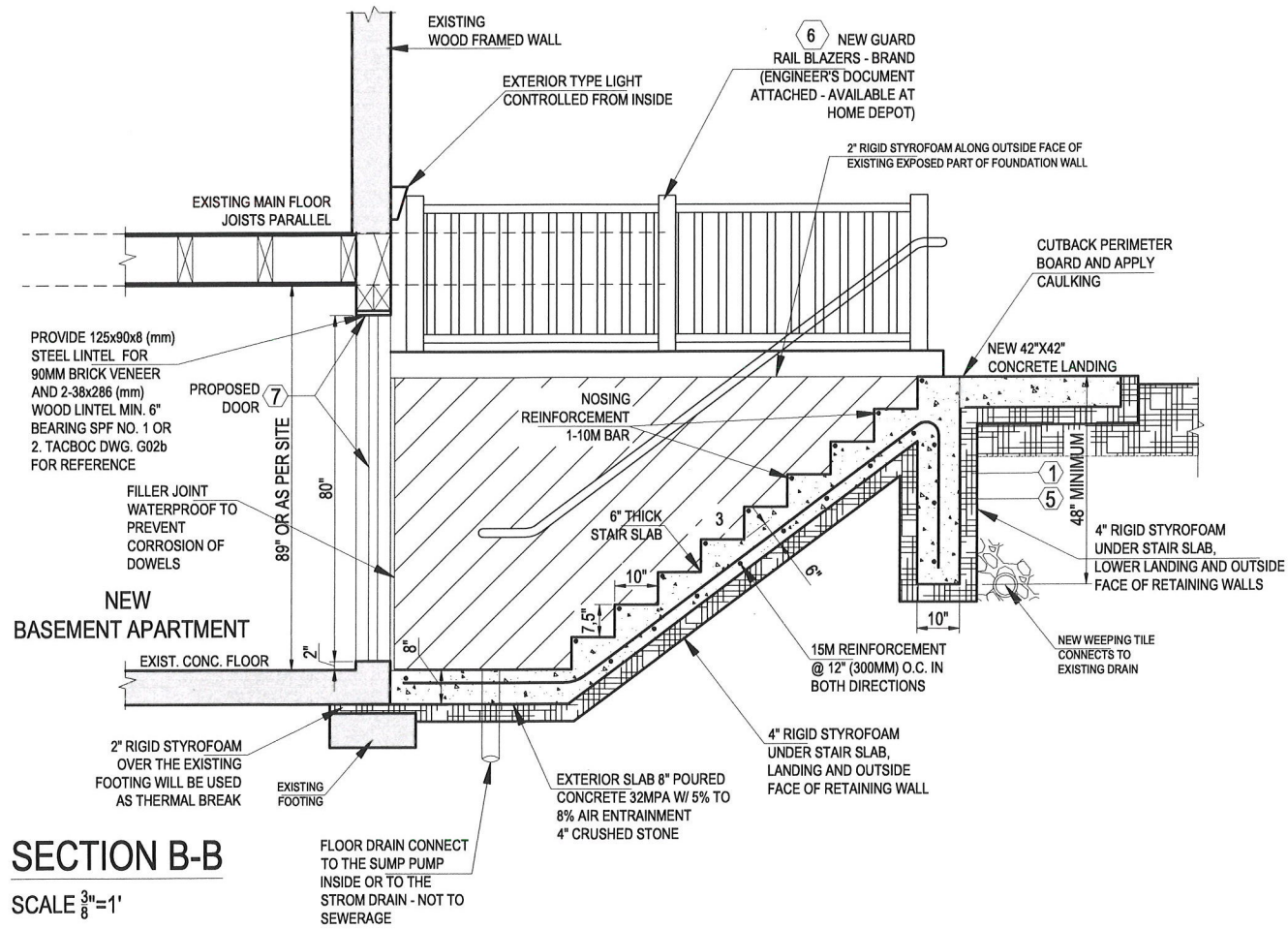
PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A116

DATE MODIFIED
JUNE 26, 2024

- NOTE:**
- JOIST SHALL BE SHORED PRIOR CUTTING FOUNDATION WALL AND SHALL BE DISMANTLE AFTER INSTALLATION OF LINTEL
 - EXCAVATION SHALL BE DONE IN A STABLE SLOPE ACCORDING TO "OCCUPATIONAL HEALTH AND SAFETY ACT".
 - SOPRA-XPS RIGID THERMAL INSULATION BOARD (SPECS. SHEET ATTACHED)



SECTION B-B
SCALE $\frac{3}{8}"=1'$

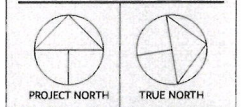
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, REPRODUCED, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE DRAWINGS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS QUALIFICATION INFORMATION

REGISTERED PROFESSIONAL ENGINEER
M. AFZAL
100130007
JULY 08, 2024
PROVINCE OF ONTARIO



weDesignBuild Inc.
MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V5
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS 2ND UNIT & ADDITION AT 2ND FLOOR

PROJECT ADDRESS
78 DEERPARK CRESCENT BRAMPTON

DRAWING TITLE
WALKOUT STAIR DETAIL

PROJECT NO.
20240601

DRAWN M.N.	CHECKED H.M.
DRAWING NO. A117	
DATE MODIFIED JUNE 26, 2024	

Zoning Non-compliance Checklist

File No.
A-2024-0328

Owner: AGCAOILI LEONLEHCER
 Address: 78 DEERPARK CRES
 Zoning: R2C-3172
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACK SIDE	To permit an interior side yard setback of 1.23 m to a <i>proposed</i> second storey addition,	whereas the by-law requires a minimum interior side yard setback of 1.2m to the first storey, or part thereof, plus 0.6m for each additional storey, or part thereof, where the lot width is less than or equal to 16 metres.	10.27 (b) i
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

Aug 02, 2024
Date