Flower City



OCT 0 1 2024

Committees of Adjustment

For Office Use Only (to be inserted by the Secretary-Treasure after application is deemed complete)

FILE NUMBER:

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

		,
		<u>APPLICATION</u>
		Minor Variance or Special Permission
		(Please read Instructions)
NOTE:		ed that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be
	accompan	ed by the applicable fee.
	The under	signed hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of
		ng Act, 1990, for relief as described in this application from By-Law 270-2004.
1.	Name of C	Owner(s) ISHAN VASUDEVA, BABLI BABLI
••	Address	12 ABELL DR BRAMPTON, ON, L6V 2V8
	Phone #	647-219-4693
	Email	ISHAN.VASUDEVA1998@GMAIL.COM
2.	Name of A	gent PAVNEET KAUR(NOBLE PRIME SOLUTIONS LTD)
	Address	19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4
	Phone #	437-888-1800 Fax #
	Email	APPLICATIONS@NOBLELTD.CA
3.	Nature an	d extent of relief applied for (variances requested):
	-TO PERI	MIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM BUILDING HEIGHT OF 6M
		MIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM GROSS FLOOR AREA OF 54.84 SQUARE
	METRES	

4. Why is it not possible to comply with the provisions of the by-law? -WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5M OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS, ON A LOT ON ALL OTHER RESIDENTIAL ZONES;

-WHEREAS THE BY-LAW PERMITS A MAXIMUM GROSS FLOOR AREA OF 35 SQUARE METRES IN ALL OTHER ZONES. 5. Legal Description of the subject land: Lot Number 343 Plan Number/Concession Number M27 Municipal Address 12 ABELL DR BRAMPTON, ON, L6V 2V8 6. Dimension of subject land (in metric units) Frontage 9.29 Depth 31.87 276.66 Area 7. Access to the subject land is by:

Seasonal Road

Water

Other Public Road

Provincial Highway

Private Right-of-Way

Municipal Road Maintained All Year

Swales

Particulars of all buildings and structures on or proposed for the land: (specify in metric units ground floor area, gross floor area, storeys, width, length, height, etc., where possible)						
	EXISTING BUILDING	GS/STRUCTURES on	the subject land: <u>List all structures (dwelling, shed, gazebo, etc.)</u>			
		EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) TWO STOREY SEMI DETACHED HOUSE				
	PROPOSED BUILD	INGS/STRUCTURES of	on the subject land:			
			THE ARE OF 27.40			
9.		_	tructures on or proposed for the subject lands: ar and front lot lines in <u>metric units</u>)			
	EXISTING					
	Front yard setback	8.05				
	Rear yard setback	9.30				
	Side yard setback	3.15				
	Side yard setback	0				
	DDODOSED					
	PROPOSED Front yard setback	NO CHANGE				
	Rear yard setback	2.52				
	Side yard setback	1.80				
	Side yard setback	1.00	:			
	Olde yard Setback					
10.	Date of Acquisition	of subject land:				
11.	Existing uses of su	bject property:	REISDENTIAL			
12.	Proposed uses of s	subject property:	REISDENTIAL			
13.	Existing uses of ab	utting properties:	REISDENTIAL			
14.	Date of constructio	n of all buildings & st	tructures on subject land:			
15.	Length of time the	existing uses of the s	subject property have been continued:			
16. (a)	What water supply Municipal Well	is existing/proposed?	? Other (specify)			
(b)	What sewage dispo Municipal Septic	osal is/will be provide	ed? Other (specify)			
(c)	What storm drainag	ge system is existing/	/proposed?			
	Ditches		Other (specify)			

In the matter of the required sign(s) to be posted on the property subject of application(s) to the Committee of Adjustment to meet the notice requirements of Ontario Regulation 197/96 amended by Ontario Regulation 505/98 and Ontario Regulation 200/96 amended by Ontario Regulation 508/98

AFFIDAVIT

C
1. Taynet Kayy of Braneton (your name)
being the <u>Papplicant Nauthorized agent Nagent's rep</u> having made application(s) to the
Committee of Adjustment of the Corporation of the City of Brampton, for the property
located at: 12 Abell Dx
Make oath and say as follows:
 I hereby declare that I will post the required sign(s) along each street frontage of the property, approximately 1.0m – 1.5m in height, either on the property line or not more than 1.0m back from the property line, in a location clearly visible from the street and include on the face of the sign the following information:
a. Application number(s);
 b. Date, time and location of the hearing;
 The purpose and effect of the consent application and/or the minor variance(s).
 I hereby declare that I will provide a photo of the posted sign via email to the Secretary Treasurer of the Committee of Adjustment at coa@brampton.ca no later than the date the sign is erected, and I will remove the sign no later than the day after the meeting.
Sworn before me at the City of Brampton in the Regional Municipality of Peel, this
day of Aug 2024
Signature of Applicant/Authorized Agent
Sommissioner, etc. BRIJNEET SINGH ARORA
Barrister Solicitor & Notary Public totals Illinop Variance Signs must be posted ten (10) calendar days prior to the meeting dany Mind Contains the posted in later than twenty (20) Ph# 905-791-2500; Fax # 15-1481 Asys prior to the meeting date.
ailure to comply with the above noted posting requirements will result in your application being deferred to a future meeting date.

17.	Is the subject property the subject subdivision or consent?	ect of an application u	nder the Planning Act,	for approval of a plan of
	Yes No 🗸			
	If answer is yes, provide details:	File#	Sta	tus
18.	Has a pre-consultation application	on been filed?		
	Yes No			
19.	Has the subject property ever be	en the subject of an a	pplication for minor var	iance?
	Yes No	Unknown	V	
	If answer is yes, provide details:			
	File # Decision File # Decision File # Decision		Relief Relief Relief	
			Paynet Kouu gnature of Applicant(s) or	Authorized Agent
DAT	ED AT THE A			Authorized Agent
THI	ED AT THE	. 4 20 24	implou.	
	APPLICATION IS SIGNED BY AN A			R THAN THE OWNER OF
THE SUE	BJECT LANDS, WRITTEN AUTHOR PLICANT IS A CORPORATION, ATION AND THE CORPORATION'S	IZATION OF THE OWI THE APPLICATION S	NER MUST ACCOMPAN SHALL BE SIGNED BY	Y THE APPLICATION. IF
	1. Paynet Kary	. OF TI	HE At. OF	Branota
IN TH	1, <u>Parned Kaur</u> E <u>Region</u> OF <u>Peel</u>	SOLEMNL	Y DECLARE THAT:	
ALL OF	THE ABOVE STATEMENTS ARE T	RUE AND I MAKE TH	IS SOLEMN DECLARAT	TION CONSCIENTIOUSLY
DECLAR	ED BEFORE ME AT THE			
Region	n of feel	1 6 5 5 5 6 7		
IN THE	Praymes OF	7 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6		
Eak	STOTHIS 15th DAY OF		0	
A	y , 20 <u>) y</u> .		Signature of Applicant or	Authorized Agent
	A CROWNIESION EN AROKA			
	Barrister Solicitor & Notary Public Commissioner of Oaths in and for Ontario 309 50 Sunsy Meadow Blvd.			
	Brampton Ontario L6R 0Y7 Ph# 905-791-2500; Fax # 905-790-7757 Present Official Plan Designatio	FOR OFFICE USE O	NLY	
	Present Zoning By-law Classific	ation:		
an encountries and order of high class of the control of the contr	This application has been review said review	red with respect to the v w are outlined on the at	-	e results of the
other properties of the confidence of the confid	Zoning Officer		Dat	le l
	Date Application Deemed			Revised 2022/02/17

Date Application Deemed

Appointment of Authorized Agent Two-Unit Dwelling Registration

The Chief Building Official and Director of Building

Planning & Infrastructure Services

City of Brampton

To:

8850 McLaughlin Road, Unit 1 Brampton, ON L6Y 5T1
Re: Registration of a Two-Unit Dwelling at 12 ABELL DR, BRAMPTON, ON (municipal address)
I/we ISHAN VASUDEVA & BABLI BABLI (print the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject property, hereby authorize NOBLE PRIME SOLUTIONS LTD
(print the full name of the authorized agent(s)
to make application to the City of Brampton for registration of a two-unit dwelling on the
subject lands.
Dated this 6 day or JULY , 2024 . (month) (year)
Of Bolder
(signature of owner(s))
(signature of owner(s))

PERMISSION TO ENTER

To: The Secretary-Treasurer Committee of Adjustment City of Brampton 2 Wellington Street West Brampton, Ontario L6Y 4R2

LOCATION	ON OF THE SUBJECT	LAND: 12	ABELL	DR.	BRAMP	TON, ON, L	6N2N8
l/We,	ISHAN					BABLI	
		please pri	nt/type the full nam	e of the ow	ner(s)		

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 16 day of JULY , 2024

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

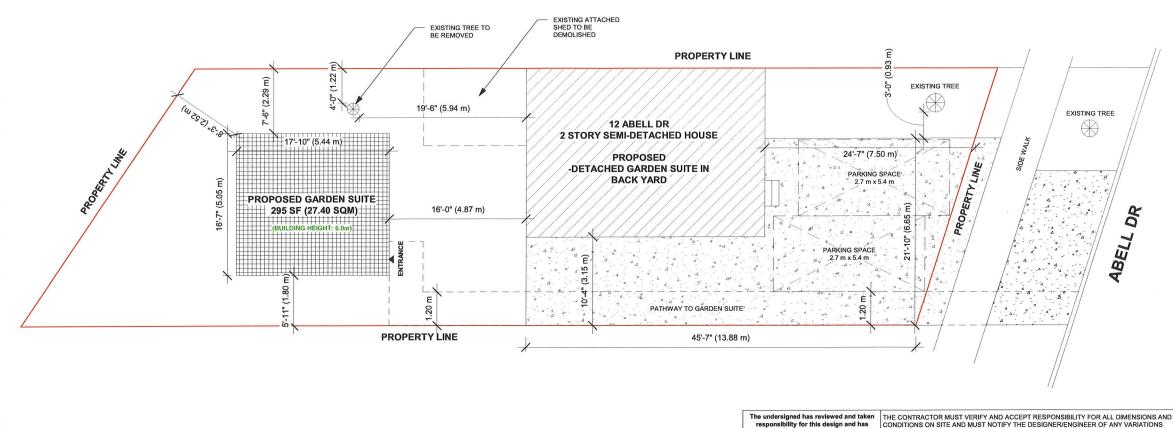
LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, LOVEN LINE, ISHAN VASUDEVA & BABLE BABLE BABLE please print/type the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject lands, hereby authorize
Noble Prime Solutions Ltd
please print/type the full name of the agent(s)
to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.
Dated this 16 day of JULY , 2027.
all body
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)
(where the owner is a firm or corporation, please print or type the full name of the person signing.)
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed bereto

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

MINOR VARIANCE

-TO PERMIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM BUILDING HEIGHT OF 6M WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5M OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS, ON A LOT ON ALL OTHER RESIDENTIAL ZONES;

-TO PERMIT A 2-STOREY GARDEN SUITE HAVING A MAXIMUM GROSS FLOOR AREA OF 54.84 SQUARE METRES WHEREAS THE BY-LAW PERMITS A MAXIMUM GROSS FLOOR AREA OF 35 SQUARE METRES IN ALL OTHER ZONES.



SITE PLAN/

GRADING PLAN

Received / Revised

responsibility for this design and has lifications and meet the requirements set out in the Ontario Building Code to be

QUALIFICATION INFORMATION

(Required unless design is exempted und 3.2.5 Division C of OBC)

DESIGNER

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ADDRESS:

FROM THE SUPPLIED INFORMATION

NOBLE PRIME 12 ABELL DR, **SOLUTIONS LTD** BRAMPTON, ON 2131 WILLIAMS PARKWAY

103482 Tanvir Rai **UNIT 19,** BRAMPTON, ON. info@nobleltd.ca (437) 888 1800 FIRM BCIN AUG 07/24 ISSUED FOR VARIANCE

Noble Prime 118716 DRAWN BY: NK CHECKED BY: JB Solutions Ltd AUG 07/24 PROJECT NUMBER: 24R-30476 AUG 07/24

BCIN

A-1

Committeee of Adjustment

OCT 0 1 2024

Committeee of Adjustment





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FILE NUMBER:

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APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004

1. Name of Owner(s) SHAN VASUDEVA, BABLI BABLI Address 12 ABELL DR BRAMPTON, ON, L6V 2VB			<u>g / to.</u> , 1000, 101 101101 00 0000	and applied	alon hom by Law 210-2004.		
Phone # SHANIVASUDEVA1998@GMAIL.COM Fax # SHANIVASUDEVA1998. 2. Name of Agent PAVNEET KAUR NOBLE PRIME SOLUTIONS LTD) Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 524 Phone # SANIVASUDEVA1998 SHANIVASUDEVA1998. 3. Nature and extent of relief applied for (variances requested): -TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m, Why is it not possible to comply with the provisions of the by-law? -VHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE. 5. Legal Description of the subject land: Lot Number 333 Plan Number/Concession Number M27 Municipal Address 12 ABELL DR BRAMPTON, ON, L6V 2V8 6. Dimension of subject land (in metric units) Frontage 929 Depth 31.87 Area 276.66 7. Access to the subject land is by: Provincial Highway Other Public Road Other Public Road Other Public Road	1.						
Email ISHAN-VASUDEVA1998@GMAIL.COM 2. Name of Agent PAVNEET KAUR (NOBLE PRIME SOLUTIONS LTD) Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4 Phone # 497-488-1800		Address	12 ABELL DR BRAMPTON.	ON. L6V 2V8			
Email ISHAN-VASUDEVA1998@GMAIL.COM 2. Name of Agent PAVNEET KAUR (NOBLE PRIME SOLUTIONS LTD) Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4 Phone # 47-485-1800 Fax # Fa							
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Phone # 437-881-100 Fax # Email APPLICATIONS@NOBLELTD.CA 1. Nature and extent of relief applied for (variances requested): -TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m, 4. Why is it not possible to comply with the provisions of the by-law? -WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE. 5. Legal Description of the subject land: Lot Number 343 Plan Number/Concession Number M27 Municipal Address 12 ABELL DR BRAMPTON, ON, LEV 2V8 6. Dimension of subject land (In metric units) Frontage 9.29 Depth 31.87 Area 276.86 7. Access to the subject land is by: Provincial Highway Description and Public Road Description and Publi		Email	ISHAN.VASUDEVA1998@GMAIL.CO	М			
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7. Access to the subject land is by: Provincial Highway Seasonal Road Municipal Road Maintained All Year Other Public Road		_					
7. Access to the subject land is by: Provincial Highway Seasonal Road Municipal Road Municipal Road Municipal Road Other Public Road		-					
Provincial Highway Seasonal Road Municipal Road Maintained All Year Other Public Road		Area	276.66				
Provincial Highway Seasonal Road Municipal Road Maintained All Year Other Public Road							
Provincial Highway Seasonal Road Municipal Road Maintained All Year Other Public Road	7	Across to	o the subject land is hy:				
Municipal Road Maintained All Year 🔽 Other Public Road 🔲					Seasonal Road		
				7			
					Water		

8.	Particulars of all buildings and structures on or proposed for the subject land: (specify <u>in metric units</u> ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)				
	EXISTING BUILDING	SS/STRUCTURES on th	ne subject land: <u>List all structures (dwelling,</u> shed, gazebo, etc.)		
		EMI DETACHED HO			
			·		
	PROPOSED BUILDII	NGS/STRUCTURES on	the subject land:		
	DETACHED GAR	DEN SUITE WITH T	THE ARE OF 27.40		
•					
9.		_	uctures on or proposed for the subject lands:		
	(specify distance	ce from side, rear	and front lot lines in metric units)		
	EVICTINO				
	EXISTING Front yard setback	8.05			
	Rear yard setback	9.30			
	Side yard setback	3.15			
	Side yard setback	0			
	PROPOSED				
	Front yard setback	NO CHANGE			
	Rear yard setback Side yard setback	2.52 1.80			
	Side yard setback	1.00			
10.	Date of Acquisition	of subject land:			
	zato or requiention	or oubjoot land.			
44	Frieding		REIODENTIAL		
11.	Existing uses of sub	ect property:	REISDENTIAL		
12.	Proposed uses of su	ubject property:	REISDENTIAL		
13.	Existing uses of abu	ıtting properties:	REISDENTIAL		
14.	Date of construction	of all buildings & stru	ectures on subject land:		
		3			
15.	I amouth of time the a	vietine wese of the cub	ing the manufacture of the control o		
15.	Length of time the e	xisting uses of the suc	pject property have been continued:		
6. (a)		s existing/proposed?	Other (and alf.)		
	Municipal ✓ Well	<u>.</u> 1	Other (specify)		
		•			
(b)		sal is/will be provided?			
	Municipal ✓ Septic —	<u> </u> 	Other (specify)		
	- L	-1			
(c)		e system is existing/pr	oposed?		
	Sewers <u>✓</u> Ditches	<u> </u> 	Other (specify)		
	Swales	วี	outer (specify)		

17.	subdivision or consent?	ect of an application unde	er the Planning Act, for approval of a plan of
	Yes No]	
	If answer is yes, provide detail	s: File#	Status
18.	Has a pre-consultation applica	tion been filed?	
	Yes No	1	
19.	Has the subject property ever	peen the subject of an appl	ication for minor variance?
	Yes No	Unknown	
	If answer is yes, provide detail	s:	
	File # Decisio	n	Relief
	File # Decision	nn	Relief Relief
		f	while Kould ture of Applicant(s) or Authorized Agent
	Δ* .		
DAT	ED AT THE City S 15 DAY OF Aug	OF Wan	ptou.
THIS	S 15 DAY OF Dug	ust , 20 24.	
			ANY PERSON OTHER THAN THE OWNER OF R MUST ACCOMPANY THE APPLICATION. IF
THE APP	PLICANT IS A CORPORATION ATION AND THE CORPORATION	THE APPLICATION SHA	LL BE SIGNED BY AN OFFICER OF THE
.1	1, Parmeet Karr	, OF THE	City OF Brampton
IN THE	E Region OF Peel	SOLEMNLY D	City OF Brangton ECLARE THAT:
ALL OF 1	THE ABOVE STATEMENTS ARE	TRUE AND I MAKE THIS	SOLEMN DECLARATION CONSCIENTIOUSLY ME FORCE AND EFFECT AS IF MADE UNDER
DECLARI	ED BEFORE ME AT THE		
Region	OF PEC		
J		_	
IN THE	tocure OF		
Cake	THIS /STE DAY OF		Parmet Kous
A	y , 20) y.	Sigr	nature of Applicant or Authorized Agent
(Niv C	8 8 8 8 8	
	A GRANIESTONENEIS.ARORA		
glassinska sedenska storenska filologia	Barrister Solicitor & Notary Public Commissioner of Oaths in and for Ontar 309 50 Sunny Mondow Blvd.		
	Brampton Ontario L6R 0Y7 Ph# 905-791-2500; Fax # 905-790-775 Present Official Plan Designat		Y
	Present Zoning By-law Classi	ication:	
		ewed with respect to the varia iew are outlined on the attacl	ances required and the results of the hed checklist.
	Zoning Officer		Date
	DATE RECEIVE	D	
	Date Application Deem	ed	Revised 2022/02/17

Appointment of Authorized Agent Two-Unit Dwelling Registration

The Chief Building Official and Director of Building

Planning & Infrastructure Services

8850 McLaughlin Road, Unit 1

City of Brampton

Re: Registration of a Two-Unit Dwelling at 12 ABELL DR BRAMFTON ON (munic pai address)

I/we ISHAN VASUDEVA & BABLI BABLI (print the full name of the owner(s))

the undersigned, being the registered owner(s) of the subject property, hereby authorize NOBLE PRIME SOLUTIONS LTD

[print the full name of the authorized agent(s)]

to make application to the City of Brampton for registration of a two-unit dwelling on the subject lands.

Dated this 6 day or 70LY (year)

[signature of owner(s)]

PERMISSION TO ENTER

To: The Secretary-Treasurer Committee of Adjustment City of Brampton 2 Wellington Street West Brampton, Ontario L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, LOUZVS

I/We, ISHAN VASUDEVA & BABLI BABLI

please print/type the full name of the proper(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 16 day of JULY , 2024

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, LOZV. I/We, ISHAN VASUDEVA & BABLI BABLI please print/type the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject lands, hereby authorize
Noble Prime Solutions Ltd
please print/type the full name of the agent(s)
to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.
Dated this 6 day of JULY , 2021. (signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

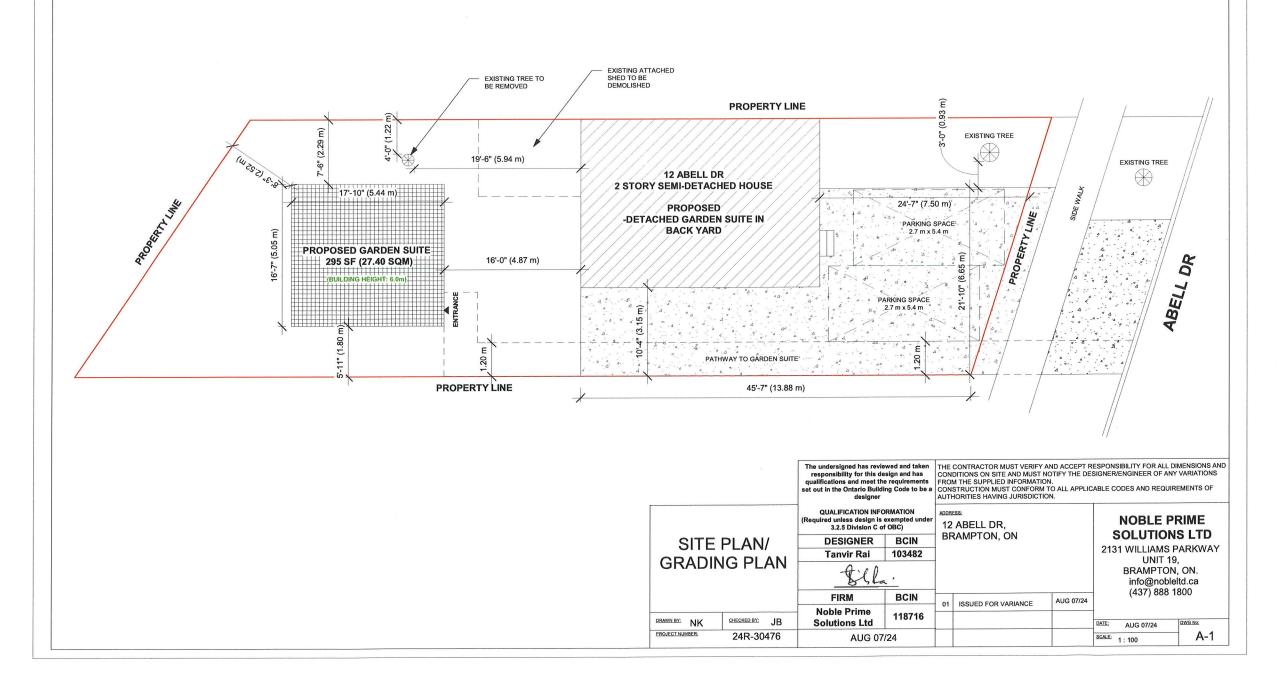
NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

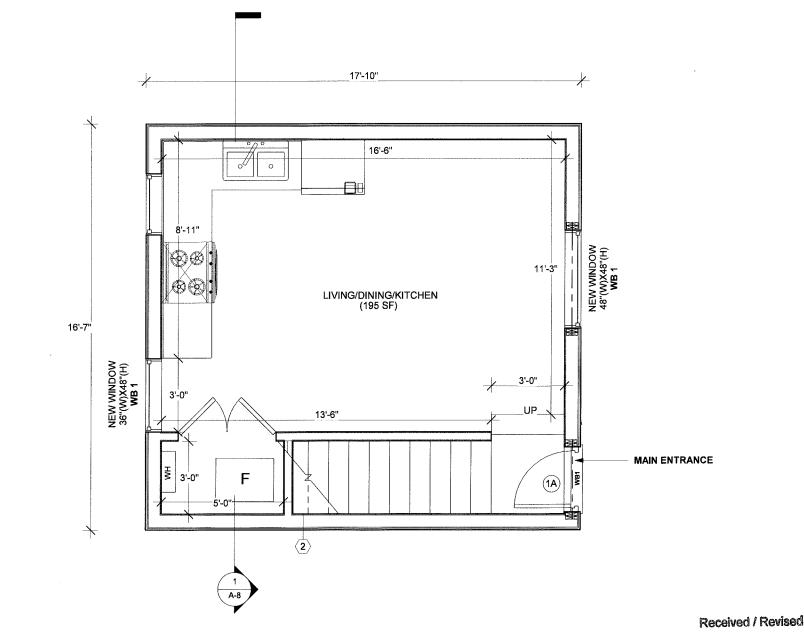
OCT 0 1 2024

Committeee of Adjustment

MINOR VARIANCE

-TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m, WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE.





GARDEN SUITE AREA: 295 SF (27,40 SQM)

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

GROUND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a

QUALIFICATION INFORMATION Required unless design is exempted und 3.2.5 Division C of OBC)

DESIGNER BCIN Tanvir Rai 103482 FIRM BCIN Noble Prime 118716 Solutions Ltd AUG 22/24

AUG 22/24 01 ISSUED FOR PERMIT

12 ABELL DR, BRAMPTON, ON

снескео ву: ЈВ DRAWN BY. NK

24R-30476

NOBLE PRIME SOLUTIONS LTD.

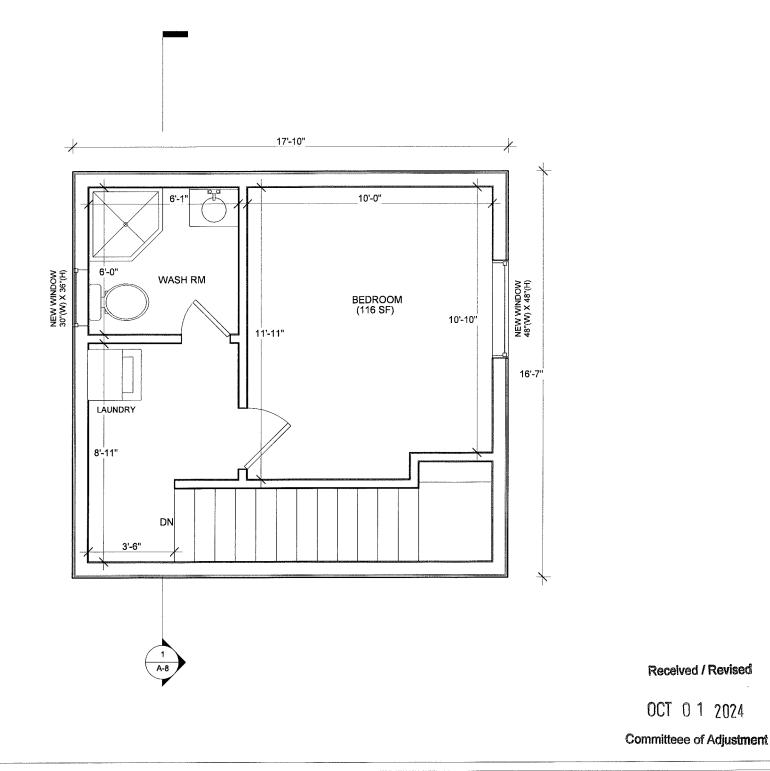
2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON,ON.

info@nobleltd.ca (437) 888 1800

DATE. AUG 22/24 DWG No. SCALE: 1:35 A-2

OCT 0 1 2024

Committeee of Adjustment



SECOND FLOOR

THE CONTRACTOR MUST VERIEY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/RENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION CONSTRUCTION MUST COMPORA TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN			
Tanvir Rai	103482			
Sh.				
FIRM BCIN				
Noble Prime Solutions Ltd				
AUG 22/24				

01 ISSUED FOR PERMIT AUG 22/24

12 ABELL DR, BRAMPTON, ON

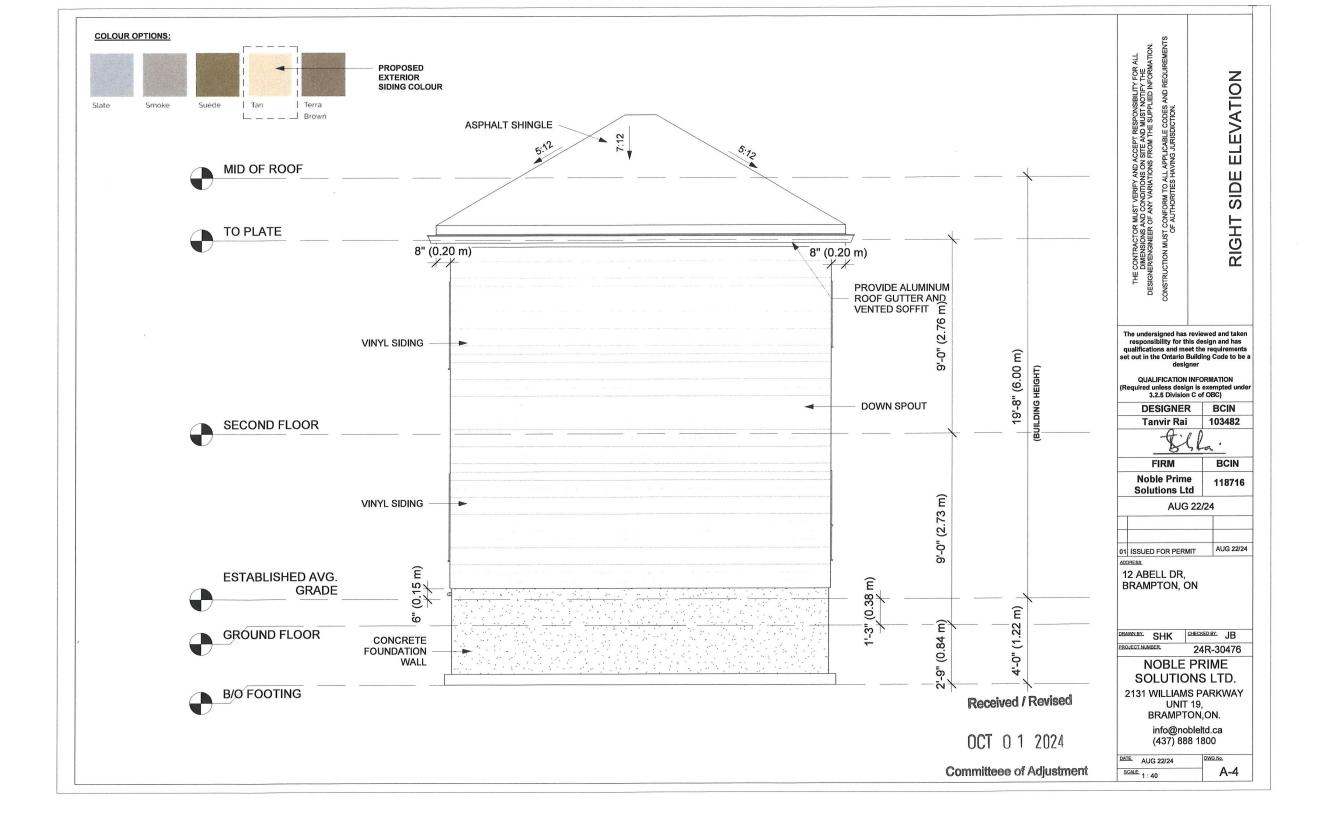
DRAWNBY: SHK CHECKED.BY: JB
PROJECT NUMBER: 24R-30476

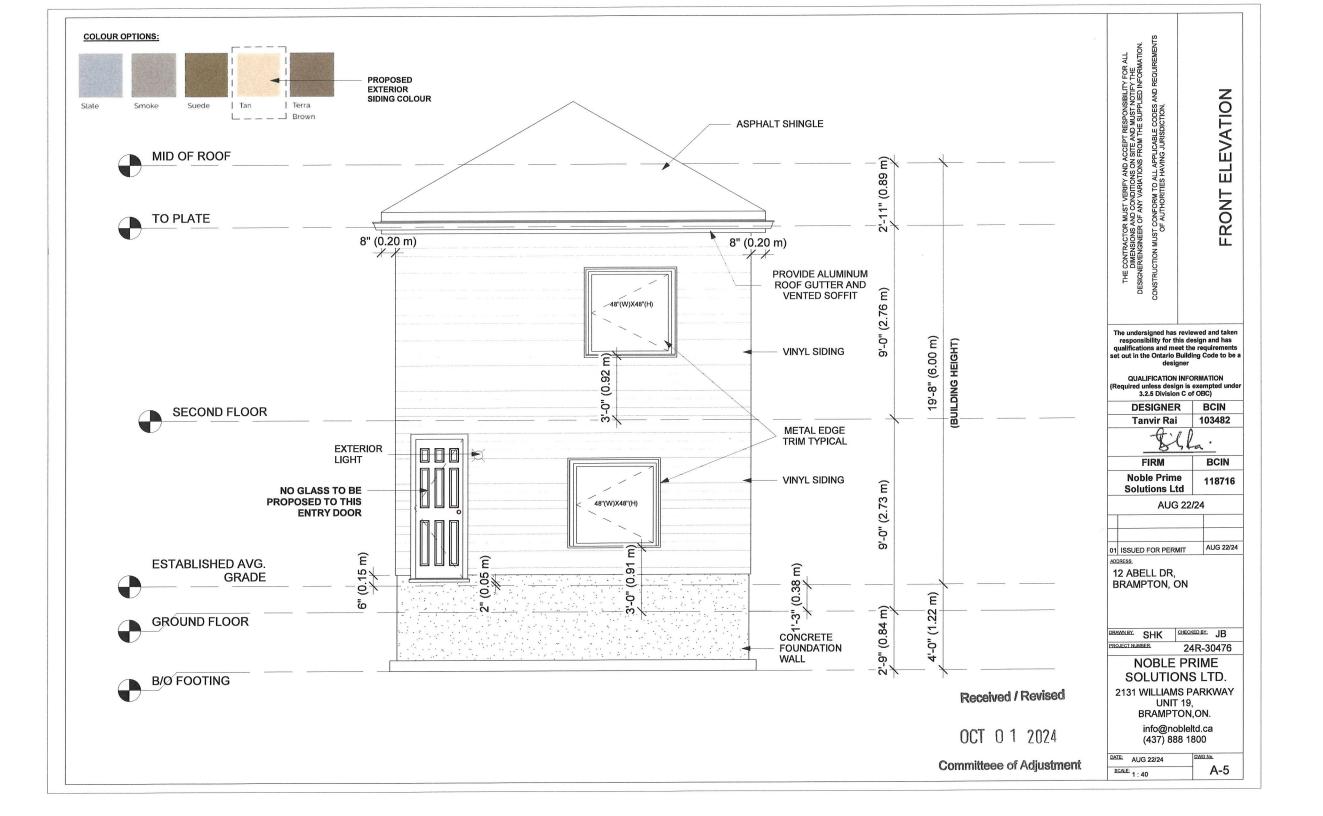
NOBLE PRIME SOLUTIONS LTD.

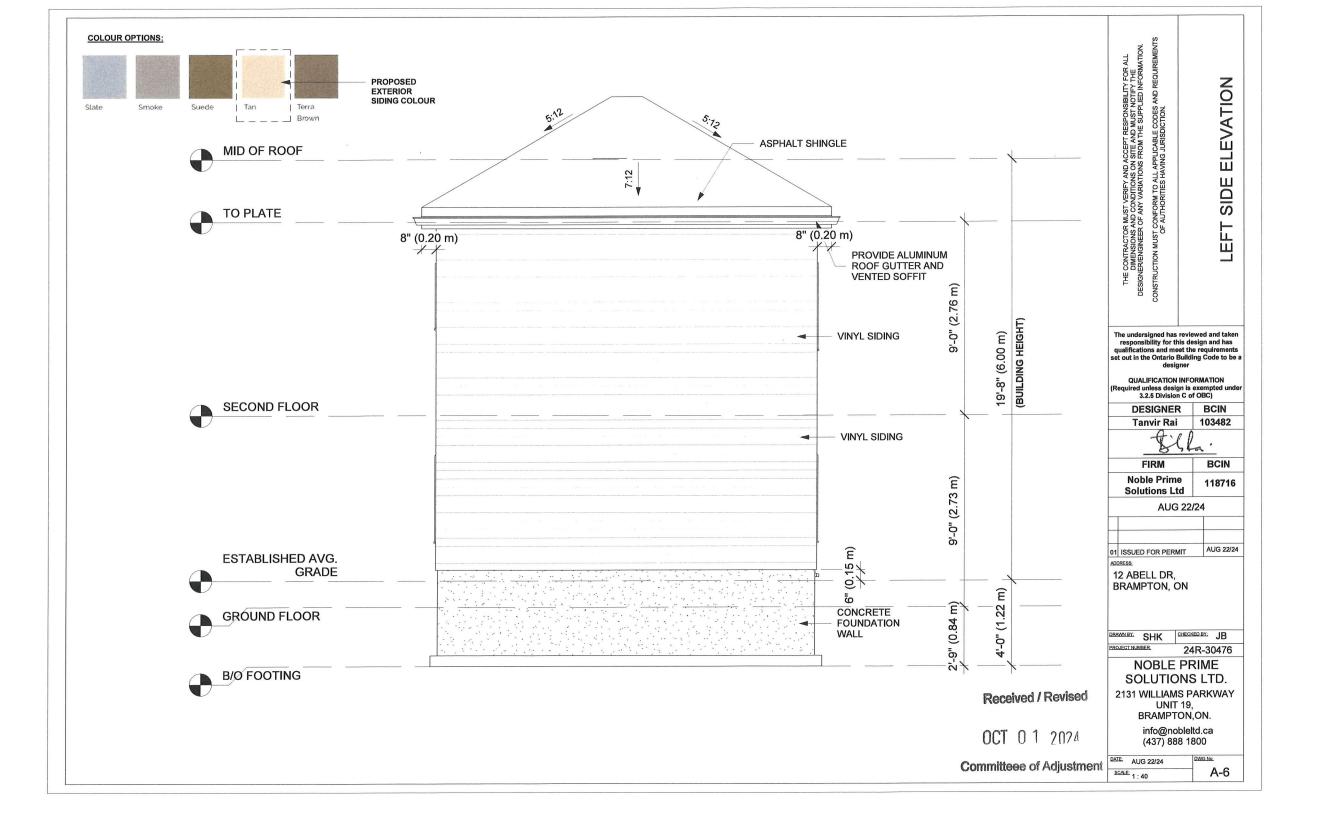
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON,ON.
info@nobleltd.ca

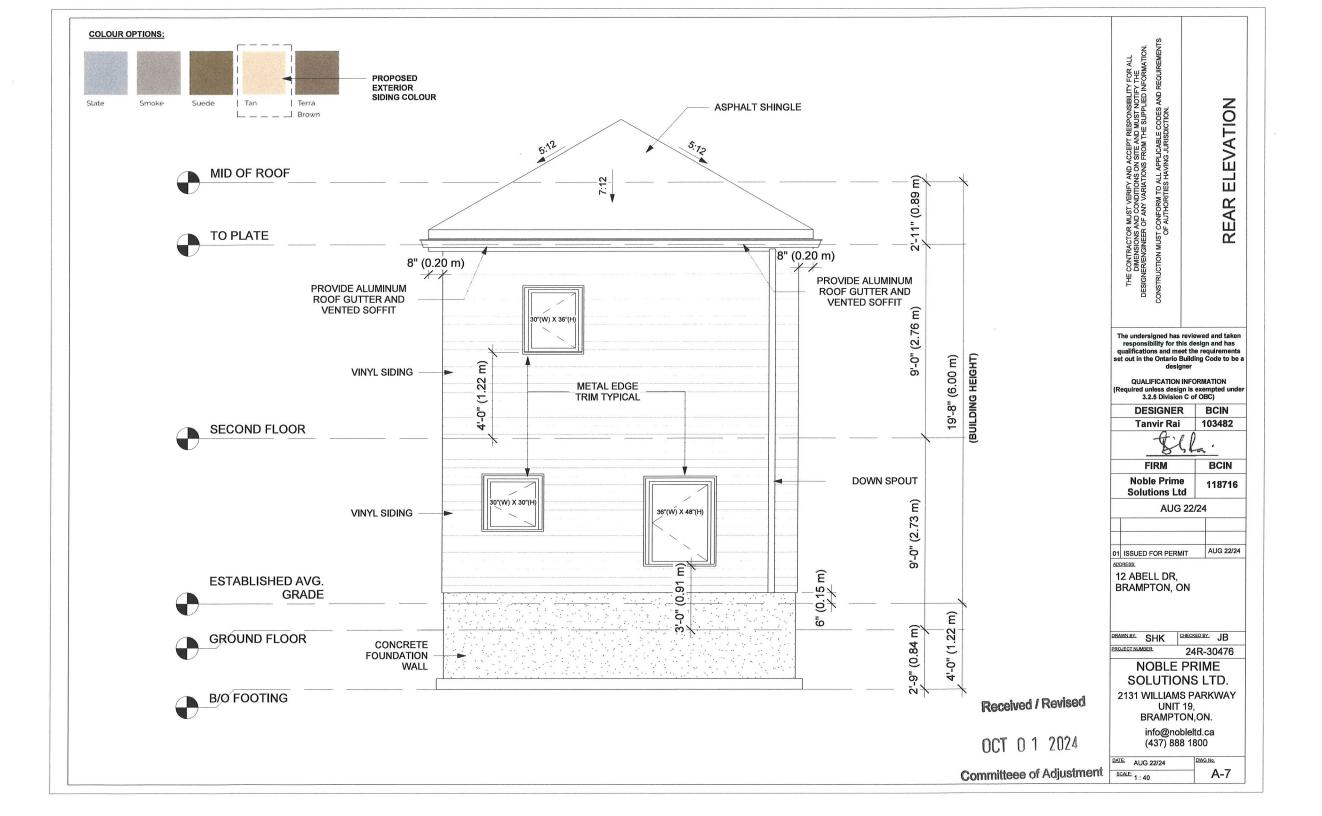
info@nobleltd.ca (437) 888 1800

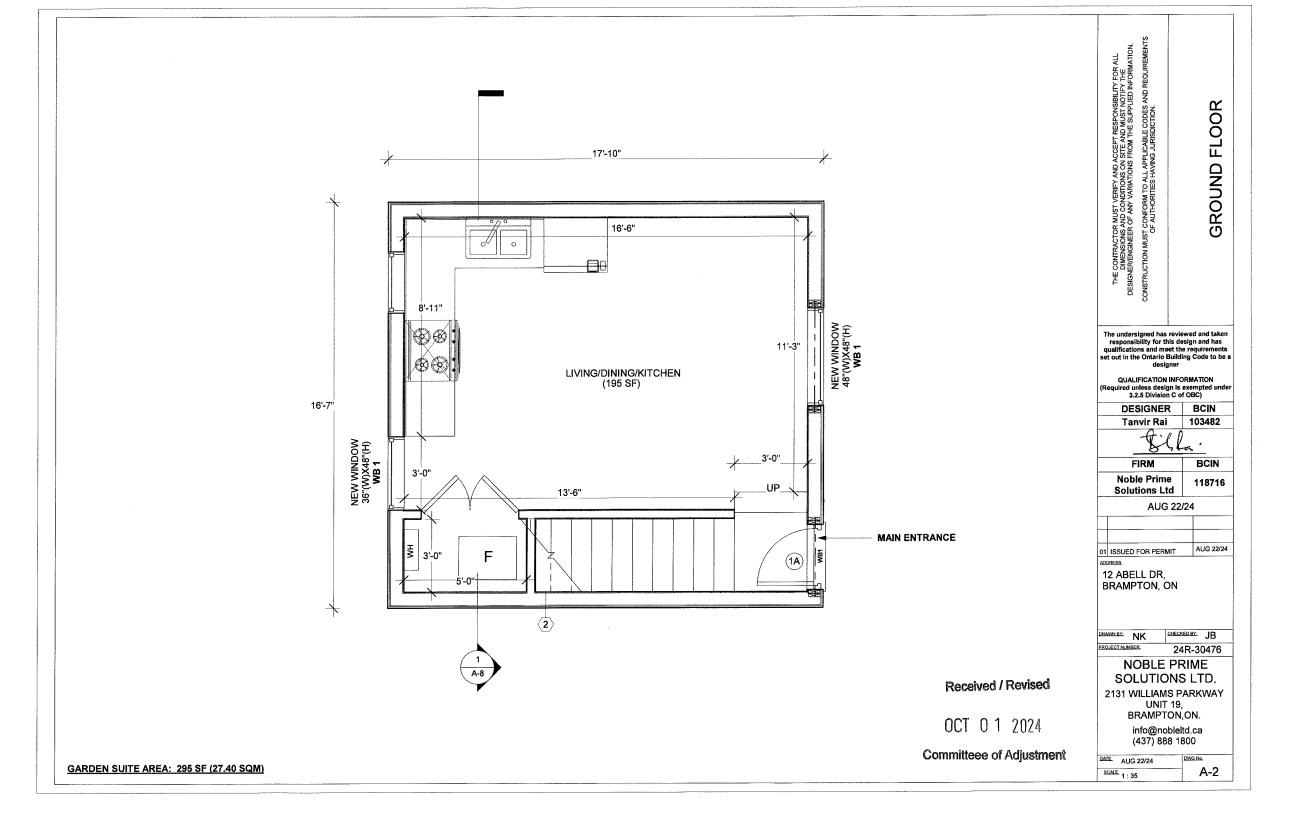
DATE: AUG 22/24 DWG No. A-3

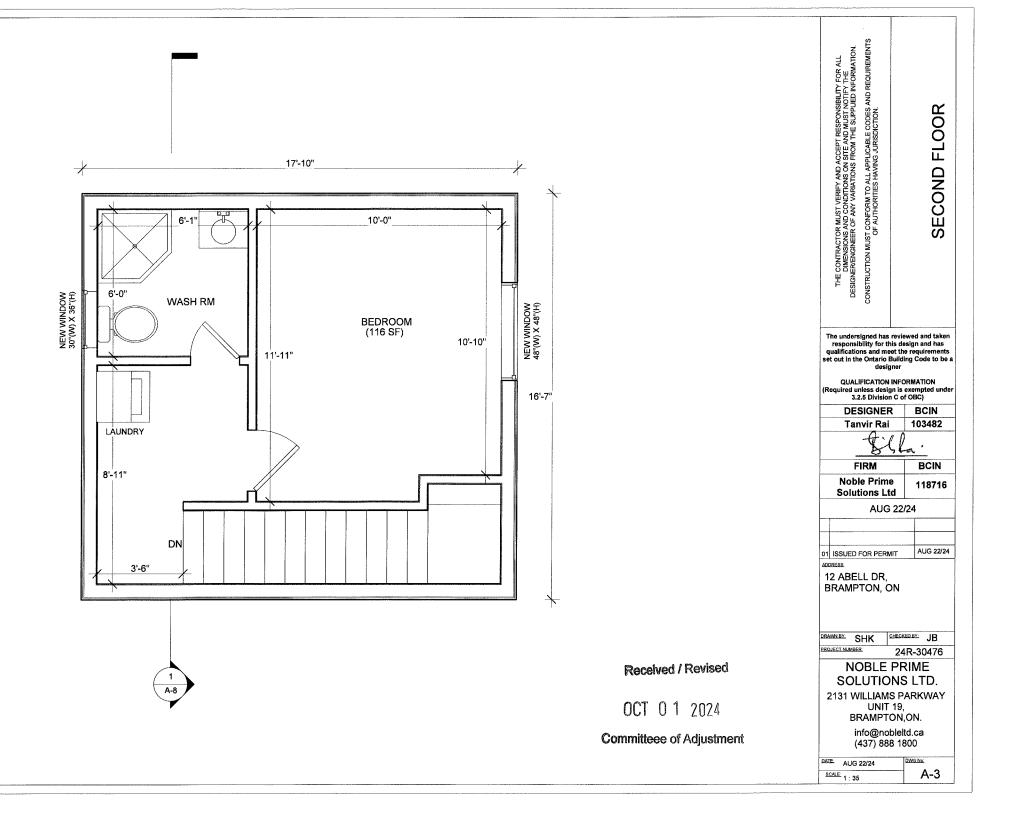


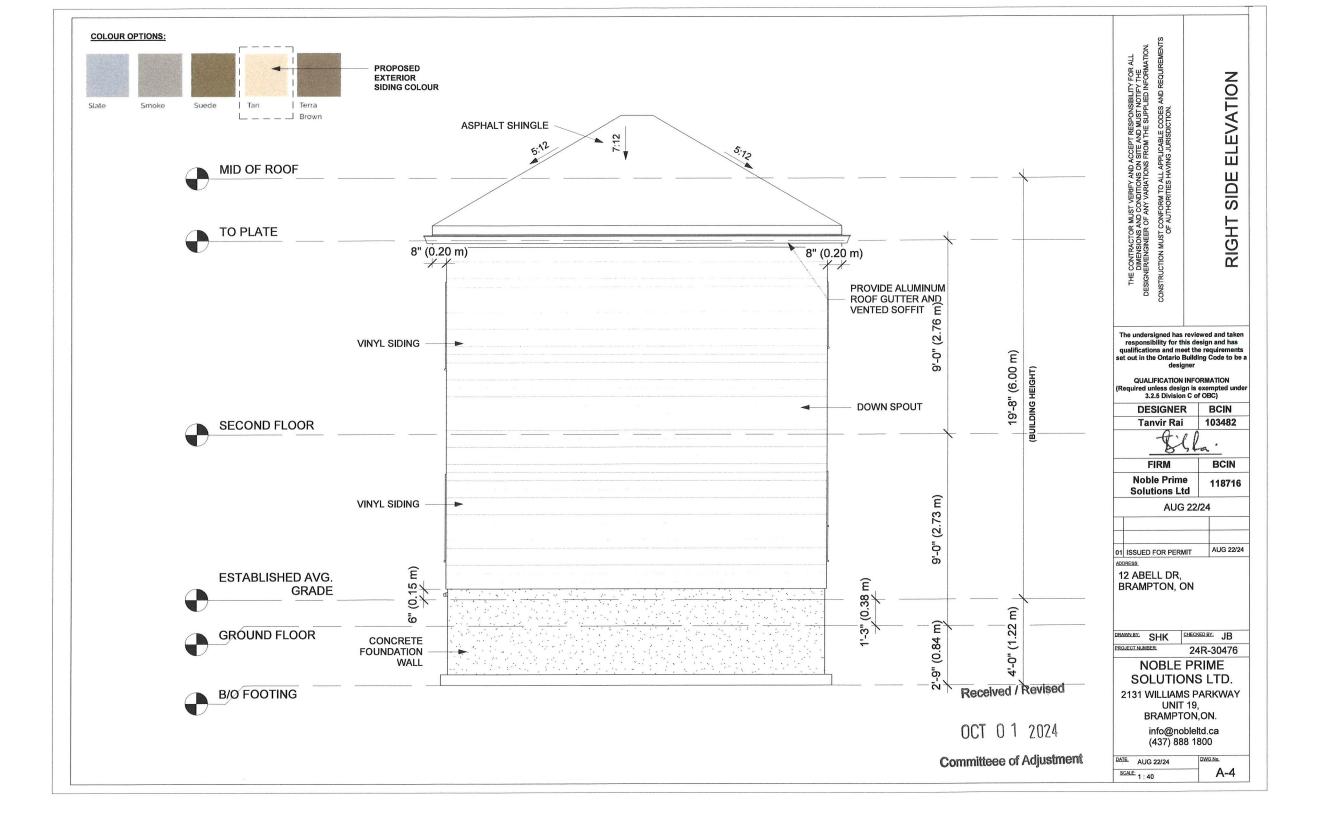


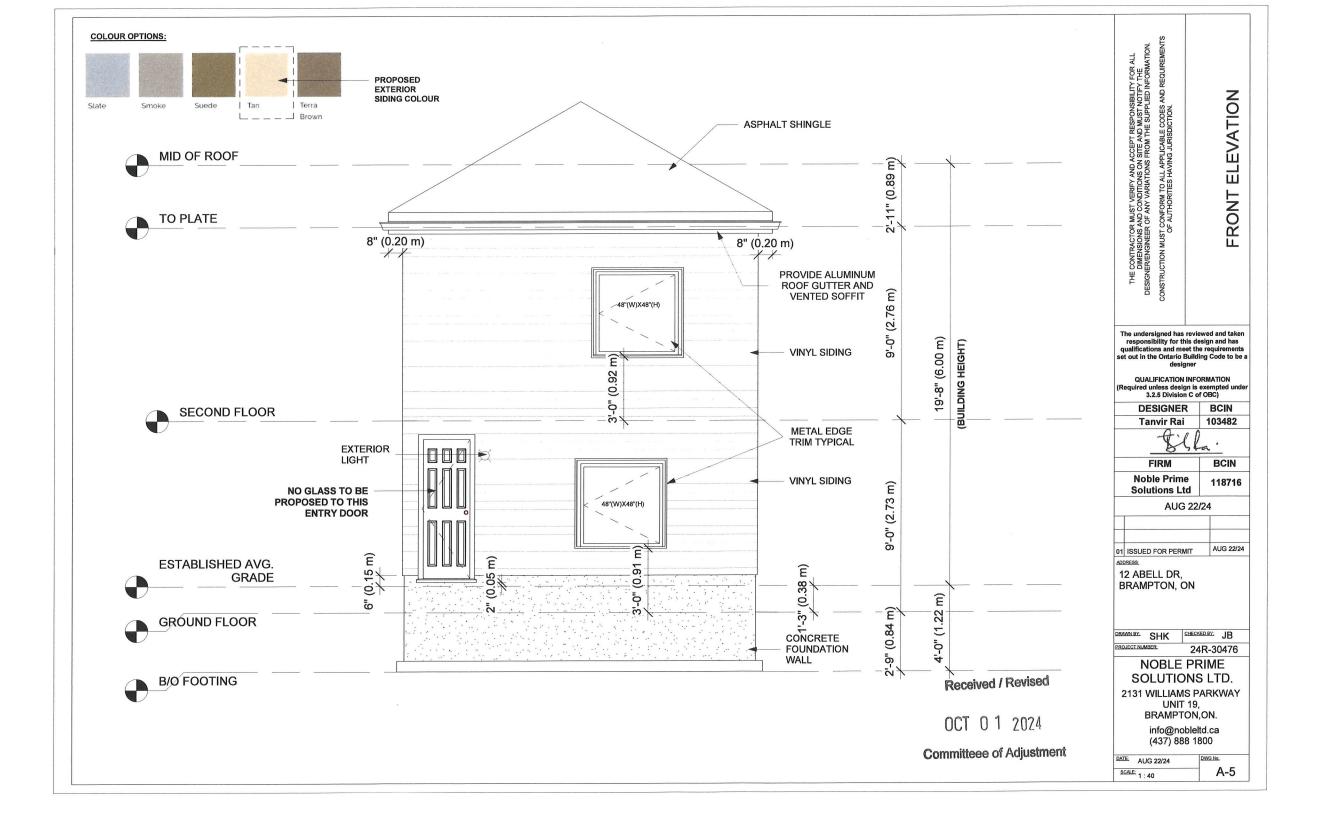


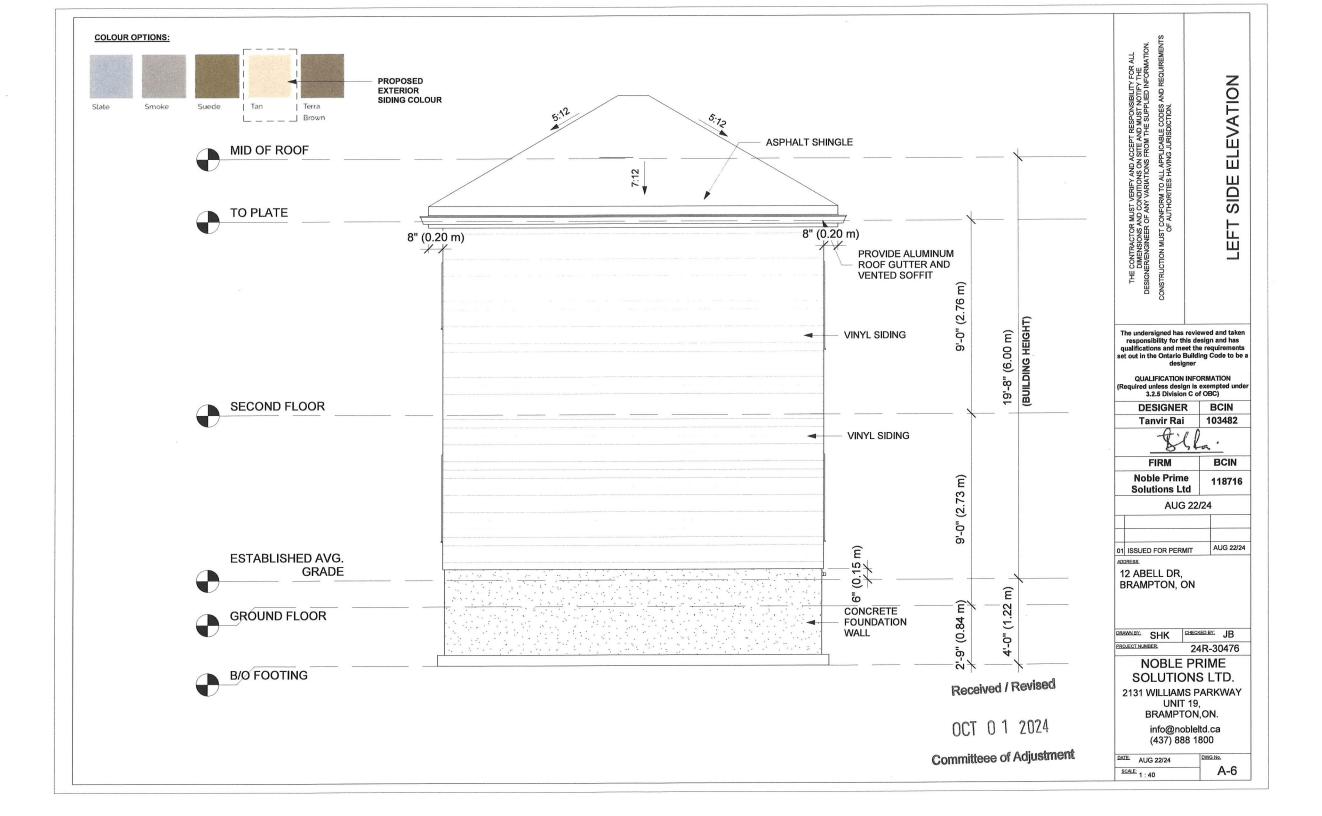


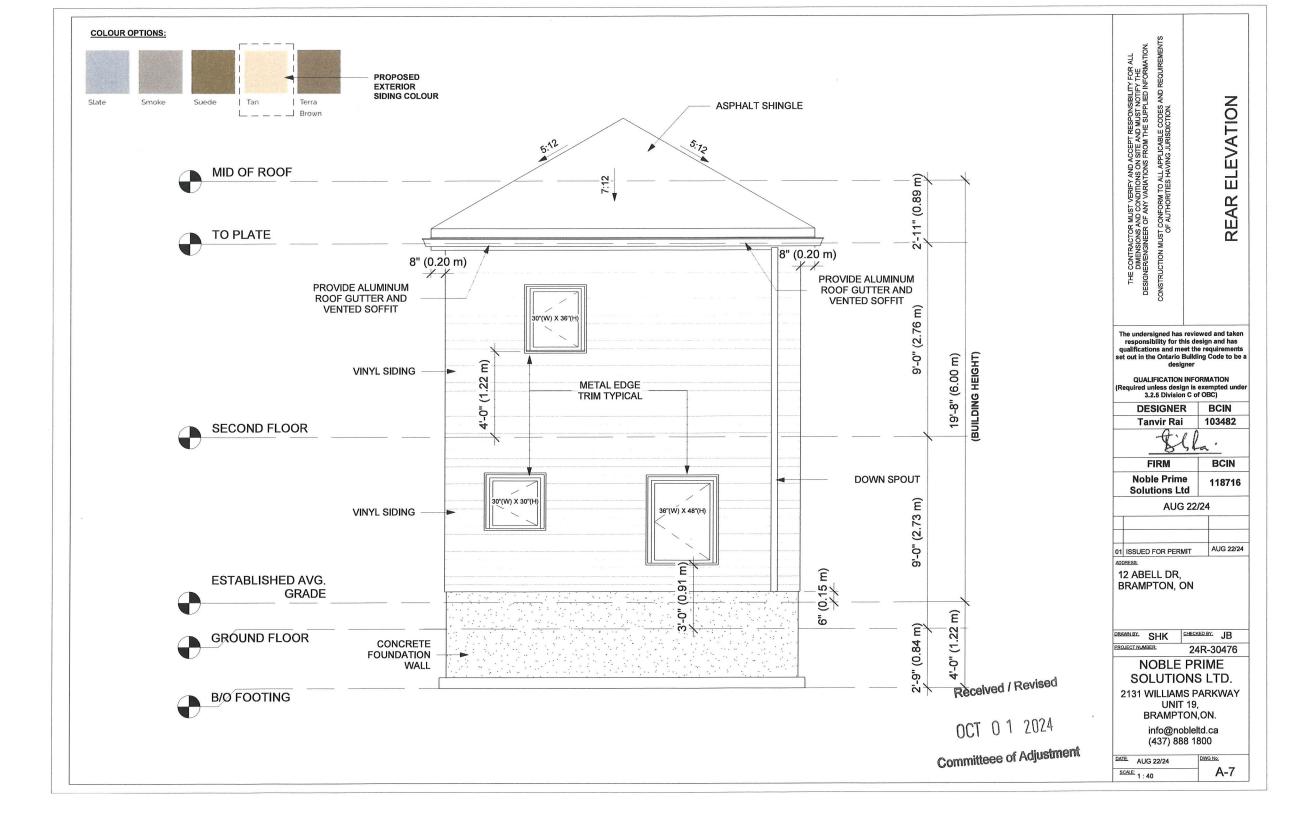












Flower City



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER:

A-2024-0359

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

1.	Name of	Owner(s) ISHAN VASUDEVA, BAB	LI BABLI		
	Address	12 ABELL DR BRAMPTON, ON, I	_6V 2V8		
	Phone #	647-219-4693		Fax#	
	Email	ISHAN.VASUDEVA1998@GMAIL.COM	-	_	
2.	Name of	Agent PAVNEET KAUR(NOBLE	E PRIME SOLUTIONS	S LTD)	
		19-2131 WILLIAMS PKWY BRAM			
	Phone #	437-888-1800		Fax #	
	Email	APPLICATIONS@NOBLELTD.CA	-		
				-	
3.	Natura ar	nd extent of relief applied for (vari	omana reguested)		
J.		RMIT A MAXIMUM BUILDING			
		RMIT A MAXIMUM BUILDING RMIT A GARDEN SUITE WIT			TING EDOM
		D OF THE DRIVEWAY INSTI			IING FROM
		5 0E 51VEV//	LAND OF THE O		
4.	Why is it	not possible to comply with the p	rovisions of the b	oy-law?	
	WHERE	AS ZONING BY LAW PERMI	ITS A MAXIMUI	M BUILDING HEIGHT	OF 4.5m FOR
	A DETA	CHED GARDEN SUITE			
	1				
				· ·	
5.	Legal Des	scription of the subject land:			
	Lot Numb				
		ber/Concession Number	M27		
	wunicipa	Address 12 ABELL DR BRAMPTON,	ON, L6V 2V8	4	
6.		n of subject land (<u>in metric units</u>))		
	Frontage				
	Depth Area	31.87 276.66			
	AIEA	2.0.00			
7.		the subject land is by:	1		
		ll Highway I Road Maintained All Year ☑	1	Seasonal Road Other Public Road	H
		ight-of-Way	i	Water	H
			_		

8.	land: (specify	<u>in metric units</u> g	d structures on or proposed for the subject round floor area, gross floor area, number of c., where possible)
	EXISTING BUILDING	SS/STRUCTURES on th	ne subject land: List all structures (dwelling, shed, gazebo, etc.)
		EMI DETACHED HO	
	PROPOSED BUILDI	NGS/STRUCTURES on	the subject land:
	DETACHED GAR	DEN SUITE WITH	THE ARE OF 27.40
9.		_	ructures on or proposed for the subject lands: and front lot lines in <u>metric units</u>)
	EXISTING		
	Front yard setback Rear yard setback	8.05 9.30	
	Side yard setback	3.15	
	Side yard setback	0	
	PROPOSED Front yard setback Rear yard setback	NO CHANGE	
	Side yard setback	1.80	
	Side yard setback		
10.	Date of Acquisition	of subject land:	
11.	Existing uses of sub	oject property:	REISDENTIAL
12.	Proposed uses of s	ubject property:	REISDENTIAL
13.	Existing uses of abo	utting properties:	REISDENTIAL
14.	Date of construction	n of all buildings & stru	actures on subject land:
15.	Length of time the e	existing uses of the sub	pject property have been continued:
16. (a)	What water supply i Municipal <u>✓</u> Well	s existing/proposed?]]	Other (specify)
(b)	What sewage dispo- Municipal Septic	sal is/will be provided1]]	Other (specify)
(c)	What storm drainag Sewers	e system is existing/pr]]]	Other (specify)

17.	Is the subject property the subject subdivision or consent?	ct of an application u	nder the Planning Act, for approval of a plan	of
	Yes No 🗸			
	If answer is yes, provide details:	File #	Status	
18.	Has a pre-consultation application	on been filed?		
	Yes No			
19.	Has the subject property ever be	en the subject of an aլ	pplication for minor variance?	
	Yes No	Unknown	~	
	If answer is yes, provide details:			
	File # Decision File # Decision		ReliefRelief	
	File # Decision		Relief	
		Cia	gnature of Applicant(s) or Authorized Agent	Cardo Statuto como
DAT	DATTUE OH			
DAII	ED AT THE	OF 040	implou.	
	(1			
THE SUB	JECT LANDS, WRITTEN AUTHOR	IZATION OF THE OWN	R ANY PERSON OTHER THAN THE OWNER NER MUST ACCOMPANY THE APPLICATION.	IF
THE APP	PLICANT IS A CORPORATION, 1 ATION AND THE CORPORATION'S	THE APPLICATION S SEAL SHALL BE AFT	HALL BE SIGNED BY AN OFFICER OF T	HE
ŀ	Rogion OF Peel	, OF TH	HE Lity OF Brampton	
IN THE	Region OF Peel	SOLEMNLY	/ DECLARE THAT:	
ALL OF T	HE ABOVE STATEMENTS ARE T	RUE AND I MAKE THI	IS SOLEMN DECLARATION CONSCIENTIOUS SAME FORCE AND EFFECT AS IF MADE UND	SLY ER
DECLARE	ED BEFORE ME AT THE			
Region	OF Percl			
IN THE	Paramet OF			
F	- D.			
(alk	THIS /5th DAY OF		Parrect Kour	
A	<u>y</u> , 20 <u>) y</u> .	S	ignature of Applicant or Authorized Agent	
C	Will E			
	A COMMISSION PROBLEM ARORA Barrister Solicitor & Notary Public			
grades and a second	Commissioner of Oaths in and for Ontario			
	Brampton Outario L6R 0Y7 Ph# 905-791-2500; Fax # 905-790-7757 Present Official Plan Designatio	FOR OFFICE USE ON	NLY	
	Present Zoning By-law Classific	ation:	R2A	
	This application has been review	ed with respect to the va	ariances required and the results of the	
		w are outlined on the att		
	JOHN C. CABRAL		2024-09-12	
	Zoning Officer		Date	
I.	DATE RECEIVED	50-	+ 13, 2024	
	Date Application Deemed	240	Revised 2022/02/	17

VL

PERMISSION TO ENTER

To: The Secretary-Treasurer Committee of Adjustment City of Brampton 2 Wellington Street West Brampton, Ontario L6Y 4R2

LOCATI	ON OF THE SUBJECT	LAND: 12 ABELL	DR. BRAMP	TON, ON, LWZI	18
l/We,	ISHAN	VASUDEVA	& BABLI	BABLI	
		please print/type the full nam	ne of the owner(s)		

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 16 day of TULY , 2024

(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 12 ABELL DR, BRAMPTON, ON, LOZV I/We, ISHAN VASUDEVA & BABLE BABLE please print/type the full name of the owner(s)
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Noble Prime Solutions Ltd
please print/type the full name of the agent(s)
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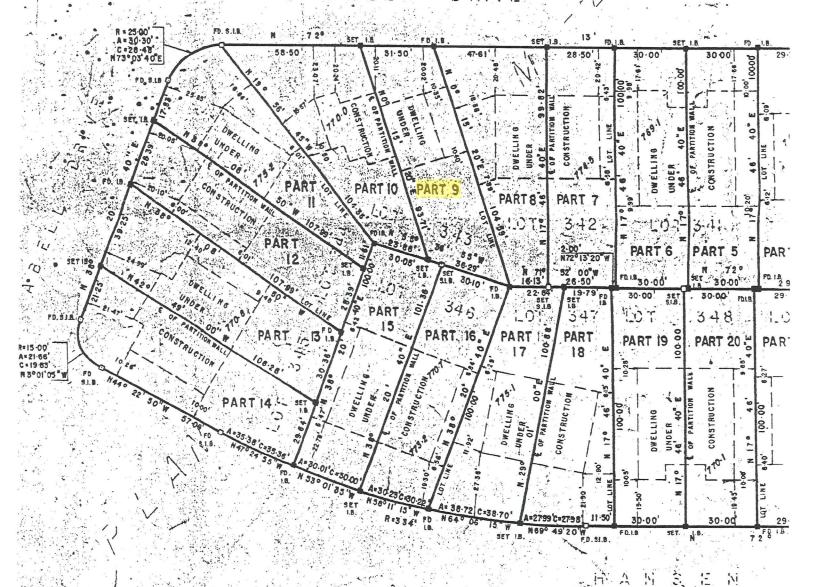
NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

DOCUMENTS RELEASED PURSUANT TO A REQUEST **UNDER THE**

MUNICIPAL FREEDOM OF INFORMATION AND

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE **USE AND REPRODUCTION OF THESE DOCUMENTS**

PLAN OF SURVEY OF LOTS 339 TO 352, BOTH INCLUSIVE, PLAN CITY OF BRAMPTON (FORMERLY TOWN OF BRAM



NOTE

DENOTES IRON BAR I "SQUARE BY 48"LONG DENOTES FROM BAR % SQUARE BY 24 LONG
DENOTES FOUND
DENOTES FINISHED FLOOR

THE N 72° 13° 20° OF THE NORTHERLY LIMIT HANSEN ROAD, ACCORDING TO PLAN M-27, GOVERNS ALL BEARINGS HEREON.

SURVEYOR'S

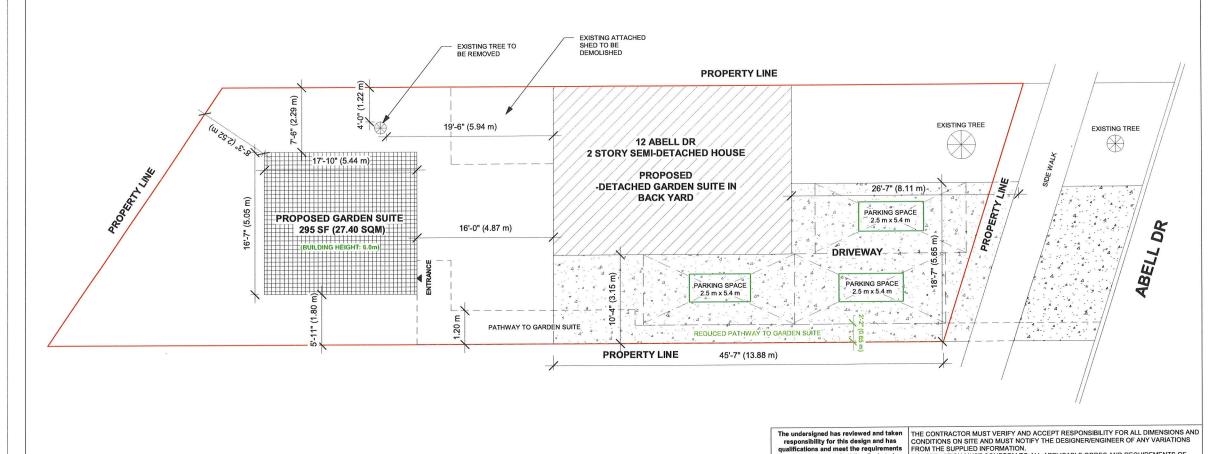
- SURVEYS AC THEREUNDE

MINOR VARIANCE

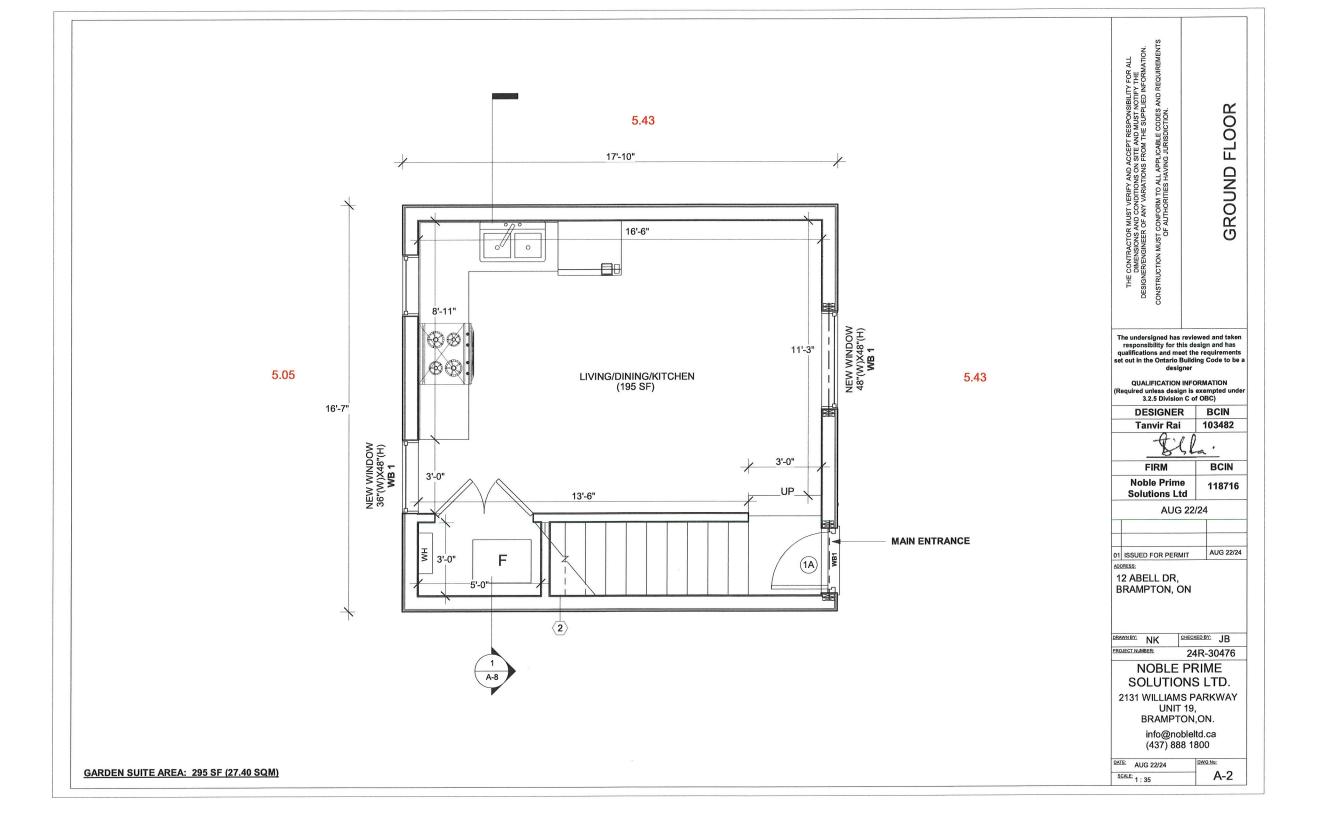
-TO PERMIT A MAXIMUM BUILDING HEIGHT OF 6.0m, WHEREAS ZONING BY LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5m FOR A DETACHED GARDEN SUITE;

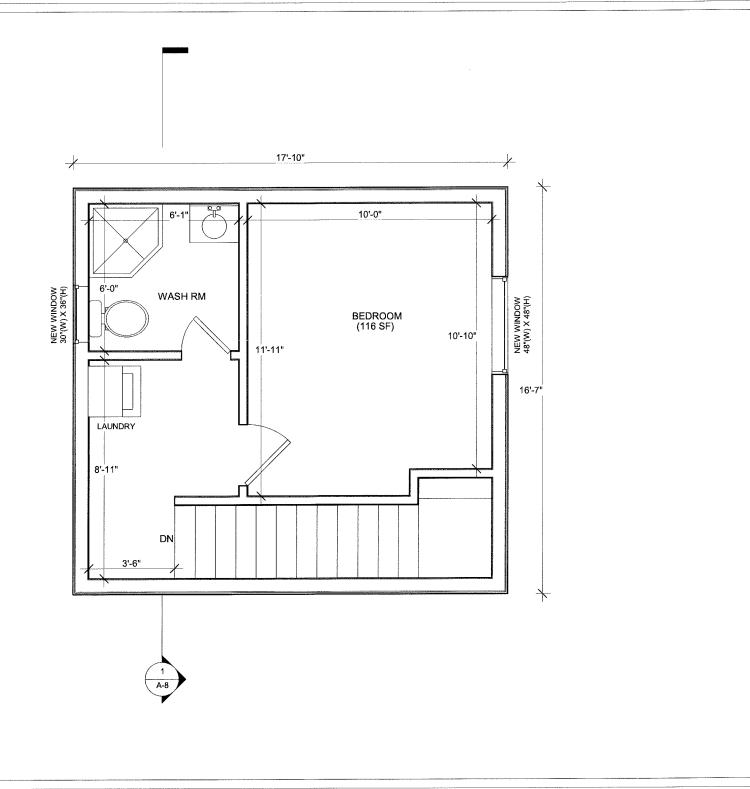
-TO PERMIT A GARDEN SUITE WITH A CLEAR ACCESS OF 0.65m FROM THE STREET, WHEREAS ZONING BY LAW REQUIRES A MINIMUM 1.2m OF CLEAR PATHWAY TO A GARDEN SUITE;

-TO PERMIT PARKING SPACES ON DRIVEWAY WITH A SIZE 2.5m X 5.4m, WHEREAS ZONING BY LAW REQUIRES A MINIMUM PARKING SIZE OF 2.7m X 5.4m ON A DRIVEWAY.



qualifications and meet the requirements CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF set out in the Ontario Building Code to be a AUTHORITIES HAVING JURISDICTION. QUALIFICATION INFORMATION **NOBLE PRIME** (Required unless design is exempted under 3.2.5 Division C of OBC) 12 ABELL DR, **SOLUTIONS LTD** BRAMPTON, ON SITE PLAN/ DESIGNER BCIN 2131 WILLIAMS PARKWAY Tanvir Rai 103482 UNIT 19, BRAMPTON, ON. **GRADING PLAN** info@nobleltd.ca (437) 888 1800 **FIRM** BCIN AUG 07/24 01 ISSUED FOR VARIANCE **Noble Prime** 118716 DRAWN BY: NK CHECKED BY: JB **Solutions Ltd** DWG No: AUG 07/24 A-1 PROJECT NUMBER: 24R-30476 SCALE: 1:100 AUG 07/24





SECOND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER BCIN 103482 Tanvir Rai

FIRM BCIN Noble Prime Solutions Ltd 118716

AUG 22/24

AUG 22/24 01 ISSUED FOR PERMIT

12 ABELL DR, BRAMPTON, ON

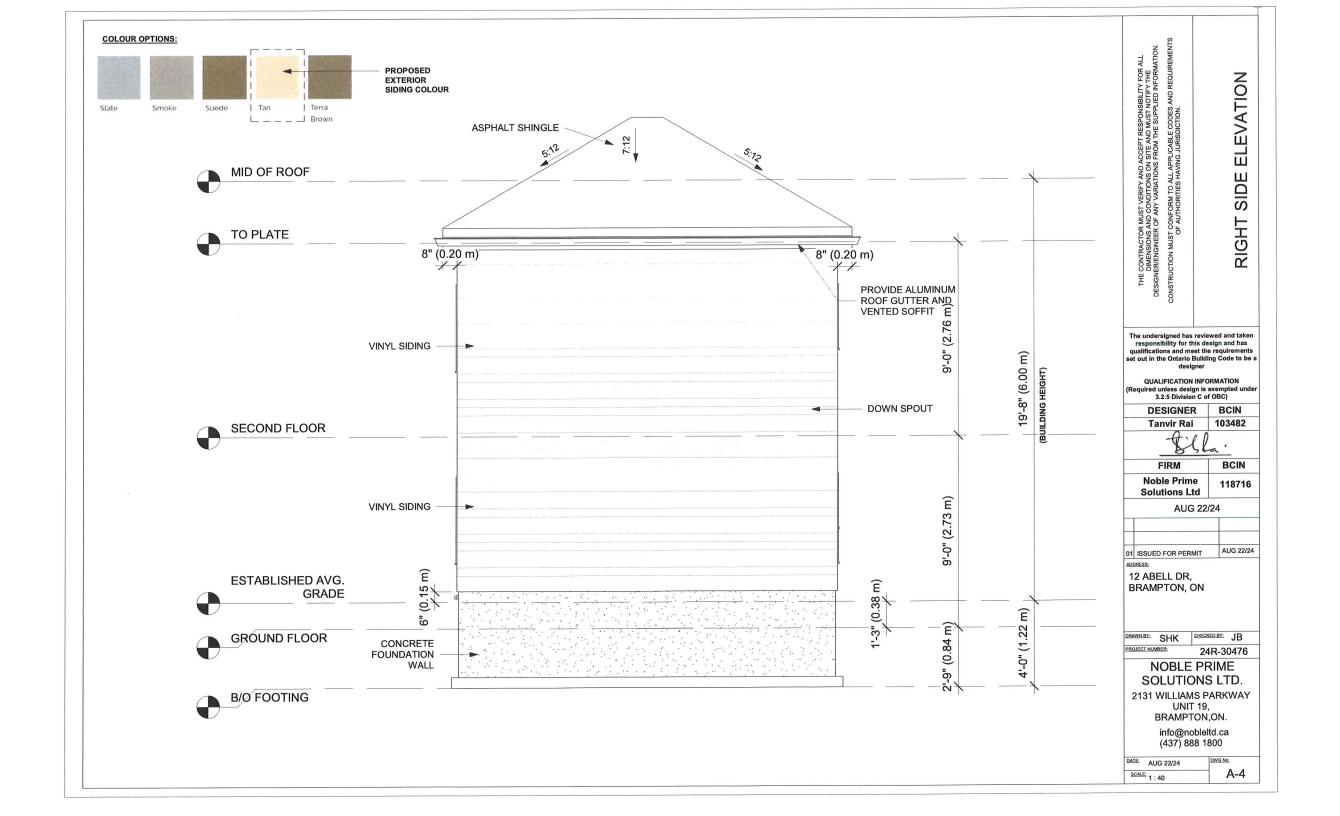
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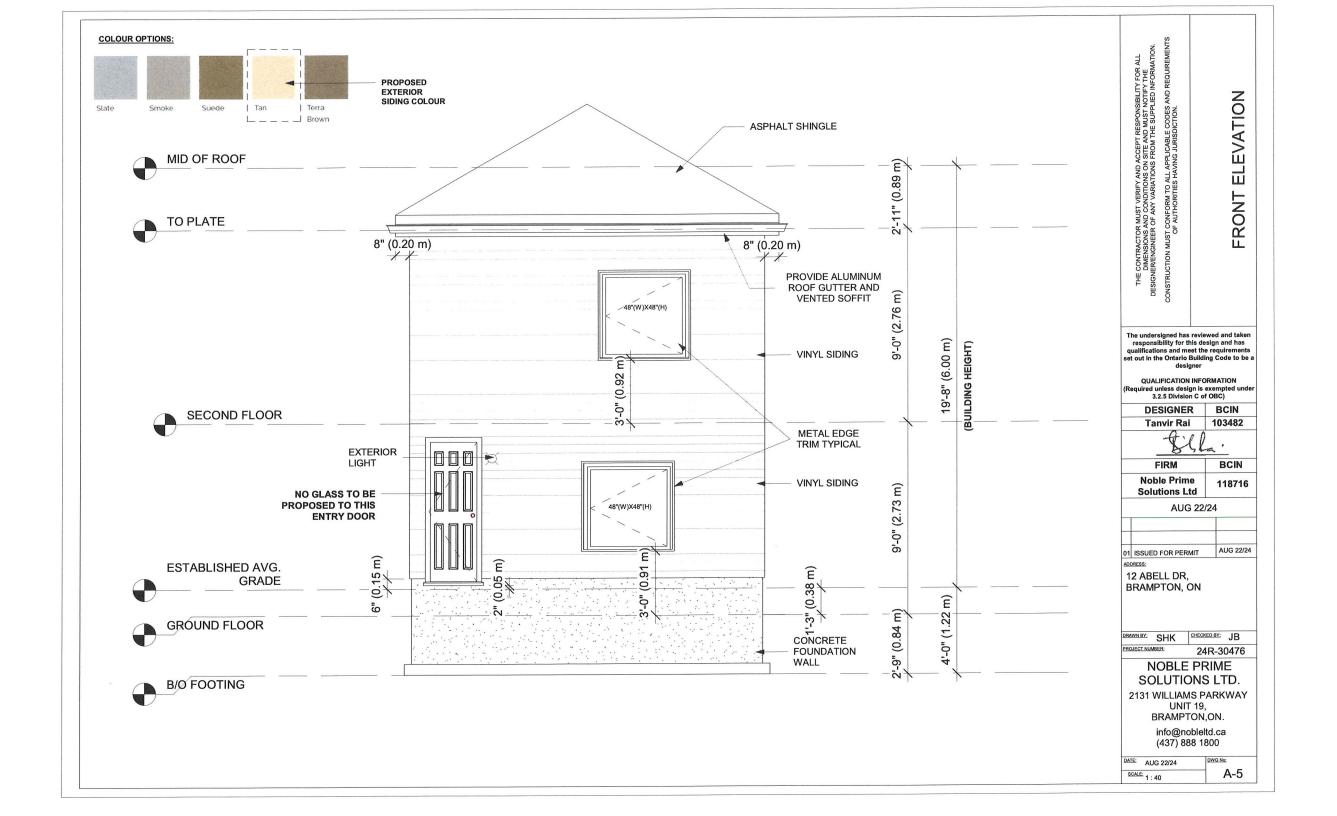
24R-30476

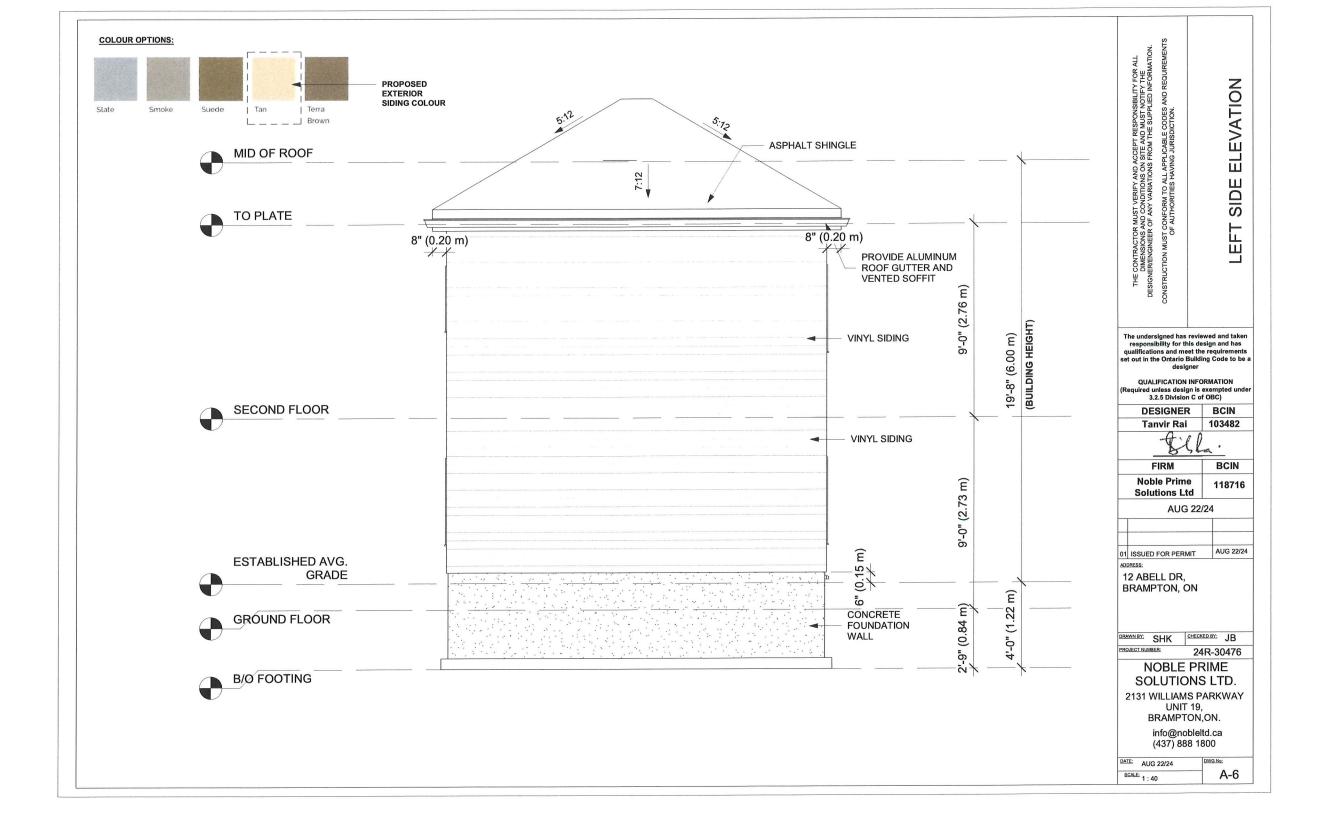
NOBLE PRIME SOLUTIONS LTD.

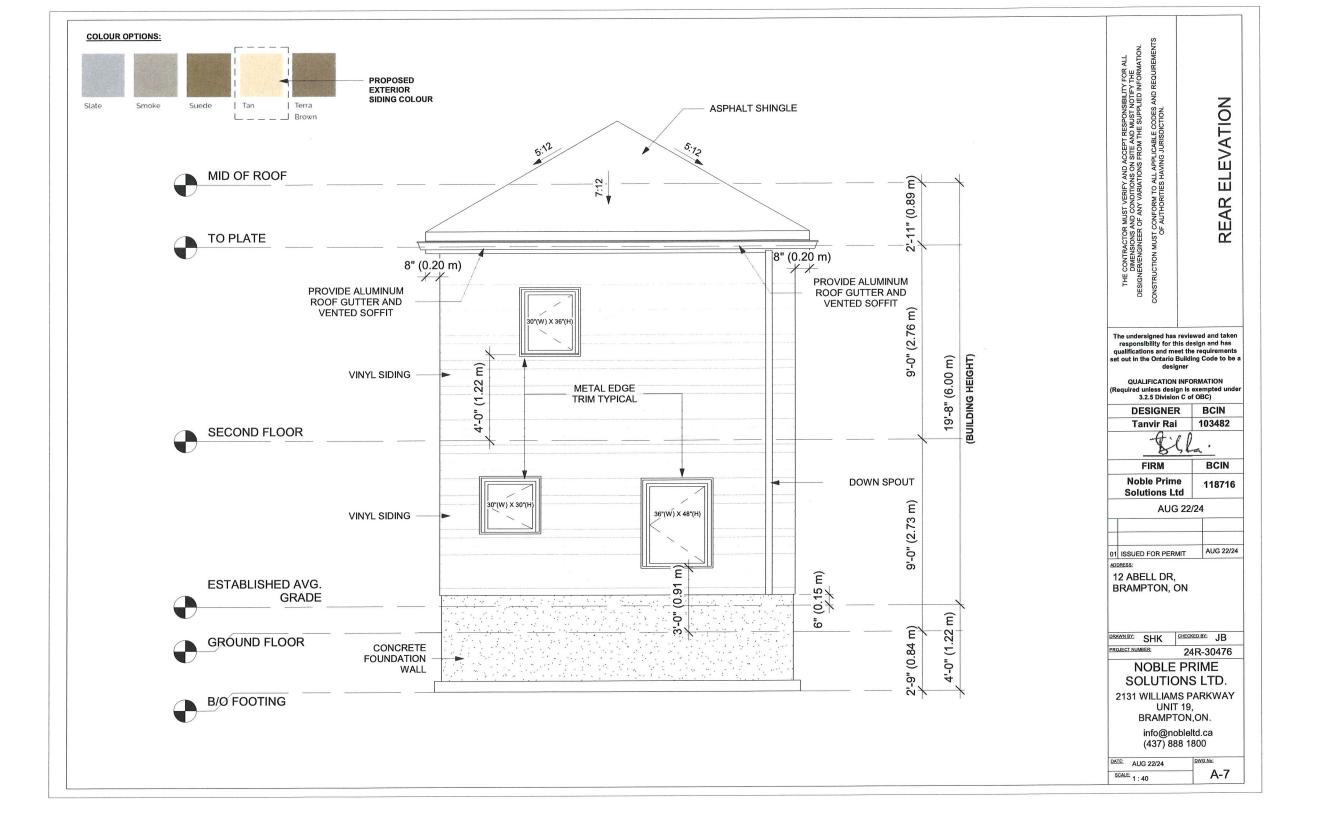
2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON,ON. info@nobleltd.ca (437) 888 1800

DATE: AUG 22/24 DWG No: SCALE: 1:35 A-3









Zoning Non-compliance Checklist

A 100 1 0 33 1	File No. A -2024-	0359
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Applicant: ISHAN VASUDEVA, BABLI BABLI Address: 12 Abell Dr, Brampton, ON L6V 2V8

Zoning: R2A

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
SETBACKS			
GARDEN SUITE	To permit a 2-storey garden suite having a maximum gross floor area of 54.84m² (590.29ft²)	Whereas the by-law permits a maximum gross floor area of 35m² in all other zones.	10.16.2.(c)
	To permit a 2-storey garden suite having a maximum building height of 6.0m (19'-8")	Whereas the by-law permits a maximum building height of 4.5m or the height of the principal building, whichever is less, on a lot in all other Residential zones	10.16.2.(h)
	To permit a 2-storey garden suite having a minimum 0.65m (2'-2") wide unobstructed pedestrian path of travel	Whereas the by-law requires a minimum 1.2m wide unobstructed pedestrian path of travel.	10.16.2.(j)
PARKING	To permit 3 parking spaces on the driveway, all having a minimum width of 2.5m	Whereas the by-law requires a minimum parking space width of 2.7m	6.17.1.(a)
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
GARAGE DOOR HEIGHT			

John C. Cabral	
Reviewed by Zoning	
,	
2024-09-12	
Date	

Appointment of Authorized Agent Two-Unit Dwelling Registration

The Chief Building Official and Director of Building

Planning & Infrastructure Services

8850 McLaughlin Road, Unit 1

City of Brampton

To:

	Brampton, ON LOT 511
Re:	Registration of a Two-Unit Dwelling at 12 ABELL DR BRAMPTON ON (munic pal address)
	LIVLYS
I/we _	ISHAN VASUDEVA & BABLI BABLI (print the full name of the owner(s)
the un	dersigned, being the registered owner(s) of the subject property, hereby authorize
	NOBLE PRIME SOLUTIONS LTD
-	(print the full name of the authorized agent(s)
to mal	ke application to the City of Brampton for registration of a two-unit dwelling on the
subjec	t lands.
Dated	this $\frac{16}{\text{(date)}}$ day or $\frac{\text{TULY}}{\text{(month)}}$, $\frac{2024}{\text{(year)}}$.
***************************************	all bolder
	(signature of owner(s))
	(signature of owner(s))
	(signature or owner(s))