

PEEL MUSEUM AND ARCHIVES - OLD JAIL WALL HERITAGE MASONRY CONSERVATION SCOPE

9 WELLINGTON STREET EAST, BRAMPTON, ON
HERITAGE CONSULTANT: +VG ARCHITECTS

GENERAL MASONRY CONSERVATION NOTES

- DIMENSIONS/AREAS/QUANTITIES SHOWN ARE APPROXIMATE
- ELEVATION DRAWINGS ARE TWO-DIMENSIONAL REPRESENTATIONS OF THE FACADE. CONSERVATION ACTIVITIES SHALL BE APPLIED TO ALL MASONRY SURFACES NOT CAPTURED ON THE ELEVATION DRAWINGS E.G. INNER FACE OF JAMBS, REVEALS, UNDERSIDES OF PROJECTING FEATURES AND DETAILS, WHETHER OR NOT SHOWN IN FULL ON THE DRAWINGS.
- PRESERVE WHEREVER POSSIBLE THE CHARACTER AND MATERIALS OF THE BUILDINGS AND NOT TO RESTORE THE BUILDING FACADES TO THEIR ORIGINAL PRISTINE AS BUILT CONDITION
- REFER TO ARCHITECTURAL DRAWINGS FOR THE COMPLETE SCOPE OF WORK & FULLY CO-ORDINATE ALL CONSERVATION WORK WITH THAT OF OTHER TRADES.
- CONDITIONS SHOWN ON DRAWINGS ARE BASED ON OBSERVED CONDITIONS FROM GRADE
- A PRE CONSTRUCTION REVIEW WILL BE CONDUCTED FROM SCAFFOLDING TO AGREE AND DETERMINE THE EXACT LOCATION AND TYPE OF CONSERVATION TREATMENTS TO BE EMPLOYED AT EACH LOCATION
- PREPARE MOCK-UPS OF THE FOLLOWING ITEMS OF WORK:
 - RAKING OUT, 2 SQM (HORIZONTAL & VERTICAL JOINTS) - 2 MOCK UP AREAS PER ELEVATION
 - REPOINTING MORTAR - COLOUR MATCHED SAMPLE(S) TO 1/1 NEAR METRE PER ELEVATION.
 - ALL CLEANING METHODS, [APPROX. 10 SQUARE FEET PER PROCEDURE]
 - REBUILDING
- MOCK-UPS SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED TO THE SATISFACTION OF THE HERITAGE CONSULTANT. APPROVED MOCK-UPS SHALL FORM THE STANDARD FOR THE METHOD AND QUALITY OF WORK TO BE PERFORMED THROUGHOUT THE PROJECT.
- THE MASON/SUBCONTRACTOR/OR CONSERVATOR SHALL HAVE EXTENSIVE EXPERIENCE IN THE APPLICATION OF SIMILAR CONSERVATION TREATMENTS AND SHALL SUBMIT A LIST OF PROJECTS AND REFERENCES WITH THE NAMES OF THE INDIVIDUALS IN A TEAM CONCERNED. THE CONSERVATOR SHOULD BE OF RECOGNIZED STANDING IN THE FIELD OF STONE CONSERVATION WITH A MINIMUM OF THREE YEARS RELATED EXPERIENCE IN THE DAY-TO-DAY PRACTICAL CONSERVATION OF TRADITIONAL RUBBLE STONE MASONRY.

EXISTING CONDITIONS:

EXISTING LIMESTONE RUBBLE WALL TO BE CONSERVED. GENERAL STEAM CLEANING USING JOS OR ROTEC PROPRIETARY SYSTEM. HEAVY ENVIRONMENTAL STAINING TO BE CLEANED USING ADDITIONAL TREATMENTS. REMOVE DETEIORATED MORTAR AND REPOINT. REPAIR DETEIORATED OR CRACKING MASONRY. REPLACE DETEIORATED UNITS. RESET CAPSTONES AND SECURE USING STAINLESS STEEL PINS. INSTALL NEW THROUGH WALL FLASHING WITH DRIP

MASONRY CLEANING:

- 100% OF THE MASONRY WALL TO BE RETAINED SHALL BE CLEANED.
- GENERALLY, THE GENTLEST CLEANING METHOD POSSIBLE SHALL BE USED TO ACHIEVE THE AGREED LEVEL OF CLEAN WITHOUT DAMAGE TO SUBSTRATE
- THE ENTIRE WALL TO BE RETAINED SHALL BE CLEANED USING A PROPRIETARY, LOW PRESSURE FINE AGGREGATE MICRO ABRASIVE ROTATING VORTEX CLEANING SYSTEM (E.G. JOS/TORC, ROTEC OR EQUIVALENT)
- NOTE: ATMOSPHERIC STAINING IS PRESENT ON ALL STONES. LOSS OF CRUST & DAMAGE TO STONE IS TO BE AVOIDED. REVIEW WITH ARCHITECT ON SITE PRIOR TO FURTHER CLEANING. REMOVE ALL CONSTRUCTION STAINING AND DEBRIS FOR AREAS OF HEAVY ENVIRONMENTAL STAINING ALLOW FOR ADDITIONAL APPLICATION OF CHEMICAL CLEANER OR POULICE CLEANING MEDIUM, APPROPRIATE TO THE SOILING AND TO BE DETERMINED BY TRIALS ON SITE.
- HEAVY ENVIRONMENTAL STAINING. ADDITIONAL CLEANING REQUIRED. ALLOW CHEMICAL CLEANING PRODUCT SUCH AS PROSOCCO SHURECLEAN OR SIMILAR APPROVED
- EFFLORESCENCE: REMOVE USING ATAPULGITE CLAY POULICE MEDIUM TO DRAW OUT SALTS. ALLOW FOR 2x REPEAT APPLICATIONS IN SEVERELY AFFECTED LOCATIONS
- BIOLOGICAL STAINING - ADDITIONAL CLEANING REQUIRED - ALLOW APPLICATION OF D/2 OR SIMILAR APPROVED BIOCID
- WALL CLIMBING CREEPER PLANTS/ IVY - CUT AWAY GROWTH AND REMOVE ROOTS WITH STIFF FIBRE BRUSHES AND DETERGENT
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MASONRY CONSERVATION:

- DAMAGED OR UNSOUND MASONRY AREA - MASONRY REBUILD REQUIRED. REPAIR THE EXISTING MASONRY AND RETURN IT TO A SOUND, DURABLE CONDITION IT IS NOT INTENDED THAT ALL MISSING OR DAMAGED FACES AND PROFILES SHOULD BE MADE PERFECT BUT THAT THE BUILDING SHOULD STILL SHOW ITS AGE AND CHARACTER WHEN THE WORK IS COMPLETED. TAKE DOWN AREAS OF SEVERELY DETEIORATED STONE WORK IN MAXIMUM 1000 MM WIDE SECTIONS WHERE LOAD BEARING REMOVE OLD MORTAR AND CLEAN ALL UNITS TO BE RE-INCORPORATED INTO THE WORK.
- DETERIORATION - STONE TO BE CONSERVED, SCALE OR RUB BACK, OR WHERE MISSING, BLOWN APART OR FAILED. REPLACE WITH SALVAGED STOCK TO MATCH SURROUNDING EXISTING
- CRACKING MASONRY WALL - REBUILD WALL USING EXISTING STONE UNITS, NEW BEDDING AND REPOINTING MORTAR, UTILIZING EMBEDDED HELICAL TIE ANCHORS AND/OR THREADED ROD REPAIR SEE DETAIL 01/ HC-03
- EXISTING ANCHOR - TO BE REMOVED
- EXISTING VOID - TO BE FILLED
- EXISTING COPING STONES TO BE REMOVED AND RE-SET WITH NEW EMBEDDED S/S DOWELS AND NEW LEAD FLASHING WITH DRIP EDGE. REFER TO DETAIL 03/ HC-03
- MISSING OR FAILED MASONRY UNIT - REPLACE USING MATCHING OR SALVAGED MATERIAL
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- CAPSTONES GENERALLY: REMOVE EXISTING STONES AND EXISTING FLASHING BELOW. INSTALL NEW LEAD THROUGH-WALL FLASHING. REINSTATE AND SECURE NEW STONE IN PLACE USING STAINLESS STEEL DOWELS. REFER TO DETAIL 04/HC-03

REPOINTING

CAREFULLY RAKE OUT AND REPOINT ALL CRACKED, SPALLED, CHALKED, DUSTED OR OTHERWISE CRUMBLING AND EXCESSIVELY WEATHERED BACK POINTING MORTAR, AND INAPPROPRIATE CEMENTITIOUS MORTAR FROM PREVIOUS REPAIR CAMPAIGNS

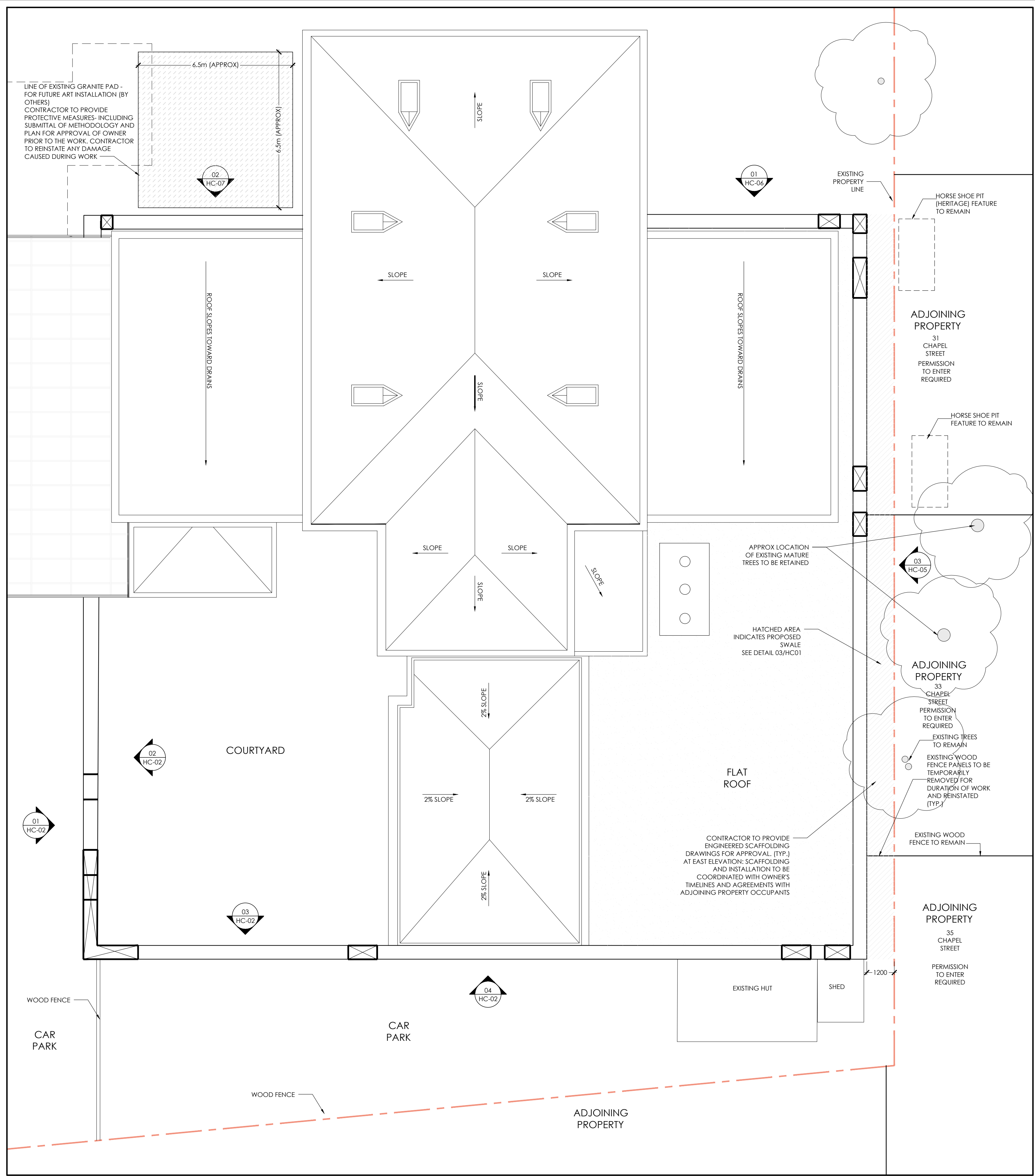
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THE EXISTING MORTAR TO BE RAKED OUT VARIES IN HARDNESS CONSISTENCY, CONDITION AND TYPE. REFER TO EXISTING MORTAR SURVEY AND ANALYSIS REPORT DATED 26 MAY 2023

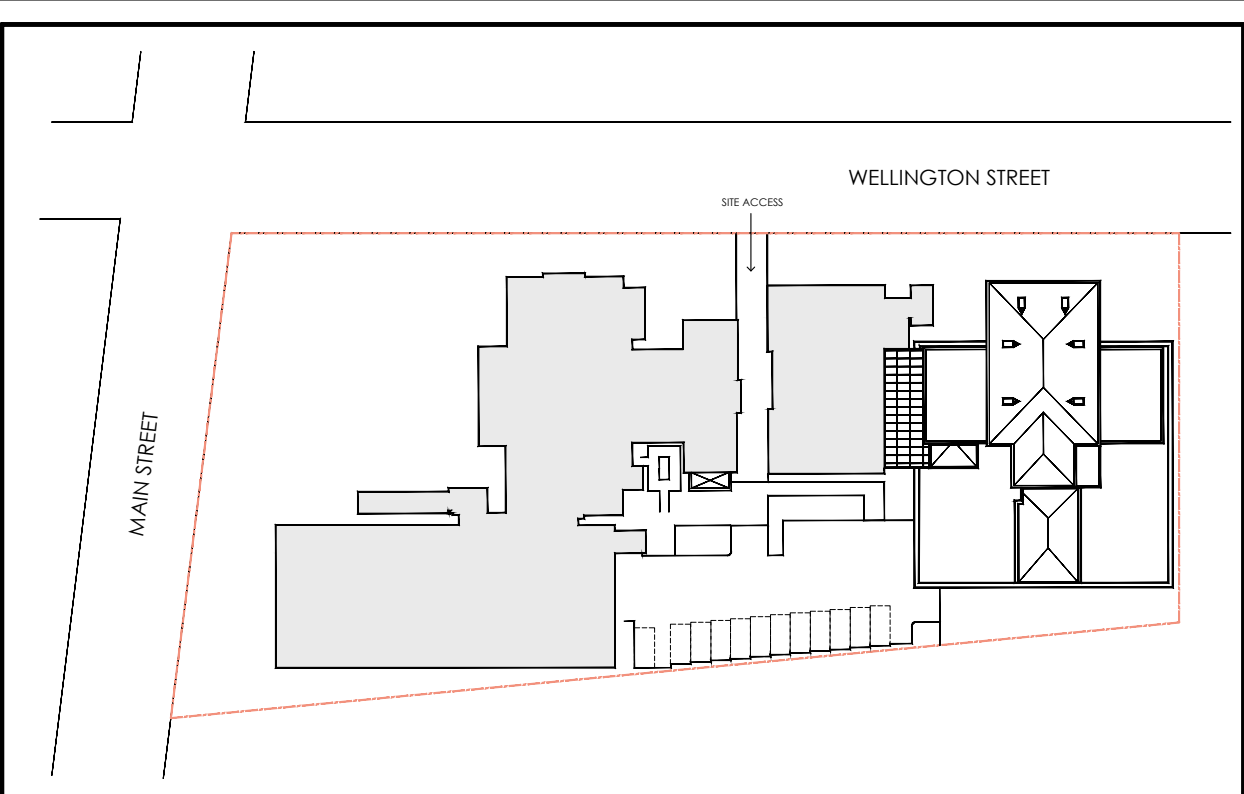
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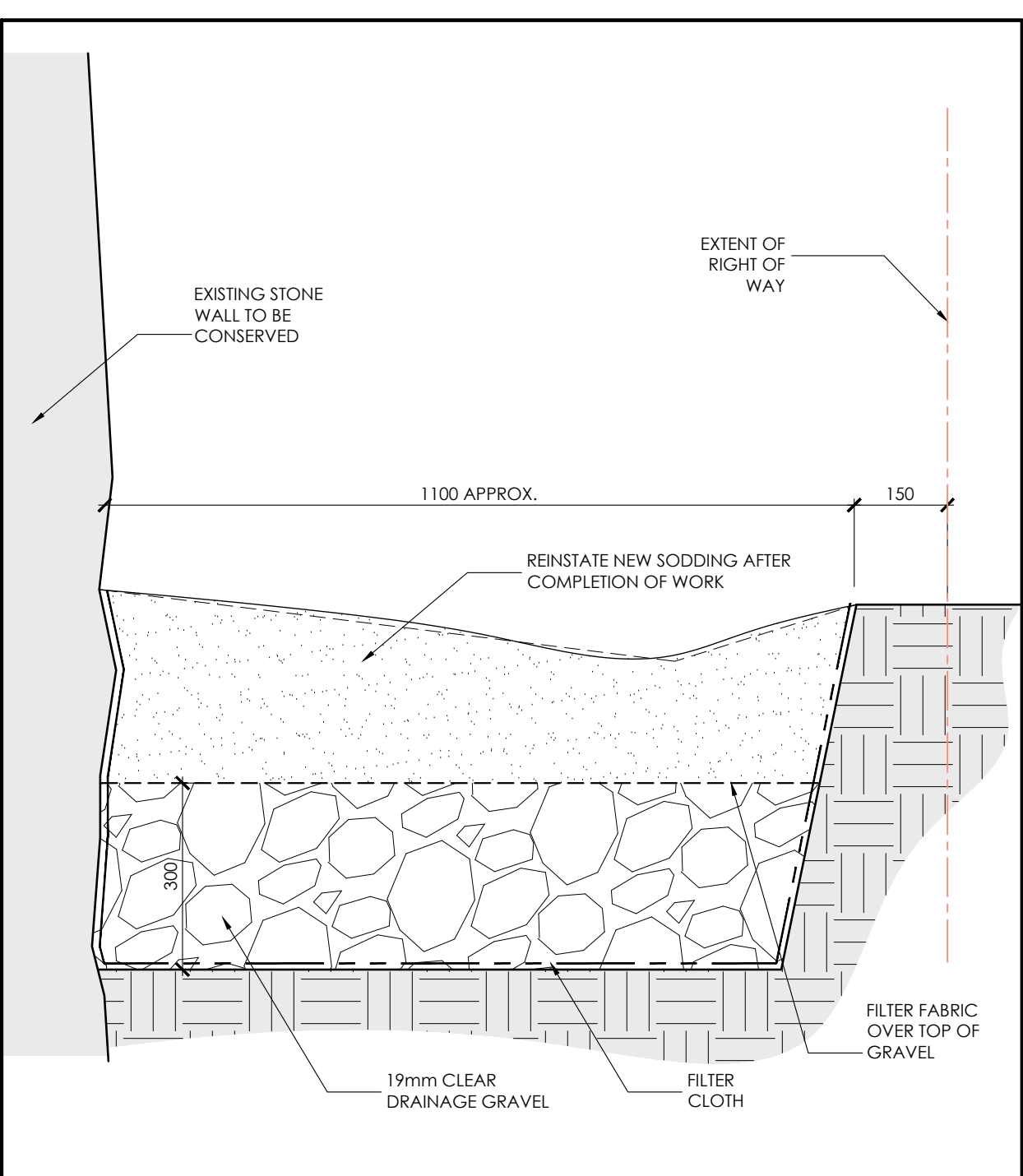
00 CONSERVATION LEGEND & NOTES
HC-01 N/A



01 SITE PLAN
HC-01 1:100



02 KEY PLAN
HC-01 1:1000



03 TYPICAL SWALE DETAIL AT EAST WALL
HC-01 1:100

- HERITAGE CONSERVATION SCOPE DRAWING LIST:**
- HC 01 - SITE PLAN & LANDSCAPE DETAILS
 - HC 02 - WALL ELEVATIONS - MASONRY CONSERVATION SCOPE
 - HC 03 - TYPICAL MASONRY CONSERVATION DETAILS
 - HC 04 - BUILDING 9 (JAIL) WINDOW REPLACEMENT

04 DRAWING LIST
HC-01 N.T.S.

REVISIONS

NO.	DATE	PARTICULAR
1	231031	DRAFT FOR CLIENT REVIEW
2	240531	PRE-TENDER REVIEW
3	240617	ISSUED FOR PERMIT APPLICATION

NOTES:

KEY PLAN:

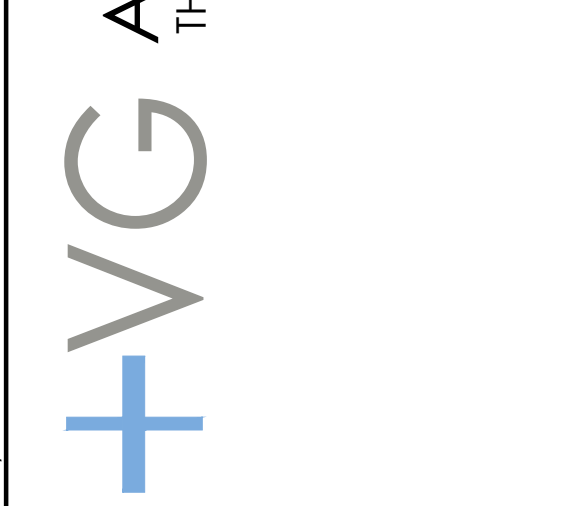
CLIENT:

MOON-MATZ LTD.
2902 SOUTH SHERIDAN WAY, SUITE 300
OAKVILLE, ON L6J 7L6

PROJECT:

22298
HERITAGE REPAIRS & JAIL WINDOW REPLACEMENT
PAMA - PEEL MUSEUM AND ARCHIVES
7 & 9 WELLINGTON ST E
BRAMPTON, ON - L6W 1Y1

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN



OWNER:
PAMA
PEEL ART GALLERY MUSEUM + ARCHIVES
THE REGION OF PEEL
10 PEEL CENTRE DRIVE,
SUITE B
BRAMPTON, ON L6T 4B9

CONSULTING ENGINEER:
MOON-MATZ LTD.
2902 SOUTH SHERIDAN WAY,
SUITE 300,
OAKVILLE, ON L6J 7L6

HERITAGE CONSULTANT:
+VG ARCHITECTS
THE VENTIN GROUP LTD.
+VG ARCHITECTS
52 SCARSDALE ROAD,
SUITE 212,
TORONTO, ON. M3B 2R7.

**PEEL ART GALLERY MUSEUM AND ARCHIVES
OLD JAIL WALL MASONRY CONSERVATION**

HC-01

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1:100

SITE PLAN & LANDSCAPE DETAIL

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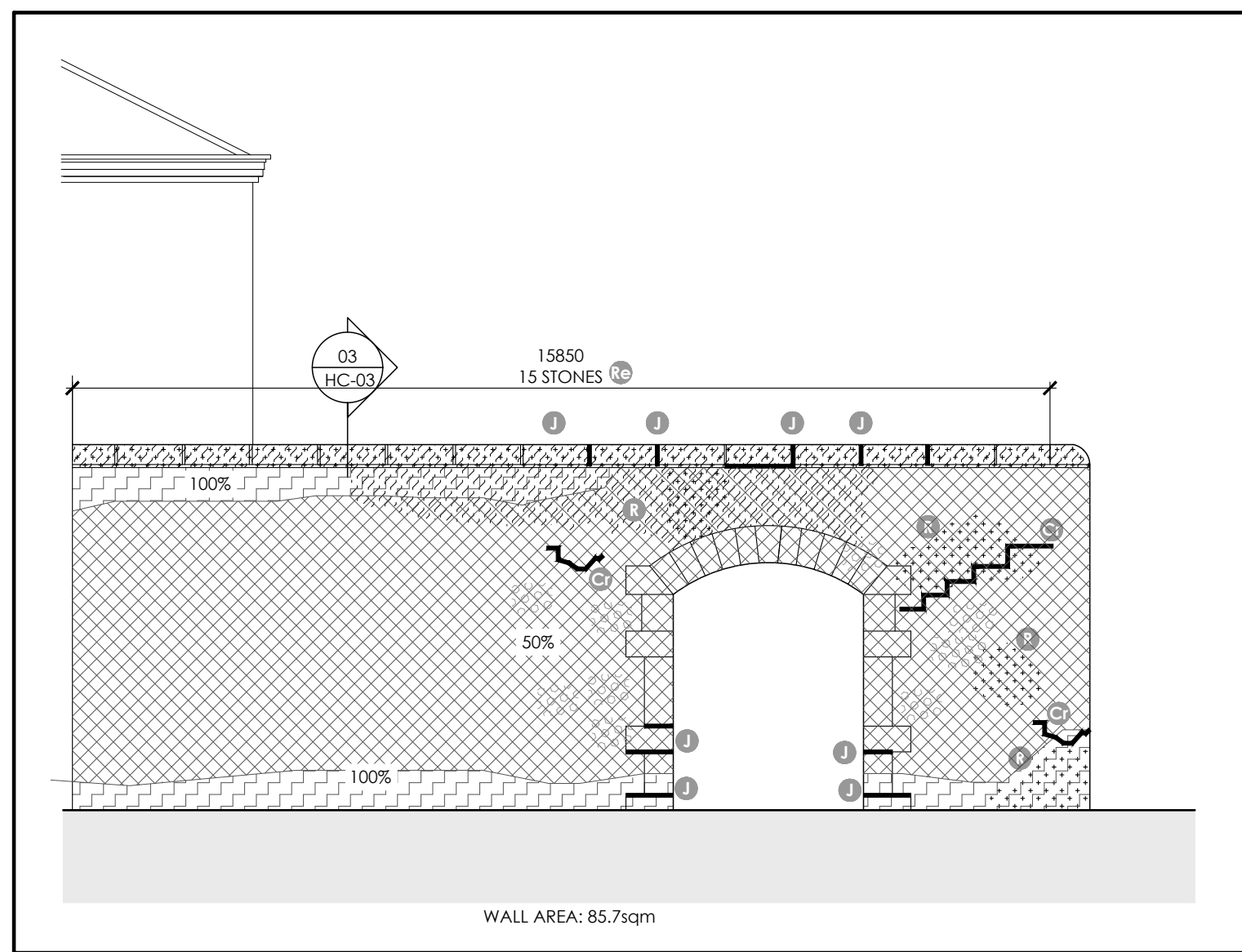
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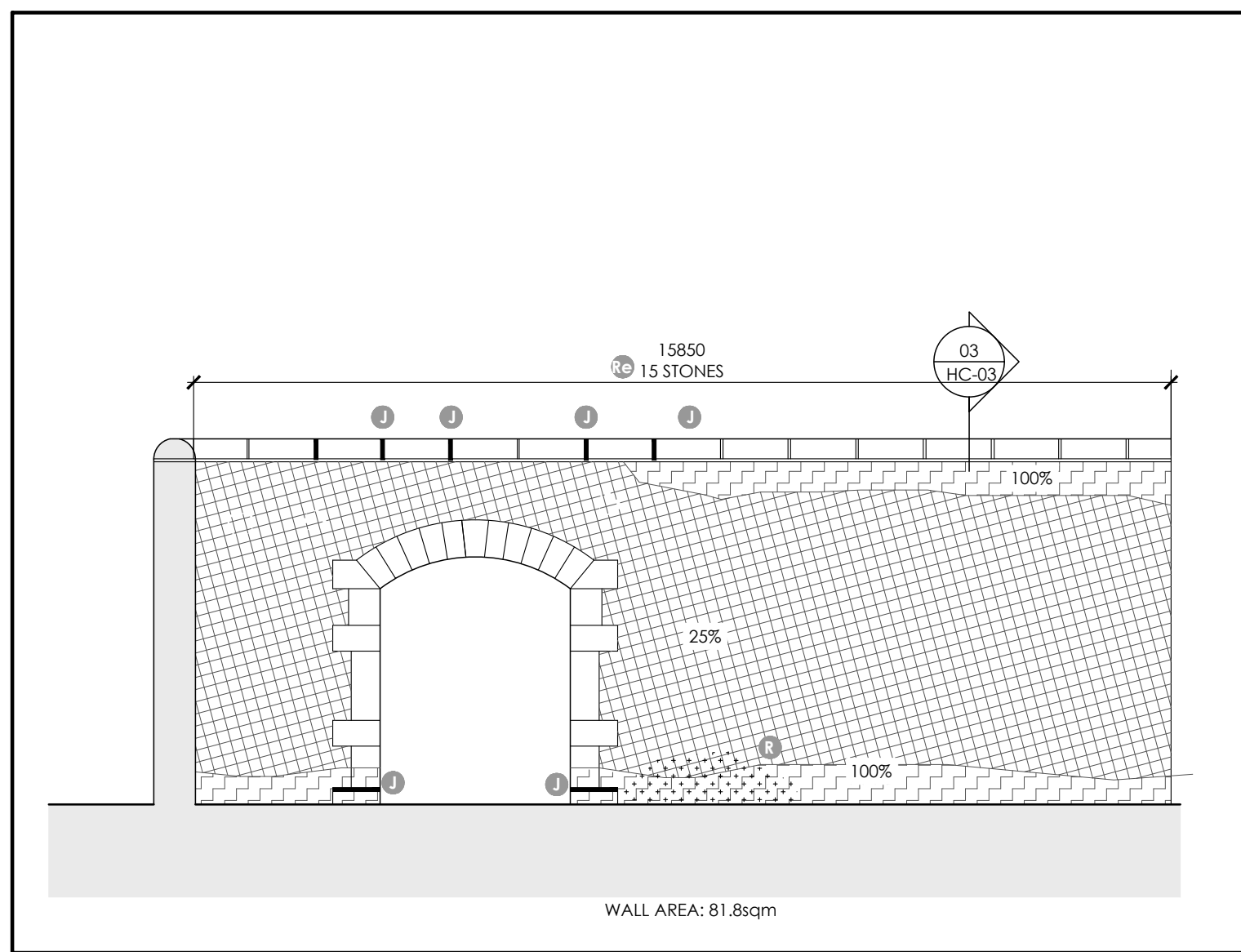
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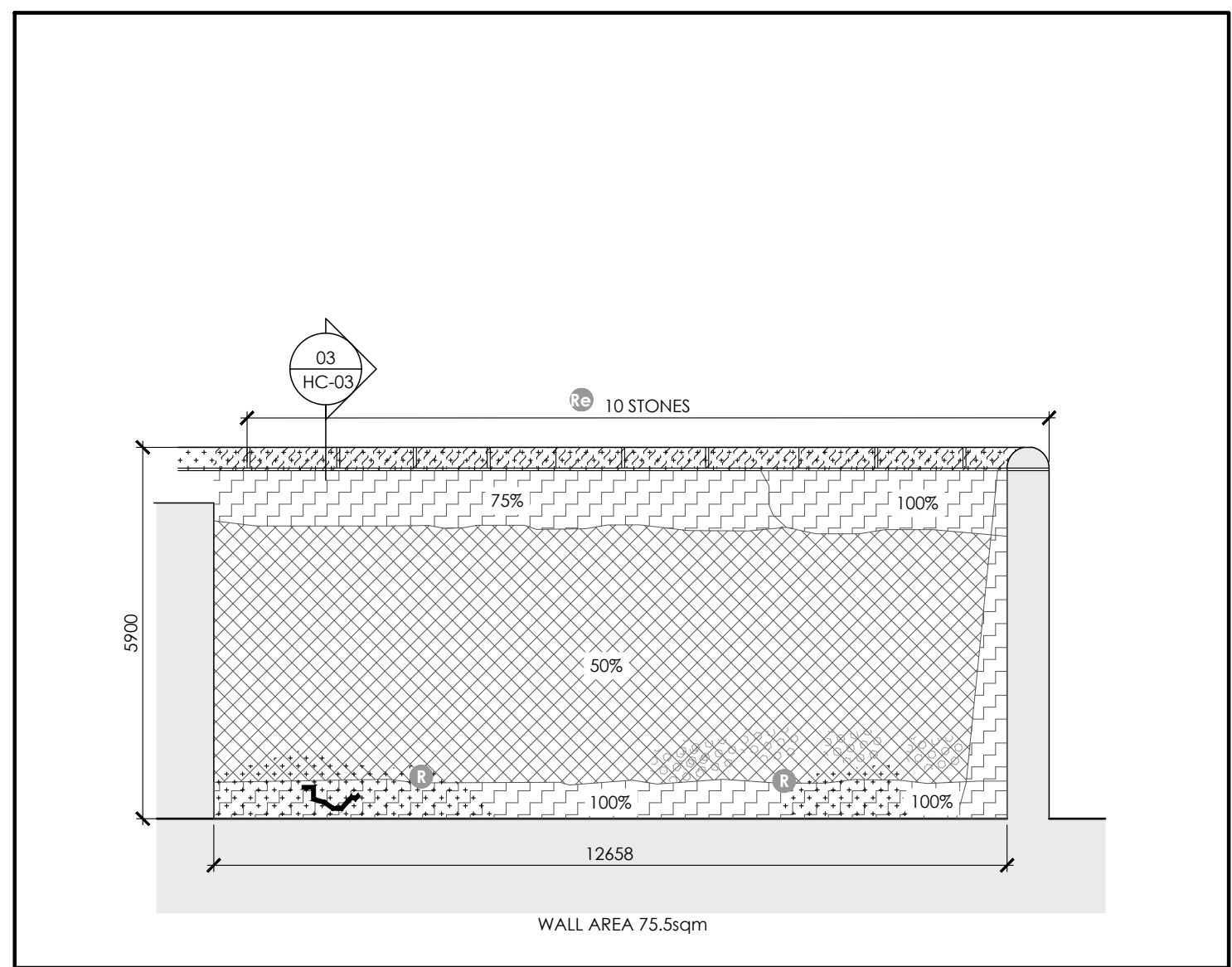
00 CONSERVATION LEGEND & NOTES
HC-02 N/A



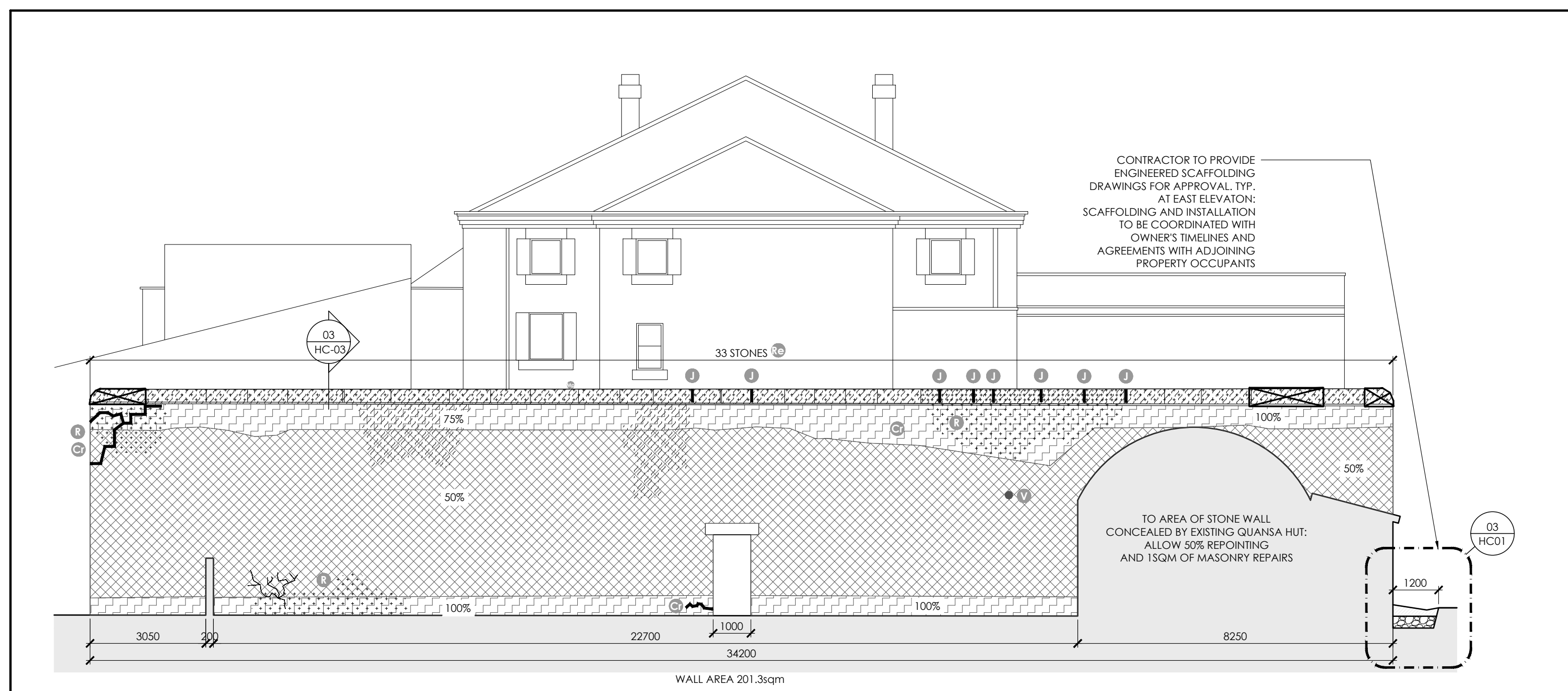
01 WEST ELEVATION (TO CARPARK)
HC-02 1:100



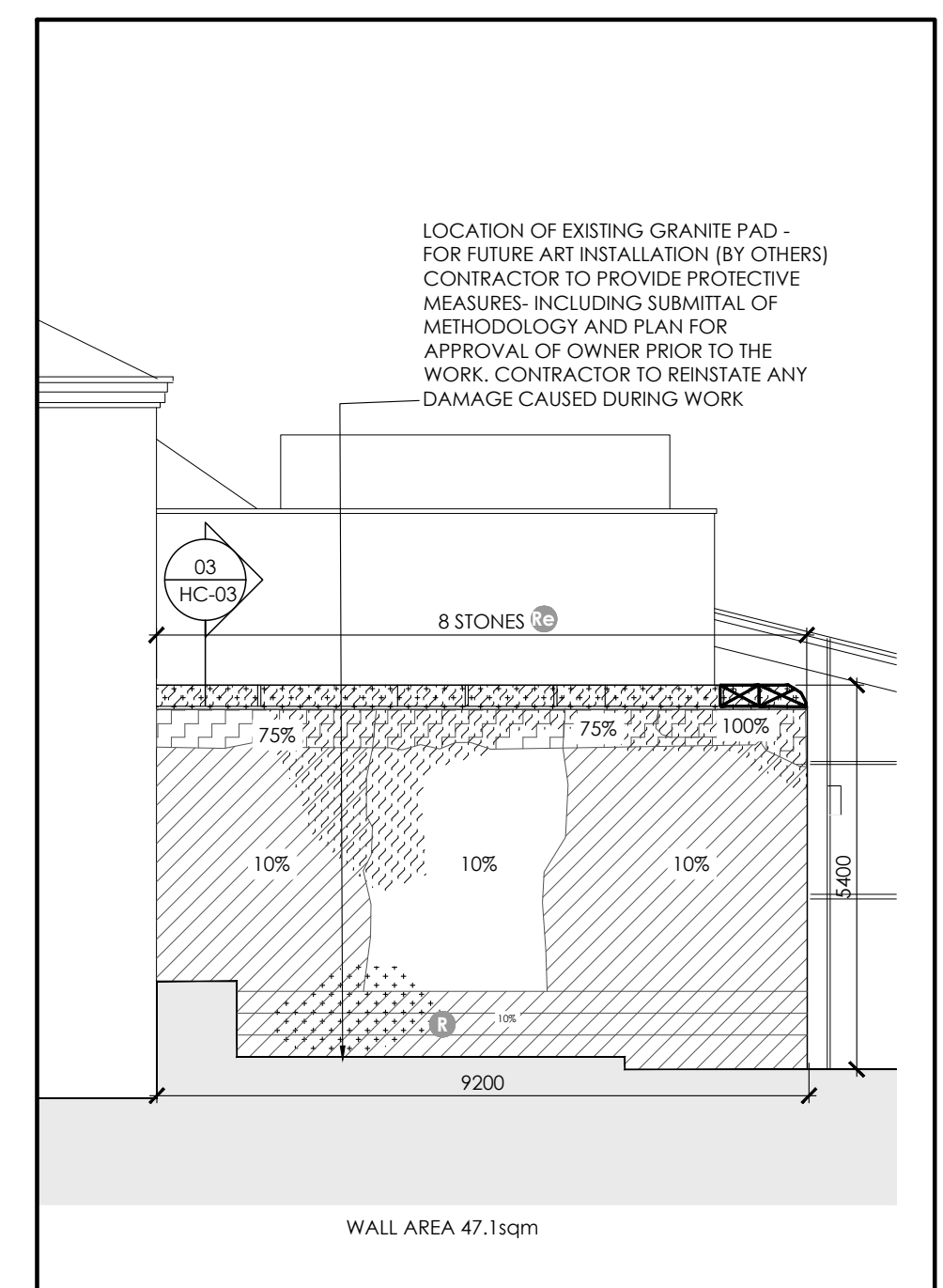
02 EAST ELEVATION OF WEST WALL (TO COURTYARD)
HC-02 1:100



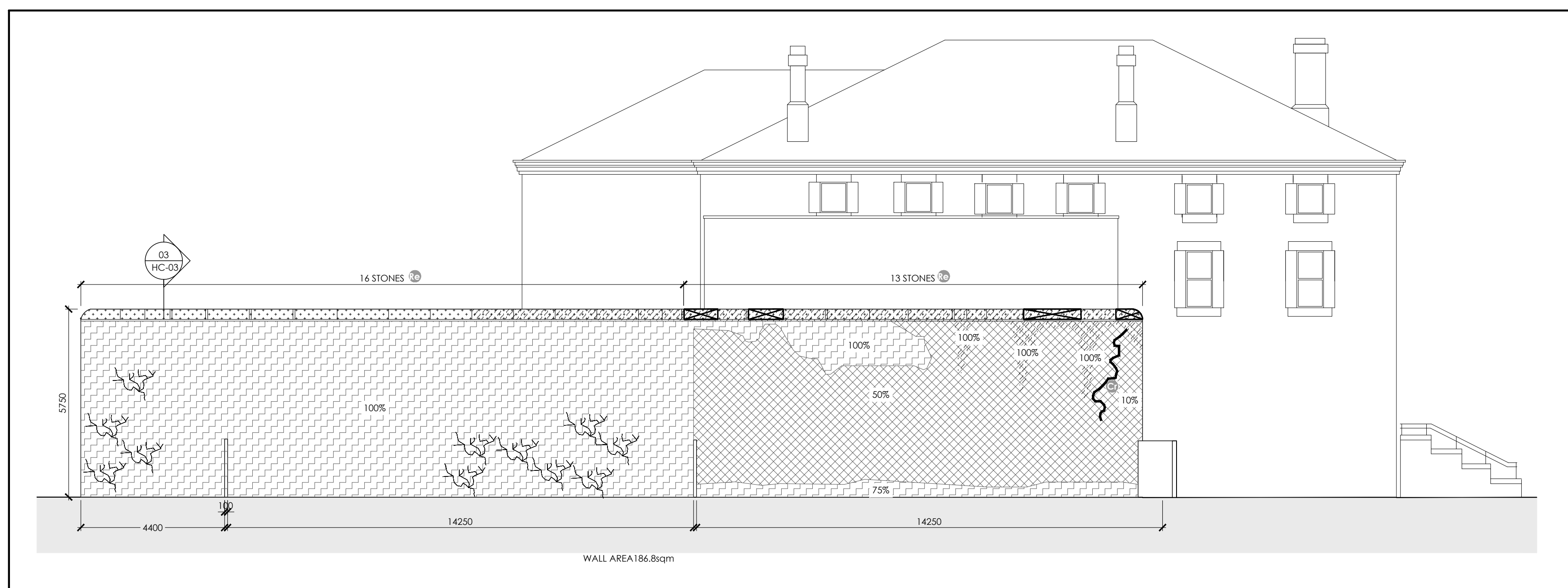
03 SOUTH ELEVATION
HC-02 1:100



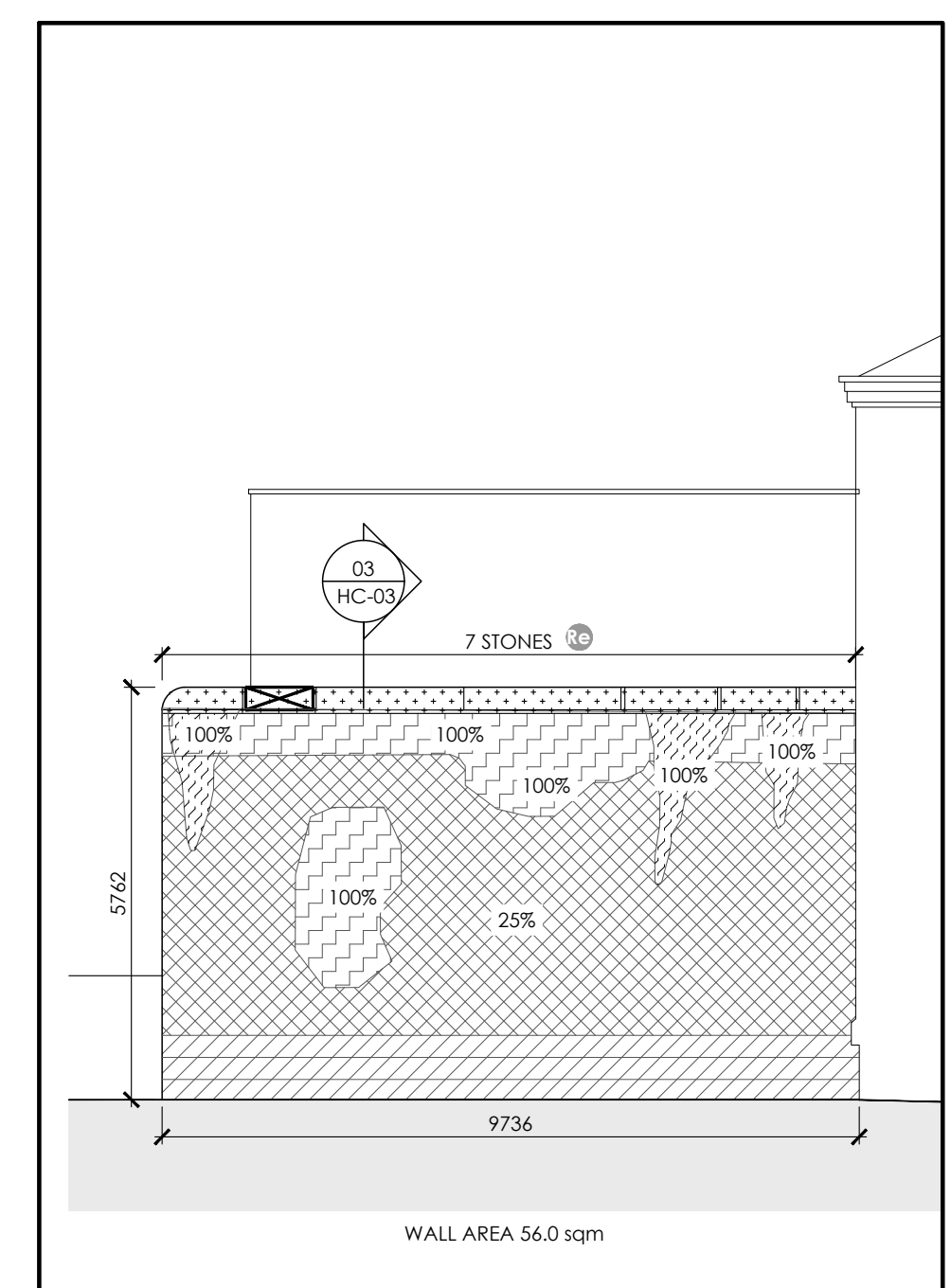
04 SOUTH ELEVATION (TO CARPARK)
HC-02 1:100



06 NORTH ELEVATION (WEST END - TO WELLINGTON ST.)
HC-02 1:100



05 EAST ELEVATION - TO ADJOINING PROPERTIES
HC-02 1:100



07 NORTH ELEVATION (EAST END - TO WELLINGTON ST.)
HC-02 1:100

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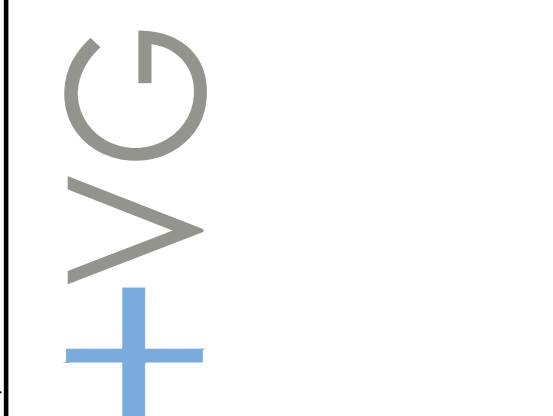
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MOON-MATZ LTD.
2902 SOUTH SHERIDAN WAY, SUITE 300
OAKVILLE, ON
L6J 7L6

PROJECT:

22298
HERITAGE REPAIRS & JAIL WINDOW REPLACEMENT
PAMA - PEEL MUSEUM AND ARCHIVES
7 & 9 WELLINGTON ST E
BRAMPTON, ON - L6W 1Y1

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HC-02

DRAWN BY: JLDG CHECKED BY: DG

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GUANO (PIGEON STAINS) - TO BE REMOVED

MASONRY CONSERVATION:

DAMAGED OR UNSOUND MASONRY AREA - MASONRY REBUILD REQUIRED. REPAIR THE EXISTING MASONRY AND RETURN IT TO A SOUND, DURABLE CONDITION IT IS NOT INTENDED THAT ALL MISSING OR DAMAGED FACES AND PROFILES SHOULD BE MADE PERFECT BUT THAT THE BUILDING SHOULD STILL SHOW ITS AGE AND CHARACTER WHEN THE WORK IS COMPLETED. TAKE DOWN AREAS OF SEVERELY DETERIORATED STONE WORK IN MAXIMUM 1000 MM WIDE SECTIONS WHERE LOAD BEARING. REMOVE OLD MORTAR AND CLEAN ALL UNITS TO BE RE-INCORPORATED INTO THE WORK.

DETERIORATION - STONE TO BE CONSERVED, SCALE OR RUB BACK, OR WHERE MISSING, BLOWN APART OR FAILED, REPLACE WITH SALVAGED STOCK TO MATCH SURROUNDING EXISTING

CRACKING MASONRY WALL - REBUILD WALL USING EXISTING STONE UNITS, NEW BEDDING AND REPOINTING MORTAR, UTILIZING EMBEDDED HELICAL TIE ANCHORS AND/OR THREADED ROD REPAIR SEE DETAIL 01/ HC-03

EXISTING ANCHOR - TO BE REMOVED

EXISTING VOID - TO BE FILLED

EXISTING COPING STONES TO BE REMOVED AND RE-SET WITH NEW EMBEDDED S/S DOWELS AND NEW LEAD FLASHING WITH DRIP EDGE. REFER TO DETAIL 03/ HC-03

MISSING OR FAILED MASONRY UNIT - REPLACE USING MATCHING OR SALVAGED MATERIAL

DISPLACED OR MISALIGNED STONE UNIT - REBUILD LOCALIZED AREA AND REALIGN WITH SURROUNDING WALL

CAPSTONES GENERALLY: REMOVE EXISTING STONES AND EXISTING FLASHING BELOW. INSTALL NEW LEAD THROUGHWALL FLASHING, REINSTATE AND SECURE NEW STONE IN PLACE USING STAINLESS STEEL DOWELS. REFER TO DETAIL 04/HC-03

REPOINTING

CAREFULLY RAKE OUT AND REPOINT ALL CRACKED, SPALLED, CHALKED, DUSTED OR OTHERWISE CRUMBING AND EXCESSIVELY WEATHERED BACK POINTING MORTAR, AND INAPPROPRIATE CEMENTITIOUS MORTAR FROM PREVIOUS REPAIR CAMPAIGNS

RESTORATION REPOINTING MORTAR IS TO BE LIME-BASED AND SOFTER THAN THE SURROUNDING MATERIAL. ALLOW A PREMIXED, PREBAGGED PRODUCT - EXACT COLOUR, SPECIFICATIONS & MIX RATIO TO BE DETERMINED BASED ON AN ANALYSIS OF THE EXISTING HERITAGE MASONRY. ALLOW FOR SEE DRAWING HC-03 DETAIL -03 FOR TYPICAL REPOINTING PROCEDURE

THE EXISTING MORTAR TO BE RAKED OUT VARIES IN HARDNESS CONSISTENCY, CONDITION AND TYPE. REFER TO EXISTING MORTAR SURVEY AND ANALYSIS REPORT DATED 26 MAY 2023

LOCATIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND THE EXACT LOCATION AND EXTENT OF REPOINTING SHALL BE DETERMINED AND AGREED ON SITE

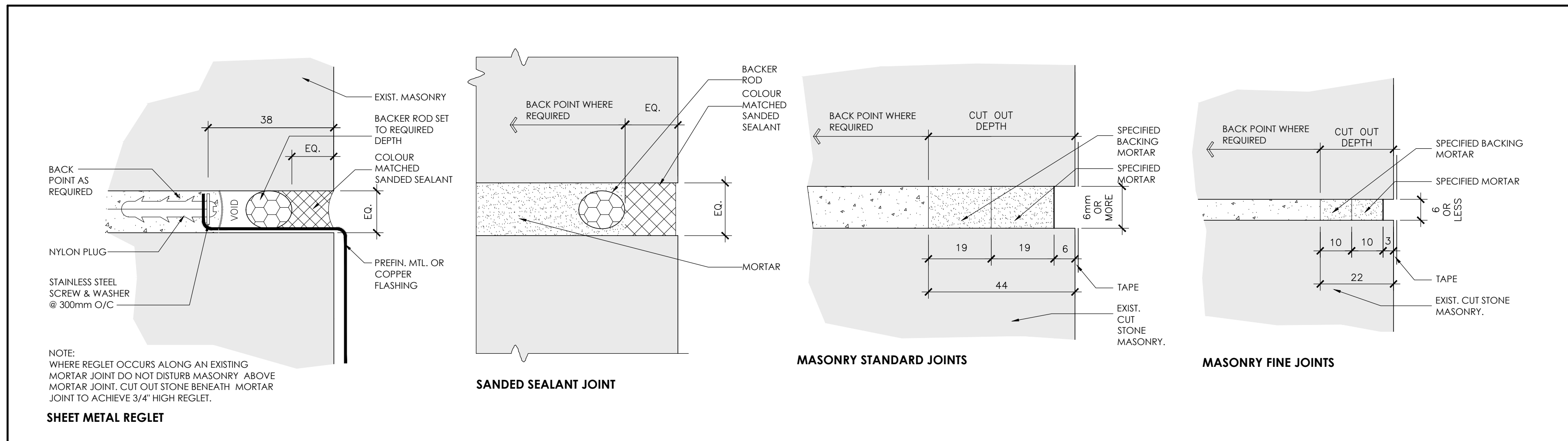
MODERATE - RAKE OUT AND REPOINT 10% OF JOINTS IN THIS ZONE AS SHOWN

POOR - RAKE OUT AND REPOINT 50% OF JOINTS IN THIS ZONE AS SHOWN

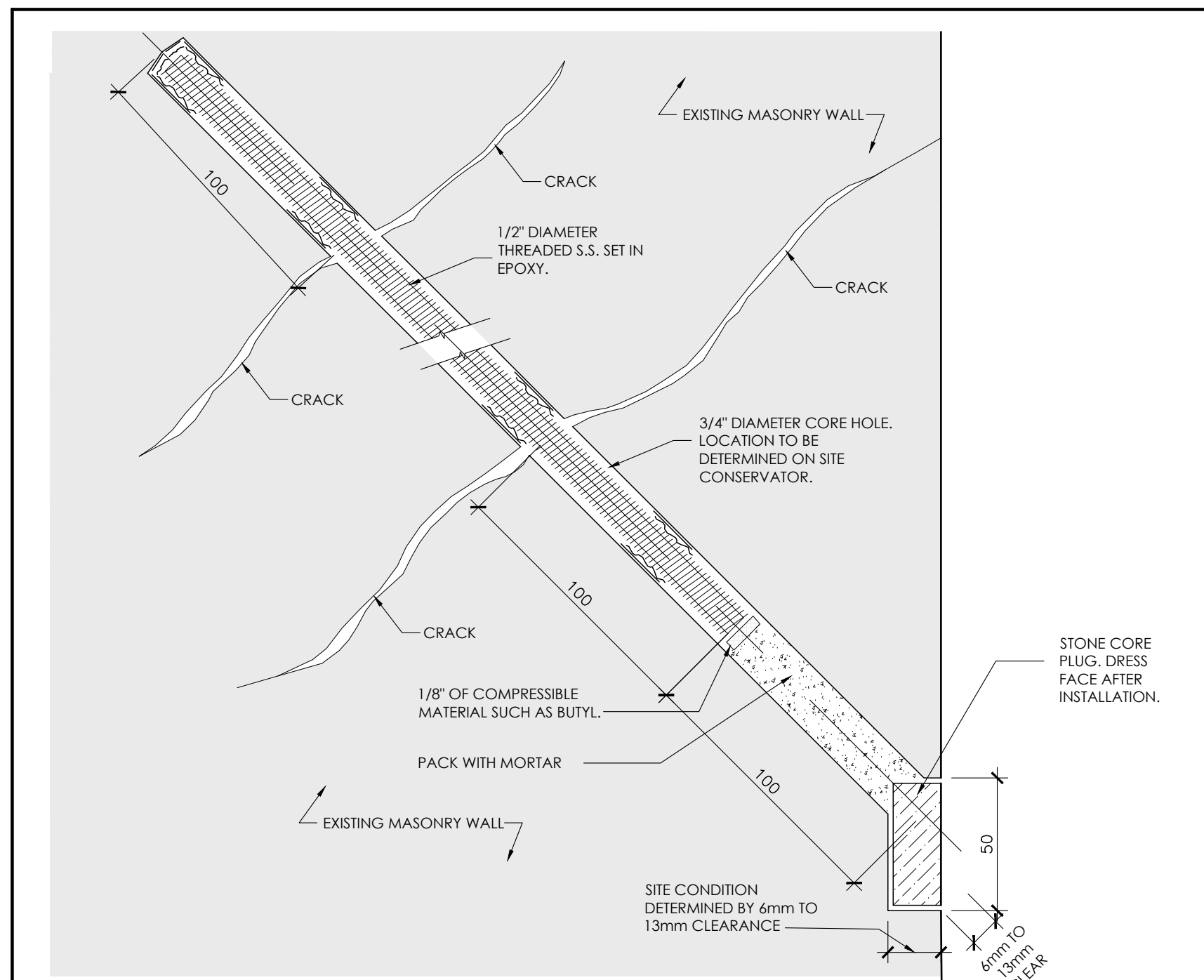
SEVERE - RAKE OUT AND REPOINT 75% TO 100% PERCENT OF THE JOINTS IN THIS ZONE AS SHOWN

00 CONSERVATION LEGEND & NOTES

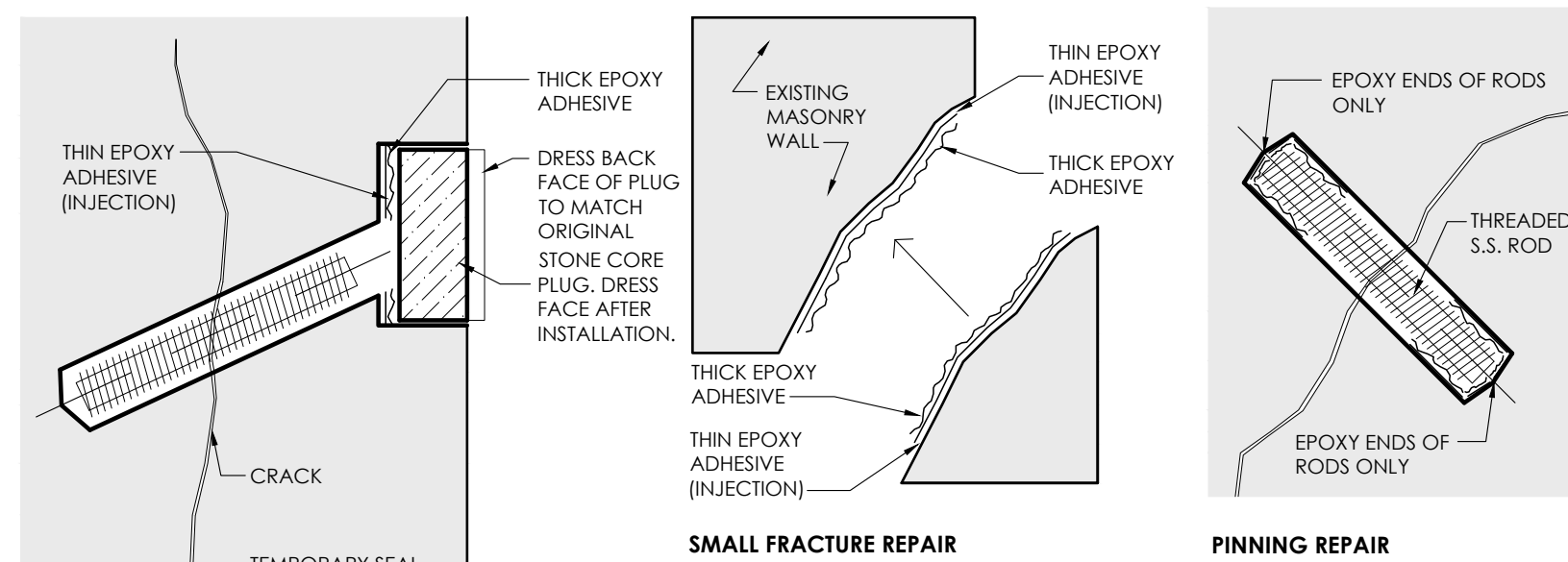
HC-03 N/A



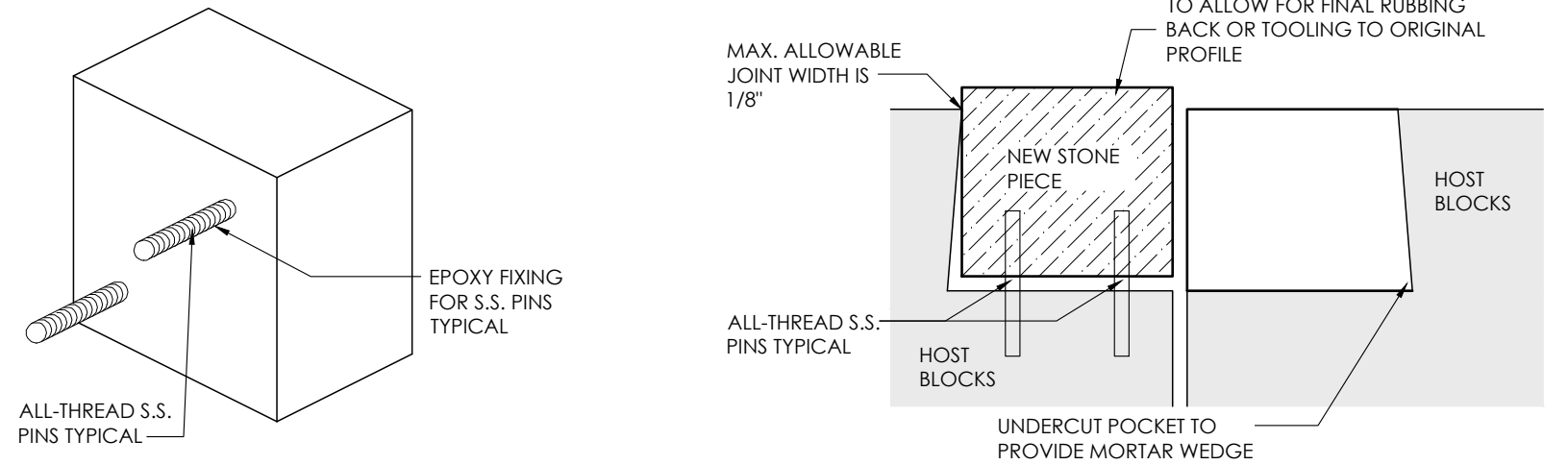
01 TYPICAL MASONRY REPAIR DETAILS
HC-03 1:100



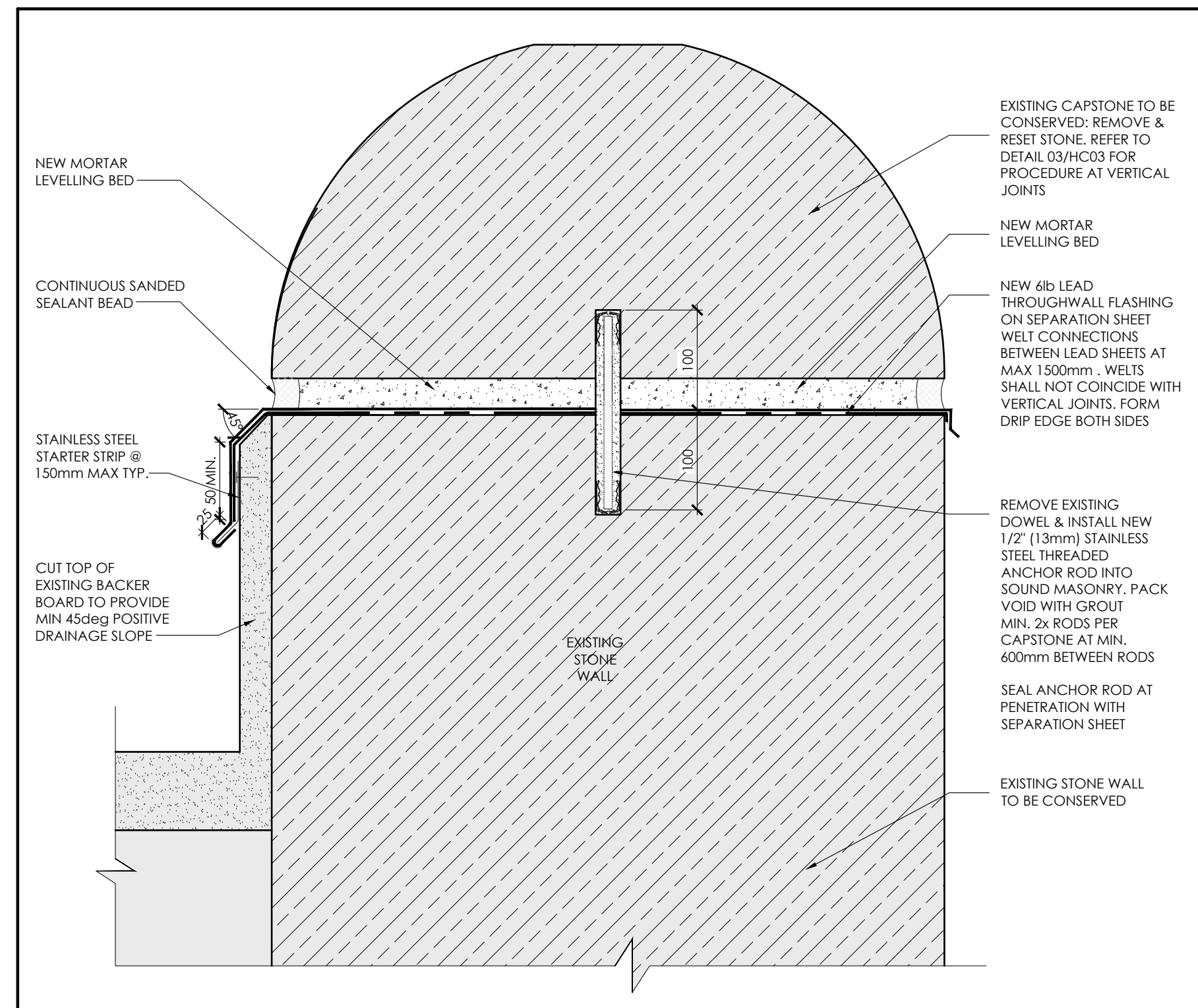
LARGE FRACTURE OR CRACK REPAIR



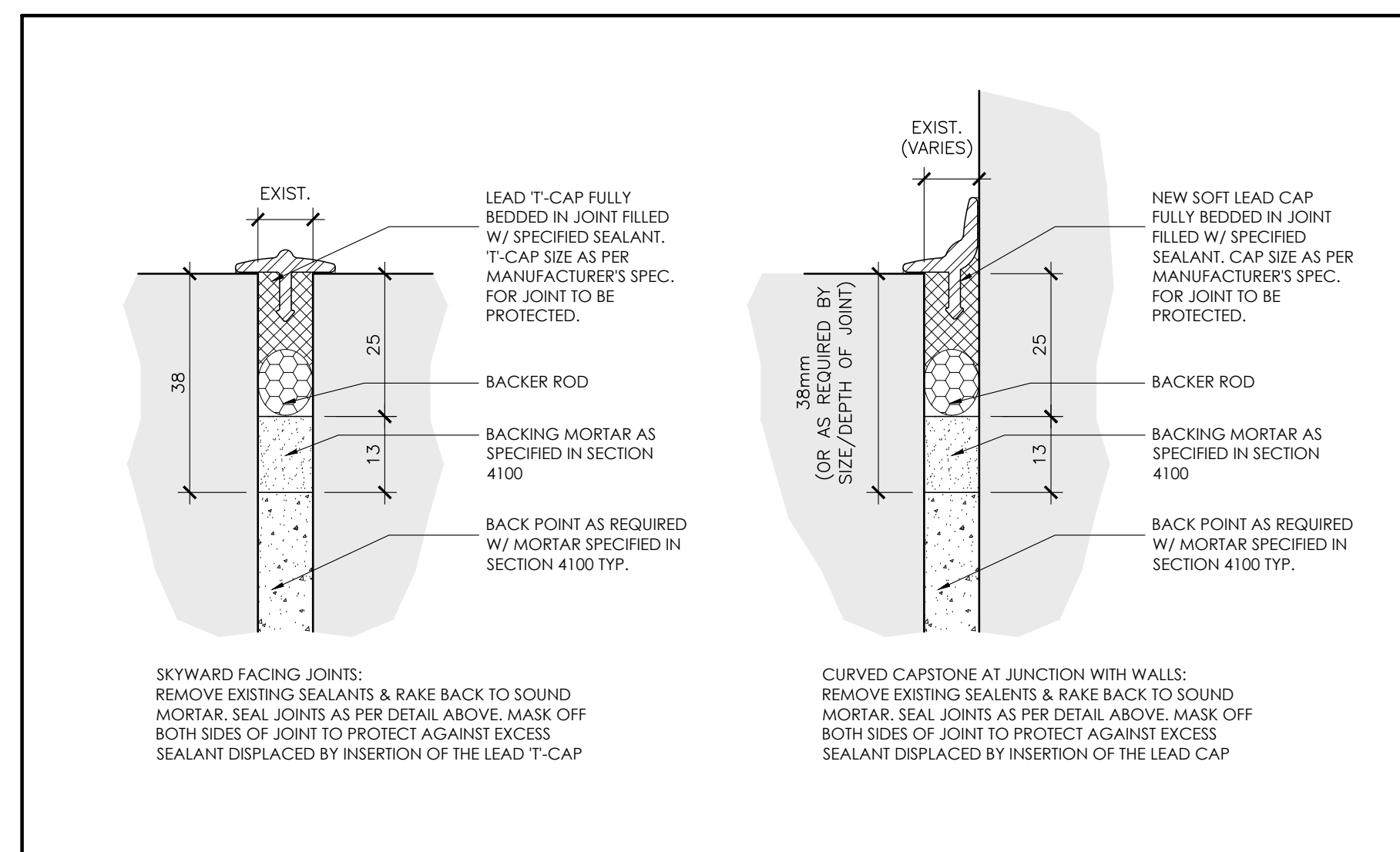
CRACK REPAIR



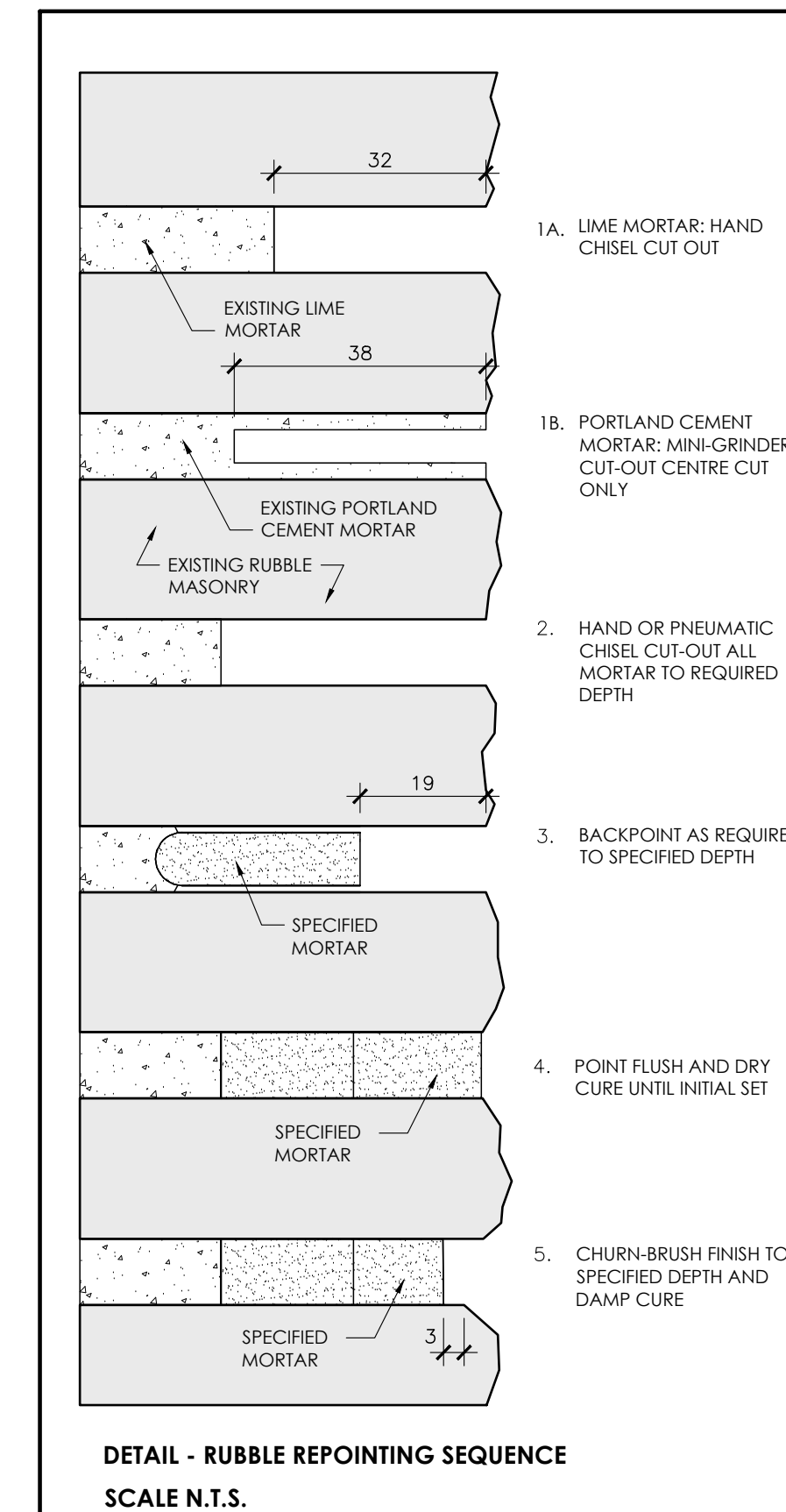
02 TYPICAL MASONRY REPAIR DETAILS
HC-03 NTS



03 CAPSTONE REPAIR DETAILS
HC-03 1:10



04 VERTICAL MASONRY JOINTS DETAILS
HC-03 1:1



05 RUBBLE REPOINTING PROCEDURE
HC-03 NTS

DETAIL - RUBBLE REPOINTING SEQUENCE
SCALE N.T.S.

REVISIONS

NO.	DATE	PARTICULAR
1	231031	DRAFT FOR CLIENT REVIEW
2	240531	PRE-TENDER REVIEW
3	240617	ISSUED FOR PERMIT APPLICATION

NOTES:

KEY PLAN:

CLIENT:

MOON-MATZ LTD.
2902 SOUTH SHERIDAN WAY, SUITE 300
OAKVILLE, ON L6J 7L6

PROJECT:

22298
HERITAGE REPAIRS & JAIL WINDOW REPLACEMENT

PAMA - PEEL MUSEUM AND ARCHIVES
7 & 9 WELLINGTON ST E
BRAMPTON, ON - L6W 1Y1

ORIGINAL PAGE SITE ARCH D - 24" x 36"

KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

+VG ARCHITECTS
THE VENTIN GROUP LTD



Prof Date: Jun 17, 2024 - 12:14pm By: Derek Quilloom
Filename: Z:\22298 - PAMA Stone Wall Conservation\DRAWINGS\Wd-Curent\22298 - PAMA Stone Wall Conservation.dwg

HC-03

DRAWN BY: DG

CHECKED BY: DG

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TYPICAL MASONRY CONSERVATION DETAILS

1:10

