

Flower City



brampton.ca

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(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0378

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Baldeep Raman / 1000 5565 Ontario Inc. AM
Address 2 Blair Road, Brampton, ON
Phone # 6477205757 **Fax #** _____
Email baldeeppraman@can-truck.com

2. **Name of Agent** Anuj Modi, P.Eng./ TWG engineering Inc.
Address 32 Abbotsbury Drive, Brampton, ON, L6X 0S3
Phone # 9058677468 **Fax #** _____
Email anujmodi@hotmail.com

3. **Nature and extent of relief applied for (variances requested):**

Side yard setback relief for extension of the building.

4. **Why is it not possible to comply with the provisions of the by-law?**

The required side yard setback is 7.5 m, which is not possible to maintain for the proposed extension.

5. **Legal Description of the subject land:**
Lot Number 1
Plan Number/Concession Number CON. 5 E.H.S.
Municipal Address 119 East Drive

6. **Dimension of subject land (in metric units)**
Frontage 52
Depth 183
Area 9516

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One building with area of 1350 sq.mt

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Side Addition of 450 sq.mt to the building

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	23m
Rear yard setback	88m
Side yard setback	7.5m
Side yard setback	25m

PROPOSED

Front yard setback	23m
Rear yard setback	88m
Side yard setback	1.5m
Side yard setback	25m

10. Date of Acquisition of subject land: 2022

11. Existing uses of subject property: Industrial

12. Proposed uses of subject property: Industrial

13. Existing uses of abutting properties: Industrial

14. Date of construction of all buildings & structures on subject land: May 1965 & Sep 1973

15. Length of time the existing uses of the subject property have been continued: 2 years

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

- (b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

- (c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Anuj Modi

Signature of Applicant(s) or Authorized Agent

DATED AT THE 27th City OF Brampton
THIS 27th DAY OF Sep., 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ANUJ MODI, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 27 DAY OF
Aug, 2024

[Signature]
A Commissioner etc.

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027

Anuj Modi
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: M2 Industrial

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Angelo Barbato
Zoning Officer

August 30, 2024
Date

DATE RECEIVED Sept 27, 2024

Date Application Deemed Complete by the Municipality VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 119 East Drive

-I/we, Baldeep Raman / 100005565 Ontario Inc. AM
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Anuj Modi of twg engineering inc.

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 23 day of August, 2024.

B. Raman

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 119 East Drive

I/We, Baldeep Raman / 1000005565 Outasio Inc. A.M
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 23 day of August, 2024.

B. Raman

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

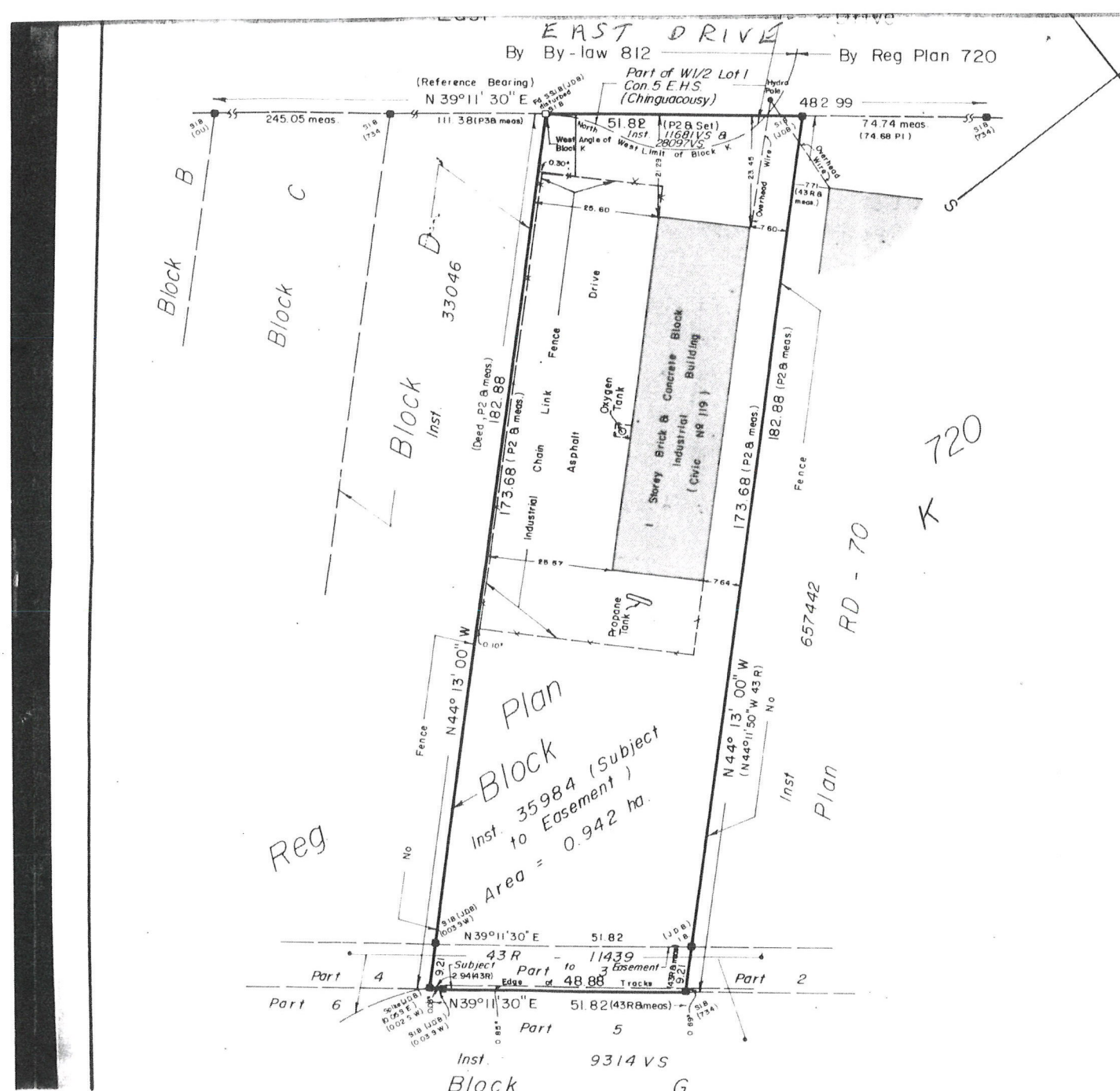
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS



BUILDING LOCATION SURVEY ON
Part of W1/2 Lot 1 (Chinguacousy)
Concession 5 E.H.S.
 (Known as East Drive by By-law 812) AND
Part of Block K
Registered Plan 720 (Chinguacousy)
 CITY OF BRAMPTON
 Regional Municipality of Peel



Scale 1: 750

R.E. Clipsham Limited
 1989

Metric

Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

Notes

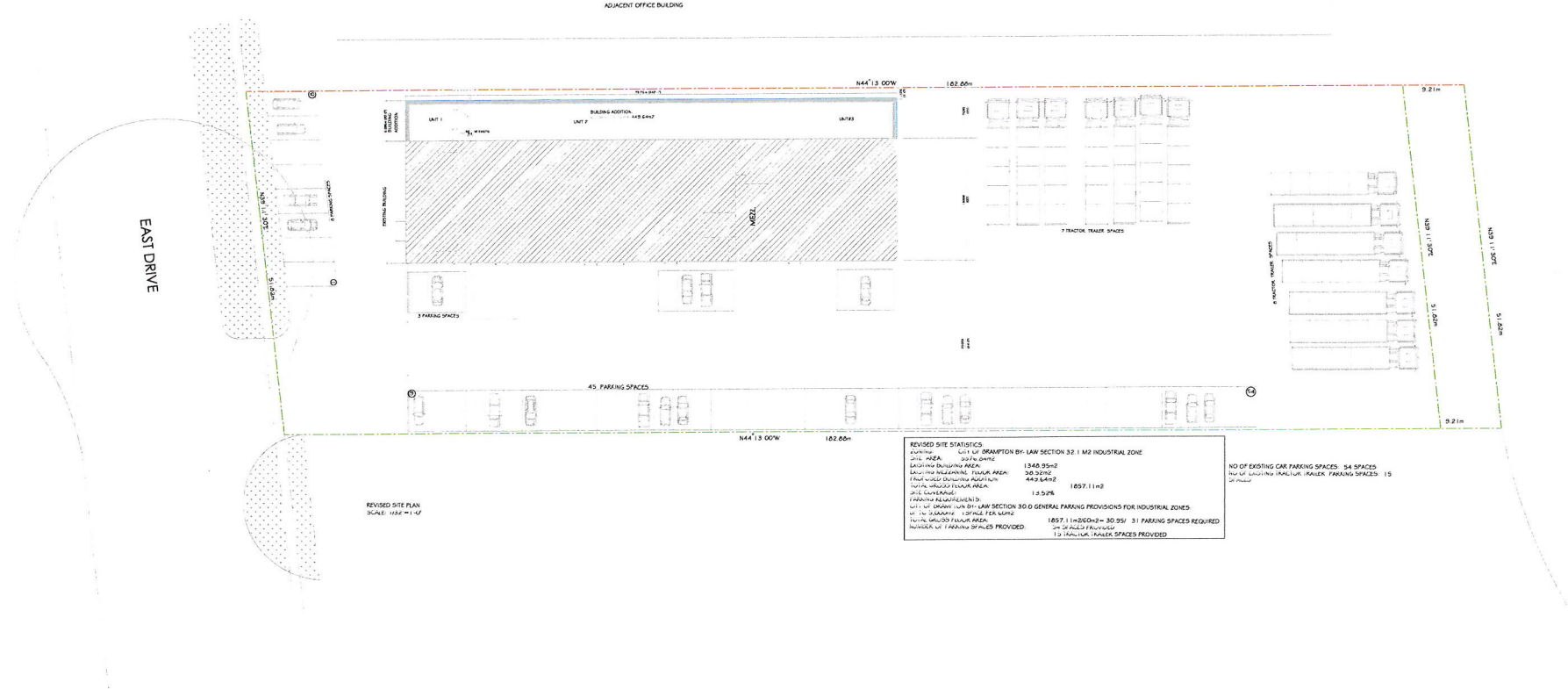
- 1 - [Symbol] denotes Found Survey Monument
- 2 - [Symbol] denotes Planted Survey Monument
- 3 Bearings shown hereon are Astronomic and are referred to Southeast limit of East Drive (N39°11'00"E) as shown on RP 720 on file in the Peel Registry Office (N943).
- 4 (734) denotes J.D. Barnes O.L.S.
- 5 (J.D.B.) denotes J.D. Barnes O.L.S.
- 7 (OU) denotes Origin Unknown
- 8 (43R) denotes 43R-11439
- 9 (P1) denotes Plan by J.D. Barnes O.L.S. dated November 3rd, 1967
- 10 (P2) denotes Plan by J.D. Barnes O.L.S. dated January 28th, 1965.
- 11 (P3) denotes Plan of Subdivision by J.D. Barnes O.L.S. dated October 1st, 1964.

Surveyor's Certificate

I certify that:
 The field survey represented on this plan was completed on the 27th day of September, 1989.

Dated
 October 5th, 1989

R.E. Clipsham
 R.E. Clipsham
 Ontario Land Surveyor



REVISED SITE PLAN
SCALE: 1/32" = 1'-0"

REVISED SITE STATISTICS	
LOT AREA	LOT 1 OF BRAMPTON BY-LAW SECTION 33.1 M2 INDUSTRIAL ZONE
214,152 SQ. FT.	214,152 SQ. FT.
LANDING BUILDING AREA	1346.35m ²
LANDING BUILDING FLOOR AREA	263,302 SQ. FT.
FLOOR COVERED EXISTING FLOOR AREA	449,64m ²
FLOOR COVERED FLOOR AREA	1,057,11m ²
LOT COVERAGE	1.552%
PARADEY REQUIREMENTS	
LOT OF 5000 SQ. FT. BY-LAW SECTION 30.0 GENERAL PARKING PROVISIONS FOR INDUSTRIAL ZONES	
W/ 10% MAXIMUM 1.5 SPACES PER 1000 SQ. FT. OF FLOOR AREA	1057.11m ² FLOOR AREA = 20,950 SQ. FT. 31 PARKING SPACES REQUIRED
NUMBER OF PARKING SPACES PROVIDED	43 CAR PARKING SPACES PROVIDED 3 TRACTOR TRAILER SPACES PROVIDED

NO OF EXISTING CAR PARKING SPACES - 34 SPACES
NO OF EXISTING TRACTOR TRAILER PARKING SPACES - 15 SPACES

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1	ISSUED FOR COA	AUG.26.24
NO.	DESCRIPTION	DATE:

REVISIONS:

STAMP

CONSUANT:
twg engineering inc.
Engineering - Project Management
32 Abbotsbury Drive
Brampton, ON L6X 0S3
(905) 667-7466
email: anymod@hotmail.com

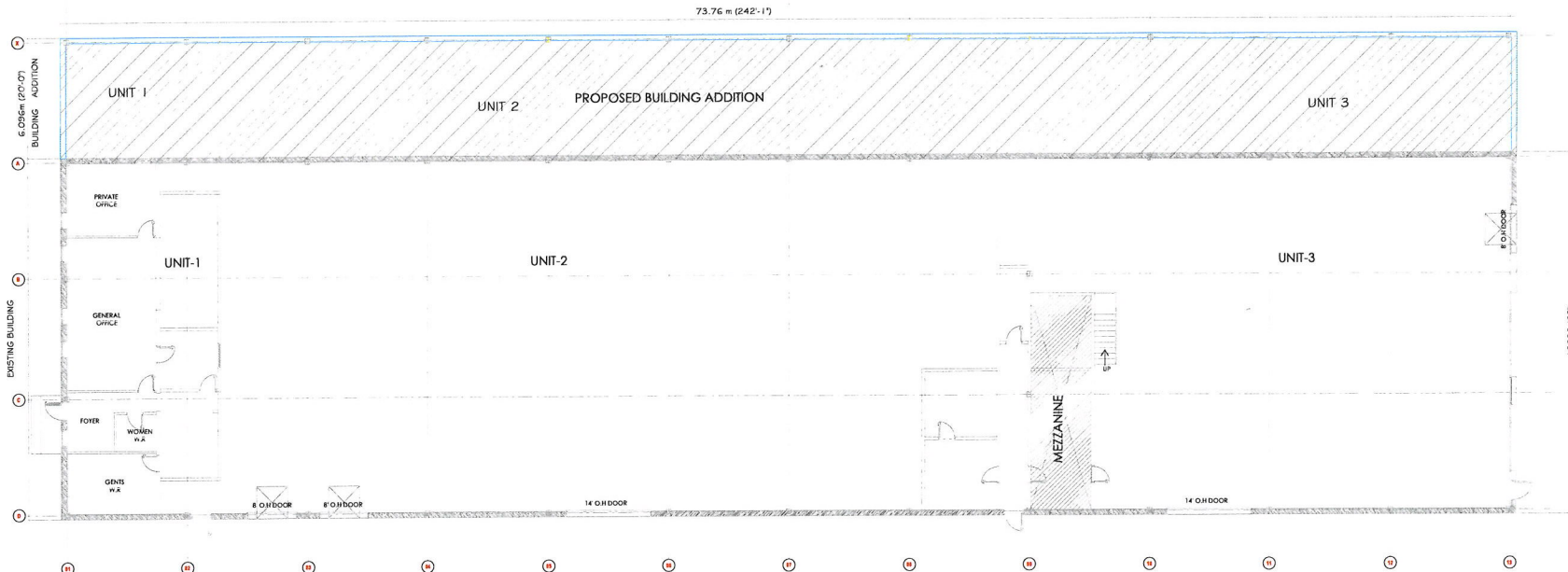
By: *Paul A. Deema*
THE UNDERSIGNED IS RESPONSIBLE FOR THE DESIGN AND HAS THE QUALIFICATIONS THAT MEET THE REQUIREMENTS AS SET OUT UNDER SUBSECTION 3.2.5 DIVISION C OF THE BUILDING CODE AS AN OTHER DESIGNER.
-BCIN 21364

CLIENT:
119 EAST DRIVE
BRAMPTON, ON.

PROJECT:
PROPOSED BUILDING ADDITION
119 EAST DRIVE
BRAMPTON, ON.

DRAWING TITLE:
REVISED SITE PLAN

DESIGN:	PC	DRAWING NO.	A-0
DRAWN:	PC		
CHECKED:	AV		
DATE:	AUG 26 24		
SCALE:	1/32" = 1'-0"	PROJECT NO.:	



PROPOSED FLOOR PLAN
SCALE: 3/32" = 1'-0"


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1	ISSUED FOR COA	MAR. 26-24
NO.	DESCRIPTION	DATE:

REVISIONS:

BCIN:
THE UNDERSIGNED IS RESPONSIBLE FOR THE DESIGN AND AND HAS THE QUALIFICATIONS THAT MEET THE REQUIREMENTS AS SET OUT UNDER SUBDIVISION 3.2.5 DIVISION C OF THE BUILDING CODE AS AN "OTHER DESIGNER" BCIN 21364

Per Design

STAMP 	STAMP
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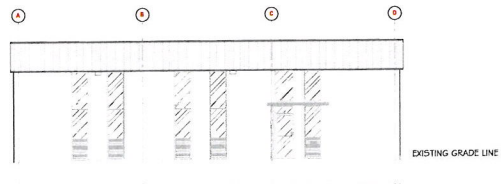
CONSULTANT:
twg engineering inc.
Engineering - Project Management
32 Abbotsbury Drive
Brampton, ON, L6X 0S3
(905) 867-7468
email: anymodi@hotmail.com

CLIENT:
119 EAST DRIVE
BRAMPTON, ON.

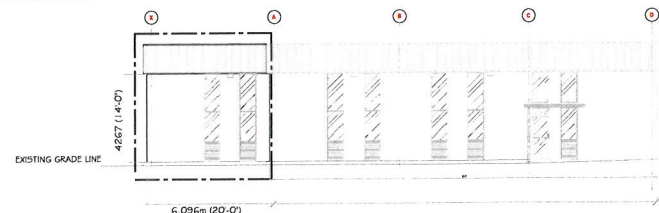
PROJECT:
PROPOSED BUILDING ADDITION
119 EAST DRIVE
BRAMPTON, ON.

DRAWING TITLE:
REVISED FLOOR PLAN

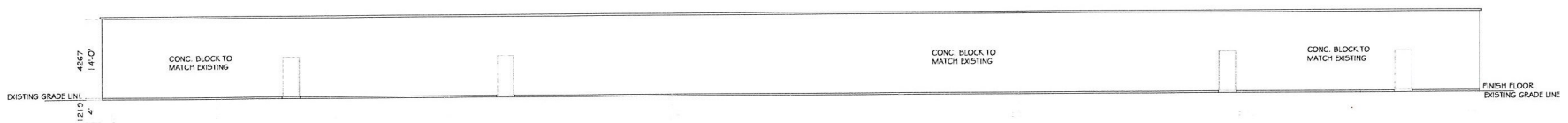
DESIGN: PC	DRAWING NO:
DRAWN: PC	A-1
CHECKED: AM	
DATE: AUG 26 24	
SCALE: 1/8" = 1'-0"	PROJECT NO:



EXISTING FRONT ELEVATION
SCALE: 3/32" = 1'-0"



REVISED FRONT ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"

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1	ISSUED FOR COA	MAR. 26-24
NO.	DESCRIPTION	DATE:

REVISIONS:

By: THE UNDERSIGNED IS RESPONSIBLE FOR THE DESIGN AND AND HAS THE QUALIFICATIONS THAT MEET THE REQUIREMENTS AS SET OUT UNDER SUBDIVISION 3.2.5 DIVISION C OF THE BUILDING CODE AS AN "OTHER DESIGNER" RCN 21364.
P. J. Johnson

STAMP 	STAMP
-----------	-------

CONSULTANT
twg engineering inc.
Engineering - Project Management
32 Abbotsbury Drive
Brampton, ON, L6X 0S3
(905) 867-7468
email: anujmod@hotmail.com

CLIENT
119 EAST DRIVE
BRAMPTON, ON.

PROJECT:
PROPOSED BUILDING ADDITION
119 EAST DRIVE
BRAMPTON, ON.

DRAWING TITLE:
ELEVATIONS

DESIGN:	PC	DRAWING NO:	A-2
DRAWN:	PC		
CHECKED:	AM		
DATE:	AUG 26-24		
SCALE:	1/8" = 1'-0"	PROJECT NO:	

Zoning Non-compliance Checklist

File No.

A-2024-0378

Applicant: Anuj Modi

Address: 119 East Drive

Zoning: M2 Industrial

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit an interior side yard setback of 1.5m to a <i>proposed addition to an existing warehouse</i>	whereas the by-law requires a minimum interior side yard setback of 4.0m	32.1.2.c
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato
Reviewed by Zoning

August 30, 2024
Date