

**Application for Minor Variance**Section 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

**Application Number:** A-2024-0378  
**Property Address:** 119 East Drive  
**Legal Description:** Plan 720, Part Block K, Ward 7  
**Agent:** TWG Engineering Inc. c/o Anuj Modi  
**Owner(s):** 10005565 Ontario Inc, Baldeep Raman  
**Other applications:** nil  
**under the *Planning Act***

**Meeting Date and Time:** Tuesday, November 12, 2024, at 9:30 am  
**Meeting Location:** Hybrid in-person and virtual meeting – Council Chambers,  
4<sup>th</sup> Floor Brampton City Hall, 2 Wellington Street West

**Purpose of the Application:**

1. To permit an interior side yard setback of .75 metres to a proposed addition to an existing warehouse, whereas the by-law requires a minimum interior side yard setback of 4.0 metres.

**Participate in the Meeting:**

- Send an email with your written comments to [coa@brampton.ca](mailto:coa@brampton.ca). Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **12:00 pm on Thursday, November 7, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing [coa@brampton.ca](mailto:coa@brampton.ca) and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Thursday, November 7, 2024**, by emailing [coa@brampton.ca](mailto:coa@brampton.ca), and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

**Note:** Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

**Viewing Application Materials:** The application and related materials are available online at [www.brampton.ca/en/city-hall/meetings-agendas](http://www.brampton.ca/en/city-hall/meetings-agendas) and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at [www.brampton.ca](http://www.brampton.ca).

**Appeal Process:** If you wish to be notified of the decision of Committee, you must submit a written request to [coa@brampton.ca](mailto:coa@brampton.ca). This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting [olt.clo@ontario.ca](mailto:olt.clo@ontario.ca).

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

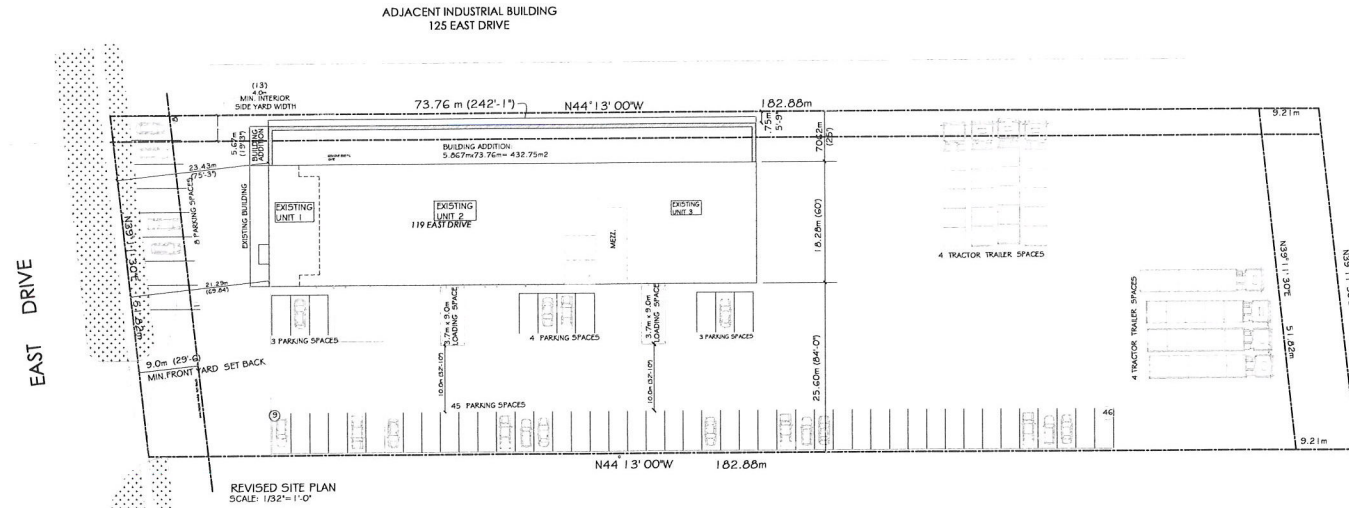
Dated this 30th day of October 2024

Secretary Treasurer  
Committee of Adjustment, City Clerk's Office  
2 Wellington Street West, Brampton, L6Y 4R2  
E: [coa@brampton.ca](mailto:coa@brampton.ca)

Received / Revised

OCT 24 2024

Committee of Adjustment



REVISED SITE PLAN  
SCALE: 1/32"=1'-0"

REVISED SITE STATISTICS:  
 ZONING: CITY OF BRAMPTON BY- LAW SECTION 32.1 M2 INDUSTRIAL ZONE  
 SITE AREA: 9976.84m<sup>2</sup>  
 EXISTING BUILDING AREA: 1348.95m<sup>2</sup>  
 EXISTING MEZZANINE FLOOR AREA: 37.16m<sup>2</sup>  
 PROPOSED BUILDING ADDITION: 432.78m<sup>2</sup>  
 TOTAL BUILDING AREA: 1781.73m<sup>2</sup>  
 TOTAL GROSS FLOOR AREA: 1818.0m<sup>2</sup>  
 SITE COVERAGE: 13.52%  
 PARKING REQUIREMENTS:  
 CITY OF BRAMPTON BY- LAW SECTION 30.0 GENERAL PARKING PROVISIONS FOR INDUSTRIAL ZONES:  
 UP TO 5,000m<sup>2</sup> 1 SPACE PER 60m<sup>2</sup>  
 TOTAL GROSS FLOOR AREA: 1840.25m<sup>2</sup>/60m<sup>2</sup>= 30.6/ 31 PARKING SPACES REQUIRED  
 NUMBER OF PARKING SPACES PROVIDED: 64 SPACES PROVIDED  
 15 TRACTOR TRAILER SPACES PROVIDED  
 CITY OF BRAMPTON BY- LAW SECTION 30.4 (a) PROVISIONS FOR LOADING SPACES:  
 GROSS INDUSTRIAL FLOOR AREA: 1818.0m<sup>2</sup>  
 OVER 280-7450 m<sup>2</sup>: 2 LOADING SPACES REQUIRED

LEGAL DESCRIPTION:  
 PART OF W1/2 LOT 1 (Chinguacousy)  
 CONCESSION 5 E.H.S.  
 PART OF BLOCK K  
 REGISTERED PLAN 720  
 CITY OF BRAMPTON  
 REGION OF PEELE

NOTE:  
 INFORMATION FOR THIS SITE PLAN  
 TAKEN FROM PROPERTY SURVEY  
 BY R.E CLIPSHAM LTD  
 DATED OCTOBER 5, 1989

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REV	DATE	DESCRIPTION	BY
3	24-10-02	ZONING COMMENTS	PC
2	24-09-27	ZONING COMMENTS	PC
1	24-09-06	FRONT & INTERIOR SIDE YARD NOTE ADDED	PC

APP:	AM		
DATE	AUG. 15-24	STAMP	
DES.	AM		
DR.	PC		
CH.	AM		
SCALE	1/32"=1'-0"		

**twg engineering inc.**

Engineering - Project Management

32 Abbotsbury Drive  
 Brampton, ON, L6X 0S3  
 (905) 867-7468  
 email: anujmoh@hotmail.com

DESIGNER  
 DESIGN  
  
 TOGETHER WE GROW  
 DESIGN TWG  
 UNIT 2, 2660 MEADOWVALE  
 BLVD MISSISSAUGA, CANADA  
 905.696.7612,  
 info@designtwg.com

Dem:  
 THE UNDERSIGNED IS RESPONSIBLE FOR  
 THE DESIGN AND HAS THE QUALIFICATIONS  
 THAT MEET THE REQUIREMENTS AS SET  
 OUT UNDER SUBSECTION 3.2.5 DIVISION C OF THE BUILDING  
 CODE AS AN "OTHER DESIGNER"  
 BCIN 21364

CLIENT:  
 BUILDING ADDITION #INTERIOR ALTERATIONS  
 119 EAST DRIVE  
 BRAMPTON, ON.

PROJECT  
 BUILDING ADDITION #INTERIOR ALTERATIONS  
 119 EAST DRIVE

DRAWING TITLE:  
 REVISED SITE PLAN

DWG No.	SP-01	REV.	00	PROJECT NO.	24-209
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