



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0380

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** GURBIR DEOL
Address 14 BENJAMIN THORNE RD BRAMPTON, ON, L7A5C6

Phone # 647-760-5066 **Fax #** _____
Email HARJAPDEOL26@GMAIL.COM

2. **Name of Agent** PAVNEET KAUR(NOBLE PRIME SOLUTIONS LTD)
Address 19-2131 WILLIAMS PKWY BRAMPTON ON, L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email APPLICATIONS@NOBLELTD.CA

3. **Nature and extent of relief applied for (variances requested):**

-TO PERMIT A DECK IN THE REAR YARD WITH A MINIMUM REAR YARD SETBACK OF 1.73m,
-TO PERMIT A ROOFED STRUCTURE ON TOP OF DECK IN THE REAR YARD WITH ENCROACHMENT OF 4.27m,

4. **Why is it not possible to comply with the provisions of the by-law?**

WHEREAS ZONING BY LAW REQUIRES A MINIMUM REAR YARD SETBACK OF 3.5m TO THE DECK;
WHEREAS ZONING BY LAW PERMITS THE MAXIMUM ENCROACHMENT OF 2.0m FOR A ROOFED STRUCTURE IN THE REAR YARD

5. **Legal Description of the subject land:**
Lot Number 246
Plan Number/Concession Number M2058
Municipal Address 14 BENJAMIN THORNE RD BRAMPTON, ON, L7A5C6

6. **Dimension of subject land (in metric units)**
Frontage 11.84
Depth 27
Area 324.19

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

N/A

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	2.68
Rear yard setback	6.30
Side yard setback	1.25
Side yard setback	0.63

PROPOSED

Front yard setback	NO CHANGE
Rear yard setback	1.73
Side yard setback	NO CHANGE
Side yard setback	NO CHANGE

10. Date of Acquisition of subject land: 15 NOV, 2021

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 08/27/2020

15. Length of time the existing uses of the subject property have been continued: 23 YEARS

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 14 Benjamin Thorne Rd, Brampton

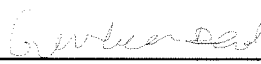
I/We, Gurbir Deol
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Noble Prime Solutions Ltd
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 20 day of September, 20 .



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Gurbir Singh Deol

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

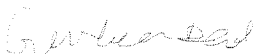
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 14 Benjamin Thorne Rd, Brampton

I/We, Gurbir Deol
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 20 day of September, 20 .



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Gurbir Singh Deol
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

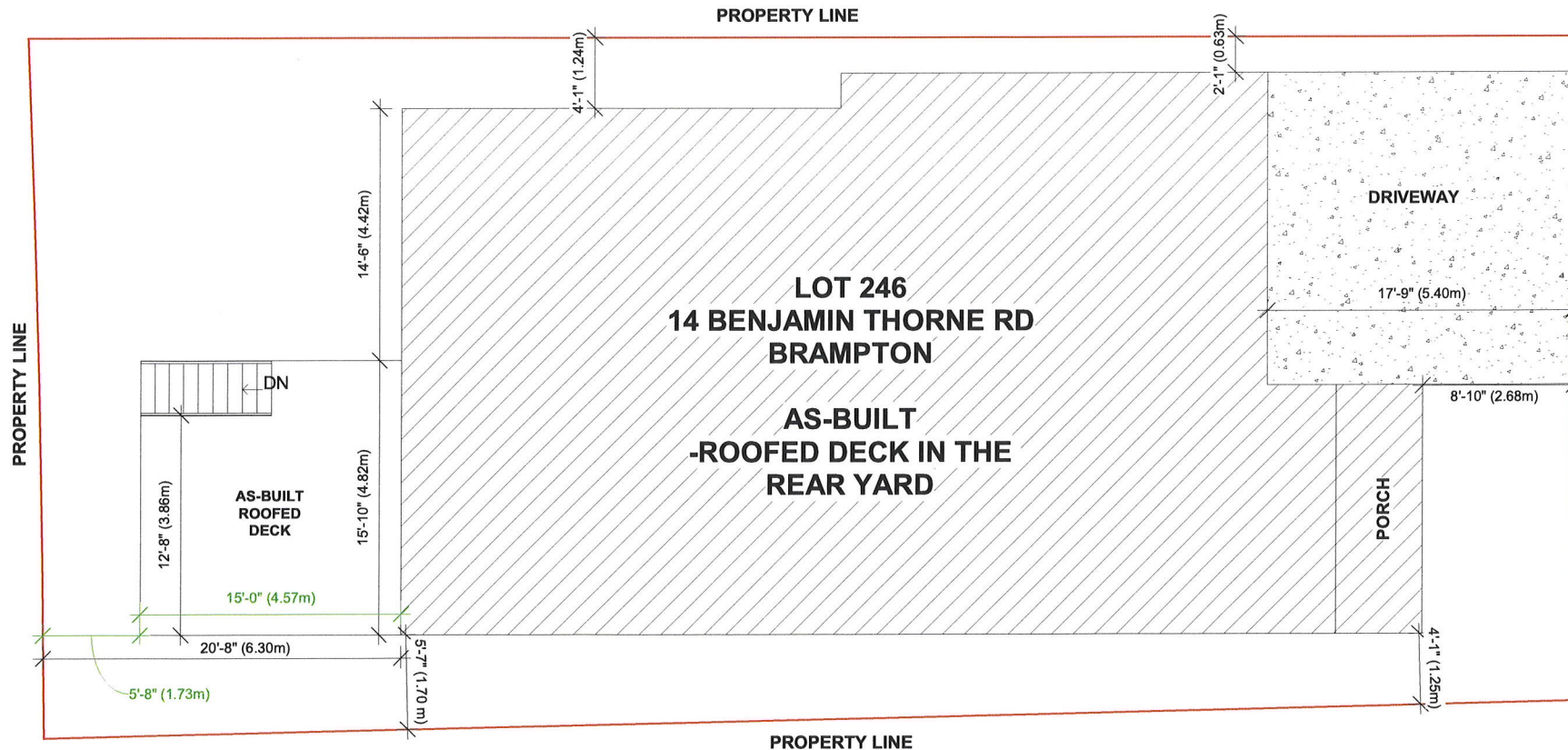
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

MINOR VARIANCE

-TO PERMIT A DECK IN THE REAR YARD WITH A MINIMUM REAR YARD SETBACK OF 1.73m,
WHEREAS ZONING BY LAW REQUIRES A MINIMUM REAR YARD SETBACK OF 3.5m TO THE DECK;

-TO PERMIT A ROOFED STRUCTURE ON TOP OF DECK IN THE REAR YARD WITH ENCROACHMENT
OF 4.27m, WHEREAS ZONING BY LAW PERMITS THE MAXIMUM ENCROACHMENT OF 2.0m FOR A
ROOFED STRUCTURE IN THE REAR YARD.



BENJAMIN THORNE RD

SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Silba

FIRM	BCIN
Noble Prime Solutions Ltd	118716

SEP 26/24

01 ISSUED FOR PERMIT	SEP 26/24
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ADDRESS:
14 BENJAMIN THORNE RD, BRAMPTON, ON.

DRAWN BY: NK	CHECKED BY: JB
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PROJECT NUMBER: 24R-30839

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: SEP 26/24	DWG No:
SCALE: 1 : 90	A1

PART 2 - SURVEY REPORT

1) RECEIVED EXEMPTS AND/OR WORKS OF ART - NONE
 2) THIS PLAN DOES NOT CONFLICT COMPLIANCE WITH ZONING BY-LAWS

THIS PLAN WAS PREPARED FOR THE FOLLOWING PURPOSES:

DATE: NOVEMBER 25, 2020

DATE OF PRESENTATION: NOVEMBER 25, 2020

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE REGULATIONS MADE UNDER THEREOF, AND THE REGULATIONS MADE UNDER THEREOF.

2. THE SURVEY WAS COMPLETED ON THE 15th DAY OF NOVEMBER, 2020.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE REGULATIONS MADE UNDER THEREOF, AND THE REGULATIONS MADE UNDER THEREOF.

2. THE SURVEY WAS COMPLETED ON THE 15th DAY OF NOVEMBER, 2020.

NOTE

ALL FOUND SURVEY MONUMENTS ARE BY APPROXIMATELY 400MM TO 500MM FROM THE SURVEY MONUMENTS AND FROM BARRIERS UNLESS NOTED OTHERWISE.

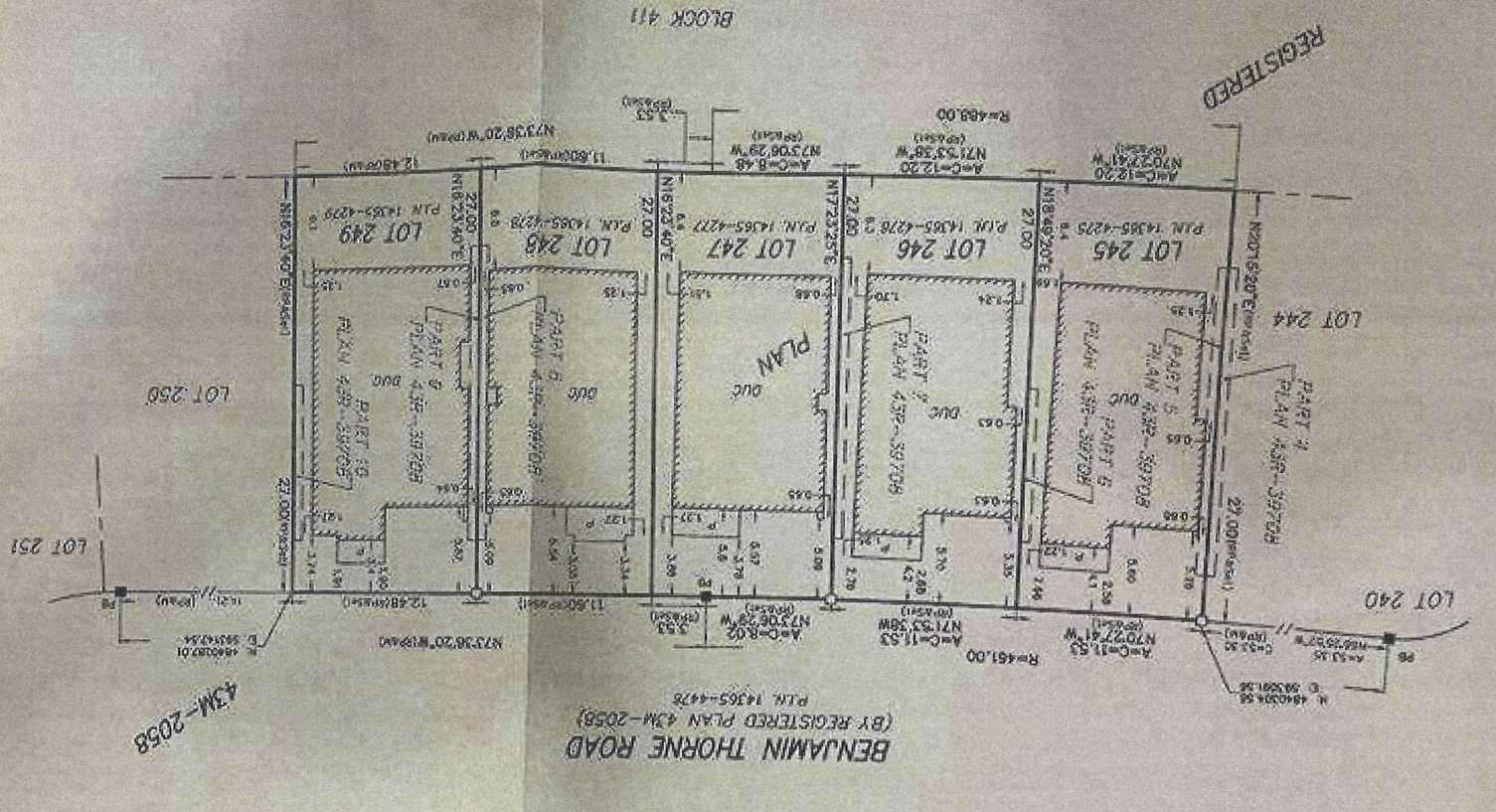
LEGEND

- SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- N.S.E.W. NORTH-SOUTH-EAST-WEST
- N.S.W. NORTH-SOUTH
- M. MEASURED
- P.B. PLANNING BARRIERS
- P.C. PROPERTY IDENTIFICATION NUMBER
- D.U. DISTURBED UNDER CONSTRUCTION
- S.P. REGISTERED PLAN NO. 1058
- S. SLOTTED

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
 REGISTERED PLAN 43M-2058
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEELE
 SCALE: 1 = 100
 YOUNG & YOUNG SURVEYING
 (REGULATED PROFESSION) INC.
 © COPYRIGHT 2020



ASSOCIATION OF ONTARIO LAND SURVEYORS

2142515

PLAN SUBMISSION FORM

AS PER O. REG. 216/18, s. 14 (2)

BEARING NOTE

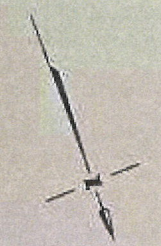
ORDERED CONTROL POINTS (OCPs) WITH ZONE 17: NAD83 (CANADIAN) COORDINATES ARE TO BE REVERSE ADJUSTED AS PER O. REG. 216/18, s. 14 (2).

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM SPHERICAL TRIGONOMETRY DATA, TRAIL FOR DISTURBED UNDER CONSTRUCTION DATA, TRAIL FOR DISTURBED UNDER CONSTRUCTION DATA, TRAIL FOR DISTURBED UNDER CONSTRUCTION DATA.

NORTHING EASTING
 500 0000000 4400000
 500 0000000 4400000

THIS PLAN IS NOT VALID UNLESS IT IS AN UNRECORDED COPY ISSUED BY THE SURVEYOR IN CONFORMANCE WITH REGULATION 102E, SECTION 28(2).

DISTANCE NOTE
 DISTANCES SHOWN HEREON ARE GRID DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.999917.



Zoning Non-compliance Checklist

File No.
A - 2024-0380

Applicant: PAVNEET KAUR
 Address: 14 BENJAMIN THORNE RD
 Zoning: R1F-9-2556 Residential
 By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
DECK SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS	<p>To permit an existing deck to encroach 4.57m into the rear yard setback, resulting in a setback of 1.73m from the deck to the rear lot line</p> <p>To permit an existing <i>open roofed structure</i> to encroach 4.57m into the rear yard setback, resulting in a setback of 1.73m from the deck to the rear lot line</p>	<p>whereas the by-law permits a deck to encroach a maximum 3.5m into the rear yard setback.</p> <p>whereas the by-law permits an open roofed structure to encroach a maximum 4.5m into the rear yard setback.</p>	<p>2556.2.6.c</p> <p>2556.2.6.e</p>
PARKING			
SCHEDULE "C"			

Angelo Barbato
 Reviewed by Zoning

October 1, 2024
 Date