

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) Apple Factory Developments Inc.

TELEPHONE NO. HOME () BUSINESS: (416)282-2296 FAX: ()

E-MAIL ADDRESS: jason@glenrougehomes.com

MAILING ADDRESS: 2061 McCowan Road (Suite 203), Toronto ON, M1S 3Y6

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) ERA Architects Inc.

TELEPHONE NO. HOME () BUSINESS: (437)900-7894 FAX: ()

E-MAIL ADDRESS: jamieg@eraarch.ca

MAILING ADDRESS: 625 Church Street, Toronto, ON M4Y 2G1

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

The farmhouse at 10020 Mississauga Road is proposed to be demolished as part of the proposed development. In order to mitigate this impact, a substantial number of building materials are proposed to be salvaged, including face bricks and foundation stones. The salvaged bricks and stones would be reused on site as part of interpretive installations.

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED

DEMOLISH

ALTER

EXPAND

RELOCATE

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m2

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL _____

BUILDING PERMIT _____

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- REGISTERED SURVEY
- SITE PLAN (showing all buildings and vegetation on the property)
- EXISTING PLANS & ELEVATIONS - AS BUILT
- PROPOSED PLANS & ELEVATIONS
- PHOTOGRAPHS
- MATERIAL SAMPLES, BROCHURES, ETC
- CONSTRUCTION SPECIFICATION DETAILS

Salvage plan

I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)



Signature of Applicant or Authorized Agent

September 17, 2024

Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

J. APPROVAL CHECKLIST

(Internal use only)

Authority:

Date:

Resolution:

Brampton Heritage Board

Planning Committee (PDD)

City Council

Key Plan: Exterior



Key plan of elevation photographs (City of Brampton, 2019; annotated by ERA).



1
East elevation (ERA, 2024).



2
East elevation (ERA, 2024).



North elevation (ERA, 2024).



North and west elevations (ERA, 2024).



5
West elevation (ERA, 2024).

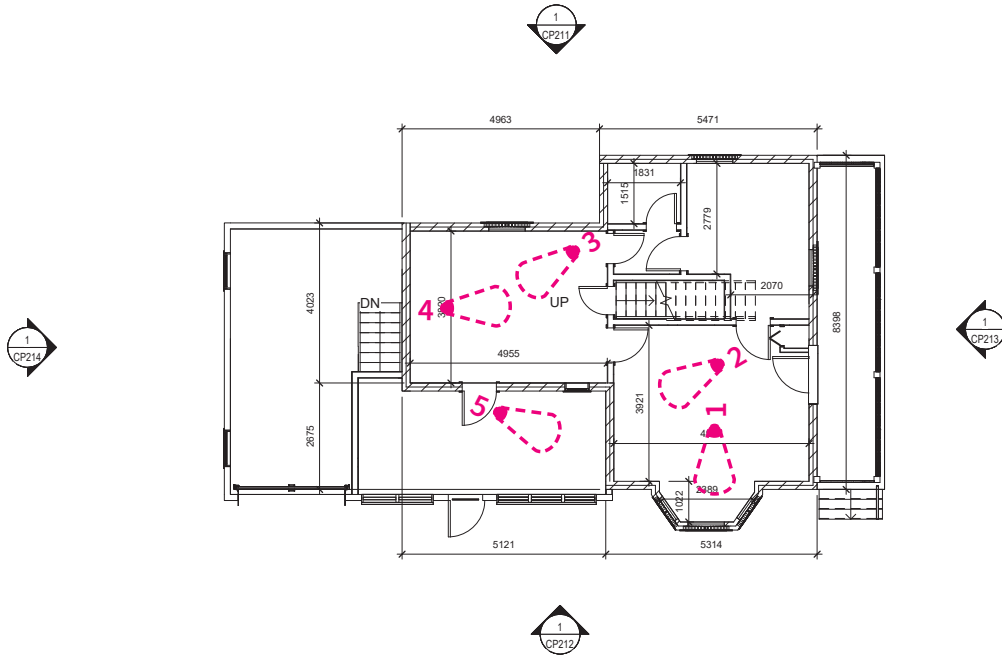


6
West and south elevations (ERA, 2024).

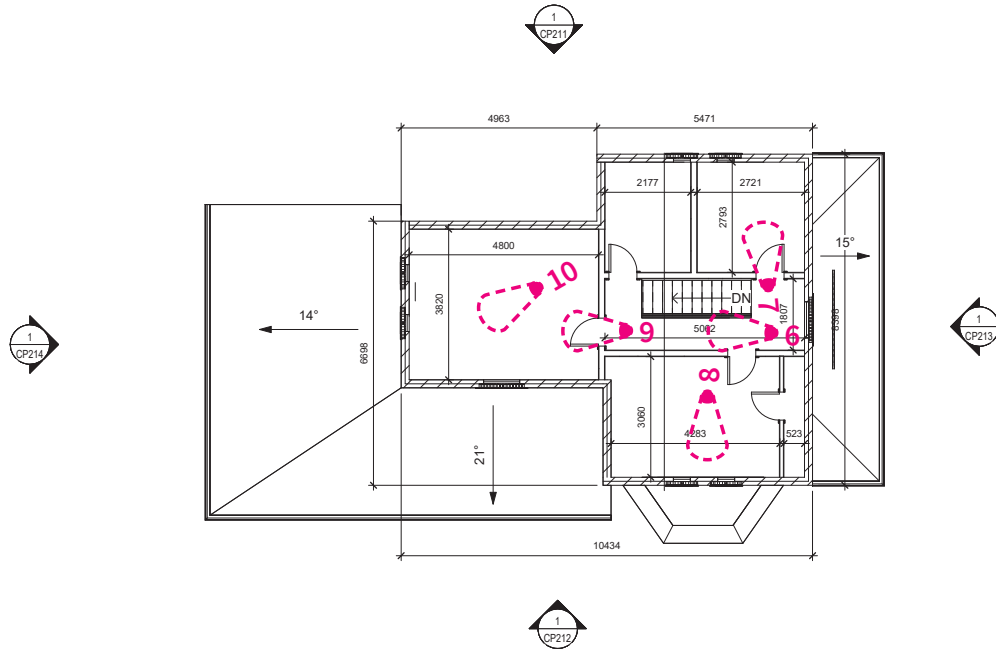


South elevation (ERA, 2024).

Key Plan: Interior



Key plan, ground floor (ERA, 2024).



Key plan, second floor (ERA, 2024).



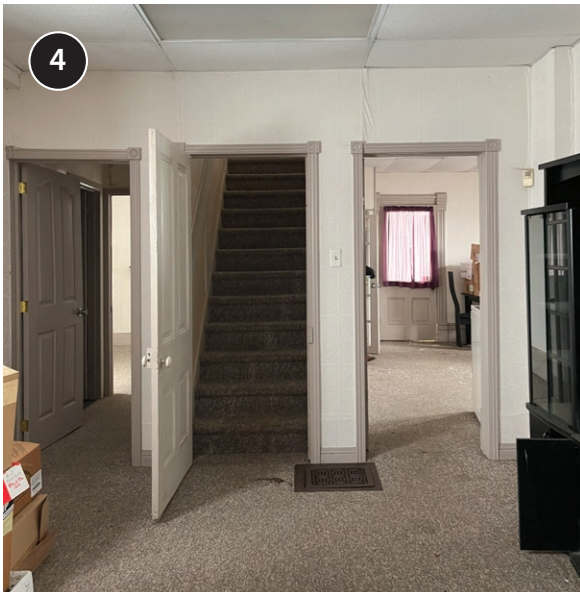
1
Interior, ground floor (ERA, 2024).



2
Interior, ground floor (ERA, 2024).



Interior, ground floor rear wing (ERA, 2024).



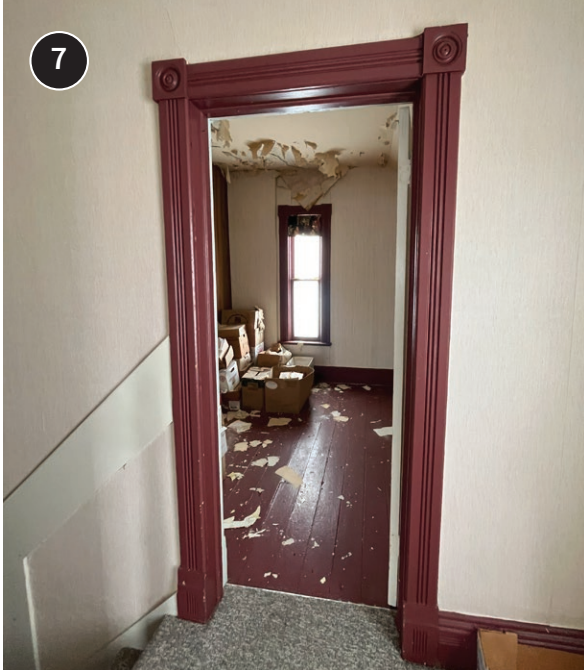
Interior, ground floor rear wing (ERA, 2024).



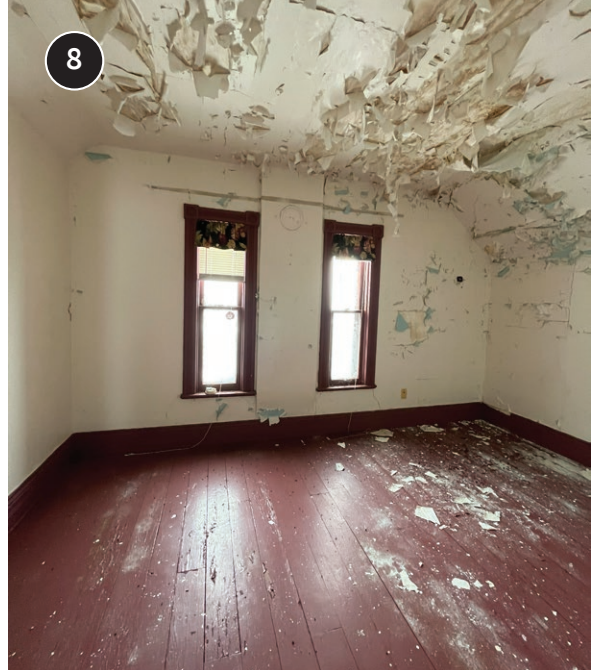
Interior, ground floor rear addition (ERA, 2024).



Interior, second floor hall (ERA, 2024).



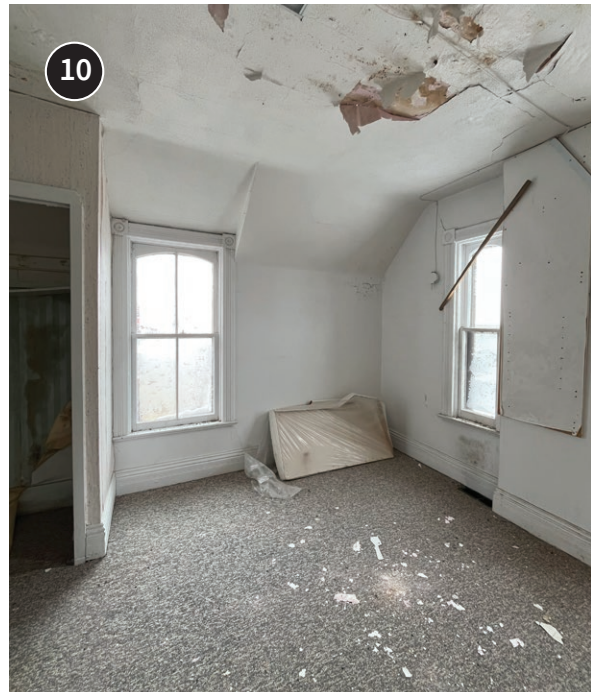
Interior, second floor bedroom (ERA, 2024).



Interior, second floor bedroom (ERA, 2024).



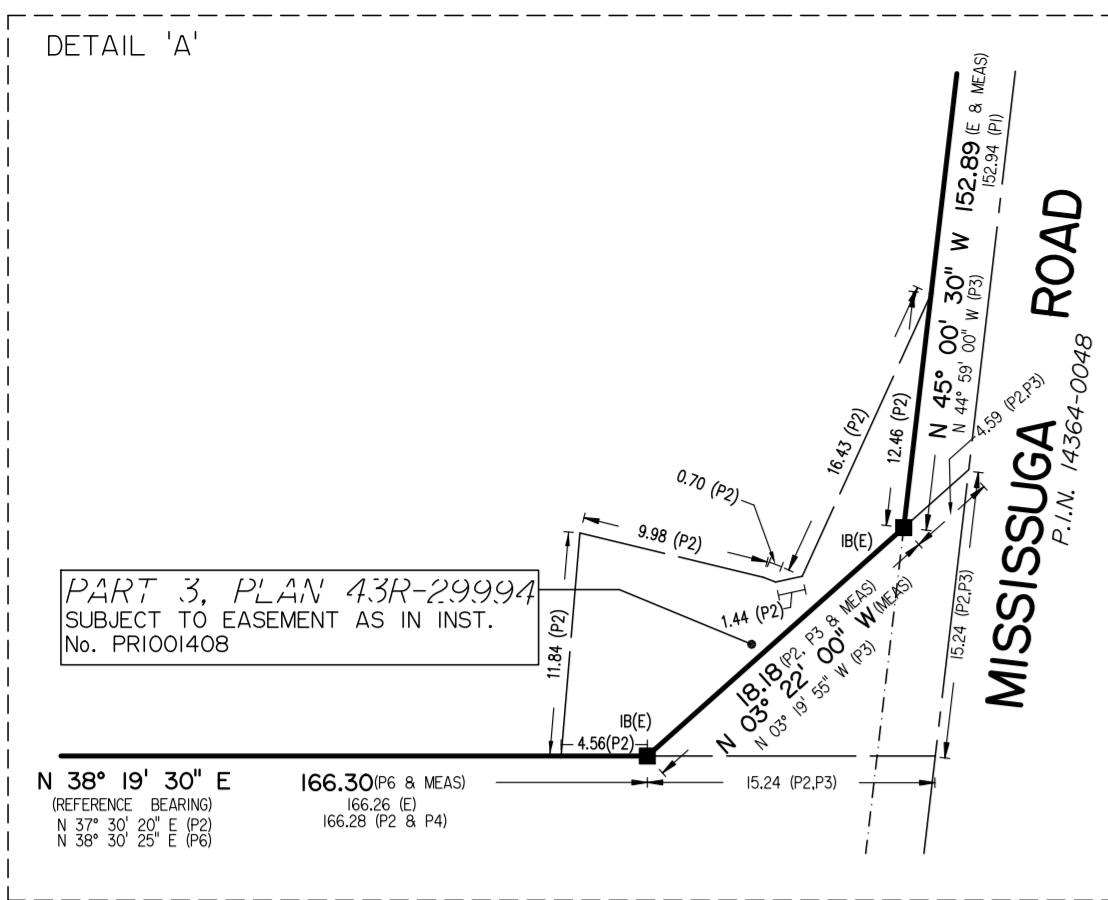
Interior, second floor bedroom (ERA, 2024).



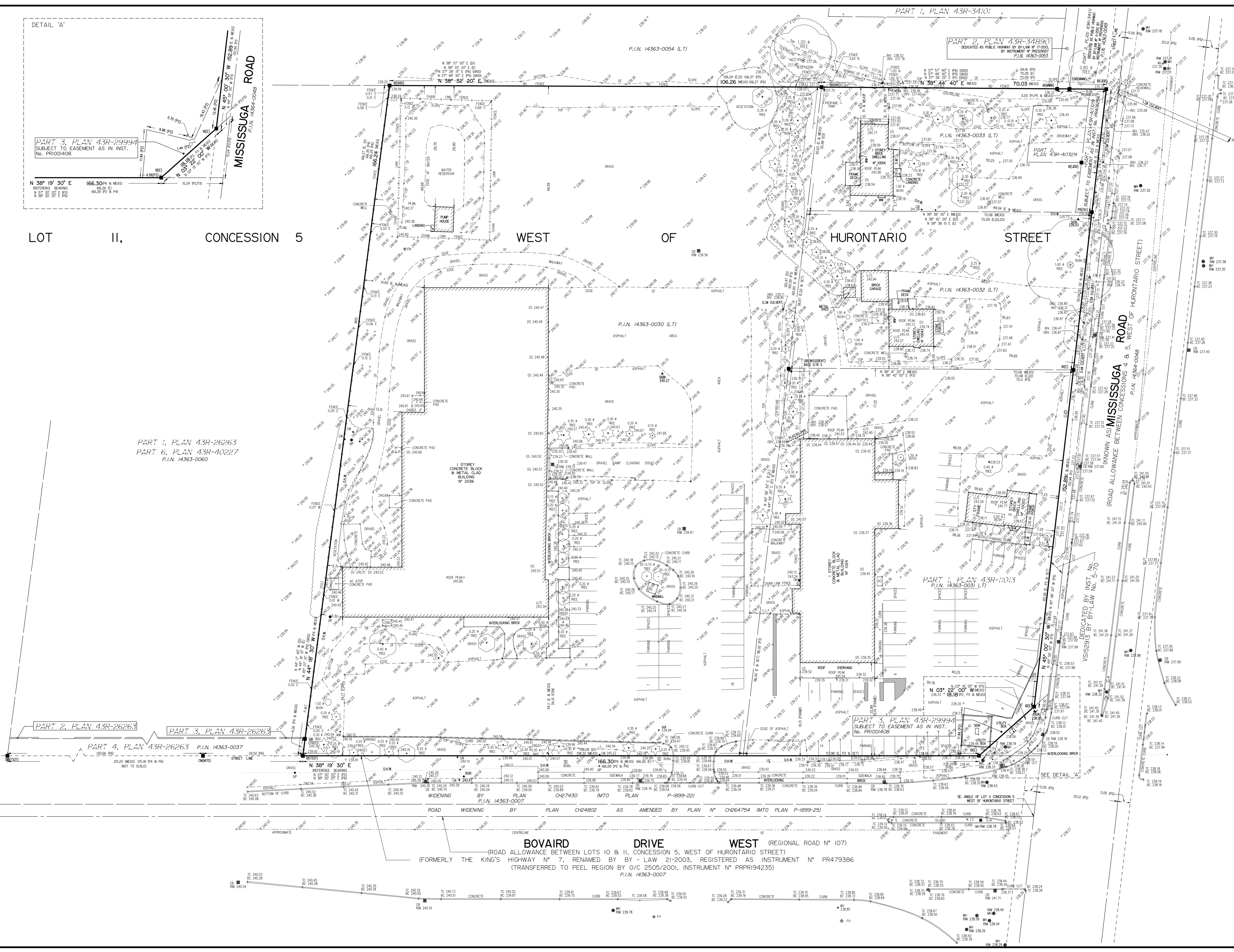
Interior, second floor bedroom (ERA, 2024).



Basement (ERA, 2024).



LOT II, CONCESSION 5 WEST OF HURONTARIO STREET



SURVEYOR'S REAL PROPERTY REPORT AND TOPOGRAPHY OF
PART OF LOT II, CONCESSION 5 WEST OF HURONTARIO STREET
 (FORMERLY GEOGRAPHIC TOWNSHIP OF CHINGJACOUSY)
CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1 : 400

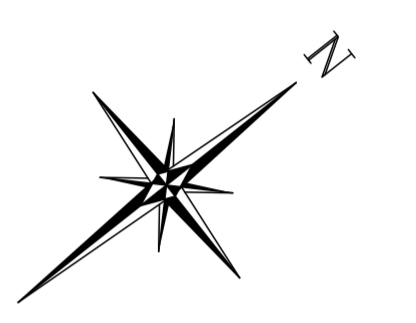
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METRIC NOTE
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE
 1. THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED JULY 22ND, 2022.
 2. THIS PLAN AND REPORT WERE PREPARED FOR CORBETT LAND STRATEGIES INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWEST LIMIT OF SOUARD DRIVE WEST HAVING A BEARING OF N 38° 19' 30" E AS SHOWN ON PLAN 43R-11013.

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF BRAMPTON BENCHMARK N° 042910094 WITH A PUBLISHED ELEVATION OF 241.723 METRES (CVD-1928:ONT.78 ADJUSTMENT).



ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
V-30978

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3)

LEGEND

□	DENOTES	MONUMENT PLANTED
■	MONUMENT FOUND	
WT	WITNESS	
CC	CUT CROSS	
IB	IRON BAR	
SIB	STANDARD IRON BAR	
SSIB	SHORT STANDARD IRON BAR	
PSB	PLASTIC BAR	
OU	ORIGIN UNKNOWN	
CM	CONCRETE MONUMENT	
D1	INSTRUMENT NO. G4307558	
D2	INSTRUMENT NO. R0699997	
D3	INSTRUMENT NO. R0752576	
P	PLAN OF SURVEY BY ERTL SURVEYORS O.L.S., DATED MAY AUGUST 6, 2019	
E1	PLAN 43R-40329	
P2	PLAN 43R-29994	
P3	PLAN 43R-11013	
P4	PLAN 43R-22623	
P5	PLAN 43R-34101	
P6	PLAN 43R-40227	
666	ARTHUR DEATH, O.L.S.	
1521	MARSHALL, MACKLIN, MONAGHAN O.L.S.	
JDB	J. D. BARNES LTD., O.L.S.	
B65	DONALD P. McLEAN, O.L.S.	
MUM	MARSHALL, MACKLIN, MONAGHAN O.L.S.	
MTD	MINISTRY OF TRANSPORTATION OF ONTARIO	
P.I.N.	PROPERTY IDENTIFICATION NUMBER	
N.S.E.W.	NORTH, SOUTH, EAST, WEST	
MEAS	MEASURED	
WW	WINDOW WELL	
UP	UTILITY POLE	
GW	GUY WIRE ANCHOR	
O.H.W.	OVERHEAD UTILITY CABLES	
C.L.F.	CHAIN LINK FENCE	
B.F.	BOARD FENCE	
P.W.F.	POST & WIRE FENCE	
G	GATE	
S.W.	STONE WALKWAY	
B.W.	BAY WINDOW	
AC	AIR CONDITIONING UNIT	
TC/BC	TOP/BOTTOM OF CURB	
DS/GS	DOOR/GARAGE SILL ELEVATION	
U/S	UNDERSIDE OF EAVE	
INV.	INVERT ELEVATION	
OSV.	OBVERT ELEVATION	
T.O.S.	TOP OF SLOPE	
LS	LIGHT STANDARD	
TL	TRENCH LIGHT	
CB	CATCH BASIN	
MH	MANHOLE	
CB	CATCH BASIN	
FH	FIRE HYDRANT	
GM/GV	GAS METER/GAS VALVE	
WV	WATER VALVE	
SBX	ELECTRICAL SWITCH BOX	
BUBX	BELL UTILITY BOX	
φ	DIAMETER	
FDN	FOUNDATION WALL	

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON JULY 12TH, 2022.

JULY 22ND, 2022
 DATE MAAZ MALEK
 ONTARIO LAND SURVEYOR



10 FOUR SEASONS PLACE, 10TH FLOOR
 TORONTO, M5B 6H7
 T 905-499-2956 F 1800-262-9784 WWW.GENESISLANDSURVEYING.COM
 DRAFTED BY: R.M.R. CHECKED BY: M.M. PROJECT No. GLS-1376

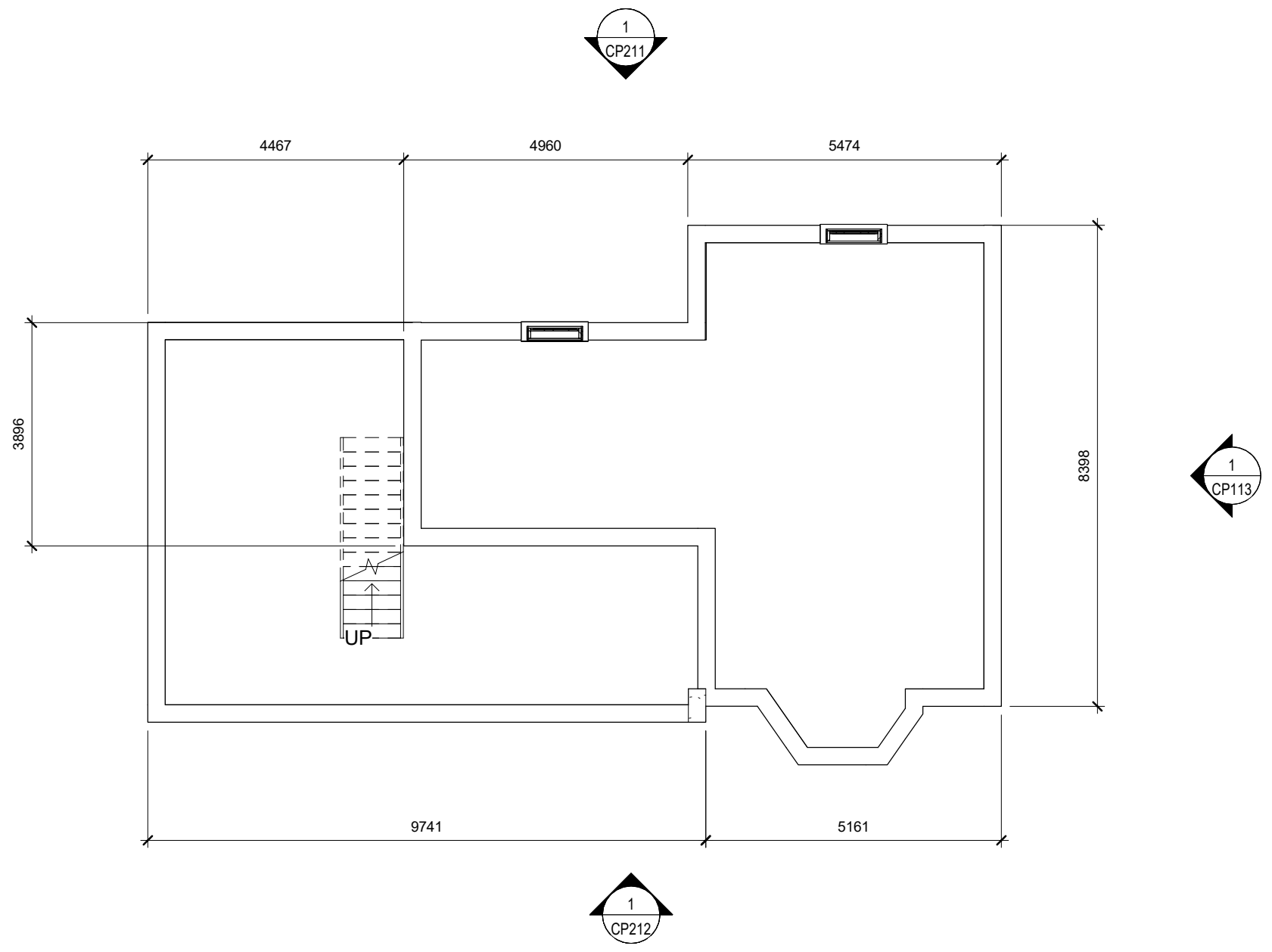
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

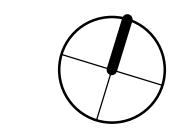
NOT FOR CONSTRUCTION

LEGEND

 EXISTING



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 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.



Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	Author
Reviewed by	Checker
Drawing title	Basement Plan_Existing

Sheet no. **CP100**

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GENERAL NOTES

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Drawn by Author

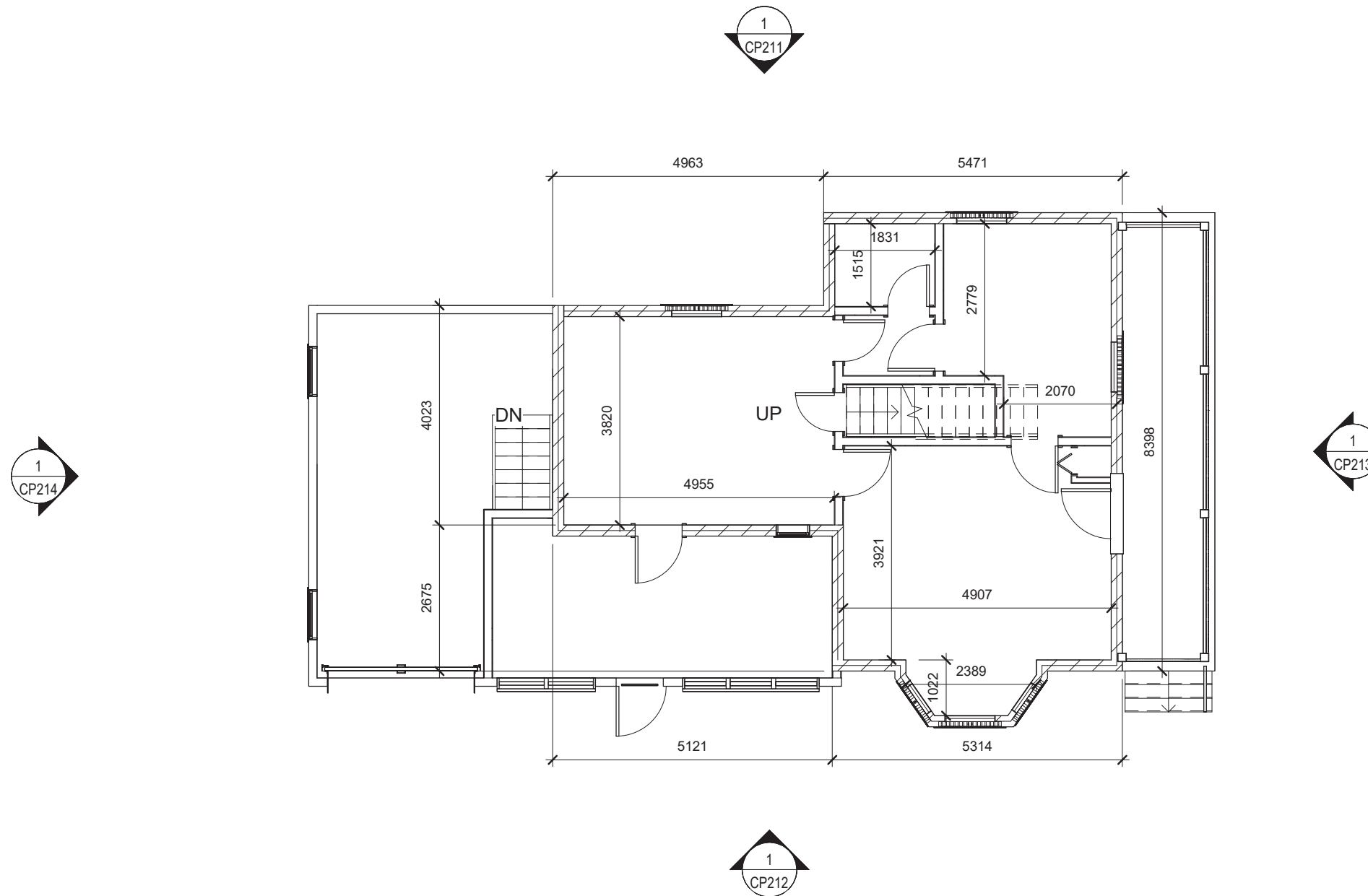
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Drawing title

Ground Floor Plan_Existing

Sheet no.

CP101



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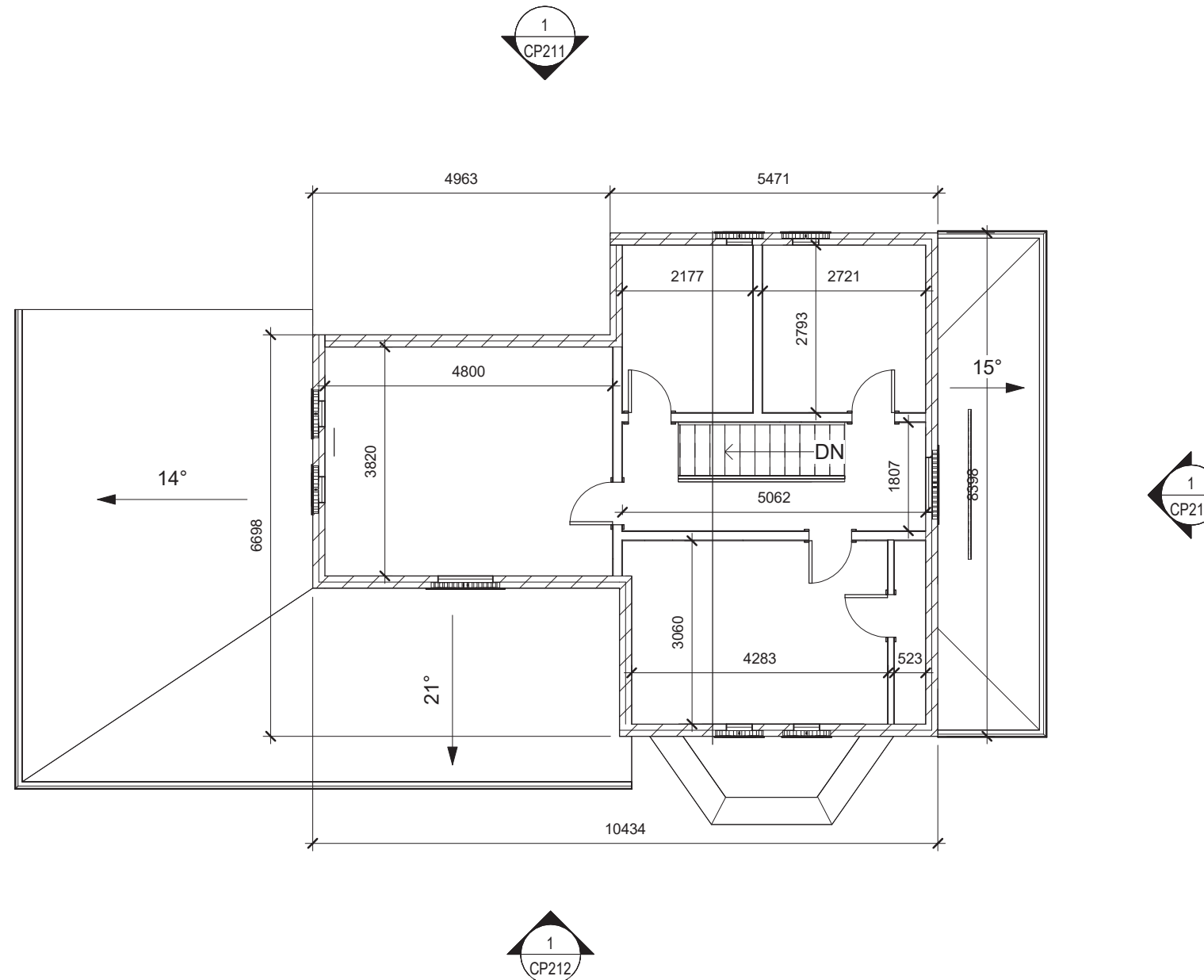
Reviewed by Checker

Drawing title

Second Floor Plan_Existing

Sheet no.

CP102



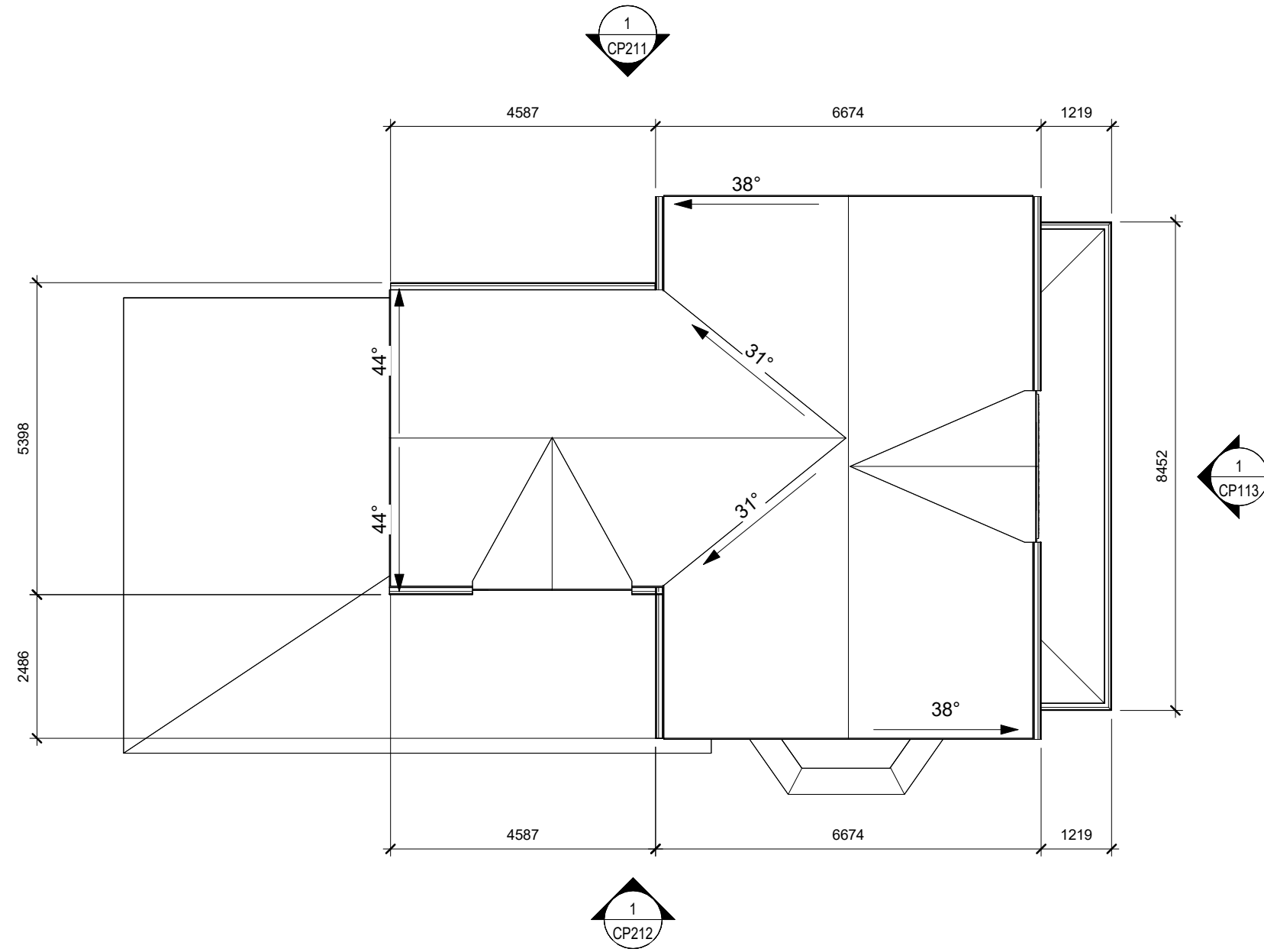
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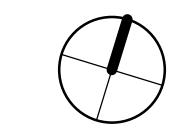
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For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	Author
Reviewed by	Checker
Drawing title	

Roof Plan_Existing

Sheet no.

CP103

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Drawn by Author

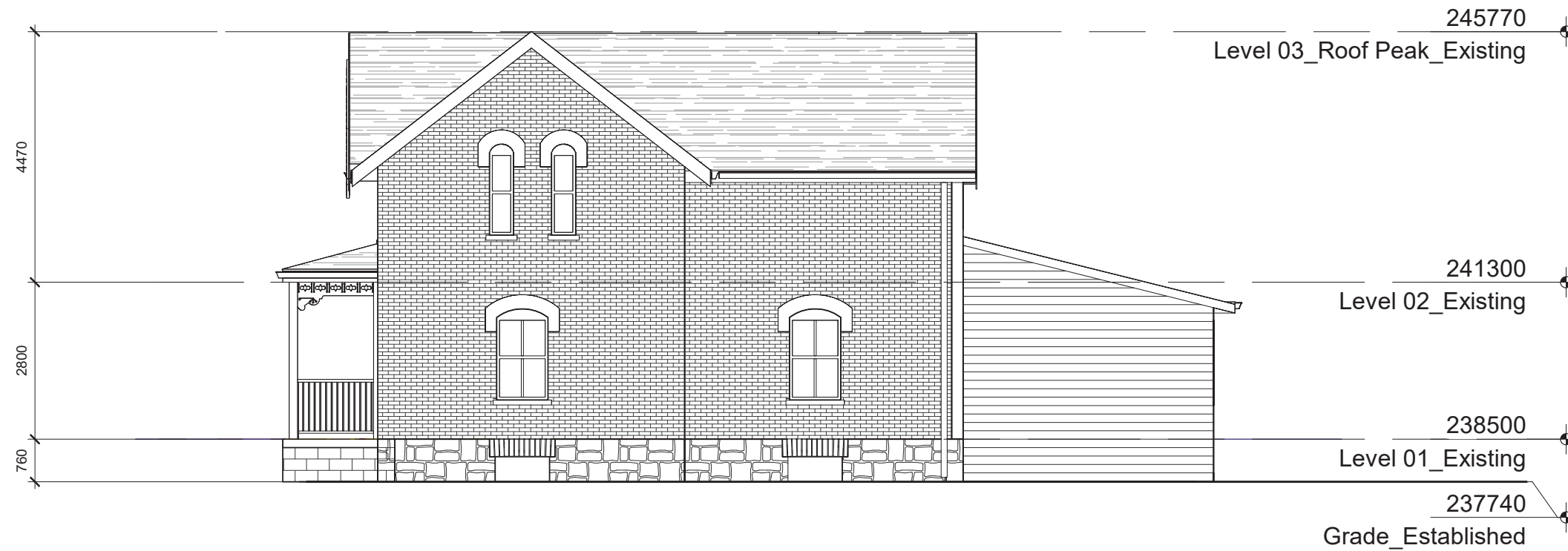
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Drawing title

North Elevation_Existing

Sheet no.

CP111



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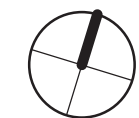
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Reviewed by Checker

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South Elevation_Existing

Sheet no.

CP112



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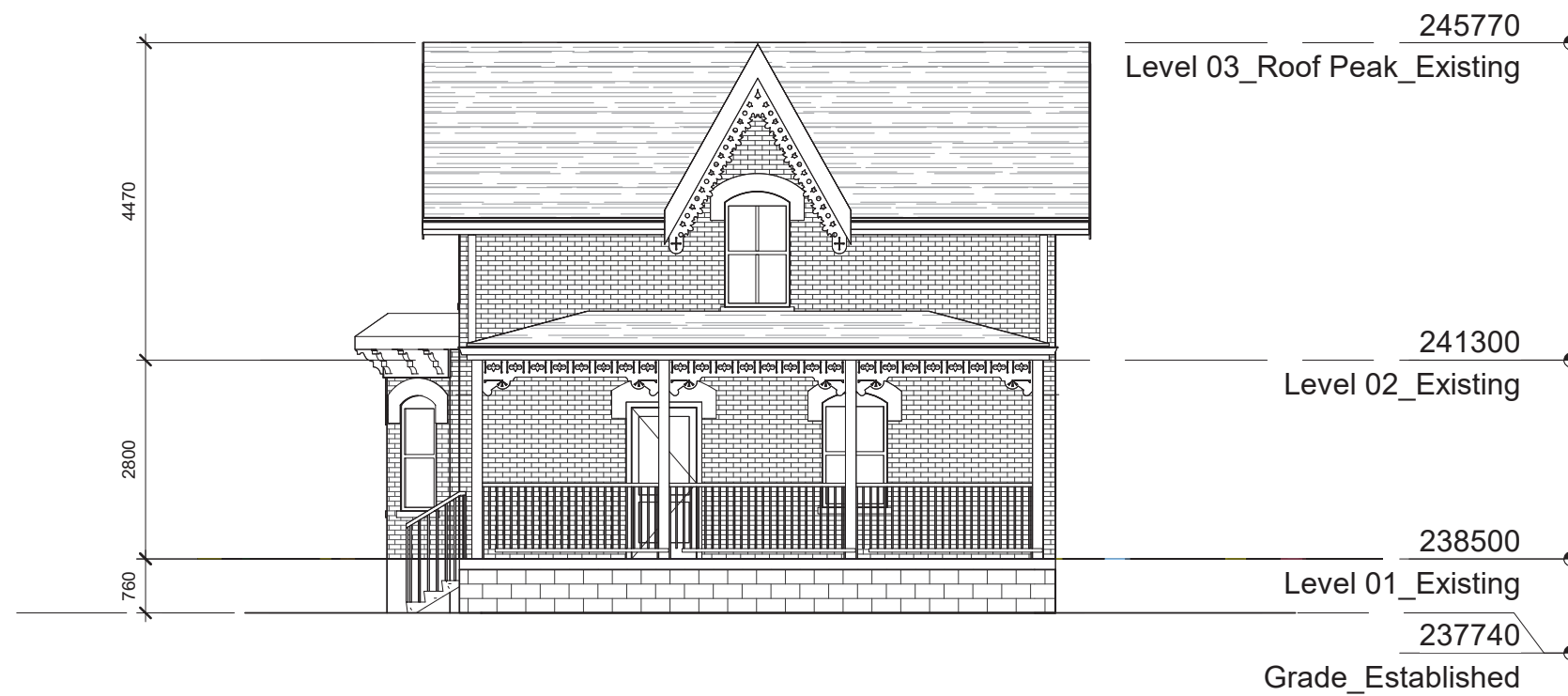
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Drawing title

East Elevation_Existing

Sheet no.

CP113



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Project no. 21-060

Scale at 11x17 1 : 100

Drawn by Author

Reviewed by Checker

Drawing title

West Elevation_Existing

Sheet no.

CP114





10020 MISSISSAUGA RD.

10020 MISSISSAUGA RD.

21-060

Issued For
SALVAGE AND DEMOLITION

February 23 2024

ERA

HERITAGE ARCHITECT

ERA Architects Inc.
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

HERITAGE DRAWING LIST

CP000 Cover Page
CP200 Basement Plan_Salvage and Demolition
CP201 First Floor Plan_Salvage and Demolition
CP202 Second Floor Plan_Salvage and Demolition
CP203 Roof Plan_Salvage and Demolition
CP211 North Elevation_Salvage and Demolition
CP212 South Elevation_Salvage and Demolition
CP213 East Elevation_Salvage and Demolition
CP214 West Elevation_Salvage and Demolition

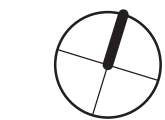
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Address 10020 MISSISSAUGA RD.

For Corbet Land Strategies

Project no. 21-060

Scale at 11x17 1 : 100

Drawn by JS






Reviewed by JQ

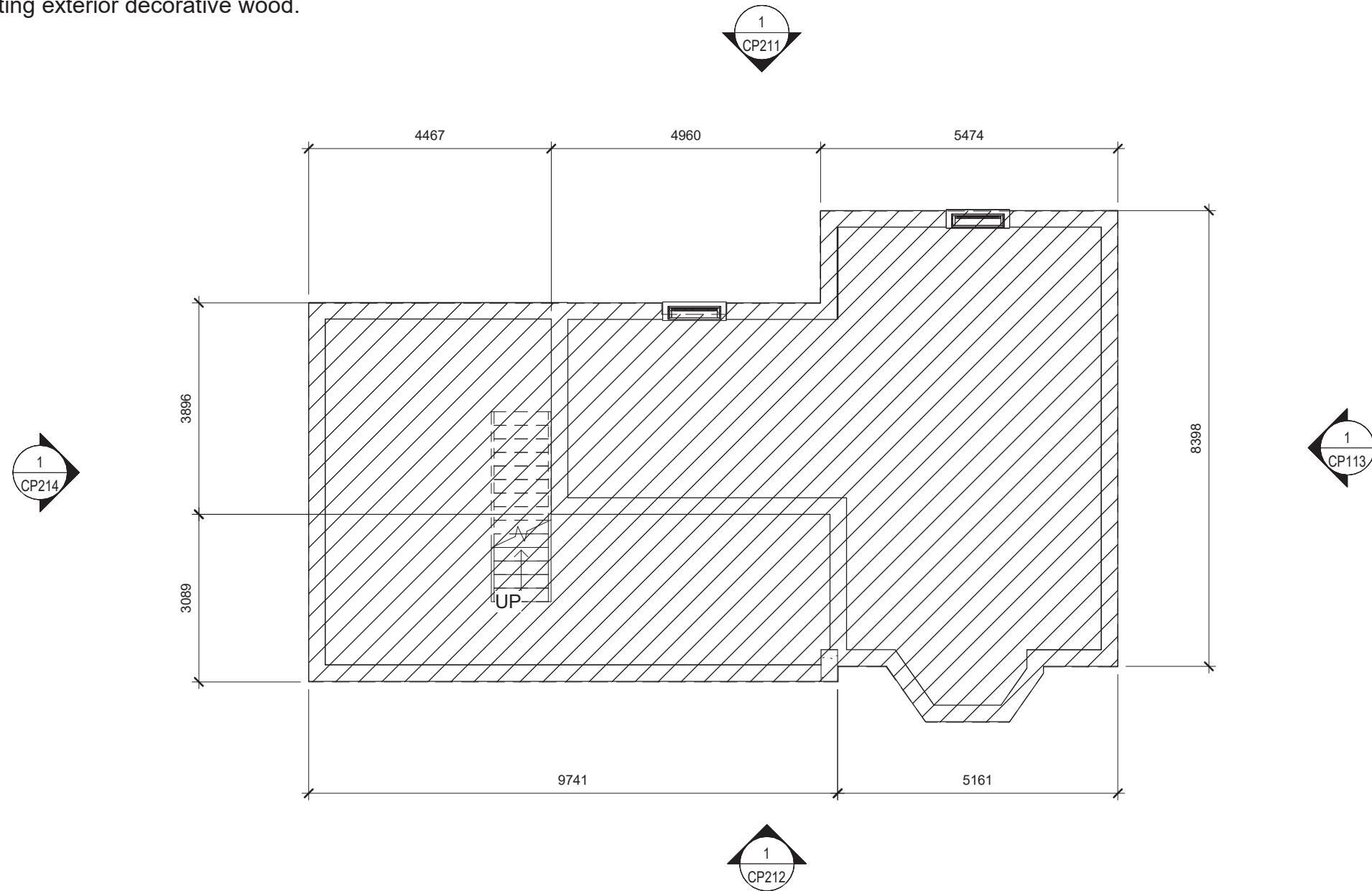
Drawing title

Basement Plan_Salvage and Demolition

Sheet no.

CP200

- Salvage Notes:**
-  S-01 Salvage existing metal grilles.
 -  S-02 Salvage existing wood window.
 - S-03 Salvage existing door.
 - S-04 Slavage select interior wood trim.
 - S-05 Demolish existing building.
 -  S-06 Salvage face brick, allowance for 65% salvagable units.
 -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
 -  S-08 Salvage existing exterior decorative wood.



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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND



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Project

10020 MISSISSAUGA RD.

Address 10020 MISSISSAUGA RD.

For Corbet Land Strategies

Project no. 21-060

Scale at 11x17 1 : 100

Drawn by JS

Reviewed by JQ

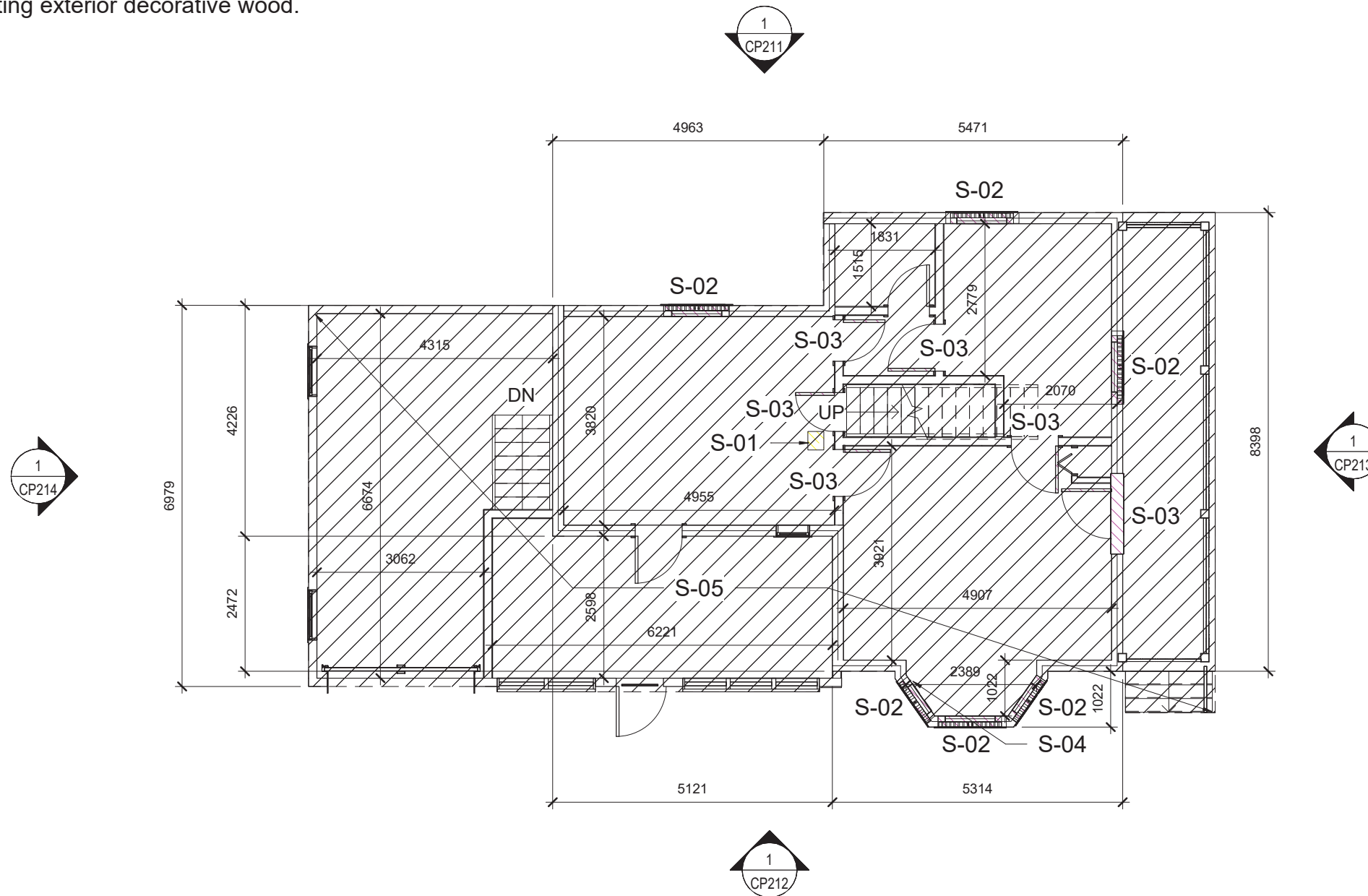
Drawing title

Ground Floor Plan_Salvage and Demolition

Sheet no.






CP201

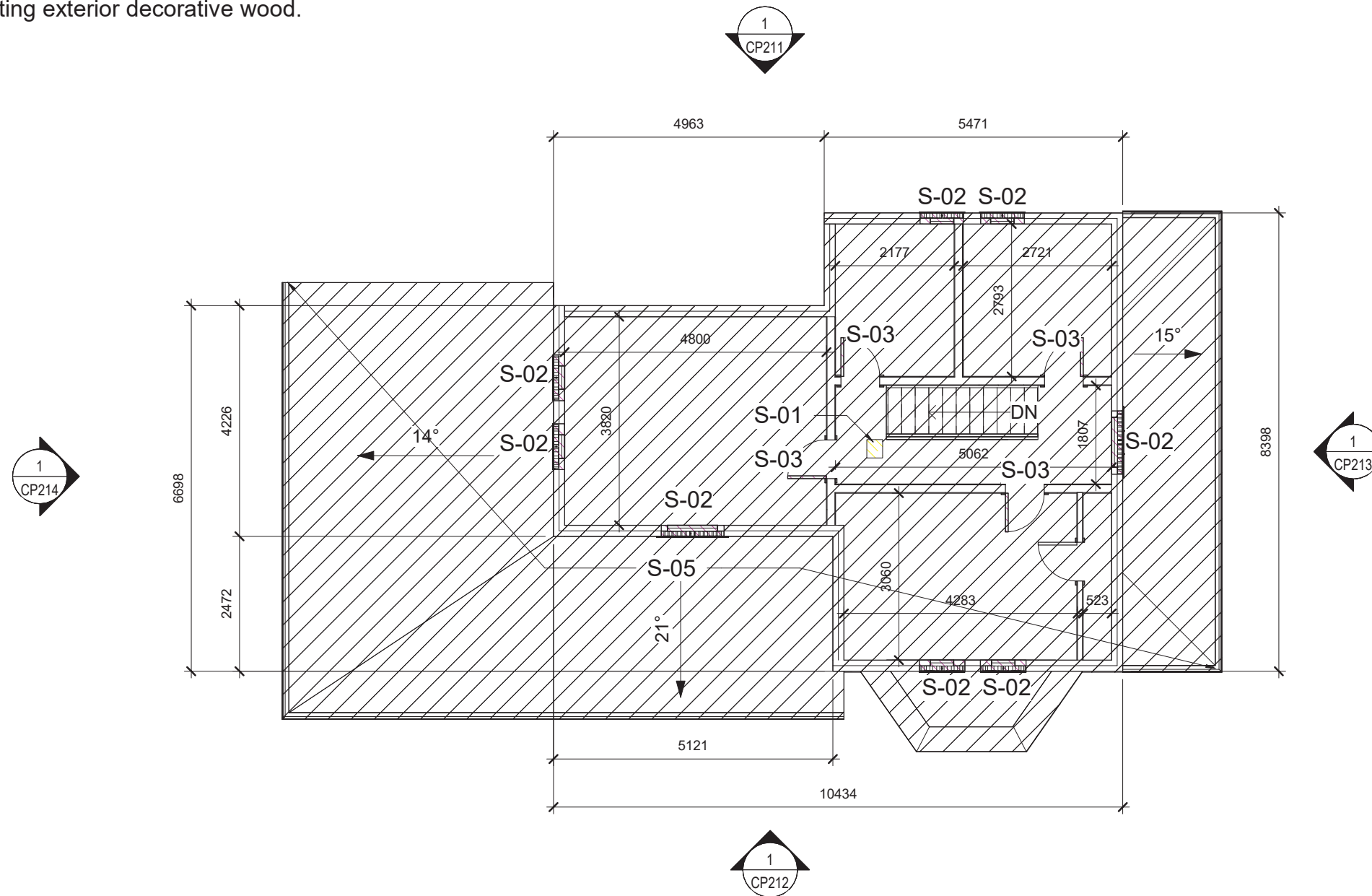
- Salvage Notes:
- S-01 Salvage existing metal grilles.
 - S-02 Salvage existing wood window.
 - S-03 Salvage existing door.
 - S-04 Salvage select interior wood trim.
 - S-05 Demolish existing building.
 - S-06 Salvage face brick, allowance for 65% salvagable units.
 - S-07 Salvage field stone foundation, allowance for 50% salvageable units.
 - S-08 Salvage existing exterior decorative wood.



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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

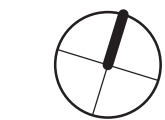
- Salvage Notes:**
-  S-01 Salvage existing metal grilles.
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 - S-04 Slavage select interior wood trim.
 - S-05 Demolish existing building.
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 -  S-08 Salvage existing exterior decorative wood.



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 For Corbet Land Strategies
 Project no. 21-060
 Scale at 11x17 1 : 100
 Drawn by JS
 Reviewed by JQ
 Drawing title

Second Floor Plan_Salvage and Demolition

Sheet no.

CP202

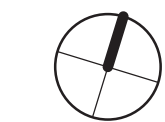
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

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Project

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Address 10020 MISSISSAUGA RD.

For Corbet Land Strategies

Project no. 21-060

Scale at 11x17 1 : 100

Drawn by JS






Reviewed by JQ

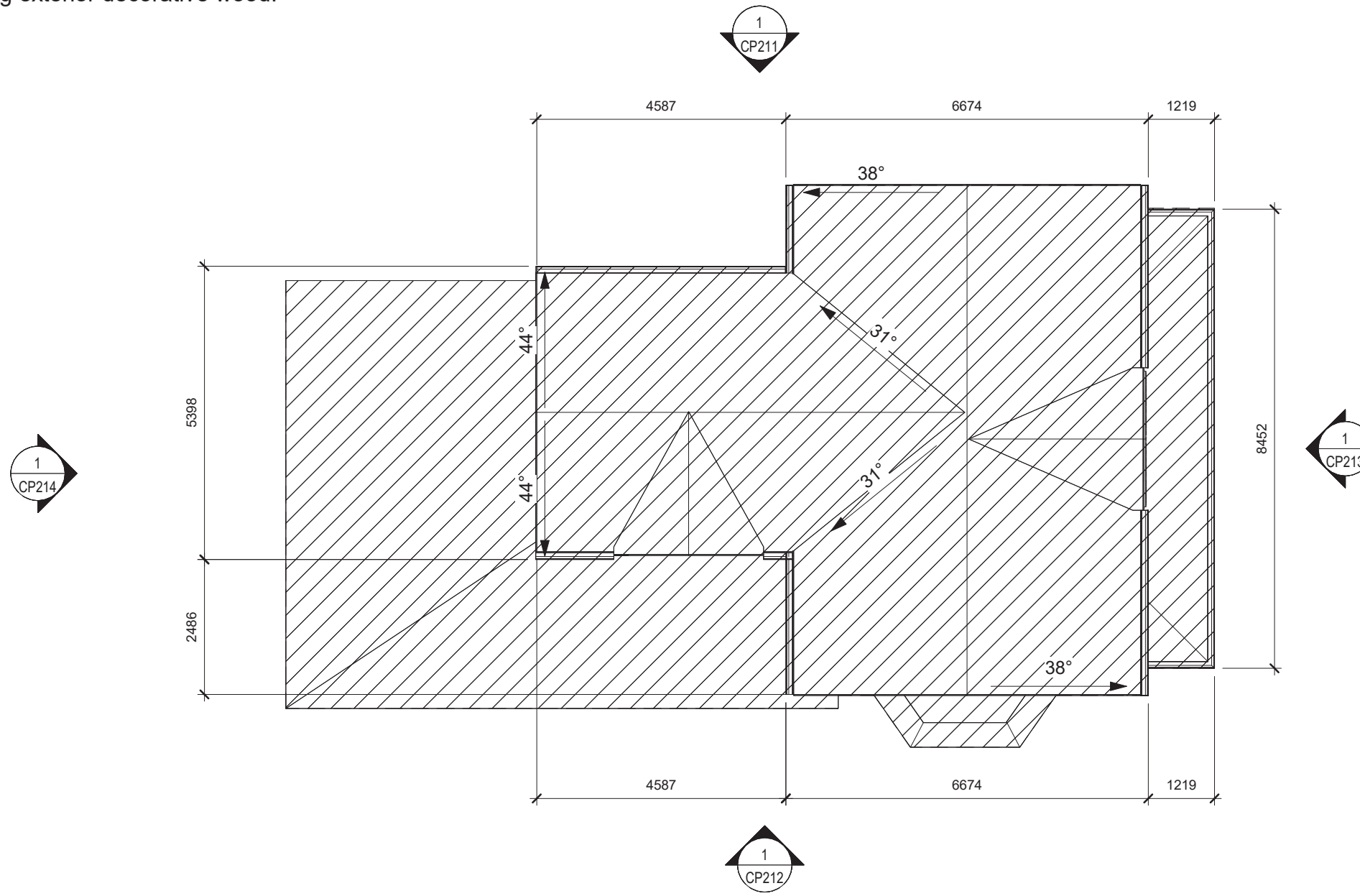
Drawing title

Roof Plan_Salvage and Demolition

Sheet no.

CP203

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
 -  S-02 Salvage existing wood window.
 - S-03 Salvage existing door.
 - S-04 Slavage select interior wood trim.
 - S-05 Demolish existing building.
 -  S-06 Salvage face brick, allowance for 65% salvagable units.
 -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
 -  S-08 Salvage existing exterior decorative wood.








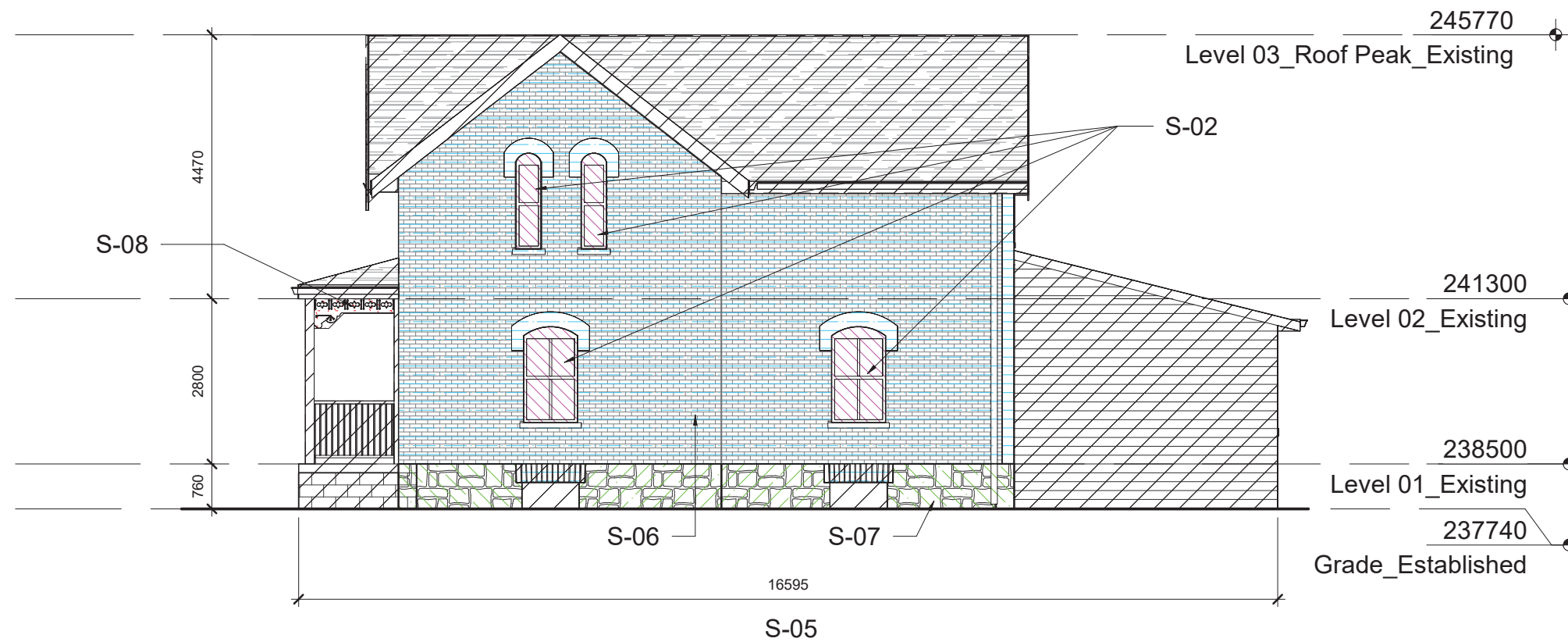
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NO.	DATE	REVISION / ISSUANCE
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LEGEND



- Salvage Notes:
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 -  S-02 Salvage existing wood window.
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 - S-04 Slavage select interior wood trim.
 - S-05 Demolish existing building.
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 -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
 -  S-08 Salvage existing exterior decorative wood.



Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	JS
Reviewed by	JQ
Drawing title	

North Elevation_Salvage and Demolition

Sheet no.






CP211

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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
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Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	JS
Reviewed by	JQ
Drawing title	

South Elevation_Salvation and Demolition

Sheet no.






CP212

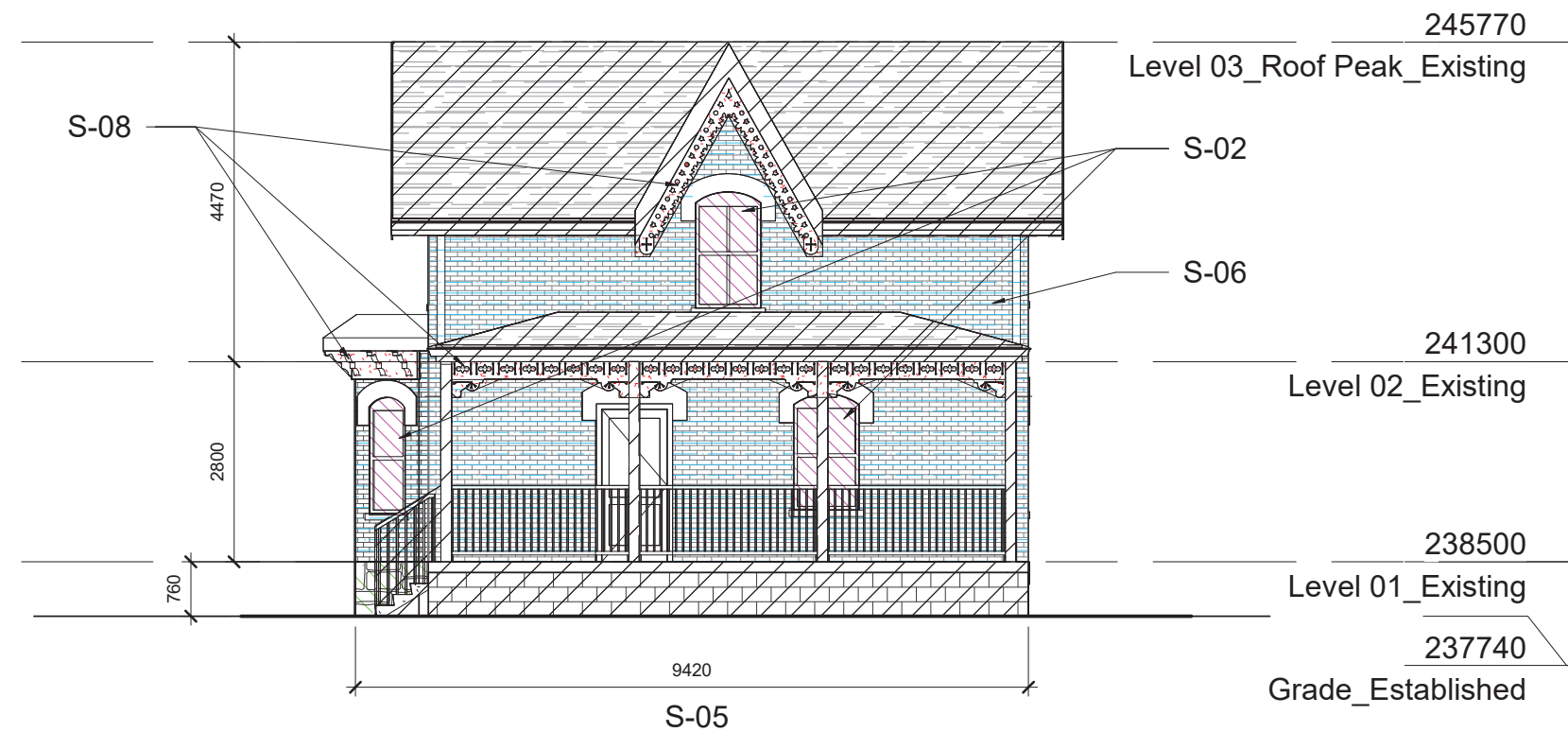
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
 -  S-02 Salvage existing wood window.
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 - S-05 Demolish existing building.
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 Address 10020 MISSISSAUGA RD.
 For Corbet Land Strategies
 Project no. 21-060
 Scale at 11x17 1 : 100
 Drawn by JS
 Reviewed by JQ
 Drawing title

East Elevation_Salvage and Demolition


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CP213

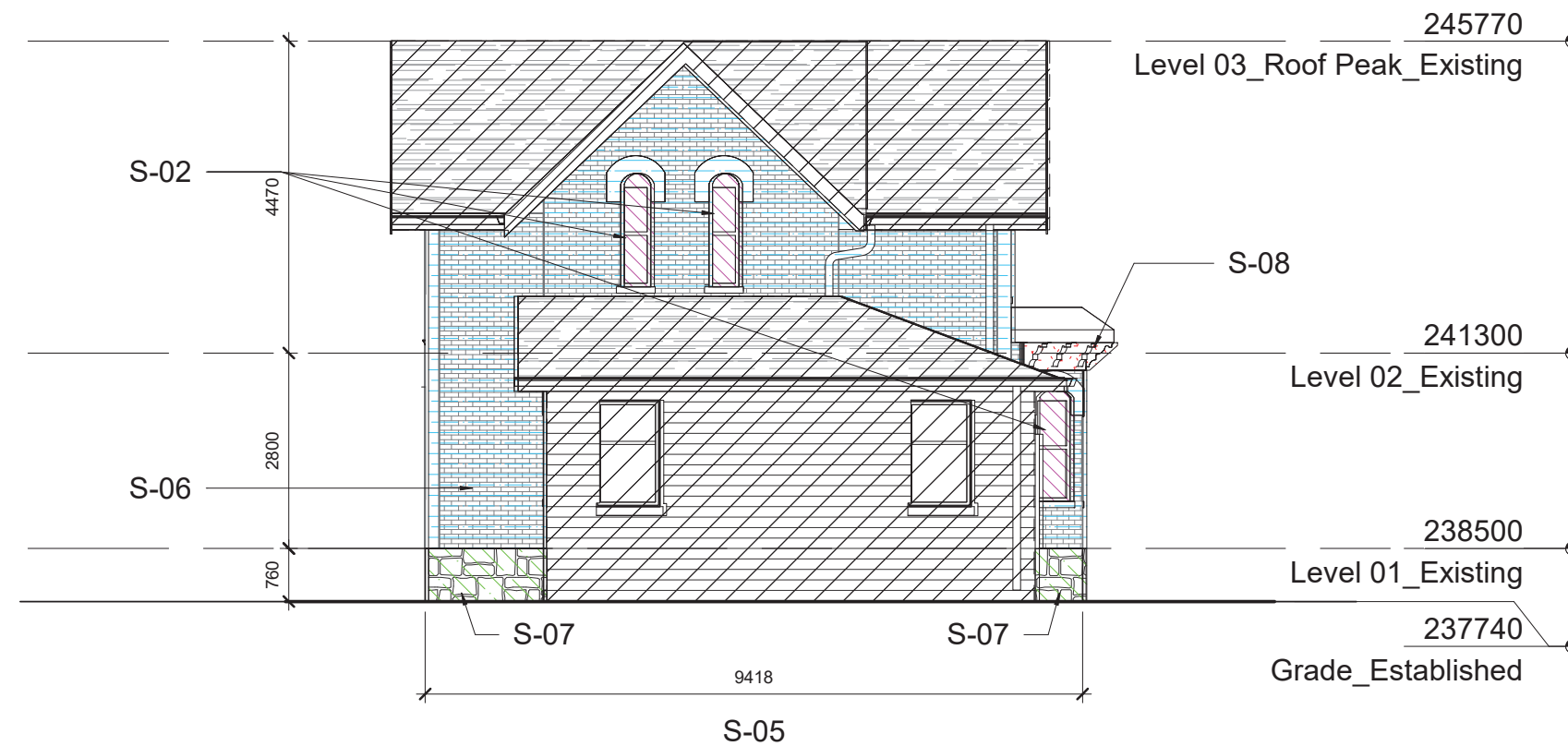
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

- Salvage Notes:
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Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	Author
Reviewed by	Checker
Drawing title	West Elevation_Salvage andDemolition

Sheet no.

CP214