

# 10020-10054 Mississauga Road & 2036 Bovaird Drive West

Brampton, ON

## **DOCUMENTATION AND SALVAGE PLAN**

September 10, 2024



**EBA**

Project # 21-060-03  
Prepared by PE / JQ / EC / JG

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PREPARED FOR:

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#203-2061 McCowan Rd  
Toronto ON, M1S 3Y6  
416-282-2296

PREPARED BY:

ERA Architects Inc.  
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# EXECUTIVE SUMMARY

This Documentation and Salvage Plan has been prepared by ERA Architects Inc. (“ERA”), on behalf of Apple Factory Developments Inc., for the proposed development at 10020-10054 Mississauga Road and 2036 Bovaird Drive West, Brampton (“the Site”). In accordance with the recommendations of ERA’s Heritage Impact Assessment (“HIA”), dated May 9, 2023, this report provides documentation of the farmhouse at 10020 Mississauga Road and the strategy for salvaging and reusing materials.

This report should be read in conjunction with ERA’s Interpretation Plan, dated September 10, 2024.

The following materials are proposed to be salvaged as part of the demolition and deconstruction process (refer to drawings in Appendix II for the locations and quantities):

- Face brick units (quantity: 65%)
- Fieldstone foundation units (quantity: 50%)
- Exterior decorative wood elements
- Wood windows (quantity: 14)
- Interior doors (quantity: 10)
- Interior wood trim
- Interior metal grills (quantity: 2)
- Interior wood balustrade

The salvaged bricks are proposed to be reused as part of a new interior feature wall in a lobby of one of the towers. The bricks would be sliced into tiles and applied to the wall as a veneer, replicating the original brick pattern (stretcher bond and mortar joints).

The fieldstone foundation units are proposed to be reused as part of the landscape design, specifically for a decorative wall and entry feature sign.

A use for the remaining materials, including the decorative wood, interior trim, metal grills, interior doors, balustrade, and any unused bricks/stones has not been determined at this stage. We recommend that they be donated to an architectural salvage business/organization, or a school specializing in heritage trades (e.g. Willowbank School).



# 1 INTRODUCTION

## 1.1 Report Scope

ERA was retained by Apple Factory Developments Inc. to prepare a Documentation and Salvage Plan for the farmhouse at 10020 Mississauga Road. As part of the Official Plan Amendment and Zoning By-Law Amendment Application (OZS-2023-0010), ERA prepared an HIA dated May 9, 2023, which recommended documentation, salvage, and interpretation as the appropriate conservation strategy to mitigate the impact of demolition.

The HIA was accepted by the Brampton Heritage Board at its meeting on November 21, 2023 through recommendation HB061-2023. Brampton Heritage Board stipulated that prior to the issuance of a demolition permit, the owner provide a Documentation and Salvage Plan. The purpose of this report is to provide documentation of the farmhouse in the form of photographs and measured drawings (refer to Appendix II for the full salvage and demolition drawing set), along with identification of salvageable materials, salvage methods, and storage strategy.

This report was prepared in accordance with the City of Brampton's draft Documentation and Salvage Plan Terms of Reference.

## 1.2 Site Description and Context

The Site comprises four contiguous properties in Brampton, known municipally as 10020-10024 Mississauga Road, 10042 Mississauga Road, 10054 Mississauga Road, and 2036 Bovaird Drive West. Located on the northwest corner of Mississauga Road and Bovaird Drive West, the Site contains a one-and-a-half-storey brick farmhouse, a one-storey commercial building, a one-story self-storage facility, a pair of one-storey detached houses, and surface parking lots. From 1979 until 2023, the property at 10020 Mississauga Road was home to the Apple Factory, a farm market and grocery store.

The property at 10020 Mississauga Road is designated under Part IV, Section 29 of the *Ontario Heritage Act* (“OHA”). The designation by-law (72-2021), attached in Appendix I, was enacted by Brampton City Council on April 21, 2021. While the designation applies to the entire property, the identified cultural heritage value and attributes are associated with the c. 1880s farmhouse. The Site is considered adjacent to one property that is listed on Brampton’s *Municipal Register of Cultural Heritage Resources*: the Andrew McCandless Plank House (1985 Bovaird Drive West).<sup>1</sup>

Contextually, the Site forms part of a rapidly evolving landscape on the edge of Brampton’s urban area. The area to the east of Mississauga Road is dominated by residential subdivisions – largely developed after 2006 – which include the Mount Pleasant neighbourhood, a new community centred around the GO Station. The area to the west of Mississauga Road is characterized by an agricultural landscape, which is transitioning to urban use. The Site’s immediate context includes a gas station and driving range to the south, and a development site to the north and west.

<sup>1</sup> Council stated its Notice of Intention to Designate the property in 2012, however the designation remains “in progress”.



Aerial image showing the Site shaded blue (Brampton Geohub, 2022; annotated by ERA).



### 1.3 Proposed Development

Apple Factory Developments are proposing a mixed-use development on the Site, including residential and retail uses. Four high-rise residential towers are proposed, along with three townhouse blocks, landscaped amenity spaces, a new open space, and a gateway plaza at the corner of Mississauga Road and Bovaird Drive. The towers, which front onto Mississauga Road and Bovaird Drive, range from 10 to 35 stories and include four-storey podiums.

The proposed development is part of a larger planned community known as Mount Pleasant Heights, which includes low, medium, and high-density residential uses, an elementary school, community services, parks, and a new road network.

In order to address future growth in the area, the Region of Peel completed a Schedule “C” Environmental Assessment to study the need and feasibility for road widening and other improvements along Mississauga Road. Currently in the detailed design and construction phase, the proposal includes the widening of Mississauga Road from four to six lanes. The existing farmhouse is located within the proposed new right-of-way. As part of the development on the Site, the farmhouse is proposed to be documented, salvaged, and demolished.

## 2 CULTURAL HERITAGE VALUE

The property at 10020 Mississauga Road is designated under Part IV, Section 29 of the OHA, in accordance with the Statement of Significance attached in Appendix I. The property's cultural heritage value lies in the 1880s farmhouse, which demonstrates design/physical value for its Gothic Revival architecture, and contextual value as a remnant farmhouse along Mississauga Road.

In January, 2024, ERA prepared a memorandum requesting a repeal of the designation by-law for the property under Section 31 of the OHA, to allow for the demolition of the farmhouse. The correspondence was received by BHB at its meeting on January 30, 2024 (motion BHB010-2024).

### 3 HISTORICAL SUMMARY

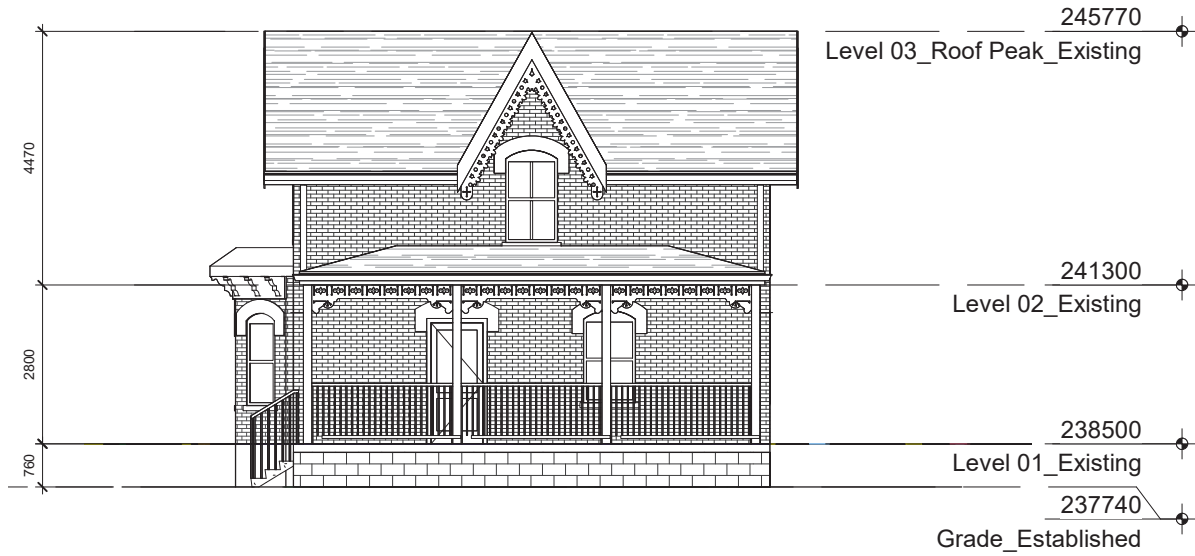
Historically, the Site formed part of Lot 11, Concession 5 (West of Hurontario Street) in Chinguacousy Township, a 200-acre farm lot which was subdivided during the early 19th century. As illustrated by the 1877 Peel County Atlas, the eight acre parcel at the southeast corner of the lot (encompassing the Site) originally contained an orchard owned by Margaret Brien. In 1880, a farmer named James H. Scott purchased the land, where he built the extant farmhouse in the early 1880s.

According to the 1901 census, the Scott farm included three barns and outbuildings in addition to the farmhouse, which is the only remnant component of the farmstead today. The property remained under the Scott family's ownership until 1914, with various other owners recorded during the early to mid-20th century. In 1979, the Apple Factory was established on the Site by the Laidlaw family (local apple growers), as a commercial outlet to sell their produce. Shortly thereafter, it was expanded to include a bake shop and butcher shop.

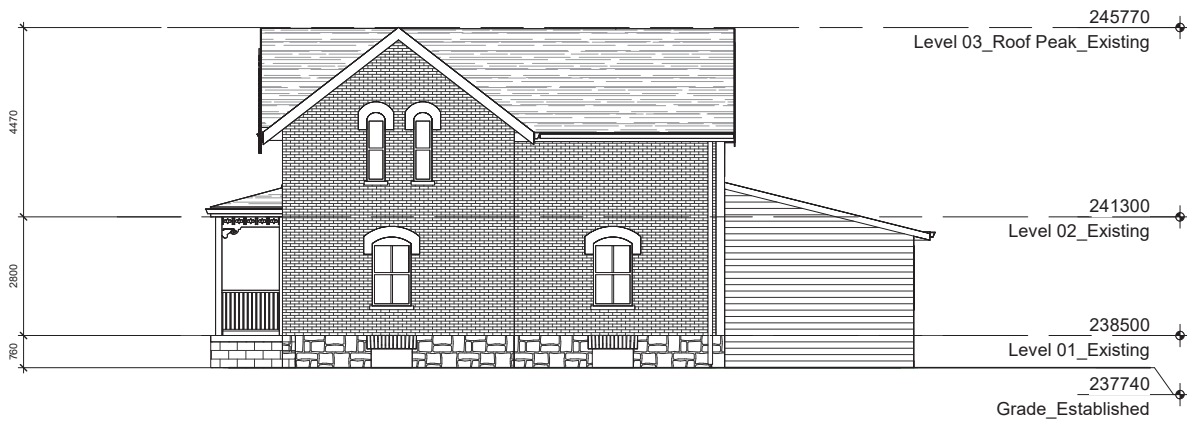


# 4 DOCUMENTATION

## 4.1 Measured Drawings



East elevation (ERA, 2024).



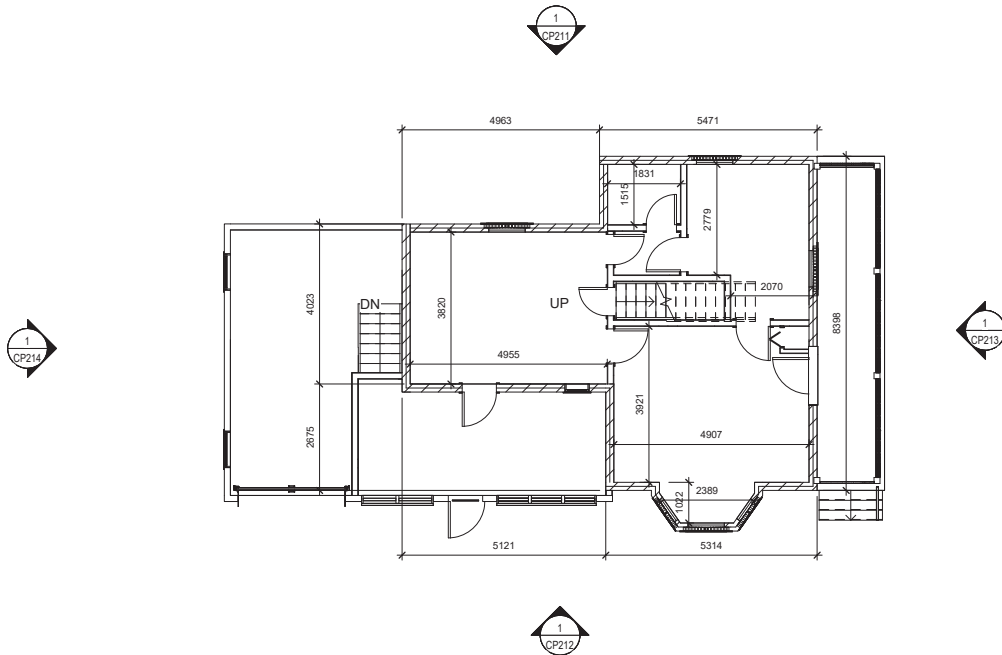
North elevation (ERA, 2024).



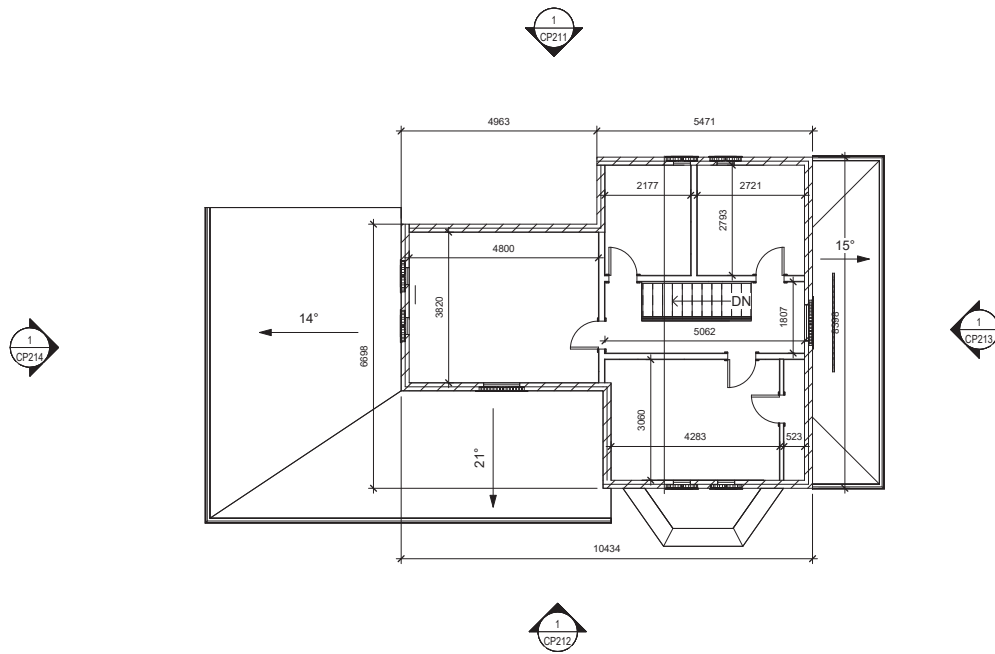
West elevation (ERA, 2024).



South elevation (ERA, 2024).



Ground floor plan (ERA, 2024).



Second floor plan (ERA, 2024).



## 4.2 Photographic Documentation

### Key Plan: Exterior



Key plan of elevation photographs (City of Brampton, 2019; annotated by ERA).





1  
East elevation (ERA, 2024).



2  
East elevation (ERA, 2024).





North elevation (ERA, 2024).



North and west elevations (ERA, 2024).





West elevation (ERA, 2024).

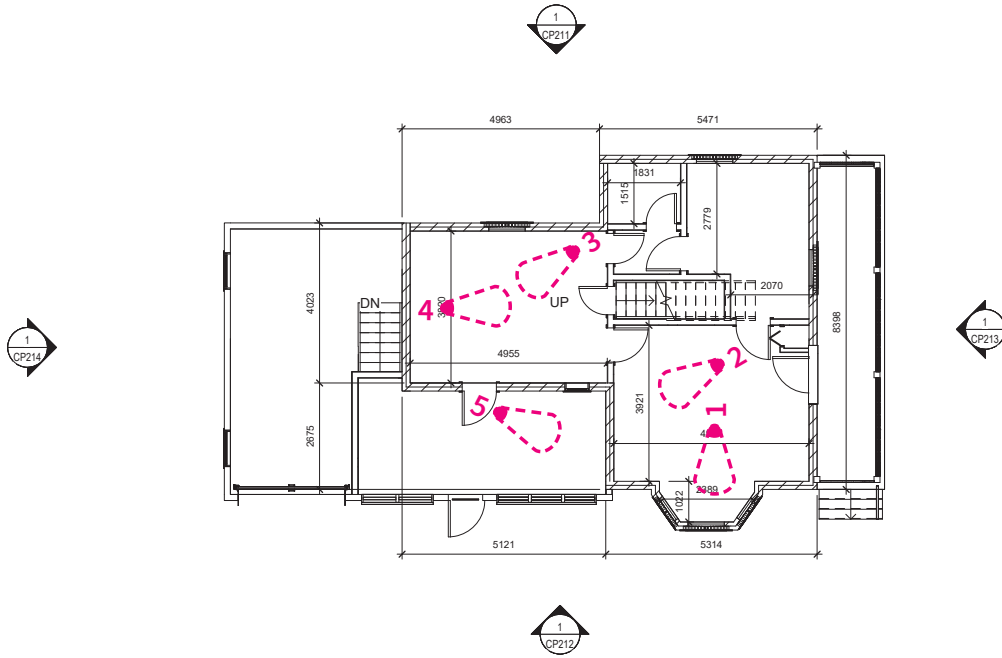


West and south elevations (ERA, 2024).

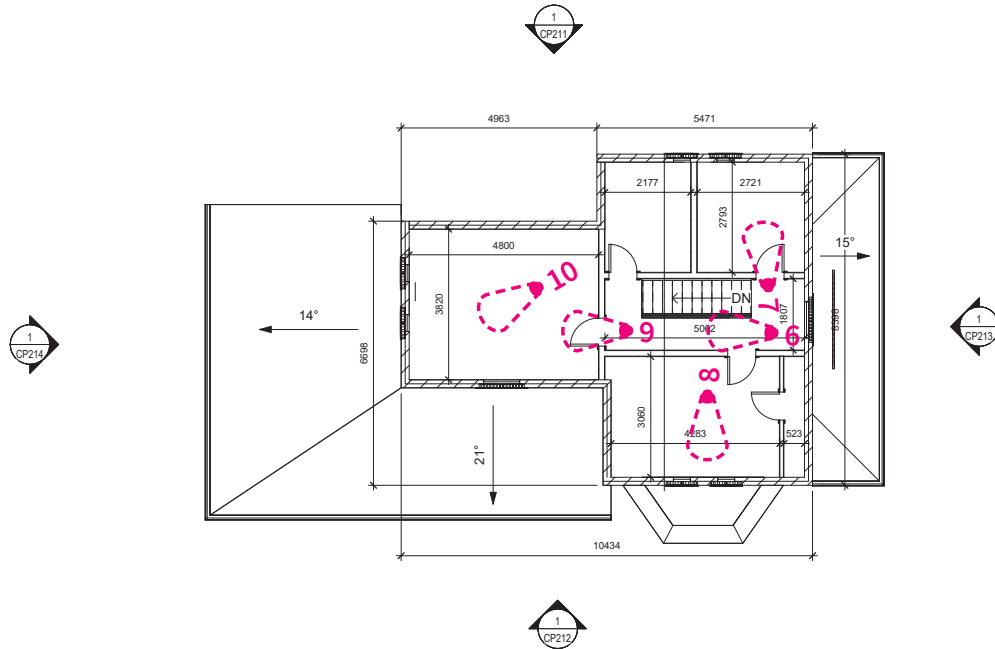


South elevation (ERA, 2024).

Key Plan: Interior



Key plan, ground floor (ERA, 2024).



Key plan, second floor (ERA, 2024).





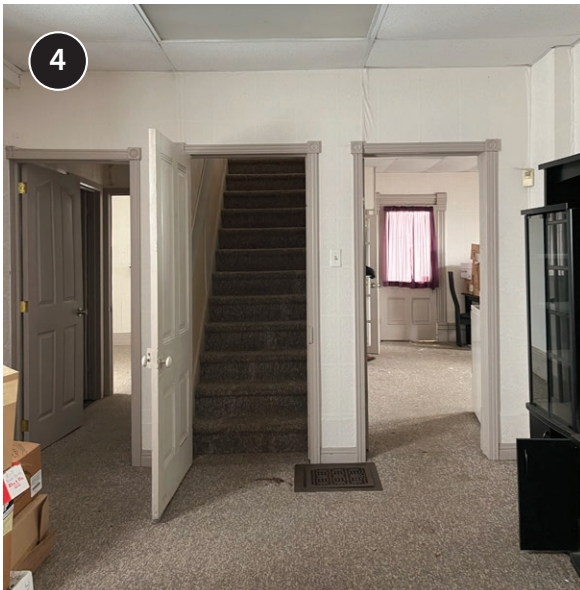
Interior, ground floor (ERA, 2024).



Interior, ground floor (ERA, 2024).



Interior, ground floor rear wing (ERA, 2024).



Interior, ground floor rear wing (ERA, 2024).

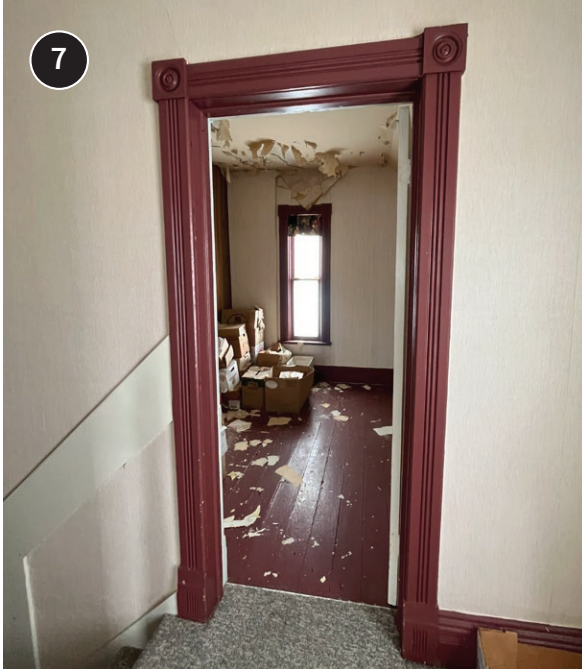


Interior, ground floor rear addition (ERA, 2024).

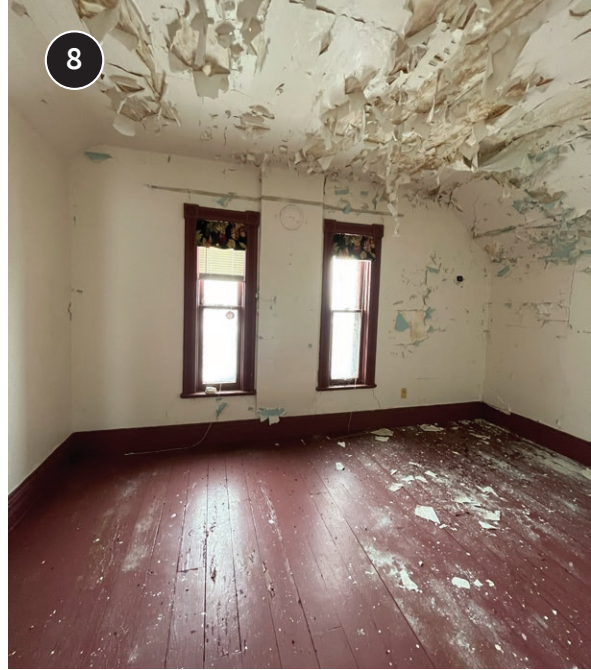




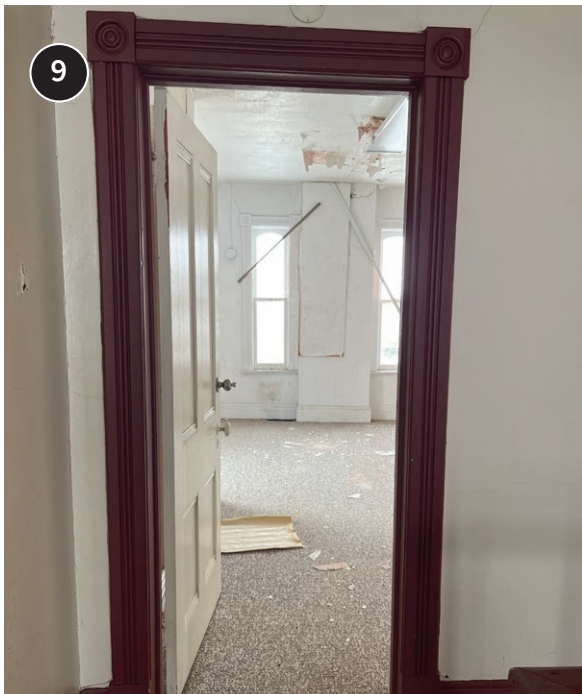
Interior, second floor hall (ERA, 2024).



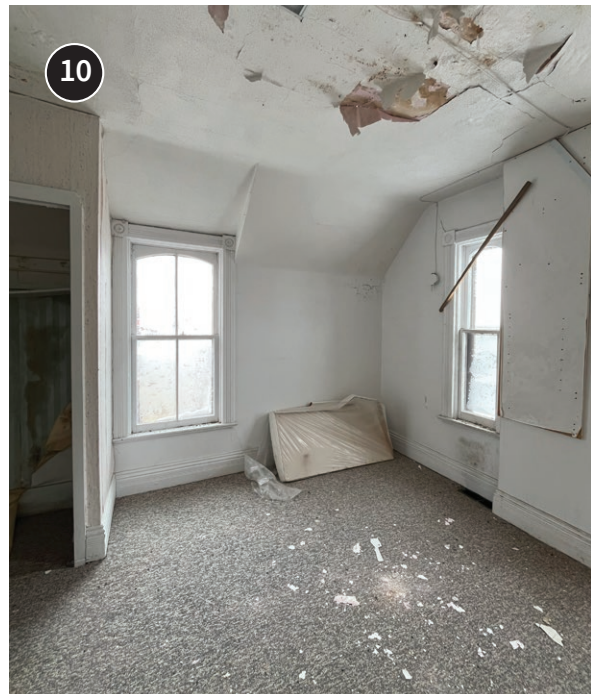
Interior, second floor bedroom (ERA, 2024).



Interior, second floor bedroom (ERA, 2024).



Interior, second floor bedroom (ERA, 2024).



Interior, second floor bedroom (ERA, 2024).





Basement (ERA, 2024).

## 5 SALVAGE STRATEGY

### Salvageable Materials

The following materials are proposed to be salvaged as part of the demolition and deconstruction process (refer to drawings in Appendix II for the locations and quantities):

- Face brick units (quantity: 65%)
- Fieldstone foundation units (quantity: 50%)
- Exterior decorative wood elements
- Wood windows (quantity: 14)
- Interior doors (quantity: 10)
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- Interior metal grills (quantity: 2)
- Interior wood balustrade

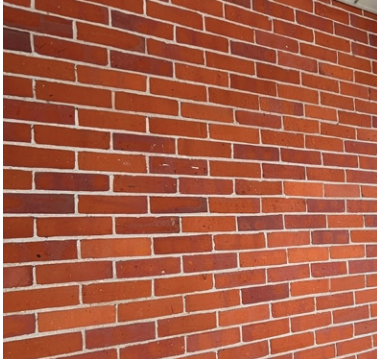
### Salvage Plan

The work described in this Salvage Plan will be executed by a specialist contractor with a minimum of five years experience working with heritage structures. The work will be reviewed on site by ERA for general conformance with heritage guidelines and best practices. Below is a summary of the proposed means of salvage:

- Document areas for removal, salvage, and demolition before starting work, including the overall appearance, details, and materials.
- Catalogue salvaged materials.
- Store salvaged materials on non-staining wood skids in a safe, dry location clear of the ground to protect against soiling and staining.<sup>1</sup>
- Label and identify each skid.
- Store salvaged materials in a secure and weather-protected area.
- Complete bi-annual inspections of the stored materials.

<sup>1</sup> The salvaged materials will be stored in the existing storage facility on site at 2036 Bovaird Drive West until the demolition/construction phase, at which time they will be relocated to another suitable site (to be determined).





Face bricks (ERA, 2024).



Fieldstone foundation (ERA, 2024).



Decorative wood (ERA, 2024).



Wood window and trim (ERA, 2024).



Interior door (ERA, 2024).



Metal grill (ERA, 2024).



Interior wood trim (ERA, 2024).



Wood balustrade (ERA, 2024).

## Reuse of Salvaged Materials

As detailed in ERA's Interpretation Plan, the salvaged bricks are proposed to be reused as part of a new interior feature wall in a lobby of one of the four proposed towers. The bricks would be sliced into tiles and applied to the wall as a veneer, replicating the original brick pattern (stretcher bond and mortar joints).

Four potential locations have been identified: a 7.5-metre wall in the lobby of Building 1, a 6.8-metre wall in the lobby of Building 2, a 7.3-metre wall in the lobby of Building 3, and a 7-metre wall in the lobby of Building 4 (all approximately 4.5 metres in height).

The fieldstone foundation units are proposed to be reused as part of the landscape design, specifically for a decorative wall and entry feature sign. A use for the remaining materials, including the decorative wood, interior trim, metal grills, interior doors, balustrade, and any unused bricks/stones has not been determined at this stage. We recommend that they be donated to an architectural salvage business/organization, or a school specializing in heritage trades (e.g. Willowbank School).



Salvaged brick wall in the Drake Hotel (ERA).



Decorative wall incorporating salvaged stones.



## 6 CONCLUSION

In order to mitigate the impact of demolition, this report provides documentation of the farmhouse in the form of photographs and measured drawings, and a plan for salvaging materials for future reuse.

A substantial number of building materials are proposed to be salvaged, including face bricks, foundation stones, decorative woodwork, and various interior elements (i.e. doors, windows, trim etc.). The salvaged bricks and stones will be reused as part of the interpretation/landscape design on site, and the remaining materials donated to an architectural salvage business or a school specializing in heritage trades.

## 7 PROFESSIONAL QUALIFICATIONS

ERA specializes in heritage conservation, architecture, planning and landscape as they relate to historical places. This work is driven by our core interest in connecting heritage issues to wider considerations of urban design and city building, and to broader set of cultural values that provide perspective to our work at different scales.

In our 30 years of work, we've provided the highest level of professional services to our clients in both the public and private sector out of offices in Toronto, Montreal and Ottawa. We have a staff of more than 100, and our Principals and Associates are members of associations that include: the Ontario Association of Architects (OAA), the Canadian Association of Heritage Professionals (CAHP) and the Royal Architectural Institute of Canada (RAIC).

**Philip Evans OAA, MRAIC, CAHP** is a principal at ERA and the founder of Culture of Outports and small. Over the course of 17 years working in the field of heritage conservation, he has led a wide range of conservation, adaptive reuse, design, and feasibility planning projects.

**Janice Quieta OAA, MArch, LEED Green, CAHP** is a senior associate at ERA. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Toronto Metropolitan University (formerly Ryerson).

**Emma Cohlmeier MScPl, RPP, MCIP** is a senior project manager on the heritage planning team at ERA. She earned her BA in Sociology from the University of Guelph and Msc in Planning from the University of Toronto.

**Jamie Glasspool BA, CAHP-Intern** is heritage planner at ERA, specializing in historical research and analysis. He holds a Bachelor of Arts in Urban Studies from McGill University, where he also completed a semester abroad at the University of Manchester.





THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 72 - 2021

To designate the property municipally known as 10020 Mississauga Road as being of cultural heritage value or interest pursuant to section 29 of the Ontario Heritage Act

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WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1990, Chapter O. 18, as amended, (the "Act") authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest, if the property meets the Act's prescribed criteria;

AND WHEREAS the Council of the Corporation of the City of Brampton has caused to be served upon the owners of the lands and premises at 10020 Mississauga Road, as more particularly described in Schedule "A" (the "Property"), and upon the Ontario Heritage Trust, notice of intention to designate the Property, and has caused such notice of intention to be published on the City's website in accordance with the Council's Procedure By-law;

AND WHEREAS there has been no notice of Objection served on the Clerk;

AND WHEREAS the reasons for designation are set out in Schedule "B";

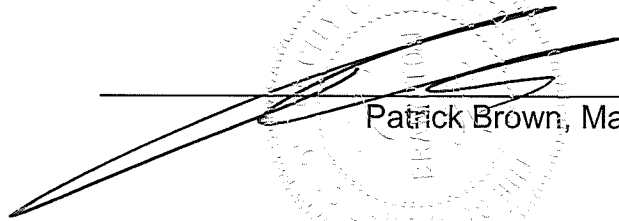
NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows:

1. That the Schedules attached hereto form part of this by-law.
2. That the Property is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the Act.
3. That the description of the Property, the statement of the Property's cultural heritage value or interest, and the description of the Property's heritage attributes, are set out in Schedule "B" to this by-law.
4. That the City Solicitor be authorized to cause a copy of this by-law to be registered against the Property in the Land Registry Office.
5. That the City Clerk be authorized to cause a copy of this by-law to be served upon the owners of the Property and upon the Ontario Heritage Trust, and to cause notice of this by-law to be published on the City's website in accordance with Council's Procedure By-law.

ENACTED and PASSED this 21<sup>st</sup> day of April, 2021.


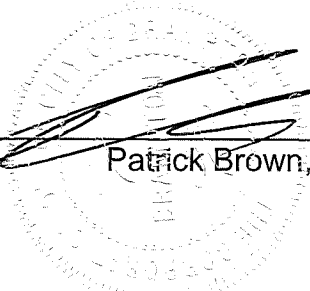
Approved as to  
form.  
2021/04/08  
Anthony-George  
D'Andrea

Approved as to  
content.  
2021/04/07  
Bob Bjerke



---

Patrick Brown, Mayor



---

Peter Fay, City Clerk



**SCHEDULE "A" TO BY-LAW**

**LEGAL DESCRIPTION**

PT LT 11 CON 5 WHS CHINGUACOUSY DES PT 1 PL 43R-11013;  
BRAMPTON. S/T EASEMENT IN GROSS OVER PT LT 11 CON 5 WHS  
CHINGUACOUSY DES PT 3 PL 43R-29994 AS IN PR1001408

PIN No. 14363-0031 (LT)

**SCHEDULE "B" TO BY-LAW**

**SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF 10020 MISSISSAUGA ROAD:**

The property at 10020 Mississauga Road is worthy of designation under Part IV of the *Ontario Heritage Act* for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value and contextual value.

**Design/Physical Value:**

The residence at 10020 Mississauga Road is believed to have been built in the early 1880s. It exhibits design elements of the Gothic Revival architectural style such as a cross gable roof, centre gables with a window opening and verge board, a one-storey bay window with decorative brackets and dichromatic buff brick accents over the door and window openings. The house was constructed in brick with a running bond pattern. It has a fieldstone foundation and is comprised of a one-and-a-half storey principal section and a one and one-and-a-half storey tail addition attached perpendicular to the rear (west) façade of the principal section, creating a 'T'-shaped plan.

**Contextual Value:**

The property at 10020 Mississauga Road was once located in a well-established agricultural landscape with scattered farmsteads, tree lines, hedgerows, fence lines that defined the area. The brick residence at 10020 Mississauga Road currently sits within a commercial development and is surrounded by development transitioning the area from an agricultural to urban use. Along with other farmhouses on the west side of Mississauga Road, this brick residence maintains a visual and historical link to the former character of the area. Therefore, the residence at 10020 Mississauga Road is considered important in maintaining a connection to the former agricultural character of an area.

**DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:**

Heritage attributes of the subject property at 10020 Mississauga Road includes:-

Contextual Value

- The location of the brick dwelling on the corner lot property with visibility from Bovaird Drive West and Mississauga Road.
- The orientation of the brick residence facing east to Mississauga Road.

Design/Physical Value

- 'T'-shape plan with one-and-a-half-storey principal section and one-and-a-half-storey rear wing composition
- Cross gable roof with centre front (east) gable and centre (south) gable on the rear wing
- Rubble stone foundation
- Brick wall construction with a running bond pattern
- Segmentally arched door and window openings on the ground and second floor elevations accented with dichromatic buff brick detailing
- Wood window sills
- One storey bay window on the south elevation of the principal section of the house with mansard roof, decorative brackets and wood detail
- Pairs of narrow window openings on the second floor of the south and north elevations of the main house and the west elevation of the rear wing
- Porch
- Verge board
- Brick work on windows





## 10020 MISSISSAUGA RD.

10020 MISSISSAUGA RD.

21-060

Issued For  
**SALVAGE AND DEMOLITION**

February 23 2024

# ERA

### HERITAGE ARCHITECT

ERA Architects Inc.  
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

### HERITAGE DRAWING LIST

CP000 Cover Page  
CP200 Basement Plan\_Salvage and Demolition  
CP201 First Floor Plan\_Salvage and Demolition  
CP202 Second Floor Plan\_Salvage and Demolition  
CP203 Roof Plan\_Salvage and Demolition  
CP211 North Elevation\_Salvage and Demolition  
CP212 South Elevation\_Salvage and Demolition  
CP213 East Elevation\_Salvage and Demolition  
CP214 West Elevation\_Salvage and Demolition



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

**LEGEND**



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 625 Church St. Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

10020 MISSISSAUGA RD.

Address 10020 MISSISSAUGA RD.

For Corbet Land Strategies

Project no. 21-060

Scale at 11x17 1 : 100

Drawn by JS






Reviewed by JQ

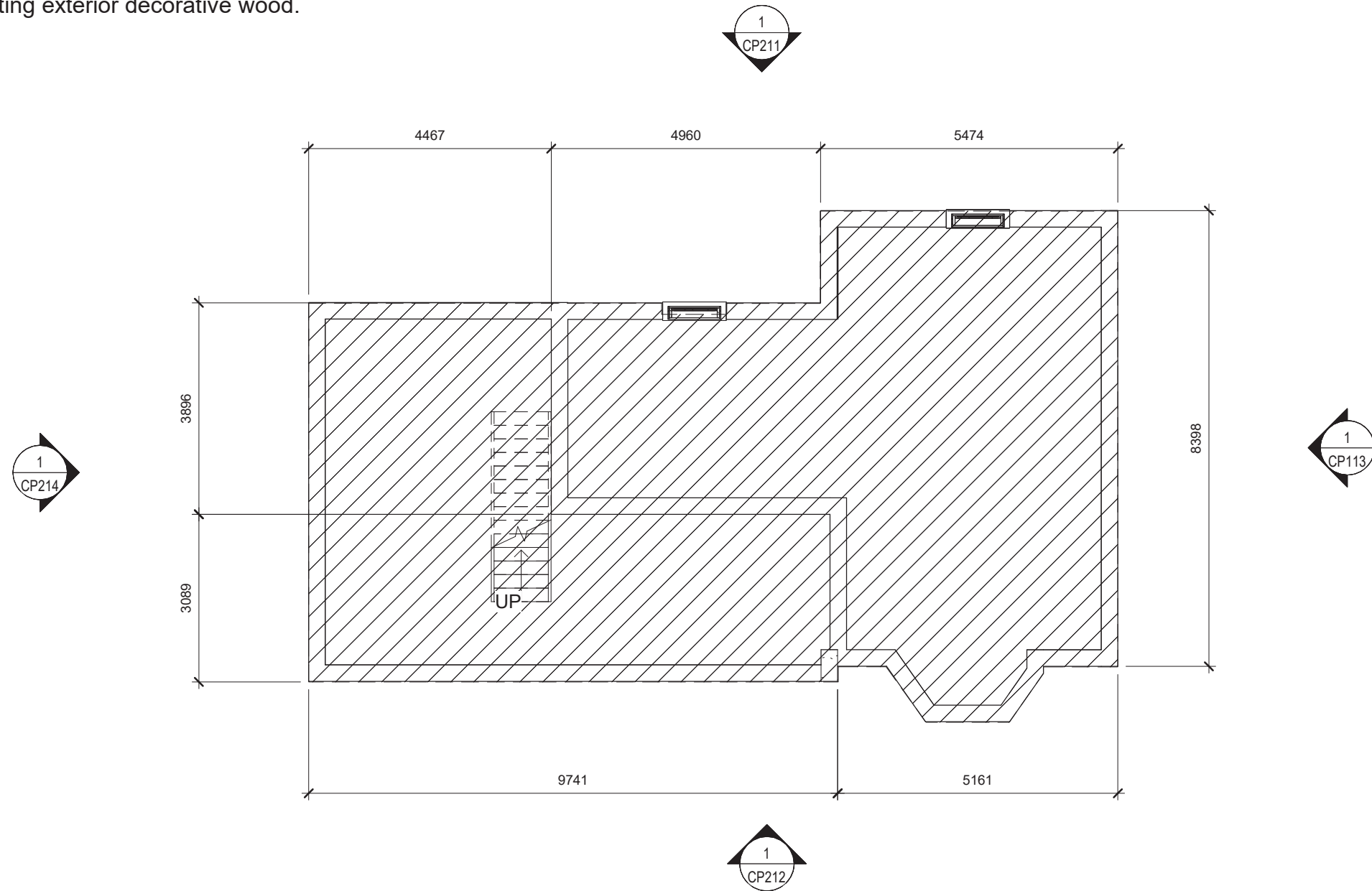
Drawing title

**Basement Plan\_Salvage and Demolition**

Sheet no.

**CP200**

- Salvage Notes:**
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Salvage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
  -  S-08 Salvage existing exterior decorative wood.



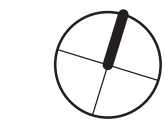
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND



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 625 Church St. Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

10020 MISSISSAUGA RD.

Address 10020 MISSISSAUGA RD.

For Corbet Land Strategies

Project no. 21-060

Scale at 11x17 1 : 100

Drawn by JS






Reviewed by JQ

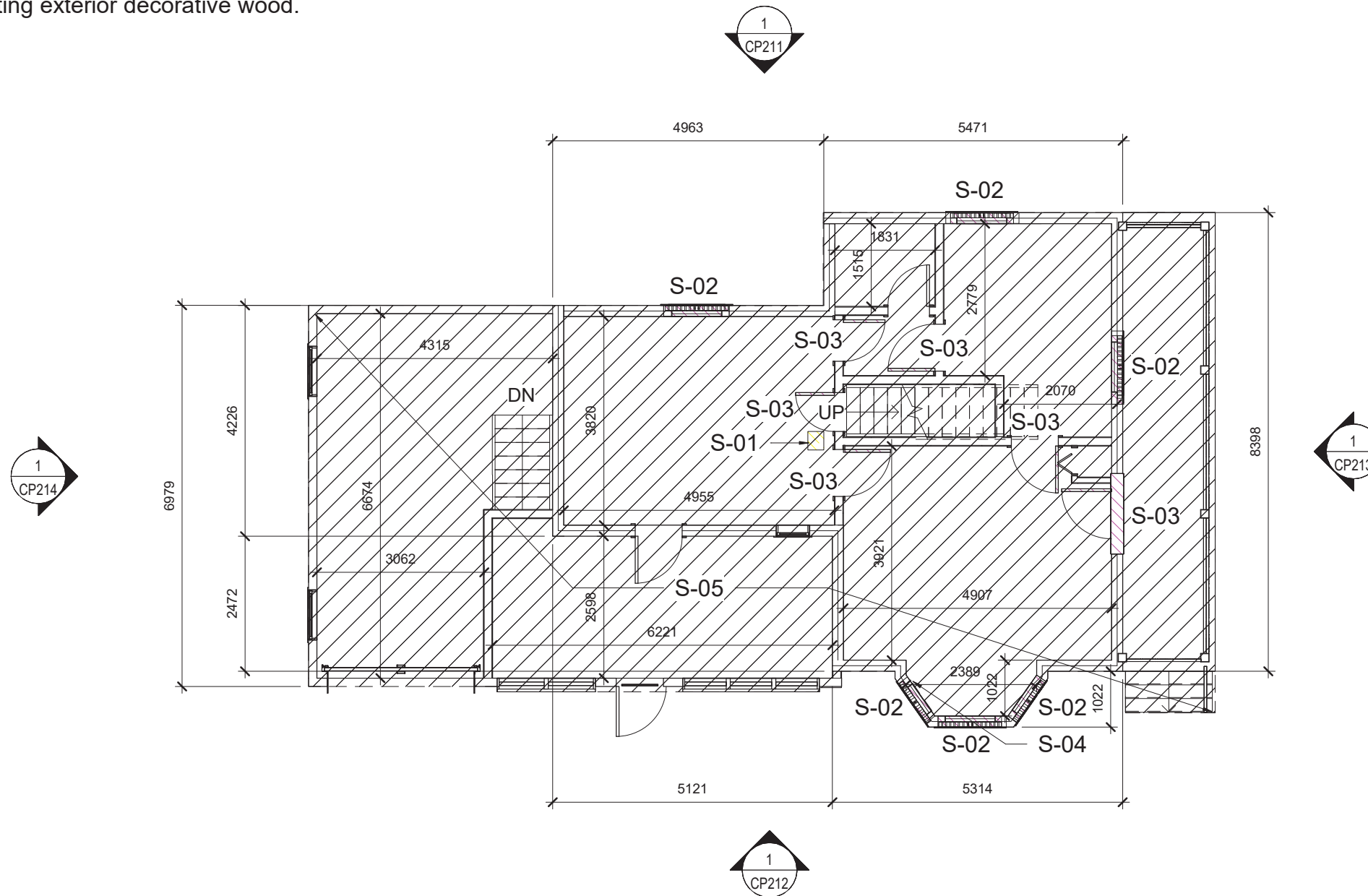
Drawing title

Ground Floor Plan\_Salvage and Demolition

Sheet no.






**CP201**

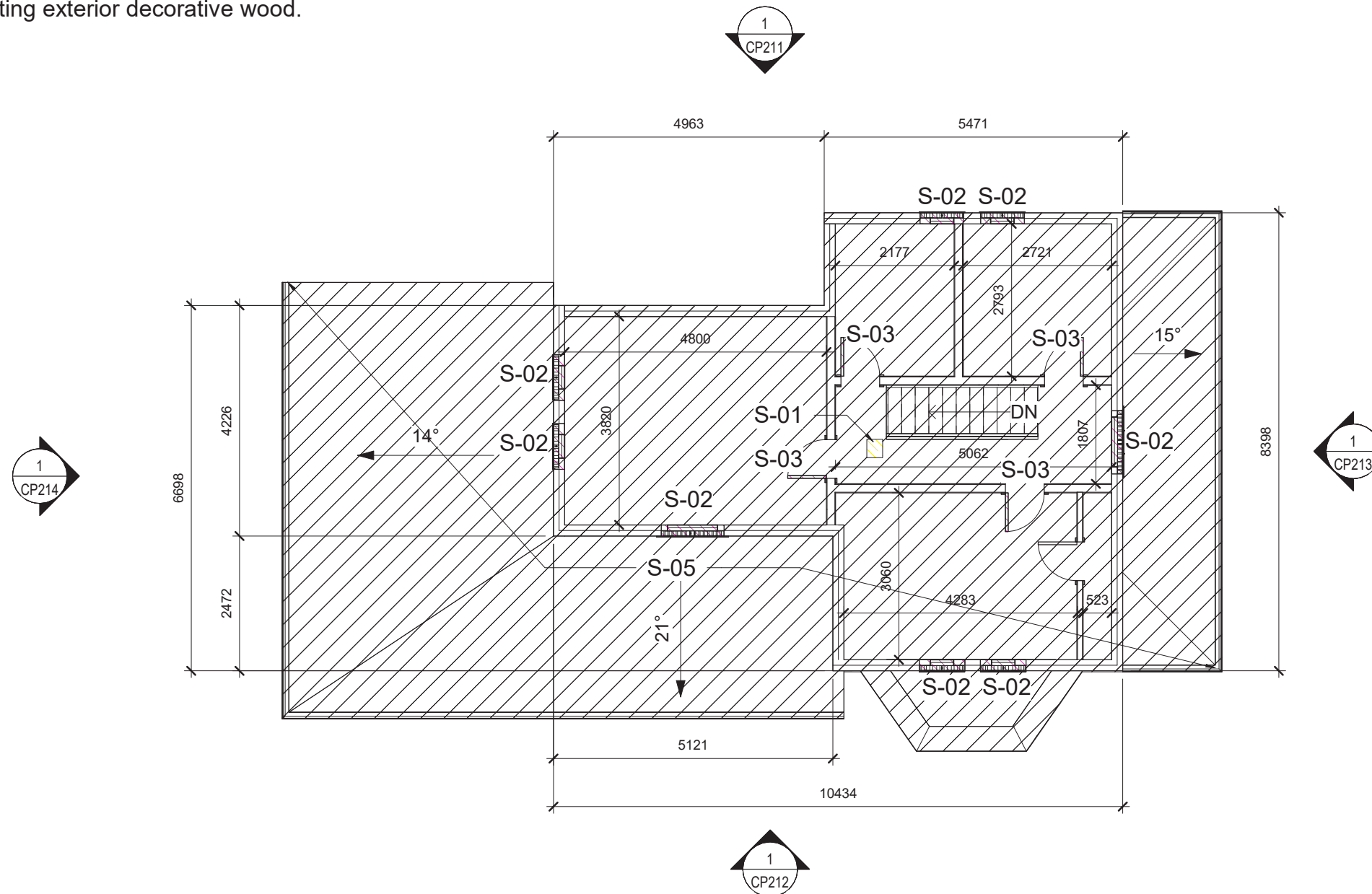
- Salvage Notes:
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Salvage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
  -  S-08 Salvage existing exterior decorative wood.



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-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Slavage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
  -  S-08 Salvage existing exterior decorative wood.



**LEGEND**



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 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	JS
Reviewed by	JQ
Drawing title	

Second Floor Plan\_Salvage and Demolition

Sheet no.

**CP202**

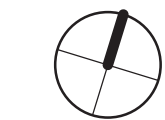
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND



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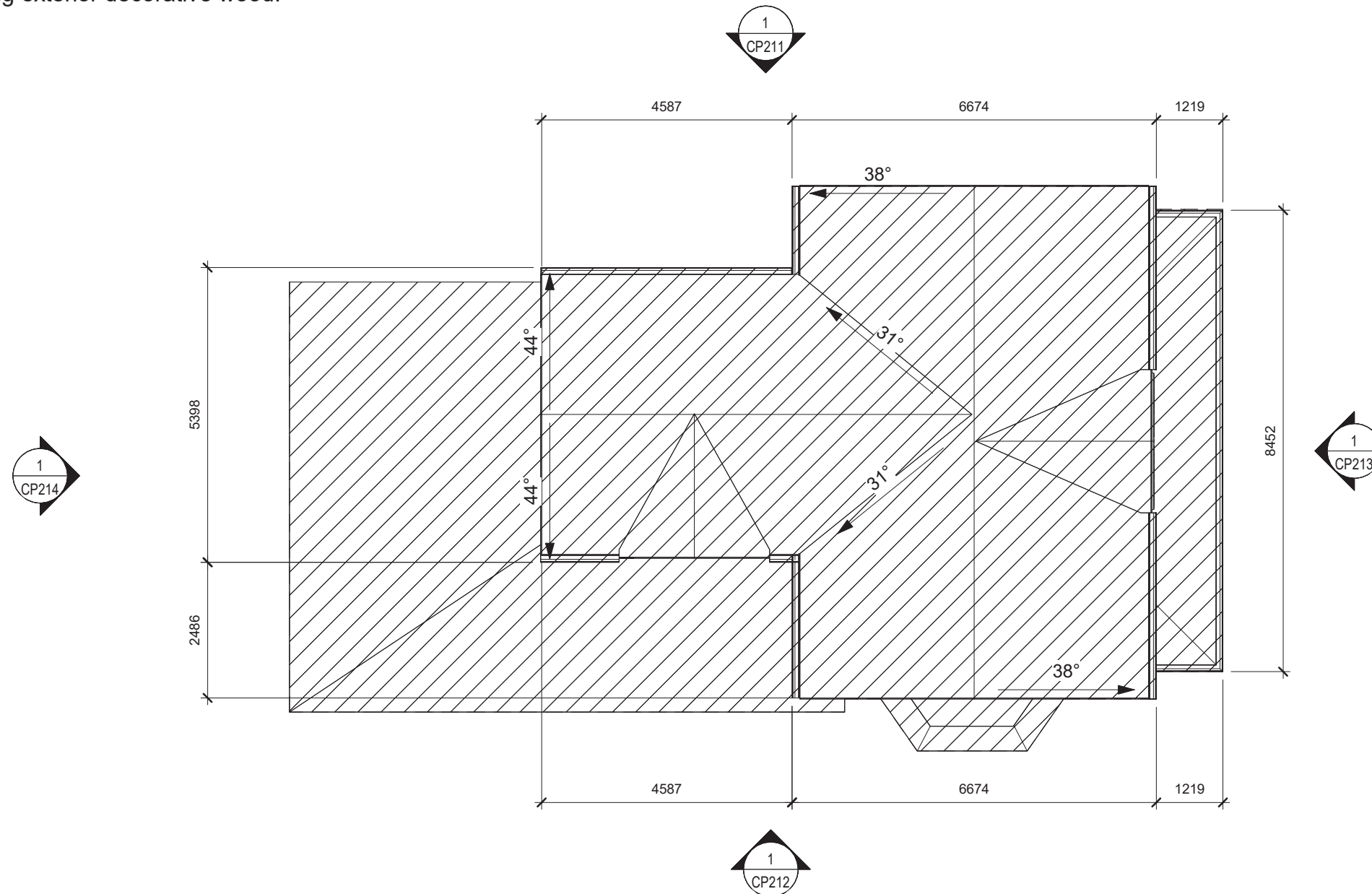
Project  
 10020 MISSISSAUGA RD.  
 Address 10020 MISSISSAUGA RD.  
 For Corbet Land Strategies  
 Project no. 21-060  
 Scale at 11x17 1 : 100  
 Drawn by JS  
 Reviewed by JQ  
 Drawing title

Roof Plan\_Salvage and Demolition

Sheet no.

**CP203**

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Slavage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
  -  S-08 Salvage existing exterior decorative wood.








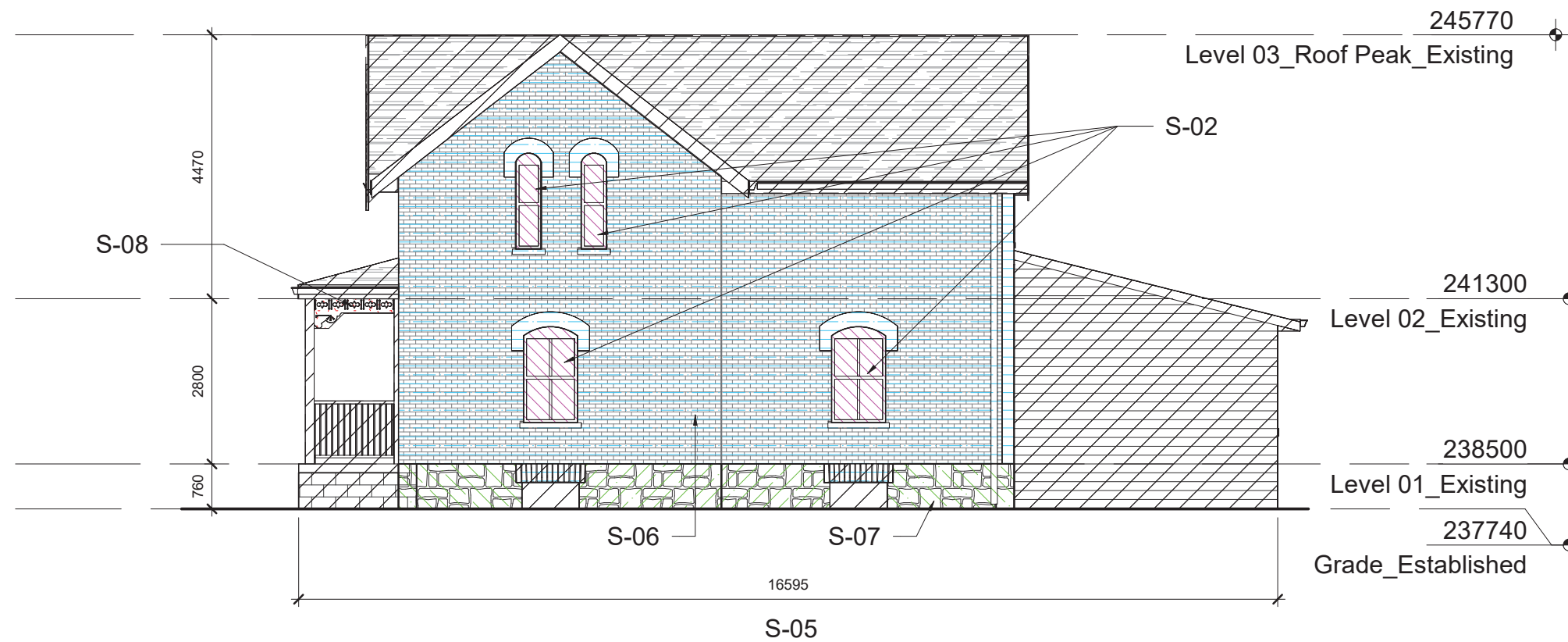
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND



- Salvage Notes:
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Slavage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
  -  S-08 Salvage existing exterior decorative wood.



Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	JS
Reviewed by	JQ
Drawing title	

North Elevation\_Salvage and Demolition

Sheet no.

**CP211**








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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Salvage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvagable units.
  -  S-08 Salvage existing exterior decorative wood.



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Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	JS
Reviewed by	JQ
Drawing title	South Elevation_Salvation and Demolition

Sheet no.






**CP212**

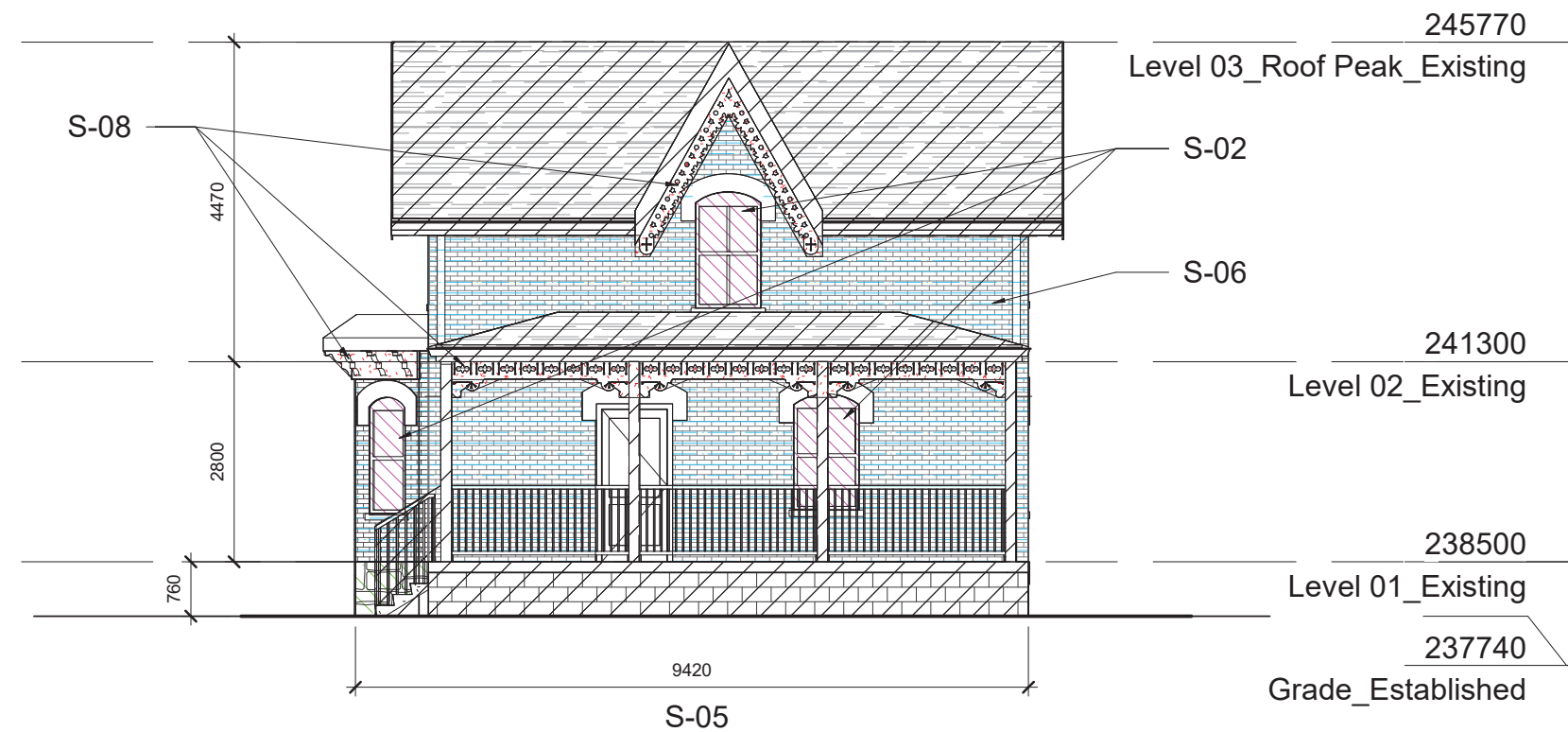
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Slavage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvagable units.
  -  S-08 Salvage existing exterior decorative wood.



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Project  
 10020 MISSISSAUGA RD.  
 Address 10020 MISSISSAUGA RD.  
 For Corbet Land Strategies  
 Project no. 21-060  
 Scale at 11x17 1 : 100  
 Drawn by JS  
 Reviewed by JQ  
 Drawing title

East Elevation\_Salvage and Demolition

Sheet no.






**CP213**

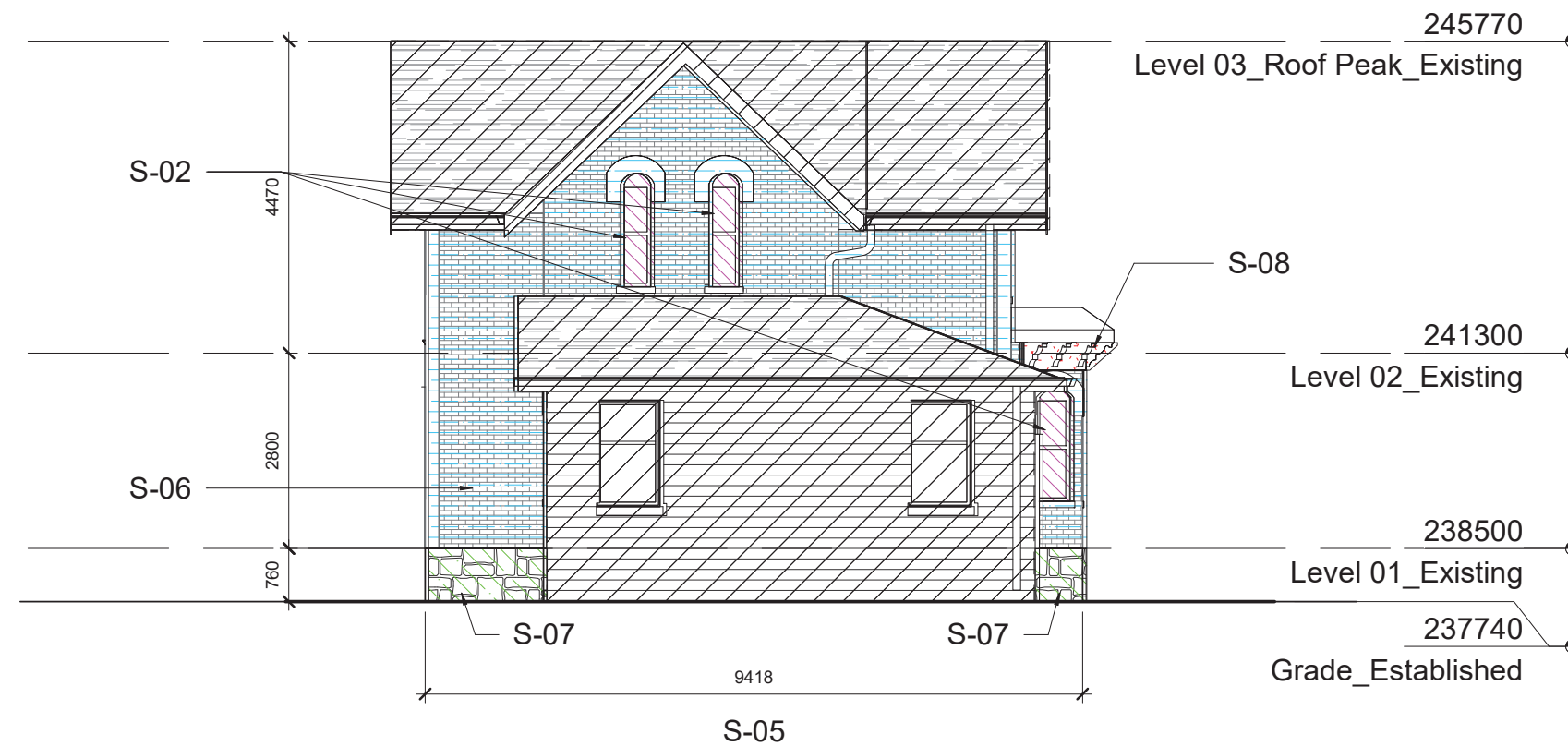
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NO.	DATE	REVISION / ISSUANCE
1	2024-02-22	Salvage and Demolition

LEGEND

 DEMOLITION

- Salvage Notes:
-  S-01 Salvage existing metal grilles.
  -  S-02 Salvage existing wood window.
  - S-03 Salvage existing door.
  - S-04 Slavage select interior wood trim.
  - S-05 Demolish existing building.
  -  S-06 Salvage face brick, allowance for 65% salvagable units.
  -  S-07 Salvage field stone foundation, allowance for 50% salvageable units.
  -  S-08 Salvage existing exterior decorative wood.



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**E.R.A. Architects Inc.**

Project	10020 MISSISSAUGA RD.
Address	10020 MISSISSAUGA RD.
For	Corbet Land Strategies
Project no.	21-060
Scale at 11x17	1 : 100
Drawn by	Author
Reviewed by	Checker
Drawing title	West Elevation_Salvage andDemolition

Sheet no.

**CP214**





## Salvage Inventory Form Template

Salvage Inventory						
<b>Original Location:</b> <i>Address &amp; Resource Name</i>				<b>Storage Location:</b> <i>Address</i>		
<b>Material Owner Information:</b> <i>Contact Name</i> <i>Company Name</i> <i>Email</i> <i>Phone</i>				<b>Heritage Consultant Information:</b> <i>Contact Name</i> <i>Company Name</i> <i>Email</i> <i>Phone</i>		
<b>Salvage Contractor Information:</b> <i>Contact Name</i> <i>Company Name</i> <i>Email</i> <i>Phone</i>				<b>Storage Location Contact Information:</b> <i>Contact Name</i> <i>Company Name</i> <i>Email</i> <i>Phone</i>		
Item #	Type of Material	Date of Salvage	Date of Storage	Planned Use for Material <i>(indicate if unknown)</i>	Photo of Material	Comments/Additional Details





