



**Report**  
**Staff Report**  
The Corporation of the City of Brampton  
11/19/2024

**Date:** 2024-11-18

**Subject:** **Recommendation Report for revised scoped Heritage Impact Assessment and Heritage Permit Phase II of 10254 Hurontario St – Ward 2**

**Contact:** Arpita Jambekar, Heritage Planner, Integrated City Planning

**Report number:** Planning, Bld & Growth Mgt-2024-895

**RECOMMENDATIONS:**

1. That the report from Arpita Jambekar, Heritage Planner, dated November 18, 2024, to the Brampton Heritage Board Meeting of November 19, 2024, regarding the Revised Scoped Heritage Impact Assessment and Heritage Permit of Phase II for 10254 Hurontario St – Ward 2, dated November 1, 2024 be received;
2. That the revised scoped Heritage Impact Assessment for 10254 Hurontario St prepared by AREA Architects, dated November 1, 2024 for Phase 2 of the proposed alterations and additions to the property be received; and
3. That the Heritage Permit application submitted on November 12, 2024 for Phase 2: Daycare Ground and Second floor addition on West (rear) façade of 10254 Hurontario St, be approved, as recommended by the Heritage Impact Assessment, subject to the following condition, as recommended by heritage staff:
  - I. that the architect and/or heritage consultant monitors construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing.

**OVERVIEW:**

- **10254 Hurontario St was designated under the Ontario Heritage Act under By-Law 79-2023 in 2023.**
- **In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written**

**consent from the Council of the municipality in the form of a Heritage Permit.**

- **A revised Heritage Impact Assessment was requested by Heritage Staff in reference to the SPA application submitted to the Development Planning Services for Phase II of the proposed addition to the heritage property. The proposed alterations and additions include construction of two-storey addition on the west (rear) of the building. The HIA was required to provide details of the proposed addition to the building, elaborate on how the addition affects the heritage attributes of the building, and provide mitigation measures through development of a compatible design for the addition.**
- **This HIA determines that the proposed new, rear/west addition on the ground and second floors has low impact on the building's heritage attributes. The proposed addition is on secondary elevations, impacting only building portions which were wholly new design and construction dating to the relocation project completed in 2022.**
- **The HIA reviews mitigation strategies that address the impacts of the additions to the building. These impacts are primarily addressed through sympathetic design elements, distinguishable material, proportionate window openings and matching colors on the façade, to provide legibility and compatibility with the heritage structure.**
- **The revised HIA is considered to be complete as per the City's Terms of Reference.**

## **BACKGROUND:**

The revised scoped Heritage Impact Assessment and Heritage Permit for Phase II have been received in support for Phase II of a Site Plan Application for a two-storey addition on the west and north elevations of the existing heritage building. The Phase I application was for an addition to the basement that includes a large deck on the southeast corner of the building adjacent to the main façade was received and reviewed by the Brampton Heritage Board meeting on 15 October 2024. Phase II will be constructed above the Phase I addition.

A Development Concept Plan was received for the lands of 10254 Hurontario Street, the Learment/C Armstrong House, in 2016, which involved two-phase development that included removal of various farm storage structures and relocation of the heritage house to a trapezoidal parcel at the northeast corner of the development lands at a new Hurontario-Tremblay Streets intersection.

As the house at 10254 Hurontario Street was listed on the City of Brampton's Municipal Register of Cultural Heritage Resources, an HIA was prepared in 2016 by AREA Architects to evaluate its cultural heritage value and recommend mitigation strategies to minimize impacts associated with the proposed development. The HIA determined that the house was worthy of designation under Ontario Heritage Act and recommended relocation and restoration as the preferred mitigation strategy.

The house was relocated to its present location in 2019, based on the approval of the HIA from the Brampton Heritage Board, and with the owner entering a Heritage Easement Agreement to secure heritage conservation works as per the submitted Heritage Conservation Plan. The main intent of the exercise was to allow the recovery of the building's historic Italianate form, while also permitting an opportunity for its relocation and integration within the proposed industrial development.

Post its relocation, the Learment/C. Armstrong House c. 1885 was designated under Part IV subsection 29(1) of the Ontario Heritage Act in May 2023 under By-Law No. 79-2023.

The heritage attributes as referenced in the By-law comprise all facades, architectural detailing, construction materials and associated building techniques along with:

- Wood trim and wood cornice on all retained façades;
- Decorative wooden brackets at corners of the eaves;
- Front façade bay window with metal roof, wood trim and decorative woodwork, original window openings and windows;
- Red brick construction with brickwork laid in a running bond pattern;
- Decorative brick accents including quoins and voussoirs;
- Brick water table between the main floor and foundation wall; Hipped roof structure;
- Original wood door and windows frames, where they exist, on all façades;
- All original wood windows and window openings, including one on the south elevation, second storey; two on the east elevation, one on the first and one on the second storey; and two windows, one on the first and one on the second storey on the north façade; and,
- Concrete sills of all original window openings.

The Learment/C. Armstrong Farmhouse, constructed in 1885, is designated for its design/Physical values and historical/associative values. Following the relocation and restoration works, including construction of new foundations and restoration of the Italianate farmhouse typology features, a plan for adaptive re-use of the house was laid in 2022.

A former Minor Variance application in 2023, involving addition of a deck at the rear(west) of the building, was approved by the Heritage Planning and Development Planning staff without a heritage permit as it was considered to be a minor alteration. However, the staff noted that a heritage permit application and an HIA may be required if further alterations are planned for the property.

## CURRENT SITUATION:

The requirement for a revised Heritage Impact Assessment Report along with the Heritage Permit application focusing on Phase II of the proposed addition and alterations, was recommended by the Heritage Staff for proposed two-storey above grade addition at the west of the building. The requirement of the Heritage Permit is in accordance with the following:

- i. Section 33 of the Ontario Heritage Act;
- ii. Brampton Official Plan: Section 3.6.3.26; and
- iii. Heritage Easement Agreement dated May 6, 2019, between the Corporation of City of Brampton and 10254 Hurontario Inc. stated that upon relocation of the Farmhouse, the Owner will be required to seek and obtain all approvals required in respect of any work likely to affect heritage attributes.

AREA Architects was retained by 10254 Hurontario Street Holdings Ltd., owners of 10254 Hurontario St, to prepare the revised scoped Heritage Impact Assessment and Heritage Permit application for Phase II, received on November 12, 2024. (See Attachment 1 and Attachment 2)

The HIA identified that the design of the addition incorporates several strategies which provide legibility and compatibility with the heritage structure as follows:

- Material of cladding is contemporary and provides distinguishability from the heritage structure. Materials are metal or glass.
- Building cladding above Ground Floor will be in curtainwall for reasons of construction, scheduling and structural engineering due to the cantilever condition.
- Window sizes and proportions emulate the windows on the restored house. The windows also incorporate vertical and horizontal muntin bars to emulate the double-hung 2-over-2 configuration of the heritage windows.
- Frames or *armatures* marking a bay size in a reddish colour (to match the adjacent brick) are depicted like a sideways “C” shape. They reference and call to mind the distinctive shouldered voussoir arches around the windows of the adjacent original house (which likewise are upside down “U” shapes).
- Armatures around the sets of windows also denote the actual steel structural framing behind and are paired together to give the façade some columnar-type rhythm which breaks down the massing of the addition.
- Sets of windows are grouped within the armatures much like the fenestration of the heritage house. They are grouped in pairs on the west elevation – similar to

the house's second floor windows – and in triplets on the south and north elevations – similar to the house's ground floor bay windows.

- Mullion surrounds on the sides of the windows creates a more subtle, thinner line similar to brick string coursing. This mullion figuration is also red colour (to match the adjacent brick) and to reinforce the “C” armatures.
- Colours of the cladding will incorporate the red brick colour of the historic masonry and the gray colour of the stone base and the roof which will make the addition harmonized and compatible with the heritage building.
- Projecting white bands at the floor and roof slabs recall and reinterpret the white quoins of the heritage building without slavishly mimicking the historic style.
- Massing comprises the same two storeys but is subordinate to the historic house by being lower than the hipped roofs of the heritage portion. The armature frames break down the massing in smaller components than the larger brick house.
- Furthermore, the horizontality of the projecting white bands and the cantilever on the south corner also creates a “streamlining” form that emphasizes the lower height in relation to the larger heritage structure.
- Base of the addition will incorporate a simulated stone with a similar appearance as the stone veneer base of the heritage building.

For the above reasons, the HIA deems that the proposed additions and alterations of Phase II do not significantly affect the building's heritage attributes.

Based on the foregoing Heritage Staff recommend that the Heritage Permit application be approved, subject to the following condition:

- i. that the architect and/or heritage consultant monitors construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing.

#### **CORPORATE IMPLICATIONS:**

None.

#### **STRATEGIC FOCUS AREA:**

The approval of Heritage Impact Assessment and Heritage Permit Application within this report supports the Culture and Diversity Focus Area. The recommendations therein facilitate the conservation and necessary upgrades of a rare and unique heritage resource to promote adaptive re-use for continual use of a heritage property that contributes to the understanding of Brampton's early history.

**CONCLUSION:**

It is recommended that the revised scoped Heritage Impact Assessment for additions and alterations to 10254 Hurontario St – Ward 2 be received by the Brampton Heritage Board as being complete and the Heritage Permit Application for Phase II be approved following the conditions recommended by Heritage Staff.

Authored by:

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**Attachments:**

- Attachment 1 – Heritage Impact Assessment Report, by AREA Architects, dated November 1, 2024
- Attachment 2 – Heritage Permit Application for Phase II, submitted on November 12, 2024



**10254 Hurontario Street, Brampton, ON**

**Learment-C. Armstrong House**

## **‘SCOPED’ CULTURAL HERITAGE IMPACT ASSESSMENT REPORT**

**Issued: September 16, 2024**

**Rev. 1: October 8, 2024**

**Rev. 2: October 21, 2024**

**Rev. 3: November 1, 2024**

**Prepared for:**

10254 Hurontario Street Holdings Inc.

**Prepared by:**

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## 1. INTRODUCTION & EXECUTIVE SUMMARY

*AREA, Architects Rasch Eckler Associates Ltd.* was retained by the property owner, 10254 Hurontario Street Holdings Inc., to conduct a 'Scoped' Cultural Heritage Impact Assessment (CHIA or HIA) on the property and structure of 10254 Hurontario Street that is located in the City of Brampton, Regional Municipality of Peel, Province of Ontario, Canada. In accordance with the Terms of Reference for such a report, the authors will consider the property known as the 'Learment-C. Armstrong House' (also called Armstrong House) that received Part IV designation under the *Ontario Heritage Act (OHA)* in 2023 (City of Brampton Designation By-law 79-2023 'DBL') after it was moved to its current location and restored to its original nineteenth century iteration between 2016 and 2019. The proposed site alteration based on the Site Plan Approval (SPA) applications File Nos. SPA-2024-1012 and SPA-2024-0139 seeks to transform the heritage building into a childcare centre. The building alterations and additions will be implemented in two phases of Building Permit Applications (BPA) corresponding with these SPAs. It is the SPA review processes through which the Heritage Planning staff, the BHB and ultimately Council provide their consideration and approvals of the project.

The primary authors responsible for the overall preparation and recommendation of this Scoped HIA Report are David Eckler, B.E.S., B.Arch., OAA, MRAIC, APT, and Sarah King Head, CAHP, MA, PhilM, GDipPI as part of the *AREA* team and their curricula vitae and firm profile are attached (Appendix B).

Because a comprehensive HIA was produced in 2016 prior to the relocation of the heritage building and its subsequent restoration, the City of Brampton (COB) requires a 'Scoped' HIA Report to assess and evaluate the expected impacts of the proposed site alterations on the heritage attributes identified in the Designation By-law ('DBL'). In general, these include (1) basement alterations on the side elevations, and (2) a west (rear) addition, two-storeys, to the ground and second floors. The additions and alterations can be grouped into two categories of changes which are proposed to be approved as Building Permits (BP) in two phases:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations (on side elevations); and
- (2) Phase 2 Daycare Ground & Second Floors Addition (on rear elevation).

*AREA* was retained to prepare Building Permit Application (BPA) drawings and undertake approvals for interior renovations, exterior alterations, and additions to satisfy the requirements necessary for the creation of a childcare centre to be operated by 'Little Sages Academy' (LSA) and also called the Armstrong House Daycare.

The previous Brampton Heritage Board (BHB) meeting 2024-10-15 accompanied by the Heritage Planning staff report and the earlier version of this HIA reviewed, considered and recommended approval of the Phase 1 component first. Then, the subsequent BHB meeting 2024-11-19 and its staff report will consider the Phase 2 component.

The Phase 2 component is the primary focus to be discussed and considered in this revised HIA, which can also be described as an 'HIA Addendum'. This HIA Report may repeat the background material about this property which was previously reviewed by Heritage Planning and the BHB. But it is more comprehensive, for the future record, to incorporate the discussion of the Phase 2 component within an updated and comprehensive HIA which explains the full project. This HIA Report may, at times, discuss the previously considered Phase 1 component which must be referenced in order to explain the full Armstrong House Daycare project. However, the recommendation of this HIA Report will relate exclusively to the Phase 2 Daycare Ground & Second Floors Addition (on rear elevation).

In addition to considering relevant heritage legislation that has been evolving since 2016, this report will also provide both an overview of the previous documentation and a chronological summary of the relocation and restoration process as per the heritage structure. This will form the basis of a revised evaluation of the property's Cultural Heritage Value or Interest (CHVI) as per updated O.Reg. 9/06 criteria and underpin consideration of the impacts associated with the proposed adaptive reuse of the building's envelope and interior. Finally, mitigation strategies and alternatives, including proposed conservation and implementation strategies, will be outlined.

This report is intended to provide an independent and objective 'Scoped' HIA of the recently restored and relocated heritage-designated structure. It necessarily includes examination of, recourse with and interpretation of archival, land registry, mapping, historic community, secondary interpretative, and other resources. It also concurs with the terms of the Brampton Official Plan (BOP) for both an HIA and Scoped HIA insofar as any 'proposed alteration, construction or development' impacts a Part IV designated heritage resource and do not adversely impact those identified heritage attributes (viz. 3.6.3.33 and 4.10.1.10–11).

This HIA determines that the proposed new rear west addition on the ground and second floors has low impact on the building's heritage attributes. The proposed addition is at minor location, on secondary elevations, inconspicuous from the public street view and/or impacting only building portions which were wholly new design and construction dating to the relocation project completed in 2022.

An Adaptive Reuse Plan would be the appropriate submittal to support and outline the implementation for this type of project. The Adaptive Reuse Plan is already constituted in the Architectural drawings (Appendix C) that were approved by the Child Care Licensing System (CCLS) process for the daycare use and which are submitted to the City as part of the SPA and BPA process. The Architectural drawings must satisfy the requirements of the Child Care and Early Years Act (CCEYA) and the Ontario Building Code (OBC), among other regulations.

This HIA concludes that:

- Through a minor unobtrusive addition, the proposed adaptive reuse into a daycare redevelopment will not result in significant impacts to the heritage attributes of the Learment-Armstrong House.

This recommendation of the HIA will require the City's heritage approval through a recommendation by the Heritage Planning staff and the Brampton Heritage Board, and ultimately the resolution of Council.

## 2. DESCRIPTION OF SUBJECT PROPERTY

The Learment-C. Armstrong House<sup>1</sup> (also called Armstrong House) is part of treaty and traditional lands of the Mississaugas of the First Credit Nation, the Haudenosaunee Confederacy, and the Huron-Wendat and Wyandot Nations. It is located in part of lot 12 in the First Concession West of Hurontario Street (Part L120-C1 W.H.S.) in the former geographic Township of Chinguacousy in the County of Peel, and today in the City of Brampton, Regional Municipality of Peel in the Snelgrove-Heart Lake Secondary Plan area. The heritage house and property originally formed part of a farmstead that was part of an agricultural belt around the Town of Brampton and was situated between the historic communities (along Hurontario Street) of Westerveld Corners to the south and that of Snelgrove to the north. The original farmstead was bounded to the west by the former Credit Valley (Orangeville-Brampton/Canadian Pacific) railway corridor and by industrial and residential development to the north (Sandalwood Parkway) and south (Bovaird Drive).

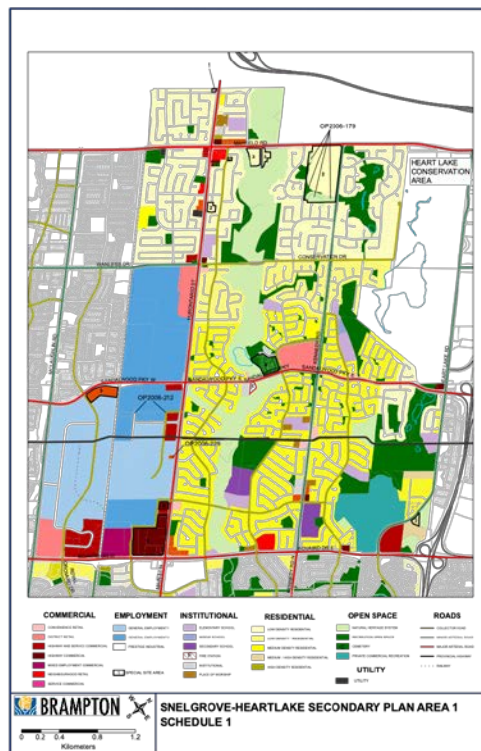


Figure 1: Subject property indicated by OP Amendment 2006-229 in the Snelgrove-Heart Lake Secondary Plan area  
(<https://geohub.brampton.ca/documents/b94a8f7c3e58455bb1333cfd7e349e5/about>)

<sup>1</sup> The property received Part IV designation as the 'Learment-C. Armstrong House' and is also known as the 'Armstrong Family Farm' on the City of Brampton website: [https://geohub.brampton.ca/datasets/2511924166364ccab6228b804f0e134d\\_13/explore?location=43.743201%2C-79.829023%2C12.60&showTable=true](https://geohub.brampton.ca/datasets/2511924166364ccab6228b804f0e134d_13/explore?location=43.743201%2C-79.829023%2C12.60&showTable=true). The author uses the alternative spelling for the surname 'Learmont' when discussing the family insofar as this is the more common usage in most historical and archival data.

The two-storey, L-shaped brick Italianate structure was relocated from its original position at the centre of the lot to the northeast corner in 2018 and subsequently restored to its late nineteenth century iteration to ensure the adjacent Canadian Tire Distribution Centre industrial development did not negatively impact its heritage integrity. Key to the conservation plan was the restoration of the building to its original Italianate character,<sup>2</sup> and designation as the 'Learment-C. Armstrong House' under Part IV of the *Ontario Heritage Act (OHA)* (City of Brampton DBL 79-2023). The heritage building is now completely segregated from the Distribution Centre on a 1,938m<sup>2</sup> trapezoidal parcel of land and located at the Tremblay-Hurontario Streets intersection. The heritage house is located immediately south of the Self Storage facility at 10370 Hurontario Street the east of the four-lane Hurontario Street. The only echo of its original residential character is the leafy, residential area on the far side of the busy transportation artery.

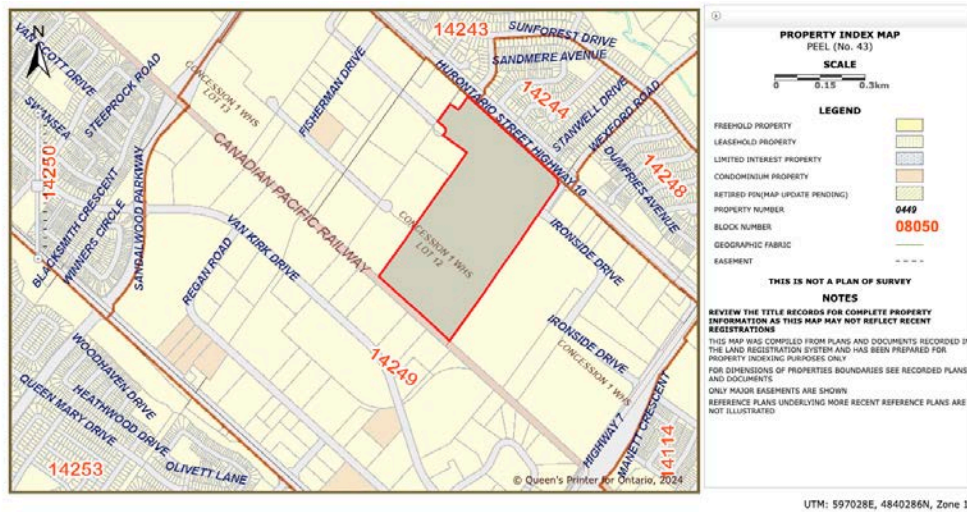


Figure 2: Location of subject property from Property Index Map (LRO 43)



Figure 3: Restored Learment-C. Armstrong House at intersection of Hurontario and Tremblay Streets (Google maps)

<sup>2</sup> See AREA, *HIA*, s. 2.3.4 for a full description of the house prior to its restoration.

## 3. APPROACH AND METHODOLOGY

### 3.1. CULTURAL HERITAGE RESOURCE

For the purposes of this report, the term 'cultural heritage resource' is used to describe tangible built and landscape heritage features. In this way, the structure at 10254 Hurontario Street is not only a structure protected by Part IV designation under the *OHA* (COB by-law 79-2023), but it must be seen within its larger heritage context through its association with the land-use activities related to historical settlement and patterns of architectural development and by its ability to contribute to the heritage value and integrity of the District as a whole and within the context of its specific neighbourhood surroundings.

### 3.2. POLICY FRAMEWORK

#### 3.2.1. ONTARIO HERITAGE ACT (R.S.O. 1990, c O.18), 2024

Introduced by the province in 2006, the *OHA* provides a uniform set of criteria for municipalities to use when determining whether a property should be considered a significant cultural heritage resource. It provides a legislative and regulatory framework for heritage conservation, protection and preservation. The Learment-C. Armstrong House was deemed to meet sufficient O.Reg. 9/06 criteria to warrant designation under Part IV (s. 29) of the *Act* and awarded this status in 2023 (City of Brampton by-law 79-2023).

Sections 33 and 34 of the *Act* require a property owner obtain municipal consent when making alterations to designated heritage properties. Since Passage of *Bill 108 (More Homes, More Choices Act, 2019)*, the definition of alter no longer includes demolition or removal:

*S. 34(1) No owner of property designated under section 29 shall do either of the following, unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the demolition or removal:*

- 1. Demolish or remove, or permit the demolition or removal of, any of the property's heritage attributes, as set out in the description of the property's heritage attributes in the by-law that was required to be registered under clause 29 (12) (b) or subsection 29 (19), as the case may be.*
- 2. Demolish or remove a building or structure on the property or permit the demolition or removal of a building or structure on the property, whether or not the demolition or removal would affect the property's heritage attributes, as set out in the description of the property's heritage attributes in the by-law that was required to be registered under clause 29 (12) (b) or subsection 29 (19), as the case may be.*

#### 3.2.2. BILL 23 (MORE HOMES, BUILT FASTER ACT), 2022

Bill 23 enacted a series of significant changes to the *OHA* in 2022, among which was the expansion of O.Reg. 9/06 criteria for CHVI from a minimum of one to two on property designations. Further changes were introduced in June 2024 through *Bill 200 (Homeowner Protection Act)*, related to non-designated or 'listed' or non-designated heritage properties included on municipal registers – principally by extending the deadline for municipalities to issue notices of intention to designate (NOID) to 1 January 2027. The *Bill* provides for the voluntary removal of listed properties.

### 3.2.3. PLANNING ACT, 2024

The legislative framework for the regulation of all land-use planning decision-making in the province of Ontario, Section 2(d) of the *Planning Act* identifies the conservation of 'features of significant architectural, cultural, historical, archaeological and scientific interest' as a matter of Provincial interest.

### 3.2.4. PROVINCIAL POLICY STATEMENT, 2024

Changes to the *Planning Act* through *Bill 185 (Cutting Red Tape to Build More Homes Act)* resulted in the issuance of a new *Provincial Policy Statement (PPS)* that comes into effect on 20 October 2024. Providing policy direction by regulating efficient land-use planning and development in Ontario, the *PPS's* goal is to promote sustainable, economically viable and strong communities as well as to protect the environment and support public health and safety. Key is the identification of upper-tier municipalities – including Brampton, which is considered among the largest and fastest growing in the province and as such has the capacity to fulfil support strategic growth and minimum density targets.

With cultural heritage and archaeology being specifically identified as a means of 'provid[ing] people with a sense of place', Section 4 outlines the framework for regulating the wise use and management of natural, cultural and archaeological resources.

Sections 4.6.1 and 4.6.3 refer to the conservation and protection of 'protected heritage property' – i.e. that which has already been designated under parts IV, V or VI of the *OHA*.<sup>3</sup>

1. *Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.*
3. *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.*

### 3.2.5. REGION OF PEEL OFFICIAL PLAN, 2024

As of 1 July 2024, the combination of Ontario Bill 23 (*More Homes Built Faster Act, 2022*) and Bill 185 (*Cutting the Red Tape to Build More Homes Act, 2024*) shifted planning policy and approval mechanisms from upper-tier municipalities (including Peel) to the Province. In so doing, lower-tier municipalities (including Brampton) are beholden to the Region of Peel Official Plan (RPOP).

Section 3.6 outlines the Region's policies, underlining its commitment to 'support[ing] the conservation of cultural heritage resources of all peoples whose stories inform the history of Peel'. Herein, the Plan's objectives and policies uphold the identification, conservation and interpretation of these resources – including but not limited to – built heritage resources, structures, archaeological resources and cultural heritage landscapes. Stewardship of said resources is also encouraged (3.6.2).

Any development or site alterations to protected heritage properties both proposed on site or to adjacent lands require evaluation, documentation and conservation methods guarantee the protection of the resource (3.6.10–11).

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<sup>3</sup> PPS, pp. 4, 28, 50.



### 3.2.6. CITY OF BRAMPTON OFFICIAL PLAN, 2024

In 2015, the COB adopted a Strategic Plan that placed heritage preservation as a principle for guiding the City's evolution, growth and development. Herein recognized heritage conservation best practices were key, and the policies sought to ensure land-use decision-making is guided by the conservation and promotion of 'significant' cultural heritage resources. Section 4.9.14 [sic: 4.10] of the consolidated Official Plan (2013) outlined the City's policies by emphasizing the preservation of cultural heritage as a 'functional component of daily life' and 'for the enjoyment of existing and future generations'.

A draft of the most recent official plan – the Brampton Plan – was presented to the Region of Peel in May 2024. Herein the conservation of cultural heritage buildings, landscapes and archaeological resources is identified as a principle of sustainable community building activities insofar as they 'celebrate the history and legacy of the city, and the people that [sic: who] inhabited the land before it' (2.1.1.1.c). It also outlines a framework for raising public awareness of the 'opportunities for conserving cultural heritage and promoting its appreciation and enjoyment' largely through public outreach initiatives (including those associated with Indigenous reconciliation and decolonization) and the commemoration of demolished resources (3.6.2.92).

Conservation of exiting cultural heritage resources is identified as key component of the City's commitment to environmental sustainability and the creation of new (as well as greening of existing) communities in order to contribute toward climate change mitigation. As such the Plan supports the 'conservation, adaptive reuse, material salvage and repurposing' of cultural heritage resources (3.6.3.6; see also 3.2.2.1.j)

Reiterating the policies and objectives outlined in the RPOP, the Brampton Plan supports the creation of a Cultural Heritage Master Plan to provide a basis for the establishment of additional Brampton Plan 'policies, guidelines or initiatives for the conservation of cultural heritage resources' (3.6.3.2; 3.6.3.13)

The RPOP glossary definition of a Cultural Heritage Master Plan is one that provides,

*... policies, including but not limited to, encouraging and supporting cultural heritage conservation, identifying cultural heritage resources, built heritage and cultural heritage landscapes, area of potential for archaeological resources, and implementation measures for the protection and conservation of cultural heritage resources, including education and outreach.*

The property is located as a Class B Heritage Resource on the Official Plan's Cultural Heritage Map (2006, consolidated 2020).

### 3.2.7. HERITAGE DESIGNATION, 2023

Following the relocation in 2018 and completion of the restoration of the of heritage building in 2019 – but before the implementation of recent changes to Provincial legislation and its impact on the regional and local official plans – a Notice of Intention to Designate was brought before Brampton City Council in March 2023.

*In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario's cultural heritage resources is a key provincial interest. A set of Provincial Policy Statements (PPS) provides planning policy direction on matters of provincial interest in Ontario. These statements set the policy framework for regulating the development and use of land. The relevant heritage policy statement is:*

- *PPS 2.6.1, which states that “significant built heritage resources and significant cultural heritage landscapes shall be conserved”.*
- *PPS 2.6.1 is tied to Section 3 of the Ontario Planning Act, which stipulates that land use planning decisions by municipalities “shall be consistent with” the Provincial Policy Statements.*

*The policy is also integrated with the Ontario Heritage Act. This piece of legislation grants municipalities powers to preserve locally significant cultural heritage resources through heritage designation. Decisions as to whether a property should be designated heritage or not is based solely on its inherent cultural heritage value or interest. City Council prefers to designate heritage properties with the support of property owners. However, Council will designate a property proactively, without the concurrence of a property owner as required. These principles are reflected in Brampton's Official Plan. The relevant policies are as follows:*

- *Section 4.10.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.*
- *Section 4.10.1.5: Priority will be given to designating all heritage cemeteries and all Class A heritage resources in the Cultural Heritage Resources Register under the Ontario Heritage Act.*
- *Section 4.10.1.6: The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.*

*In 2015, the City Council adopted a new Strategic Plan to guide the evolution, growth and development of the city. Heritage preservation is one of the goals of this new Strategic Plan. These principles are also guided by recognized best practices in the field of heritage conservation.<sup>4</sup>*

<sup>4</sup> See <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=82446>

## 4. EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

### 4.1. PHYSIOGRAPHY

The study area is located on the northern edge of the Peel Plain physiographic region where it meets the South Slope south of the Niagara Escarpment, extending across Halton, York and Peel counties. Brampton to the south is the approximate location of the division between the Manitoulin-Lake Simcoe and Lake Erie Lowland ecoregions. The latter is characterized by the broadleaf deciduous Carolinian Forest zone to the south, while the former is characterized by a mixed forest zone that contains a blend of deciduous and boreal.<sup>5</sup> The generally flat topography slopes southeast toward the Etobicoke Creek and was largely deforested for cultivation purposes from the late eighteenth century onward. The subject property is located west of Etobicoke Creek and east of the Credit River, the latter that with the Humber River are the two major watersheds in Peel Region.

The formerly agricultural lands have been extensively altered over the last five decades, principally as a result of the extension of Hwy 410 to Hurontario Street in the early 1970s and attendant industrial and commercial land-use punctuated by new residential subdivisions.

### 4.2. HISTORICAL OVERVIEW

The first human habitation of southern Ontario occurred with the final retreat of the Wisconsin glacier more than 10,000 years ago. The hunter-gatherer Clovis and Plano cultures predominated in the Palaeo-Indian period of c. 9000–5000 BCE and established seasonal hunting camps along the main watersheds. The subsequent Archaic period transitioned to the Woodland cultures, from which many of the Indigenous Nations known today emerged. By about 1400, the Haudenosaunee peoples dominated the landscape from southern Ontario and southwest New York State. Seasonal Indigenous activities were focused in areas of exposed chert-bearing layers within the limestone deposits as well as more permanent cultivation settlements along the main watersheds that flowed into Lake Ontario.

By the early seventeenth century when French missionaries and explorers first began to penetrate the area, it was the Haudenosaunee and Huron peoples they encountered. As elsewhere in southern Ontario the peoples were forced out of their ancestral lands through a combination of warfare, pestilence and disease. By the early 1700s the area was settled by Anishinaabec peoples. It was with the Mississauga Nation that the British Crown signed the First Mississauga Treaty in 1805 and pertained to the area along the north shore of Lake Ontario stretching from Etobicoke Creek in the east to the outlet of Burlington Bay in the west and as far as the Second Concession north of Dundas Street. Historical references indicate that when the first Europeans arrived, there encountered an Indigenous encampment on the Etobicoke Creek at the Third Concession west of Hurontario Street (hereafter WHS) lot 21. The Creek was had been used as an ancient trail linking Lake Ontario with Georgian Bay.<sup>6</sup>

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<sup>5</sup> See Puric-Mladenovic et al., pp. 7–15.

<sup>6</sup> Historic Horizon, pp. 3–4.

The second Mississauga Purchase of 1818 responded to increased immigration and demand for lands north of Dundas Road. Part of the Home District, what would become Peel County was originally composed of five townships: Toronto, Chinguacousy, Caledon to the west and the Gore of Toronto and Albion to the east. It was linked to York County until 1867 when it became an administrative unit.<sup>7</sup> Encompassing nearly 650,000 acres, Chinguacousy Township was surveyed by Richard Bristol in 1819 with double-front system in which 200-acre lots laid were out into twelve concessions that were ranged west and east of 'Centre Road' (Hurontario Street). Thirty-four lots were numbered from what today is Steeles Avenue south to today's Mayfield Road. Bristol's survey imposed a settlement grid that remains to this day. It has been that what is known as the 'South Slope settlement' was colonized by a second wave of British immigrants rather than American refugees who were encouraged to settle in regions adjacent to the United States.<sup>8</sup>

#### 4.2.1. CHINGUACOUSY TOWNSHIP

The Township is said to have been named after the Mississauga Chief Chinguacousy who distinguished himself at Fort Michilimacinac during the War of 1812. The first European settlers began arriving in the early 1820s, principally from the American colonies but also from New Brunswick. As the land was deforested as a condition of their settlement duty, the township quickly becoming an agricultural hub with its centre by the 1830s being Brampton. While the underlying Chinguacousy clay loam was not ideal for cultivation, productive farmsteads nonetheless emerged. Mixed farming gave way to crops, which in turn were replaced by husbandry and dairy farming by the twentieth century. This position of prominence was reinforced by its being at the intersection of the Grand Trunk and Mississauga Credit Valley Railways.<sup>9</sup> Not incorporated as a village until 1853, it became the Peel County seat in 1865.

As Toronto's population swelled in the twentieth century, industry and workers were drawn from the smaller, proximal rural settings. Counties like Peel responded by intensifying their mixed farming industries to meet the needs of the urban population. By the 1950s, Chinguacousy Township's population had fallen to 5,000 from its nearly 7,000 in 1860 – although Brampton enjoyed a nearly 450% increase in its population by 1966.<sup>10</sup> In 1974, Chinguacousy Township was dissolved and amalgamated into the newly created City of Brampton within the Regional Municipality of Peel.

#### 4.2.2. SUBJECT SITE<sup>11</sup>

The Subject Property is located north of Brampton, in part of lot 12 in the First Concession on the west side of Hurontario Street (also known as 1 WHS, lot 12). It was surveyed by the deputy provincial surveyor Patrick Callaghan at the request of Samuel Gamble in March 1840. The land was described as having 'a large swale' and 'timber consist[ing] of beech, maple, elm and basswood, but 'no living water on it'.<sup>12</sup> By 1877, the Credit Valley Railway ran through the lot on the western edge of the eastern side.

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<sup>7</sup> See Fix in *History of Peel County*, pp. 13–20; and *Settlement History of Peel*, pp. 17–21.

<sup>8</sup> Chapman and Putnam, *Physiography*, pp. 172–73.

<sup>9</sup> McKinney in *History of Peel County*, pp. 244–55; *Settlement History of Peel*, pp. 30–32.

<sup>10</sup> *Settlement History of Peel County*, pp. 33–36.

<sup>11</sup> See AREA, HIA, s. 3.2 for further details about the Learmont and Armstrong families.

<sup>12</sup> See Bull, *Township of Chinguacousy*, pp. 80–84.

Although a John Walsh was identified as an inhabitant of the land as early as 1837, he was evidently a squatter:<sup>13</sup> indeed, a patent for the 50 acres of this half of the township lot was sold in March 1854 to Adam Ferguson (1823–1902) for £57-10s, and the other 50 acres to John Holmes for £37-10s in September of that year. Less than a year later, Holmes sold 25-acre parcels to Adam and his brother Samuel Ferguson (1820–88).



Figure 4: Detail of Tremaine map showing division of lands between Samuel and Adam Ferguson in WHS Concession 1, lot 12, 1859

<sup>13</sup> *Toronto & Home District Directory 1837* (cited in Bull, Township, p. 80).

In two separate transactions in February 1869, Adam Ferguson sold his 50- and 25-acre parcels to John Learmont (1831–89) for \$3000. Two years later the latter severed the northeast 25 acres and sold it to Samuel Ferguson's son John (1851–1931) for \$1. A year before he died in 1889, Learmont sold his 50 acres to Joseph Lawson (1836–1904) for \$3500 on the same day that Ferguson sold his smaller 25-acre lot to Lawson for \$5500.

Even though it is not possible to determine precisely when the house was built, the depiction of a house facing Hurontario Street with orchards ranged behind (to the west) in the 1877 County of Peel Illustrated Historical Atlas supports the probability that it had been built between 1869 and 1877.

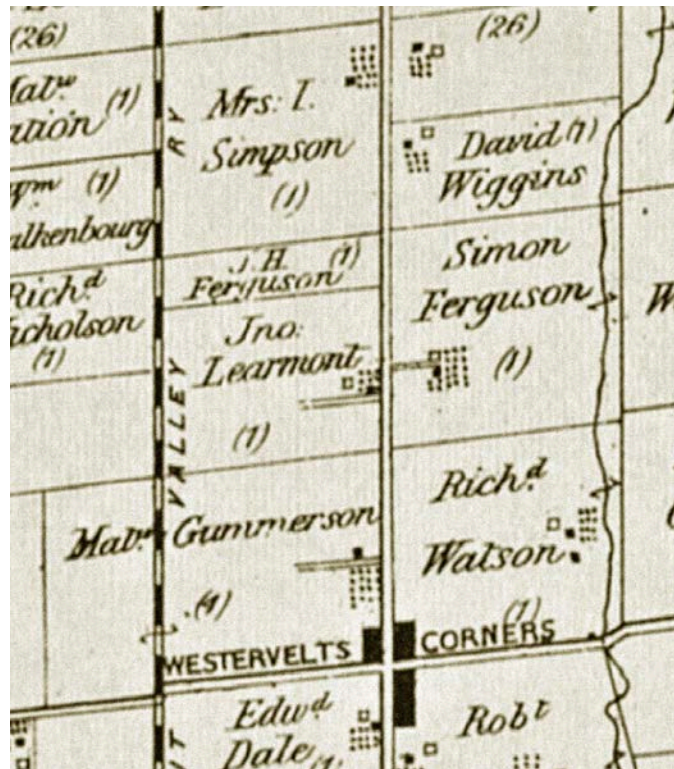


Figure 5: Detail of Walker & Miles' map of Peel County, showing Learmont in the 75 acres of WHS Concession 1, lot 12 (and J.H. Ferguson in the northern 25 acres), 1877

A revised date of c. 1873 is thus proposed for the construction of the main domestic structure in its original position at 10254 Hurontario Street.

Samuel and Adam Ferguson were the two eldest sons of Irish-born Hugh Ferguson who immigrated to Ontario in the late 1810s, while Learmont was the son of the Edinburgh-born carpenter William Learmont. Although intermarriage does not seem to be the reason, Learmont and the Fergusons were nonetheless firm business partners and prospered handsomely in the area. The relationship remained strong after Learmont's death, with John Ferguson and Joseph Lawson continuing to farm as neighbours well into the twentieth century.

Learmont part married Elizabeth (1827–1906), the daughter of James Armstrong, also a Scottish-born farmer. Three years after her death in 1906, the entire 75-acre property was sold to William James Graham (1888–1982) for \$6600. He farmed alongside John Ferguson until the late 1940s when Henry 'Charles' Joseph Armstrong (1921–2017) bought the property.

It is possible but as yet unproven that Charles Armstrong was a direct relative of Learmont's wife Elizabeth. Notwithstanding Armstrong's connection with the house at 10254 Hurontario is associated with his involvement in equestrian activities for more than 60 years, including operating the Green Gables Farm and serving as Master of the Eglinton-Caledon Hunt.<sup>14</sup> He was also the son of Joseph 'Elgin' Armstrong who founded Brampton's Armstrong Brothers Construction in 1929 that operated nearby.<sup>15</sup>

### 4.3. ADJACENT CULTURAL HERITAGE RESOURCES

Cultural Heritage Resources (CHRs) are comprised of residential building, agricultural-related buildings, landscape features, and building remnants that were identified for their cultural value and heritage significance. The CHRs surrounding the subject property demonstrate the subject property's existing heritage context.

Within a 5-km radius of the heritage house are several cemeteries, with those associated with the Snell family and the Christian Brethren Baptist (Zion) community cemeteries closest at 2 and 2.4 km away.

1. Snell Cemetery, c. 1846 at 10578 Kennedy Road North
2. Zion Cemetery, c. 1843 on Conservation Drive (by-law 87-2009)<sup>16</sup>

Other pioneer cemeteries in the area are include (but not limited to):<sup>17</sup>

3. Brampton Pioneer Cemetery, c. 1825 at 350 Main Street North (by-law 383-2006)<sup>18</sup>
4. St John's Edmonton/Snelgrove Cemetery at Hurontario Street and Mayfield Road (by-law 72-2010)<sup>19</sup>
5. Cheyne Family Cemetery, c. 1846 at 0 Hurontario Street (by-law 230-2015)<sup>20</sup>

<sup>14</sup> See <http://www.wardfuneralhome.com/book-of-memories/3126602/armstrong--charles/obituary.php>

<sup>15</sup> The brand predecessor to Aecon, Armbro was described as 'one of Canada's most iconic road builders [and] aggregate suppliers' (<https://www.aecon.com/our-company/our-heritage/history>)

<sup>16</sup> <https://www.heritagetrust.on.ca/fr/oha/details/file?id=12027>

<sup>17</sup> See City of Brampton, Heritage Cemeteries, pp. 1–7.

<sup>18</sup> <https://www.heritagetrust.on.ca/en/oha/details/file?id=870>

<sup>19</sup> <https://www.brampton.ca/EN/City-Hall/Bylaws/Archive/072-2010.pdf>

<sup>20</sup> <https://www1.brampton.ca/EN/City-Hall/Bylaws/Archive/230-2015.pdf>

CHR built structures in the vicinity include (but are not limited to):

1. Archangel Michael & Saint Thekla Coptic Orthodox Church (former Snelgrove Baptist Church), 1904 at 12061 Hurontario Street (by-law 30-2018)<sup>21</sup>
2. Carter Homestead, c. 1860 at 49 Blackthorne Lane (by-law 224-88)<sup>22</sup>
3. Andrew McCandless Plank Farmhouse, c. 1840 at 1985 Bovaird Drive West<sup>23</sup>
4. Breadner Homestead, c. 1860 at 59 Tufton Crescent (by-law 34-2006)<sup>24</sup>
5. Greensword House, c. 1890, 2472 Bovaird Drive West (by-law 18-2019)<sup>25</sup>
6. Robert Currie Farmhouse, c. 1870 at 2591 Bovaird Drive West (by-law 180-2015)<sup>26</sup>
7. Laird House, 1886 at 2838 Bovaird Drive West (by-law 31-2018)<sup>27</sup>
8. Bovaird House, c. 1852 at 563 Bovaird Drive East (by-law 298-81)<sup>28</sup>

South of the subject property are several CHRs located within the City of Brampton's Main Street South Historical Conservation District near the Main-Queen Streets intersection. Only one of the above-noted CHRs is designated under Part IV of the *OHA*: the Coptic Orthodox church at 12061 Hurontario Street. The City of Brampton's heritage register has not been updated since 2021 so the subject site is not included in this inventory but rather is still identified as being on the inventory of 'listed' heritage properties.<sup>29</sup>

<sup>21</sup> <https://www.heritagetrust.on.ca/oha/details/file?id=962>

<sup>22</sup> <https://www.brampton.ca/EN/City-Hall/Bylaws/Archive/224-1988.pdf>

<sup>23</sup> [https://www.brampton.ca/EN/City-Hall/Documents/Public%20Meeting%20Notices/2012/1985%20Bovaird\\_Notice%20of%20Intention%20to%20Designate\\_FINAL.pdf](https://www.brampton.ca/EN/City-Hall/Documents/Public%20Meeting%20Notices/2012/1985%20Bovaird_Notice%20of%20Intention%20to%20Designate_FINAL.pdf)

<sup>24</sup> <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=20135>

<sup>25</sup> <https://www.brampton.ca/EN/City-Hall/Bylaws/Archive/018-2019.pdf>

<sup>26</sup> [https://www.brampton.ca/EN/City-Hall/Documents/Public%20Meeting%20Notices/2015/2591%20Bovaird%20Dr%20W%20Public%20Notice\\_Notice%20of%20Intention%20to%20Designate.pdf](https://www.brampton.ca/EN/City-Hall/Documents/Public%20Meeting%20Notices/2015/2591%20Bovaird%20Dr%20W%20Public%20Notice_Notice%20of%20Intention%20to%20Designate.pdf)

<sup>27</sup> [https://www.brampton.ca/EN/City-Hall/Documents/Heritage\\_Notices/Public\\_Notice\\_of\\_Intention\\_to\\_Designate\\_2838\\_Bovaird\\_Dr\\_W.pdf](https://www.brampton.ca/EN/City-Hall/Documents/Heritage_Notices/Public_Notice_of_Intention_to_Designate_2838_Bovaird_Dr_W.pdf)

<sup>28</sup> <https://www1.brampton.ca/EN/City-Hall/Bylaws/Archive/298-1981.pdf> and <https://www.heritagetrust.on.ca/oha/details/file?id=826>

<sup>29</sup> See City of Brampton, 'Listed' Heritage Property inventory, p. 6.



## 5. SUMMARY OF CHANGES SINCE 2016

### 5.1. OVERVIEW

In 2018, the Learment-C. Armstrong House was relocated as part of the industrial development by Panattoni Development Company (Panattoni) for a 120,774m<sup>2</sup> Canadian Tire Distribution Centre on the larger 30.60-ha lot at 10254 Hurontario Street. The 2016 Development Concept Plan involved a two-phase development that included the removal of various farm storage structures and relocation of the heritage house to a trapezoidal parcel measuring 1,938m<sup>2</sup> at the northeast corner of the development lands at a new Hurontario-Tremblay Streets intersection.<sup>30</sup>

### 5.2. PLANNING APPLICATION

The COB conditionally approved the planning application (CO1W12.012) with a HIA to evaluate the heritage value of the listed structure on site and its recommendation of mitigation strategies to minimize impacts. The HIA not only recommended the property had sufficient heritage value to warrant heritage designation under Part IV of the *OHA*, but that the Learment-C. Armstrong Farmhouse be relocated to a compatible site at the northeast corner of the lot in order to preserve its heritage integrity.

### 5.3. HERITAGE IMPACT ASSESSMENT, 2016

Key to the owner's planning application was the proposed relocation of the heritage building. But because the house at 10254 Hurontario Street was listed on the City of Brampton's Municipal Register of Cultural Heritage Resources, *AREA, Architects Rasch Eckler Associates Ltd. (AREA)* were retained to undertake an HIA of the property to evaluate its cultural heritage value and recommend mitigation strategies to minimize impacts associated with the proposed development.<sup>31</sup> Not only did they determine that the house met sufficient O.Reg. 9/06 criteria to receive Part IV designation under the *OHA*, but they deemed its relocation and restoration was the preferred mitigation strategy based on the conclusion that on-site retention was neither compatible with the future land-uses associated with the development nor met residential or industrial/employment standards. *AREA* also produced the first of two Heritage Conservation Plans in 2017, identifying as key to the restoration plan was the removal of non-historic features (specifically the rear west additions) as well as the replacement and/or reproduction of missing character-defining elements.

The Brampton Heritage Board (BHB) approved the HIA's recommendations/mitigation options based on the City's Strategic Plan priorities associated with preserving and protecting heritage environments with balanced, responsible planning.<sup>32</sup> It also supported the proposed *OHA* Part IV designation along with Conservation and Heritage Building Protection Plans (HB016-2017, PDC062-2017 and C084-2017) before the adoption of the Official Plan Amendment. Acceptance was also dependent on the owner providing and installing heritage interpretative signation as well as salvaging as much outbuilding and vegetative material as possible.<sup>33</sup>

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<sup>30</sup> See *AREA* HIA, section 4.

<sup>31</sup> See *AREA* HIA, section 6.

<sup>32</sup> See City of Brampton, Discussion Plan, p. 13.

<sup>33</sup> See BHB report, 9 May 2016; and *AREA*, HIA, s. 7.

In order to ensure the successful relocation and restoration of the house as conditions of future planning approvals, the City's Heritage staff required the owner enter into a Heritage Easement Agreement (HEA) to secure the heritage conservation works as per *AREA's* HCP. It was deemed that the relocation and restoration of the heritage house would 'accommodate a balance between conservation of the heritage resource and the redevelopment of the subject lands.' More specifically, it would 'allow the recovery of the building's historic Italianate form, while also permitting an opportunity for its relocation and integration within the proposed industrial development'.<sup>34</sup>



Figure 7: Façade Learment-C. Armstrong House in 2016  
(*AREA*, HIA, 2016, figs. 12)



Figure 6: Southwest corner views of Learment-C. Armstrong House in 2016  
(*AREA*, HIA, 2016, figs. 16)

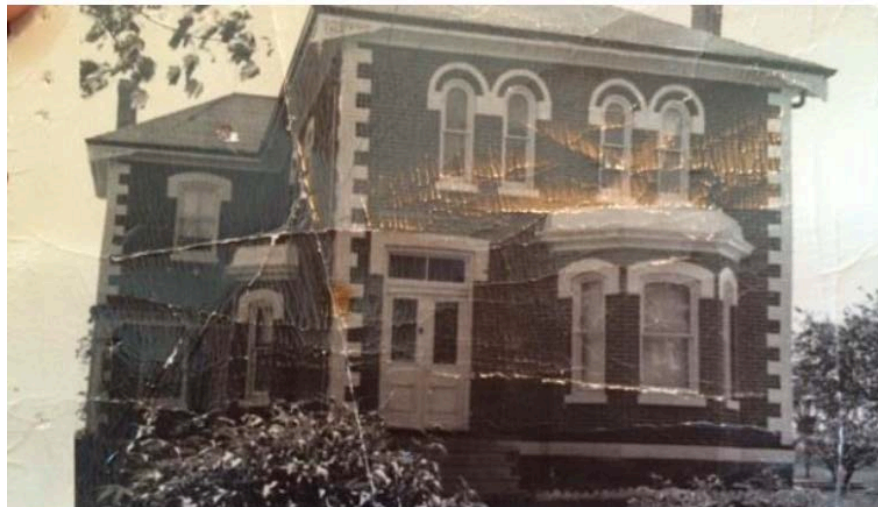


Figure 8: Original form and massing of the façade (east elevation) (*AREA*, HIA, fig. 44)

<sup>34</sup> BHB, 17 May 2016, p. 8.1-4.

#### 5.4. HERITAGE EASEMENT AGREEMENT, 2019

With reference to the *OHA*, the HEA dated 6 May 2019 provided for the approval and identification of strategic priorities for the heritage preservation and balanced, responsible planning associated with the relocation and restoration of the Learment-C. Armstrong House by the COB. Specifically, the agreement was to:

- Ensure that a high level of protection be provided to the building;
- Allow the demolition of the modern additions to the house, as identified in the approved HCP (2017);
- Allow the relocation of the house in accordance with approved procedures;
- Secure the restoration of the house in accordance with the approved HCP prior to the completion of the warehouse on site; and,
- Require financial securities to be posted to ensure that the building is properly conserved during the relocation and conservation process.

A Site Plan Application was approved in late 2018 to oversee the severance and relocation of the 455.85m<sup>2</sup> (0.046-ha) structure. Among the modifications were the addition of:

- Wood porch with deck and steps at the main entrance on the façade (east elevation) to recreate the historic Italianate style;
- Wood porch and deck with wood stairs and concrete ramp to the secondary entrance in the L-wing of the south elevation;
- Wood deck with steps connecting perimeter walkway at rear of building (west elevation).

In August 2019, a further Site Plan Application approved the relocation of the main entrance from the façade (east elevation) to the south elevation in order to make use of dual step and ramp access.

#### 5.5. HERITAGE CONSERVATION & HERITAGE BUILDING PROTECTION PLANS, 2017 & 2020

Relying on principles outlined in Parks Canada's *Standards & Guidelines* and Fram's manual *Well-Preserved* (Ontario Heritage Foundation), the Heritage Conservation and Heritage Building Protection Plans of 2017 and 2020 represented the restoration of the heritage building in its new location at the northeast corner of the subject property. While conservation work was identified as the first priority, key and necessary changes included stabilization of the existing building before its relocation. Once re-situated, the foundation was replaced, and all non-original components were removed and/or restored. The rear (west) additions (1950s until the 2000s) were demolished and, as on the other elevations, new windows and doors emulating the original Italianate units were installed. Attention was given to cleaning (and replacing where necessary) the exterior brick work, restoring brick accents, quoins, voussoirs, and concrete sills, restoring and upgrading all non-original windows and doors, and restoring original metal roof. Although the interior was little modified, restoration of decorative trims, mouldings and brackets was planned.

Soon after the property was bought by 10254 Hurontario Street Holdings, Inc. in September 2022, the COB approved an Official Plan Amendment that permitted the subject site's rezoning from 'General Employment 1' to 'Service Commercial' (OP2006-229 by-law 188-2022; and Zoning By-law 189-2022). Although 'day nursery' is not

specifically included as a subcategory of this zoning designation,<sup>35</sup> the 'parent' Zoning By-law 270–2004 does identify it as a permitted use – and as such a Committee of Adjustment application for a Minor Variance was applied for in 2023 (File No. A-2023-0119) and approved subject to various conditions (subsequently fulfilled) in August 2023.

## **5.6. HERITAGE DESIGNATION, BY-LAW 79-2023**

The 'Learment/C. Armstrong House, c. 1885' was designated under Part IV subsection 29(1) of the OHA in May 2023 based on the Notice of Intention to Designate (NOID) information provided in August 2022.<sup>36</sup> Quoting directly from the NOID:

### **DESCRIPTION OF PROPERTY**

*The Farmhouse which was located in the center of the lot at 10254 Hurontario Street is relocated on a new foundation at the northeast corner of the property. The property containing the Farmhouse in its current location is severed. The designation applies to all elevations of the cultural heritage resource known as the Learment/C.Armstrong Farmhouse. Designation does not apply to the interior of the Farmhouse. The area to be designated will be finalized in the designating by-law for the Learment/C.Armstrong Farmhouse.*

### **DESIGN/PHYSICAL VALUE**

*The Learment/C.Armstrong Farmhouse has design/physical value as a representative example of a vernacular Italianate farmhouse. The two-storey front (east) section of the Farmhouse, constructed circa 1885, represents the Italianate style through its form and massing. The building has a hipped roof structure with wood cornice and brackets. The Farmhouse also features segmentally arched windows, white-painted buff brick accents including voussoirs and quoins, and a bay window on the front (west) façade with decorative woodwork and original windows and window openings. While several of the window and door openings have been altered or replaced, there are extant original openings on every façade, and original windows on the south, east and north façades. An "ell" addition was added to the original section of the Farmhouse in the early 20th century, which in the 1950s was expanded with a second floor to accommodate rental units.*

### **HISTORICAL/ASSOCIATIVE VALUE**

*The Learment/C.Armstrong Farmhouse has historical/associative value through its association with John Learment and the family of Charles Armstrong. John Learment was the son of William Learment, an immigrant farmer from Scotland who first resided to the north of 10254 Hurontario Street. John Learment and his neighbour John Ferguson had a strong agricultural business relationship and were prosperous farmers in the area. The construction of the Farmhouse is attributed to John Learment, who owned the property from 1869-1888. In the 1877 Peel County Atlas, a farmhouse is shown on the property, which may or may not be the current Farmhouse in its original state. Based on information obtained from MPAC by the*

<sup>35</sup> It does not appear in the zoning definition in the Snelgrove-Heart Lake Secondary plan of 2020 (viz. s. 2.3.1).

<sup>36</sup> See Fay, NOID; and COB, Heritage Designation Notice.

*Architects Rasch Eckler Associates Ltd. (AREA Architects), the Farmhouse was constructed circa 1885. John Learment married Elizabeth Armstrong and after his death, she continued to live on the site.*

*Charles Armstrong, a prominent figure in the Ontario and North American horse industry for over 60 years, bought the property in 1949 and renovated the farmhouse. Charles Armstrong's father, Elgin Armstrong, was the owner of Armbr, or the Armstrong Brothers Construction Ltd. The Farmhouse was associated with Charles Armstrong's business ventures. In 1960, Charles Armstrong established his residence at the Farmhouse and ran a farming business on the site, which was operated under him as "Green Gables Farm".*

*The Farmhouse, particularly the section constructed in 1885, also yields information that contributes to the understanding of Brampton's agricultural history in the 19th century. Chinguacousy Township was known for its prime farmland and in the 19th and 20th centuries, was home to many successful, prize-winning farmers. Charles Armstrong was particularly known for raising prize-winning race horses.*

## **DESCRIPTION OF HERITAGE ATTRIBUTES/CHARACTER-DEFINING ELEMENTS**

*The heritage attributes comprise all façades, architectural detailing, construction materials and associated building techniques. The detailed heritage attributes/character defining elements include:*

- *Wood trim and wood cornice on all retained façades;*
- *Decorative wooden brackets at corners of the eaves;*
- *Front façade bay window with metal roof, wood trim and decorative woodwork, original window openings and windows;*
- *Red brick construction with brickwork laid in a running bond pattern;*
- *Decorative brick accents including quoins and voussoirs;*
- *Brick water table between the main floor and foundation wall; Hipped roof structure;*
- *Original wood door and windows frames, where they exist, on all façades;*
- *All original wood windows and window openings, including one on the south elevation, second storey; two on the east elevation, one on the first and one on the second storey; and two windows, one on the first and one on the second storey on the north façade; and,*
- *Concrete sills of all original window openings.*

*The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act.*

## 5.7. O.REG. 9/06 EVALUATION

The accompanying O.Reg. 9/06 Evaluation below incorporates and adds to that produced by *AREA* in 2016 (viz. sections 3.2.4, 3.3.3, and 3.4.4)

Criteria	Analysis
<b>Architectural/Design Value</b>	
1. The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method?	Yes: since its heritage restoration by <i>AREA</i> the Learment-C. Armstrong House is a good example of the Ontario iteration of the Italianate farmhouse typology. Features include: <ol style="list-style-type: none"> <li>1. The basic form and massing Italianate characteristics of the L-shaped design</li> <li>2. Restoration of all 20th century modified window and door fenestration</li> <li>3. Restored functional and decorative components including bay window, double entrance door with clerestory, double half-arch windows with voussoirs, white-painted brick accents, brackets</li> <li>4. Comparable expression of the Italianate style in the designated Bovaird House</li> </ol>
2. The property has design or physical value because it displays a high degree of craftsmanship or artistic merit?	Yes; in its restored state, the heritage house exhibits not only its original but also its more recent, exceptionally high degree of heritage craftsmanship
3. The property has a design or physical value because it demonstrates a high degree of technical or scientific achievement?	No; the original and restored materials and assembly do not reflect an innovative form of technical or scientific achievement
<b>Historical/Associative Value</b>	
4. The property has a historical or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	Yes; the property is associated with European settlers including Adam Ferguson, John Learmont and William James Graham who operated successful farms at the site until the 1940s. The 75 acres that Ferguson consolidated from the original two 50-acre land grants remained intact until the mid-20th century. Even though the property has been shown not to be associated with the Armstrong Brothers Construction Ltd (as previously maintained), it is associated with Henry Charles Armstrong's and later his daughter's businesses including Green Gables Farm and Village Acres Limited.

5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	Yes; although relocated the property continues to contribute meaningfully to an understanding of and serves as a reminder of the vibrant agricultural history of Chinguacousy Township and the community that emerged at Brampton from the mid-19th century. The Italianate design and construction of the brick house exemplifies Learmont's prosperity as a family farmer. The property's association with Charles Armstrong provides insights into the evolution of land-use activities on Brampton's former family farms from the middle of the 20th century.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No; the architect, artist, builder, designer or theorist associated with the heritage structure's provenance is unknown.
<b>Contextual Value</b>	
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No; the agricultural character of the heritage structure does not support the existing industrial land-uses.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	No; the heritage structure is one of the only agricultural buildings in the immediate vicinity and has no connections to the physical, functional, visual and historical context of its surroundings. The industrial uses of the area began with the entrepreneurial leadership of Charles Armstrong's father and uncle through the original Armbro Farm and later the construction and aggregates business initiated the evolution of industrial land-use in the Bovaird-McLaughlin area.
9. The property has contextual value because it is a landmark.	Yes; the restored and relocated heritage structure has landmark status through its designation under Part IV of the <i>OHA</i> in 2023. It maintains a distinctive street elevation and conspicuous presence along Hurontario Street through its relocation to the present site in spite of recent industrial developments in the area.

Based on the revised O.Reg. 9/06 evaluation, the Learment-C. Armstrong House fulfils five of the nine criteria associated with CHVI, supporting its designation under Part IV of the *OHA* in 2023 (COB by-law 79-2023).

## 6. PROPOSED ADDITIONS & ALTERATIONS

### 6.1. ADAPTIVE REUSE OVERVIEW

AREA coordinated the relocation of the building, including construction of new foundations and rear façades and remediating the restoration of the building envelope between 2018 and 2019. Nothing was done on the interior of the building at this time. Soon after the house received Part IV heritage designation in 2023 and sold to the current owner, AREA was again retained to prepare Building Permit Application (BPA) drawings and undertake approvals for interior renovations and additions to satisfy the requirements necessary for the creation of a childcare centre to be operated by 'Little Sages Academy' (LSA) and also called the Armstrong House Daycare. LSA is the non-profit daycare operator and is the tenant of the property owner, 10254 Hurontario Street Holdings Inc.

In 2022, the entire property was purchased from Panattoni by 10254 Hurontario Street Holdings Inc. which is the landlord for the daycare operator and tenant, LSA. At the time of the property purchase, plans were laid for the proposed adaptive reuse alterations to transform the heritage building into a childcare facility, including a two-storey addition to the west elevation, a one-storey basement addition (mostly below grade) including an enclosed deck to the south-east, and various basement openings (door with stairs and window). The BPAs for the adaptive reuse project are structured in two phases as discussed further below. The BPA submissions are accompanied by SPA applications as well through which process the Heritage Planning staff, the BHB and ultimately Council provide their review and approvals.

### 6.2. MINISTRY OF EDUCATION CHILD CARE LICENSING SYSTEM

In April 2024, the Ministry of Education, through the Child Care Licensing System (CCLS), approved the floor and site plan at 10254 Hurontario Street ('Little Sages Academy') for a childcare facility under section 14 of O.Reg. 137/15 of the Child Care and Early Years Act, 2014<sup>37</sup> (CCEYA). The proposed facility will serve as many as 128 toddler and preschool children as well as an estimated 21 employees (including program staff, supervisor and cook).

In accordance with the proposed additions and alterations, the Ministry approved the layout and also underlined the following requirements:

- a. That the dimensions of the finished rooms (both above and below grade) are not reduced during construction in order to meet the targeted enrolment; and
- b. That all playground equipment and fencing along with its installation meets current CSA standards (s. 24(4) of O.Reg. 137/15).

Final confirmation from the Ministry also relies on compliance with applicable municipal and provincial approvals (Fire, Health, Zoning and Building) as well as site inspections and review of daycare staff qualifications.

The site plan (Figure 9, Appendix C) for the proposed Armstrong House Daycare has incorporated the required playground areas to support the new daycare use and the CCLS requirements while maintaining, overall, the existing landscape area.

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<sup>37</sup> See De Melo, Floor Plan and Site Plan Approval Letter, 9 April 2024.



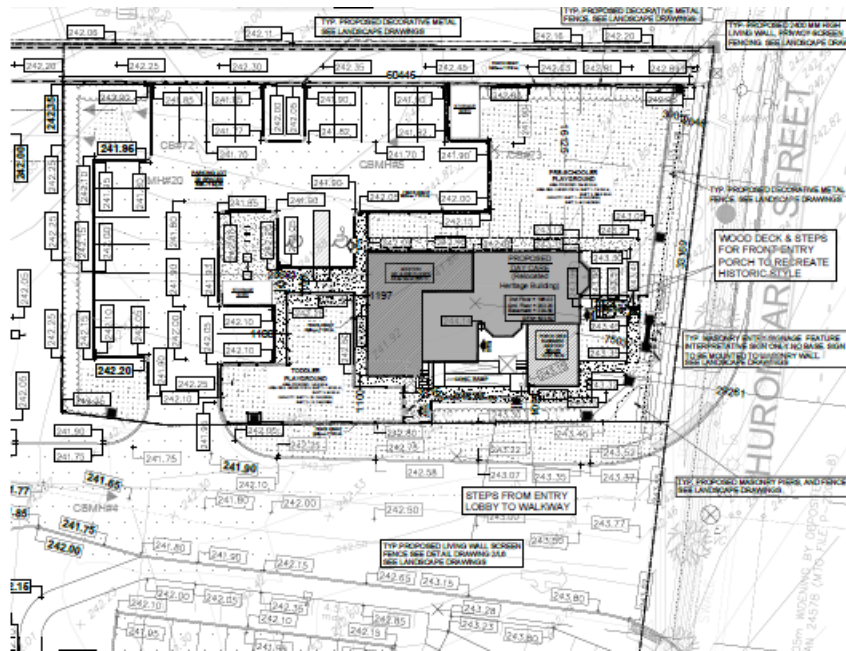


Figure 9: Site Plan, Phase 2 Armstrong House Daycare (AREA, Aug. 20, 2024)

### 6.3. PHASES FOR APPROVALS

The BPAs for the adaptive reuse application are structured in two phases and involve additions to the building as well as various alterations:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations
  - a. South-east (side) addition, mostly below grade, in the basement with a deck and railings on the ground floor level and an above-grade portion of the foundations, with windows;
  - b. South (side) walkout entrance below grade with a new basement door and exterior stairs from below grade; and
  - c. North (side) elevation single window added at basement level in above-grade portion of the foundations.
- (2) Phase 2 Daycare Ground & Second Floors Addition
  - a. West (rear) addition to the ground and second storeys on an existing (previously approved) basement extension and its ground floor level deck.

These additions and alterations can be grouped into two categories of changes which are proposed to be approved as Building Permits (BP) in two phases:

- (1) Basement alterations on the side elevations; and
- (2) West (rear) addition, two storeys, to the ground and second floors.

The approvals strategy is premised on submitting two BPAs for the two phases: Phase 1 – Basement Alterations; & then Phase 2 – Ground & Second Floors Addition.

The drawings for the proposed two phases of BPAs are shown in the two sets of Architectural drawings (Figures 10-13, Appendix C) and are described as follows:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations – Phase 1 was submitted for BPA 2024-05-28 (Figures 10-11, Appendix C) and incorporates primarily the interior renovations together with basement alterations. Phase 1 primary work will be the interior renovations since the prior work done by the previous owner, Panattoni, involved only exterior restoration work (together of course with the house relocation) completed in 2022. This Phase 1 design is actually comprised of two components, which can be called Phase 1a & Phase 1b. Phase 1a was already approved as a BP issued 2023-11-21 for the basement addition at the rear (west) of the building, below grade, with a deck and railings at ground floor level and windows within the above-grade foundation walls. Phase 1b represents the current (2024-05-28) BPA and comprises a basement addition at the side (south-east) of the building, below grade, with a deck and railings at ground floor level and windows within the above-grade foundation walls. The drawings for this current BPA also include the other minor basement alterations comprising the south side below-grade walk-out and an added window on the north wall. This BPA is currently still in process and under review. Zoning review of this application required a Limited SPA review process which, in turn, required Heritage Planning approval, for which Heritage staff required this HIA for the minor basement alterations. The Phase 1 alterations have low impact on the heritage resource because the interiors do not have heritage attributes, and the exterior work affects only the basement walls which were wholly new design and construction dating to the relocation project completed in 2022. The previous Brampton Heritage Board (BHB) meeting 2024-10-15 accompanied by the Heritage Planning staff report and the earlier version of this HIA reviewed, considered and recommended approval of the Phase 1 component already.

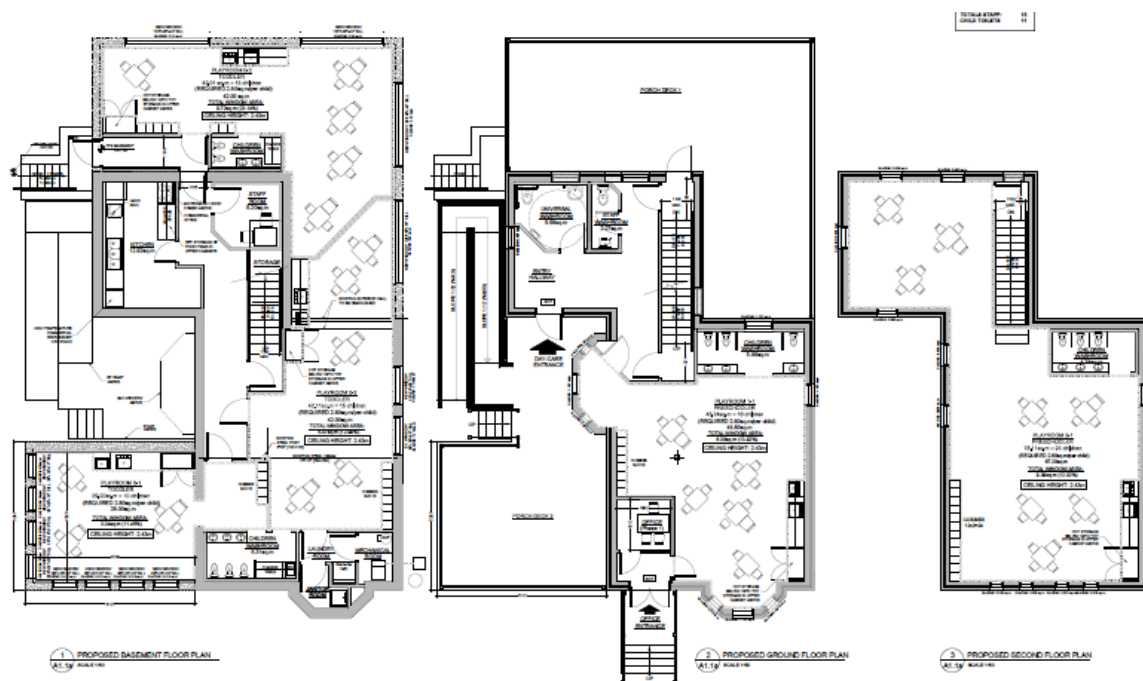


Figure 10: Floor Plans, Phase 1 Armstrong House Daycare (AREA, May 1, 2024)

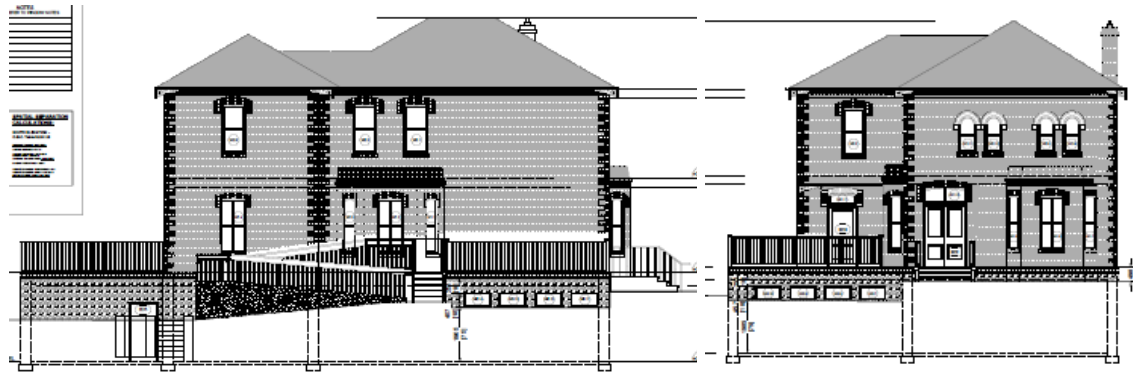


Figure 11: South & East Elevations, Phase 1 Armstrong House Daycare (AREA, May 1, 2024)

(2) Phase 2 Daycare Ground & Second Floors Addition – Phase 2 will be submitted for a forthcoming BPA (Figures 9, 12-13, Appendix C) which will comprise a Ground & Second Floors addition at the rear (west) of the building. Phase 2 primary work will be the rear (west) two-storey addition. This Phase 2 addition has little or no impact on heritage attributes because the addition is at the rear of the house structure which is not part of the original heritage façades. The rear house façades that would be covered by the addition are wholly new design and construction dating to the relocation project completed in 2022. The rear walls were actually interior walls of the existing house which became exposed with the demolition of the rear portion of the structure that was not deemed to have heritage value. As a result, these newly exposed rear walls of the relocated house were re-clad in new elevations as part of the exterior work undertaken and completed by Panattoni in 2022 and therefore are not heritage façades. This current HIA Report is focused on the Daycare Ground & Second Floors Addition (on rear elevation) which is the subject of the BHB meeting 2024-11-19 and its staff report to consider the Phase 2 component.

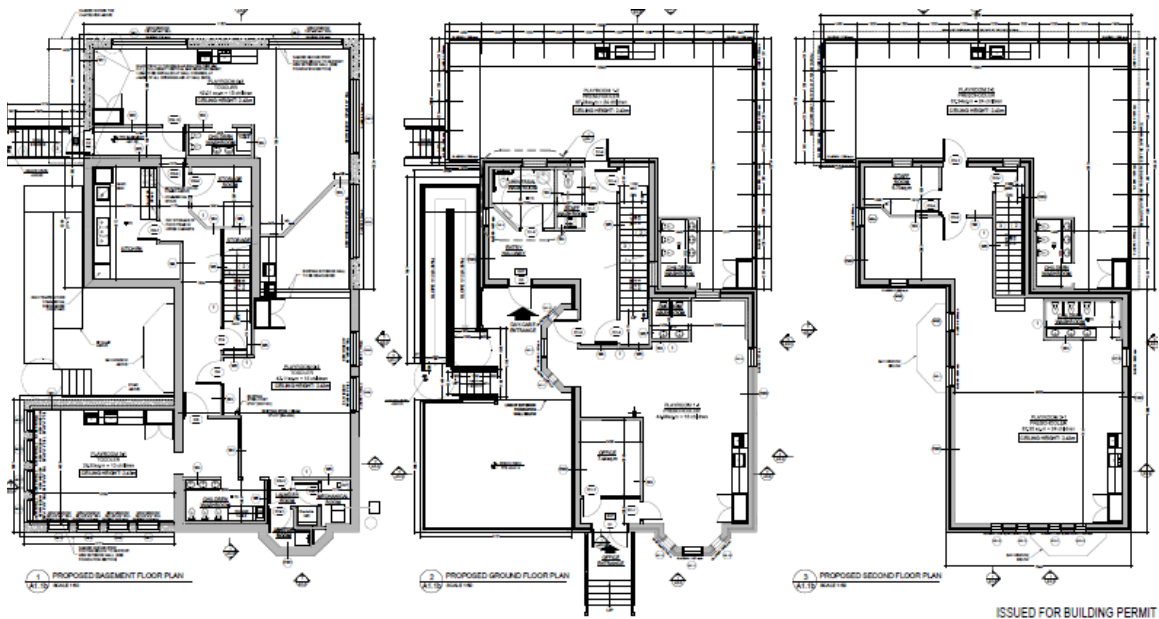


Figure 12: Floor Plans, Phase 2 Armstrong House Daycare (AREA, Aug. 20, 2024)

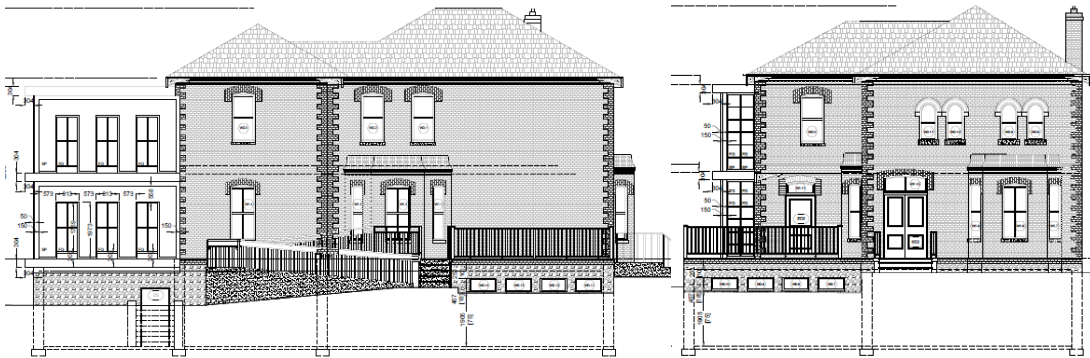


Figure 13: South & East Elevations, Phase 2 Armstrong House Daycare (AREA, Oct. 31, 2024)

The applications process was premised on obtaining BP approvals in two phases: Phase 1 – Basement Alterations; & then Phase 2 – Ground & Second Floors Addition. This two-phase process provides for an efficient construction method. This process would allow the considerable interior renovations and basement foundation work to proceed during the longer Heritage and Planning approvals.

The BPA submissions are accompanied by SPA applications as well – Limited SPA File No. SPA-2024-1012 for the Phase 1 component and Basic SPA File No. SPA-2024-0139 for the Phase 2 component. It is these SPA review processes through which the Heritage Planning staff, the BHB and ultimately Council provide their consideration, recommendations and/or approvals of the project. The previous Brampton Heritage Board (BHB) meeting 2024-10-15 accompanied by the Heritage Planning staff report and the earlier version of this HIA reviewed, considered and recommended approval of the Phase 1 component first. Then, the subsequent BHB meeting 2024-11-19 and its staff report will consider the Phase 2 component. The Phase 2 component is the primary focus to be discussed and considered in this revised HIA. The recommendation of this HIA Report relate to the Phase 2 Daycare Ground & Second Floors Addition (on rear elevation).

The entire project – including both Phases 1 & 2 – is covered by this HIA – in its previous version and this current revision – and is submitted for review and recommendation of approval by Heritage Planning staff and the Brampton Heritage Board (BHB). Subsequently, the *actual* approval of the HIA and this project's alterations to the heritage building are ultimately approved by Council as the statutory process under the *OHA*. Then the BPAs for Phases 1 & 2 are submitted and approved separately and sequentially.

## 7. DESCRIPTION OF PROPOSED ADDITION DESIGN

### 7.1. DISTINGUISHABILITY OF DESIGN

This section will focus on the issue of the rear (west) addition design. The addition design will be constructed with a contemporary curtainwall cladding for numerous practical reasons of construction and separation from (not applying stress on) the heritage building's structure (Figures 13 & 14, Appendix C). But there is also the strong rationale based on heritage conservation principles related to "distinguishability" of new work in contrast with the older historic construction. Regarding the suitability and compatibility of the design rear (west) addition, it is supported by numerous conservation standards including various publications of the International Charter for the Conservation & Restoration of Monuments & Sites (ICOMOS) and other authorities which set the fundamental principles for heritage preservation. (ICOMOS Canada is a signatory to this and many other widely-accepted conservation charters and standards). The following references and rationale for the addition design are based on widely accepted conservation policies and provide the explanation of the proposed design approach (underlines added for emphasis where applicable):

- *ICOMOS Venice Charter* (1964) states in regard to additions on historic structures that "any extra work which is indispensable must be distinct from the architectural composition and must bear a contemporary stamp."
- *ICOMOS Appleton Charter* (1983) states in regard to additions on historic structures that "new volumes, materials and finishes may be required to satisfy new uses or requirements. They should echo contemporary ideas [and] new work should be identifiable" which is defined as the conservation principle of "Distinguishability".
- *Architectural Conservation Notes #1 Eight Guiding Principles in the Conservation of Historic Properties* (2002, 2007) from Ministry of Citizenship, Culture and Recreation (now Ministry of Heritage, Sport, Tourism and Culture, 'MHSTC') incorporated this widely-accepted principle of "Distinguishability" in its guideline of "Legibility. New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new."
- *Standards and Guidelines for the Conservation of Historic Places in Canada* ('SGCHPC' 2010), Parks Canada, also incorporated this widely-accepted principle of "Distinguishability" in regards to additions on historic structures and states that "in a rehabilitation project, additions or new construction may be needed to assure the continued use of an historic place [and] requires that additions or new construction be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast." SGCHPC also specifically "discourages the creation of additions that falsify the story of a place" and specifies that contemporary design ("of its own time") should be used. SGCHPC recommends "designing a new addition to a constructed element in a manner that draws a clear distinction between what is historic and what is new. Considering the design of an attached exterior addition...the design for the new work may be contemporary [but] should be compatible in terms of massing, materials and colour, yet be distinguishable from the historic place."

- *Main Street South Heritage Conservation District Plan* (draft report 2018) by ERA Architects, for the City of Brampton, also incorporated this widely-accepted principle of “Distinguishability” in regard to additions on historic structures and recommends to “employ creative strategies and current design styles to ensure new additions are of their time and are compatible with, yet distinguishable from, the original building. Strategies may include the use of a different cladding material.”

It is noted that both the Appleton Charter and the SGCHPC are referenced in the City’s HIA-ToR as governing policy documents. Furthermore, the Main Street HCD Plan also of course represents Brampton heritage policy. All of these references, as indicated above, support the proposed modern but compatible rear (west) addition. The contemporary glass, spandrels and mullions of the new addition provide the distinctiveness of the extra work with its “different cladding material” in contrast with the heritage building.

## 7.2. COMPATIBILITY WITH HERITAGE BUILDING

A colour rendering of the south elevation (Figure 14, Appendix C) – comprising both the heritage structure and the proposed rear addition – shows the various compatible features of the proposed addition design. The design of the addition incorporates several strategies which provide legibility and, at the same time, compatibility with the heritage structure as follows:

- Material of cladding is contemporary and provides distinguishability from the heritage structure. Cladding materials are metal and glass.
- Building cladding above Ground Floor will be in curtainwall for reasons of construction, scheduling and structural engineering due to the cantilever condition.
- Window sizes and proportions emulate the windows on the restored house. The windows also incorporate vertical and horizontal muntin bars to emulate the double-hung 2-over-2 configuration of the heritage windows.
- Frames or *armatures* marking a bay size in a reddish colour (to match the adjacent brick) are depicted like a sideways “C” shape. They reference and call to mind the distinctive shouldered voussoir arches around the windows of the adjacent original house (which likewise are upside down “U” shapes).
- Armatures around the sets of windows also denote the actual steel structural framing behind and are paired together to give the façade some columnar-type rhythm which breaks down the massing of the addition.
- Sets of windows are grouped within the armatures matching the fenestration of the heritage house. They are grouped in pairs on the west elevation – similar to the house’s second floor windows – and in triplets on the south and north elevations – similar to the house’s ground floor bay windows.
- Mullion surrounds on the sides of the windows creates a more subtle, thinner line similar to brick string coursing. This mullion figuration is also red colour (to match the adjacent brick) and to reinforce the “C” armatures.

- Colours of the cladding will incorporate the red brick colour of the historic masonry and the grey colour of the stone base and the roof which will make the addition harmonized and compatible with the heritage building.
- Projecting white bands at the floor and roof slabs recall and reinterpret the white quoins of the heritage building without slavishly mimicking the historic style.
- Massing comprises the same two storeys but is subordinate to the historic house by being lower than the hipped roofs of the heritage portion. The armature frames break down the massing in smaller components than the larger brick house.
- Horizontality of the projecting white bands and the cantilever on the south corner also creates a “streamlining” form that emphasizes the the lower height in relation to the larger heritage structure.
- Base of the addition will incorporate a simulated stone with a similar appearance as the stone veneer base of the heritage building.

The new modern design is compatible but distinct from the heritage building. At the same time, the addition is subsidiary to the historic structure and will only be seen obliquely on the secondary elevations. It would be inappropriate and inauthentic to try to mimic the Italianate style of the original house. The conservation standards discussed above support additions being located on “secondary elevations” (SGCHPC). The front (east) elevation will be maintained from the street view which will obscure the addition from Hurontario St.



Figure 14: South Elevation Rendered, Phase 2 Armstrong House Daycare (AREA, Oct. 31, 2024)

### 7.3. LIMITED IMPACT ON HERITAGE RESOURCE

Although visual impacts of the proposed alteration will be apparent on the secondary façades of the west, north and south elevations, the primary front façade (east elevation) will remain largely unchanged. Impacts to the heritage resource must be understood in the context of two factors: first, most of the proposed work will involve compliance upgrades to the interior to make the building suitable for its adaptation to a childcare facility according to various pertinent legislation (notably the CCEYA and OBC). Second, even though the Learment-C. Armstrong House was relocated from its original context, the historic fabric and appearance of the building envelope has been restored to its late nineteenth century iteration. Thus, while the isolation of the heritage structure from its original agricultural and residential context is an approved *fait accompli*, the adaptive reuse of the building can be seen as an opportunity for contextual heritage remediation by providing on-site childcare support for employees of the adjacent Canadian Tire Distribution Centre, nearby industrial and commercial facilities and the residential neighbourhood across the street.

The heritage building is already set within a landscaped area, which will be retained and will accommodate the sodded playgrounds to the north, south, east and west of the building. The northwest corner of the parcel will provide 20 parking spaces that are accessed from Tremblay Street at the southwest corner of the lot.

There are no expected shadow impacts on the appearance of the heritage structure insofar as natural features have not yet been established. Instead, the proposed site alteration will provide an opportunity for landscaping to accommodate the childcare reuse strategy. This work is not expected to have any meaningful impact on the built heritage resource.

The proposed new rear (west) addition does not affect the building's heritage attributes in any significant way. The reasons that the Phase 2 Ground & Second Floors Addition has a limited impact on the building's heritage attributes can be summarized as follows:

- The proposed addition only impacts building elements that have been constructed within the past five years, e.g. rear (west) elevation, windows/doors, etc. These building portions are totally new construction that reproduced what were speculated to be the original conditions of the house.
- The rear house façades that would be covered by the addition are wholly new design and construction dating to the relocation project commenced in 2019. This west elevation, in its entirety, is new construction – as part of the house's exterior restoration completed in 2022 – and does not date to the original circa 1885 construction and therefore any alterations to this façade should not be considered as impacting any heritage attributes.
- The previous Heritage Conservation Plan received the BHB recommendation and Council approval in 2017 and incorporated alterations and interventions on the heritage resource that included the completely new construction components of foundations, the rear (west) elevation, most window/door (masonry) openings, and all of the windows and doors.



- The heritage attributes that are affected by the proposed addition were not original to the circa 1885 construction of the house. The west elevation, instead, was a new creation based on conjecture only and designed simply for the utilitarian provision of the window and door openings. Its design, in fact, was made to be “neutral”, without a specific style and was constructed with present-day contemporary materials.
- The historic farm setting has already been changed which was previously approved under the process for the house relocation and restoration completed in 2022.

For the above reasons and others, it is deemed that the Phases 2 work does not affect the building's heritage attributes. Therefore, the proposed addition should be recommended for approval by Heritage Planning and the BHB and subsequently approved by Council.

## 8. MITIGATIVE OPTIONS & PROPOSED ALTERNATIVES

### 8.1. VISUAL IMPACTS FROM PUBLIC ROAD

Since its relocation to the northeast corner of 10254 Hurontario Street, all original historic views and vistas have been changed. It is now bounded to the south and east by the Tremblay-Hurontario Streets intersection, abuts the Self Storage facility to the north and parking for the Canadian Tire Distribution Centre to the west and south.

As its new location formed the basis of the heritage designation in 2023, such historic vistas and views (in its previous farmland setting) no longer have comparable applicability. Indeed, its visual presence along Hurontario Street, now more conspicuous since its relocation and restoration than before, gives it greater streetscape prominence. This visually prominent status is enhanced by setbacks offered by the adjacent parking lots and roadways and the landscaped north (side), south (side), west (rear) and east (front) yards of the current lot.

However, the “public realm” for the views of this heritage house is the Hurontario Street road allowance and should not be conflated with the roadway to the south. This entry roadway is given the name Tremblay Street. But it is a private – not public – driveway to access the parking lots of the industrial development. Similarly, the oblique (side) view of the heritage house across this roadway and the parking lots should not be considered as a public field of vision. Although *AREA*'s rendering is applied on the south elevation (Figure 14, Appendix C), this was the practical view to illustrate the adjacent new and old portions of the proposed daycare facility. But the public view from Hurontario Street is more restricted and would certainly offer a very obscured, limited glimpse of the proposed rear (west) addition. From the Hurontario Street, the east elevation (Figure 14, Appendix C) shows only a half bay (approximately 1220 mm wide) which is set back approximately 15 m from the front façade.

## 8.2. EVALUATION OF MITIGATIVE OPTIONS FOR ADAPTIVE REUSE

Various mitigation options are evaluated in this section to reduce the impact of the proposed site alteration on the designated heritage building. As per the BOP's guidelines for HIAs and Scoped HIAs and as inferred in the new PPS 2024,<sup>38</sup> the following alternative interventions are evaluated to determine how impacts of the proposed adaptive reuse can mitigate the restored building's heritage integrity. NB: The original 2016 HIA was accepted with the tacit option to provide (approved) zoning-by-law support that may be seen to include the adaptive reuse of the heritage building for a non-residential use, such as the proposed childcare facility.

- a. According to the City's HIA Terms of Reference (HIA-ToR), each mitigation option must be shown to be non-viable before the subsequent one in order to consider confirm the proposed adaptive reuse project: Retention in-situ of existing resource with no major modifications undertaken –
  - i. Not possible because of Ministry of Education requirements.
  - ii. Not applicable insofar as the heritage structure was already relocated, with City approval, from its original agricultural context.
- b. Restoration in-situ of missing or deteriorated element when physical or documentary evidence exists for their design –
  - i. Not applicable insofar as heritage house has been restored and/or rezoned from original residential to commercial usage.
  - ii. Not possible to undertake a "pure" restoration because of the need to adaptively reuse the property for a user that will revitalize and provide long-term stewardship for the building.
- c. Retention in-situ of existing resource with sympathetic modification –
  - i. Possible as proposed by the adaptive reuse modifications to and around the structure for the childcare facility.
- d. Retention in-situ of existing resource with sympathetically designed new structure in proximity – see c.i.
- e. Retention in-situ of existing resource no longer in use for its original purposes but adapted for new use – see c.i.
- f. Relocation of the resource within the site or to an appropriate new site for continued use or adaptive reuse – see c.i.
- g. Retention of all or some of the resource as a heritage monument for viewing or public art purposes – Not applicable; see a.i. & b.ii.
- h. Resource removal and replacement with a sympathetically designed structure and appropriate commemorative features – Not applicable; see a.ii. & b.i.

Since the third mitigation option (c) is possible, no further measures need be considered.

## 8.3. EVALUATION OF OTHER MITIGATION OPTIONS

This list of mitigation options from the Official Plan (6.1) are also expanded in the City's HIA-ToR, through its Appendix 2 Additional Mitigation Strategies. This expanded list of mitigation options is evaluated below to determine the full range of alternative strategies that are considered.

<sup>38</sup> Herein in the context of the definition of 'conserved' (referring to built heritage resources, cultural heritage landscapes and archaeological resources) recommendations set out in a conservation plan, archaeological assessment and/or heritage impact assessment designed to ensure the 'cultural heritage value or interest' of a built heritage resource is retained (PPS, 2024, p. 41, and viz. p. 28).

Mitigation Options and Feasibility	
a. Avoidance protocols to isolate development and land alterations to minimize impacts on significant built and natural features and vistas	Not applicable
The heritage building is isolated at the corner of the recent industrial development area.	
b. Architectural design guidelines that harmonize mass, setback, setting and materials	Not applicable
The result of the restoration of the heritage building's exterior (to its original late nineteenth century iteration) following its relocation has resulted in the property receiving Part IV designation under the <i>OHA</i> (2023). The proposed addition is at a minor location, being on secondary elevations, unobtrusive from the public street view and/or impacting only a building portion which was a wholly new design and construction dating to the relocation project completed in 2022. The massing of the addition is obscured by and subordinate to the heritage house so that it is hardly visible from the street.	
c. Allowing compatible infill and additions	Possible
The heritage property has been relocated to a much smaller parcel in order to accommodate the industrial development on the larger land assembly. But there is sufficient space to create recreational space and other amenities required for the adaptive reuse to a daycare. The rear addition incorporates an above-grade portion of the foundations which will be finished in a reproduction stone cladding that will be compatible with the stone base of the adjacent heritage façades. The compatible colours of the new addition, likewise, will integrate the rear portion harmoniously with the front heritage structure. This rear addition will therefore constitute a compatible added wing when viewed on the secondary (and not public) south façade. But more importantly, the addition's massing is subordinate to the front heritage portion such that only a narrow portion of its enclosure can be glimpsed from the public view of Hurontario Street.	
d. Preparation of conservation plan and adaptive reuse plan	Possible
Heritage Conservation Plan was already submitted and approved for the relocation project completed in 2022 and has not been affected by the current proposal. The Adaptive Reuse Plan is already prepared in the Architectural drawings (Appendix C) that were approved by Ministry CCLS process for the daycare use and which are submitted to the City as part of the SPA and BPA processes.	
e. Vegetation buffer zones, tree planting, site plan control and other planning mechanisms	Possible
Sympathetic landscaping measures will enhance the adaptive reuse redevelopment and will help to provide a reminder of the original residential/agricultural vista associated with the original setting. The heritage building is already set within a landscaped area, which will be retained and will accommodate the sodded daycare playgrounds to the north, south, east and west of the building.	
f. Opportunities to commemorate historical land uses, past owners, landscape and landform features through the naming of streets and other public assets or use of interpretative plaques	Possible
The interpretive plaque was already developed, fabricated and installed, with City approval, to commemorate the property history using documentary and archival materials as part of the relocation project completed in 2022 and in conformance with the <i>OHA</i> Part IV designation (COB DBL 79-2023).	

## 9. CONSERVATION, IMPLEMENTATION & RECOMMENDATION

### 9.1. PRIMARY ATTRIBUTES UNAFFECTED

Since the relocated and restored Learment-C. Armstrong House has received heritage designation, implementation strategies must ensure the continued preservation of the property and that its designated status remains protected. Indeed, its relocation and restoration has fulfilled the goal described by the 2016 HIA insofar as it 'accommodate[s] a balance between conservation and development' through 'recovery of the building's historic Italianate form, while also permitting viability for its relocation and integration within the proposed industrial-commercial development' (7.0d). The proposed rear addition affects the views of the secondary elevations only. The SGCHPC (2003) makes a distinction for "secondary elevations" which are "non character-defining" and should be allotted any proposed additions or other alterations needed for a heritage building's rehabilitation and new use. But the primary east elevation viewed from Hurontario Street is conserved and is unimpacted by the rear addition which can only be glimpsed in a narrow portion set far back from the front façade. This current HIA updates the requirements for the property's conservation to implement the proposed adaptive reuse. This updated HIA is submitted to Heritage Planning and the BHB for review, consideration and ultimately for approval by City Council.

### 9.2. IMPLEMENTATION WITH ADAPTIVE REUSE PLAN

The previous Heritage Conservation Plan (HCP) of 2017 and its revision in 2020 already fulfilled the requirements of the HCP Terms of Reference. The City's HIA-ToR clause 3.5.6 references an Adaptive Reuse Plan which would be the appropriate submittal to support and outline the implementation for this type of project and should incorporate the following aspects:

1. An Adaptive Reuse Plan responds to one of the BOP's key implementation strategies which obligate the City to ensure that:
  - 3.6.3.93 Every endeavour will be made to facilitate the maintenance and conservation of designated heritage properties including making available grants, loans and other incentives as provided for under the *Ontario Heritage Act* and the Heritage Property Tax Relief Program under the Municipal Act and municipal sources (3.6.3.45).
2. Ensure compliance with the BOP's Public Realm policies insofar as those cultural heritage resources and landmark buildings that are visible from the public street are to be incorporated within public realm design and organization protocols (3.1.1.15.a). In the same way, heritage resources are to be conserved in conformance with Parks Canada's *Standards and Guidelines* (3.1.2.21, 3.6.3.25). By this approach, the view of the built heritage resource will be protected as per 3.6.3.55.

3. Other follow-up, site-specific heritage strategies should include:
  - a. Ensuring the interior renovations meeting Ministry of Education room size requirements do not detrimentally impact the heritage features of the exterior of the building.
  - b. That suitable playground equipment and fencing are sympathetic to the heritage character and still maintain the main sightlines of the house.
  - c. Consideration of appropriate landscape buffers which will be a reminder of the original natural setting of the Learment-Armstrong farm.

The Adaptive Reuse Plan is already constituted in the Architectural drawings (Appendix C) that were approved by Ministry CCLS process for the daycare use and which are submitted to the City as part of the SPA and BPA process. The design drawings for the adaptive reuse of the Armstrong House Daycare have regard for the conservation of the heritage structure as described above and are submitted, in conjunction with this HIA, to Heritage Planning and the BHB for review, consideration and ultimately for approval by City Council. The City's obligations under the BOP Implementation strategy (3.6.3.93) "to facilitate the maintenance and conservation of designated heritage properties" includes supporting the compatible adaptive reuse of a heritage building, as represented by this project.

### **9.3. CONCLUDING RECOMMENDATION**

As a designated heritage resource, the Learment-Armstrong House is uniquely poised to continue to support the existing zoning while retaining and protecting the building's original and restored heritage attributes. It is essential that the City and its heritage committee, the BHB, encourage and permit adaptive reuse development opportunities that allow the building to maintain its heritage status and support its ongoing heritage conservation. Accommodation of its use as a childcare facility in the context of the larger industrial and commercial buildings and the residential neighbourhood respectively on the west and east sides of Hurontario Street not only will serve that community but also serve as a compatible reminder of the property's original residential purpose. The adaptive reuse of the Armstrong House Daycare will provide a didactic and conceptually viable bridge between the historic evolution of communities in Peel County.

The proposed site alteration supports the COB's Development Design Guidelines (DDG) that seek to promote good urban design. A key objective is 'to incorporate and reinforce important natural and heritage features into the community structure.' The DDG could therefore be used to promote the compatibility of the subject development and heritage structure, especially in terms of site planning and built form.

This HIA concludes that:

- Through a minor unobtrusive addition, the proposed adaptive reuse into a daycare redevelopment will not result in significant impacts to the heritage attributes of the Learment-Armstrong House.

This recommendation of the HIA will require the City's heritage approval through a recommendation by the Heritage Planning staff and the Brampton Heritage Board, and ultimately the resolution of Council.

## 10. APPENDICES

### 10.1. APPENDIX A: BIBLIOGRAPHY & REFERENCES

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## 10.2. APPENDIX B: QUALIFICATIONS OF AREA & RESUMES

### QUALIFICATIONS OF AREA



#### FIRM PROFILE | HERITAGE & MUSEUM WORK

**AREA** is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

**AREA** and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

##### Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

##### Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olive Sunday Schoolhouse, circa 1876), [Yorkville]
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, [Scarborough]
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) – renovations of town hall to accommodate National Ballet School

##### Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

##### Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Sifton Estate, 1923), 294 - 318 Lawrence Ave. E.

## DAVID ECKLER, AREA

**EDUCATION**

University of Waterloo  
B.Arch (1985)  
B.E.S. (1982)

**MEMBERSHIPS**

Ontario Association of  
Architects  
(former Councillor & Chair  
Awards Committee)

Royal Architectural Institute of  
Canada

Architectural Conservancy of  
Ontario Advisory Board

Society for the Study of  
Architecture in Canada

Association for Preservation  
Technology

Heritage Canada Foundation

Ontario Historical Society

**CAREER SUMMARY**

AREA, Architects Rasch  
Eckler Associates Ltd.  
President  
2001 to Present

David Eckler Architect  
1991 – 2001

Page & Steele Architects  
1989 – 1991

Arthur Erickson Architects  
1988 – 1989

**DAVID ECKLER BES, B.Arch., OAA, MRAIC**  
**AREA, Architects Rasch Eckler Associates Ltd.**  
**President & Principal – Senior Project Architect**

David Eckler is the firm's principal and is responsible for the administration and design of all projects in the office. Mr. Eckler has over 30 years of experience in the design of medium-size institutional facilities for government, non-profit agencies and other organizations including community centres, museums and municipal facilities. Mr. Eckler is involved most particularly with the Concept Design, Design Development and Contract Documents phases of projects and is the author of many of the firm's heritage assessment reports.

Mr. Eckler's previous firm *David Eckler Architect (DEA)*, established in 1992, specialized in heritage conservation including feasibility studies, preservation planning, infill projects within historic districts, adaptive re-use and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Ontario Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public sites and cultural landscapes. An example of a heritage complex in a public park setting is the restoration and redevelopment of the 'Waypoint Centre for Mental Health Care' within the former *Penetanguishene Mental Health Centre* (1903). He has most recently worked on the restoration of the historic 1910 Palm House within the Allan Gardens Conservatory Complex.

**RELEVANT EXPERIENCE:** Toronto location unless indicated

**Heritage Restoration**

- Allan Gardens Conservatory Complex (1910), 160 Gerrard St. E.
- Third Church of Christ, Scientist (1928) Redevelopment
- Eglinton Hunt Club (1929) Condominiums
- Aurora Historical Society Museum (1886 school), 22 Church St.
- Officers' Barracks (1830), Discovery Harbour, Penetanguishene
- Medical Arts Building Restoration (circa 1929)
- Heliconian Hall (first Olivet Church, 1876), Yorkville

**Institutional Uses in Historic Buildings**

- Goldring Student Centre, Victoria University, 150 Charles St. W.
- Toronto French School (Sifton Estate, 1924) Restoration Plan
- Armour Heights Officers' Mess ('Strathrobyn' 1913), DND College
- Hutton House (1853) Community Centre, St. Marys
- Valley Halla Villa (Jackson Res., 1922), Toronto Zoo, Scarborough
- Bellevue Daycare Centre (1887)
- Adamson House (1927) Cawthra Estate Park, Port Credit

**Heritage Planning, Parks & Urban Design**

- Cookstown Heritage Conservation District, Innisfil
- Old Pickering Village Planning & Heritage Study, Ajax
- Yorkville-Hazelton Avenue Heritage Conservation District
- Limehouse Kilns Heritage Masterplan, Halton Hills
- Confederation Commemorative Park, Charlottetown, PEI
- Gerrard & Bay Historic Houses (1860-1890) Mews Parkette

## SARAH KING HEAD, AREA


**SARAH KING HEAD BA Hons, MA, PhilM, GDipPI, CAHP**  
**AREA, Architects Rasch Eckler Associates Ltd.**  
**Associate Heritage Consultant**


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**EDUCATION &  
PROFESSIONAL  
DEVELOPMENT**

Certificate in Museum  
Studies (Ongoing), Ontario  
Museums Association

University of Waterloo  
(2020), Graduate Diploma in  
Planning

University of Toronto (1996),  
PhilM in Art History

University of Toronto (1989),  
Master of Arts in History

University of Saskatchewan,  
Saskatoon (1987),  
Honours Bachelors of Arts in  
History & Art History

**MEMBERSHIPS &  
DIRECTORSHIPS**

Canadian Association of  
Heritage Professionals  
(Ontario Branch)

Architectural Conservancy of  
Ontario

National Trust for Canada

Ontario Genealogical Society

Ontario Historical Society

Institute of Historic Building  
Conservation, UK (Affiliate  
member, no. 109219)

Sarah King Head is an associate consultant of AREA. She is a full professional member of CAHP with more than three decades' worth of experience as an author, educator and historian. Accomplishments over the past decade include publication of an award-winning book in 2017 and being named Thorold City Historian in 2015.

Ms. Head's heritage work includes documentation, research, interpretation and assessment as well as outreach, advocacy and education through contribution to projects from national/provincial conferences and exhibition development to heritage research projects and volunteer heritage restoration initiatives. She also has considerable experience with research and reports regarding heritage designation and assessment, documentation, inventorying and interpretation of built heritage and heritage landscape resources, public outreach. She has produced and/or revised more than 30 OHA Part IV and V designation reports, written nearly 30 History Recognition Plaques and produced several HIAs and CHL reports.

She has proven in projects across the cultural heritage and historical spectrum from Upper Canadian genealogy and assessing Indigenous and European heritage landscapes to academic research into Renaissance humanism and the development of museum didactics. For nearly four decades, she has developed a sophisticated knowledge of – as well as sensitivity to the strengths and limitations of – interdisciplinary research, documentation and inventory tools and resources, both modern and traditional.

**RELEVANT EXPERIENCE:** Toronto location unless indicated

**Heritage Restoration & Adaptive Reuse**

- Christopher Reesor House, Reesor Road, Markham

**Heritage Restoration & Commercial Development**

- Marr-Phillipo House, Wilson St. East, Hamilton

**Heritage Buildings Conditions Assessments & Restorations**

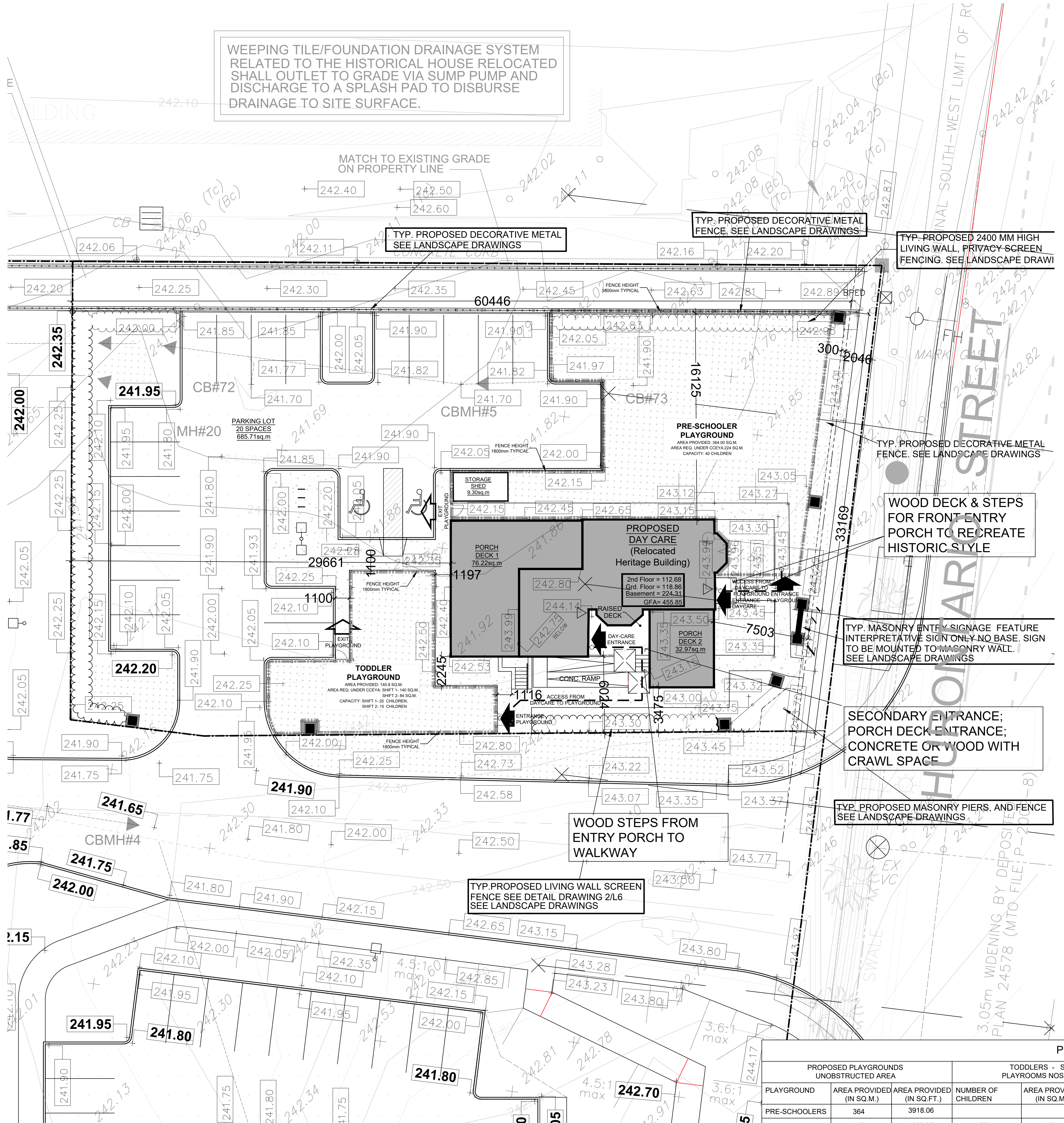
- McDougall Farmhouse, Kennedy Rd., Caledon

**Publications (Public Sector Heritage Reports and Historical Journalism)**

- Duncan McFarland House, River Street, Port Robinson
- Williams-Daboll House, Welland Street North, Thorold
- Robert Ross House, Canby Street, Port Robinson
- Summit Place Tavern (c. 1850) and Hana's Place (c. 1875), Front Street South, Thorold
- Pew House: South Street South, Port Robinson
- 'Thorold: There's No Place Like Home,' *ACORN: Architectural Conservancy of Ontario*, Fall 2022
- 'John Brown's Imperial Towers,' *ACORN: Architectural Conservancy of Ontario*, Fall 2021, pp. 18–19
- Beckett's Reserve-Col Duncan McFarland House, Stephen Beatty House, Canby Street, Port Robinson

### **10.3. APPENDIX C: ARCHITECTURAL DRAWINGS PHASES 1 & 2**

WEeping TILE/FOUNDATION DRAINAGE SYSTEM RELATED TO THE HISTORICAL HOUSE RELOCATED SHALL OUTLET TO GRADE VIA SUMP PUMP AND DISCHARGE TO A SPLASH PAD TO DISBURSE DRAINAGE TO SITE SURFACE.



**LEGEND**

- PROPERTY LINE
- RESERVE & EASEMENT LINES
- NEW CONCRETE CURBS c/w SAW CUTS AND EXPANSION JOINTS
- RAISED ISLAND c/w CONCRETE PAVING AND CONCRETE CURBS
- PAINTED MEDIAN STRIPS/ISLANDS
- NEW CONCRETE SIDEWALK MONOLITHIC
- LANDSCAPE AREA
- SOD AREA
- PAINTED TRAFFIC LINES (REFER TO SITE DETAILS)
- PROPOSED BUILDING ENTRY
- PROPOSED BUILDING EXIT
- FIRE HYDRANT
- BICYCLE ROCK

**SITE STATISTICS AND ZONING REQUIREMENTS**

PROPOSED USE:	
ZONING:	
LOT AREA	1,938 sq.m. (20,861 s.f.)
LOT FRONTAGE	33.2 m
LOT DEPTH	60.4 m
PROPOSED BUILDING GROSS FLOOR AREA (EST)	455.85 sq.m. (4906.73 s.f.)
LOT COVERAGE	11.57 % (224.31 sq.m.)
LANDSCAPED OPEN SPACE	63.27 % (1510.95 sq.m.)
LANDSCAPED OPEN SPACE IN FRONT YARD & EXTERIOR SIDE YARD	91.59 % (486.14 sq.m.)
BUILDING HEIGHT (EST)	9.41 m
MINIMUM PARKING SPACES REQUIRED FOR DAY CARE	13 STAFF = 13 PARKING SPACES 80 CHILDREN = 7 PARKING SPACES
PARKING SPACES PROVIDED	REGULAR PARKING (2.7M X 5.4M) = 18 ACCESSIBLE PARKING: (3.9M X 5.4M) = 2 TOTAL SPACES PROVIDED: 20
MINIMUM DRIVEWAY WIDTH	6.6m
LOADING SPACES PROVIDED	N/A

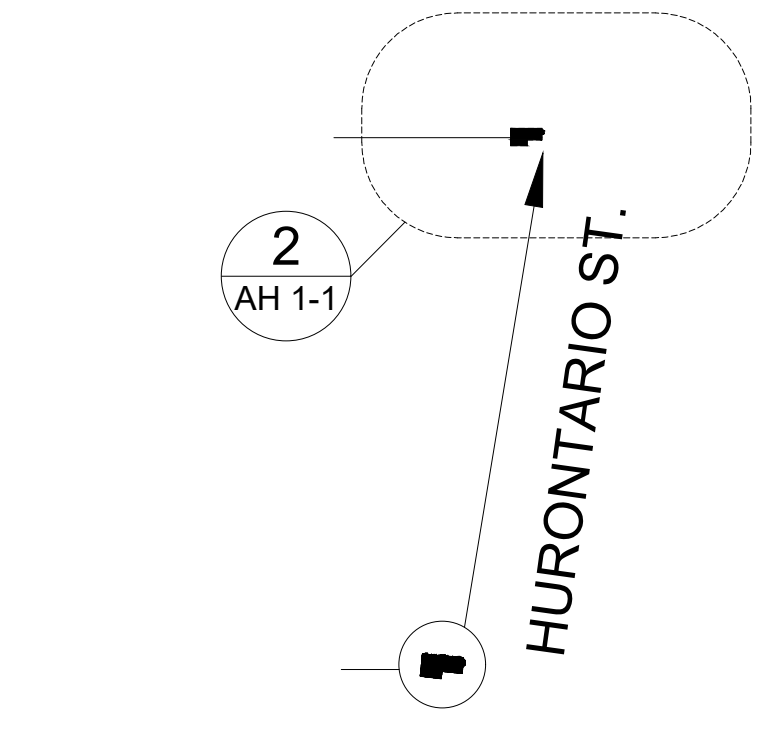
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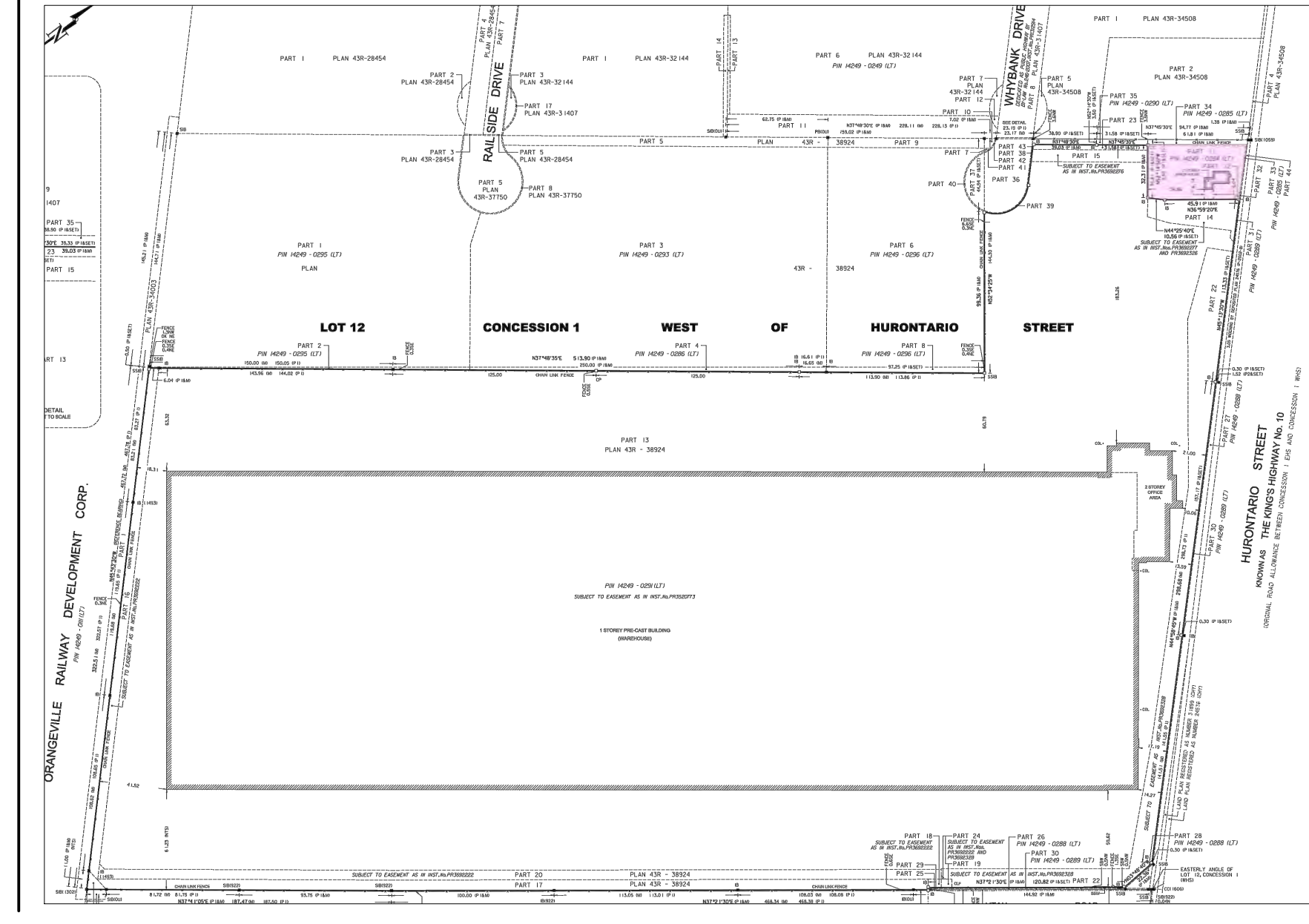
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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_



**NOTE OF SURVEY:**  
INFORMATION FOR THIS SITE PLAN DRAWING WAS TAKEN FROM SURVEY PLAN PREPARED BY NANFARA & NG SURVEYORS INC. COMPLETED OCTOBER 19, 2021



**PLAYGROUND AREA SCHEDULE**

PLAYGROUND	PROPOSED PLAYGROUNDS UNOBSTRUCTED AREA		TODDLERS - SHIFT 1 PLAYROOMS NOS. 0-1 & 0-2		TODDLERS - SHIFT 2 PLAYROOMS NOS. 0-3		PRE-SCHOOLERS - SHIFT 1 ONLY PLAYROOMS NOS. 1-1 & 2-1				
	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)
PRE-SCHOOLERS	364	3918.06	25	140	1506.95	15	84	904.17	40	224	2411.11
TODDLERS	140	1506.95	25	140	1506.95	15	84	904.17	40	224	2411.11
TOTAL	504	5425.01	25	140	1506.95	15	84	904.17	40	224	2411.11

1 A0.2a SITE PLAN-NEW LOCATION SCALE 1:100

ISSUED FOR BUILDING PERMIT

**AREA**  
ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL. (416) 696-1969  
FAX. (416) 696-1966

ONTARIO ASSOCIATION OF ARCHITECTS  
*Signature*  
4507

PROJECT TITLE  
**LITTLE SAGES ACADEMY ARMSTRONG HOUSE DAYCARE**

10254 Hurontario Street, Brampton, ON L7A 0E4

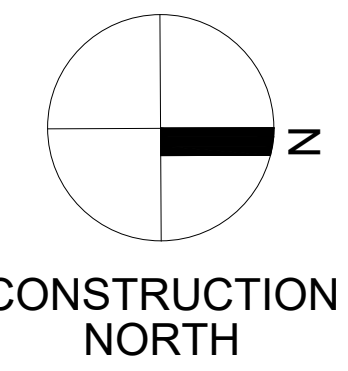
DRAWING TITLE  
**SITE PLAN OF RELOCATED HERITAGE BUILDING - PHASE 1**

DRAWN BY HR	SCALE AS NOTED
CHECKED BY DE	DATE APRIL 27 2018
SET. NO. 1	DRAWING NO. <b>A0-2a</b>
TOTAL DWG. NO. 2	PROJECT NO. <b>15-620</b>

**GROSS FLOOR AREA:**  
 EXISTING BUILDING GFA = 346.66 SQ.M. (100%)  
 Basement: 115.12 SQ.M.  
 Ground Floor: 118.86 SQ.M.  
 Second Floor: 112.68 SQ.M.  
**New Addition Basement:** 109.19 SQ.M  
**As-Existing Basement:** 115.12 SQ.M  
**BASEMENT TOTALS:** 224.31 SQ.M

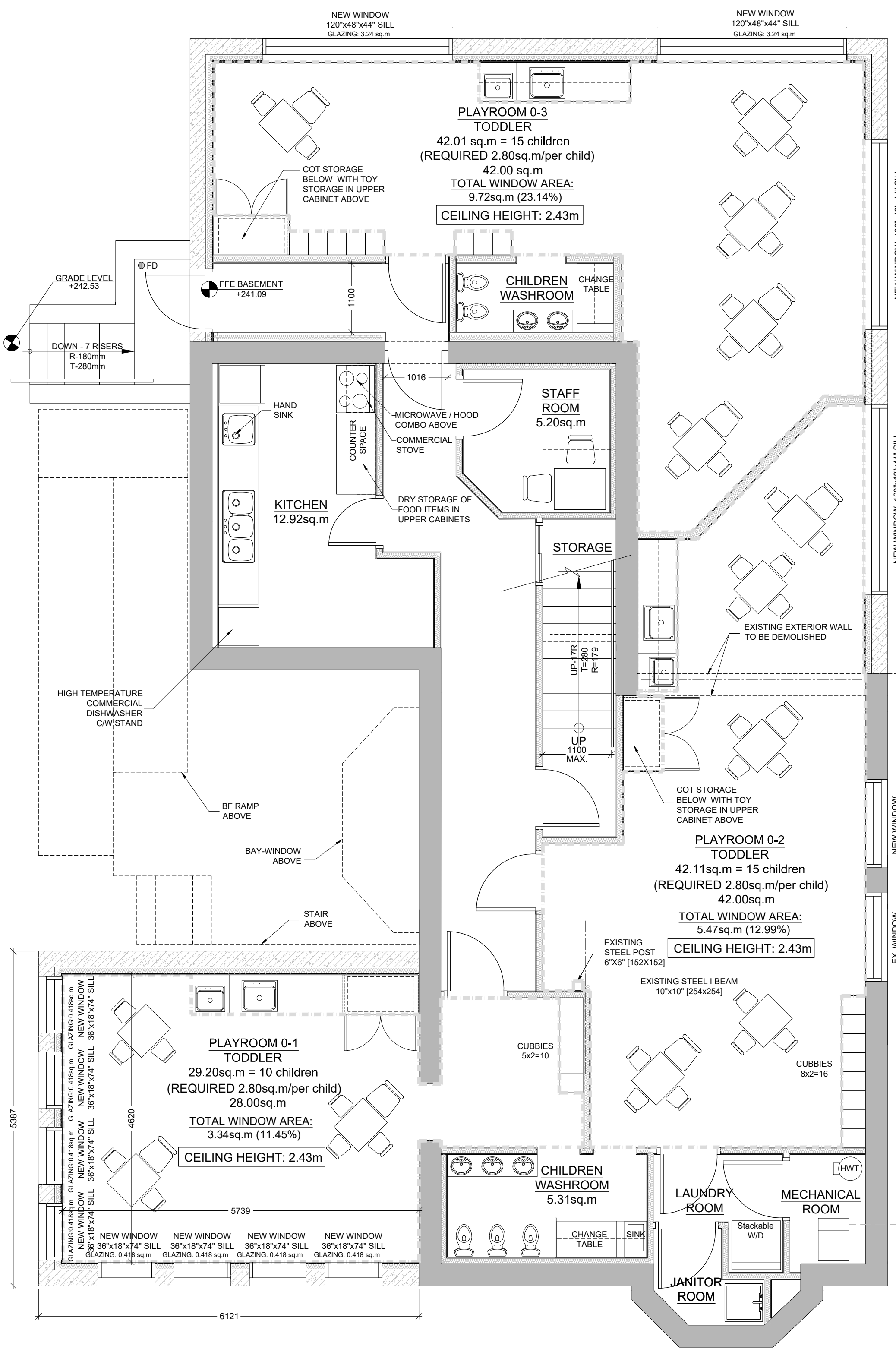
**UNOBSTRUCTED PLAY AREA FOR CHILDREN:**  
**SECOND FLOOR:**  
 PLAYROOM 2-1 PRESCHOOLER: 78.11 SQ.M = 24 CHILDREN  
**GROUND FLOOR:**  
 PLAYROOM 1-1 PRESCHOOLER: 45.24 SQ.M = 16 CHILDREN  
**BASEMENT:**  
 PLAYROOM 0-2 TODDLER: 29.20 SQ.M = 10 CHILDREN  
 PLAYROOM 0-1 TODDLER: 42.04 SQ.M = 15 CHILDREN  
 PLAYROOM 0-3 TODDLER: 42.01 SQ.M = 15 CHILDREN  
**UNOBSTRUCTED PLAY AREA TOTALS: 236.6 SQ.M = 80 CHILDRENS**

**OCCUPANCY FOR STAFF & CHILDREN:**  
**SECOND FLOOR:**  
 PRESCHOOLER (2-1) 24  
 STAFF (2-1) 3  
**GROUND FLOOR:**  
 PRESCHOOLER (1-1): 16  
 STAFF (1-1): 2  
**BASEMENT:**  
 TODDLER (0-1): 10  
 STAFF (0-1): 2  
 TODDLER (0-2): 15  
 STAFF (0-2): 3  
 TODDLER (0-3): 15  
 STAFF (0-3): 3  
**TOTALS CHILDREN: 80**  
**TOTALS STAFF: 13**  
**CHILD TOILETS 11**

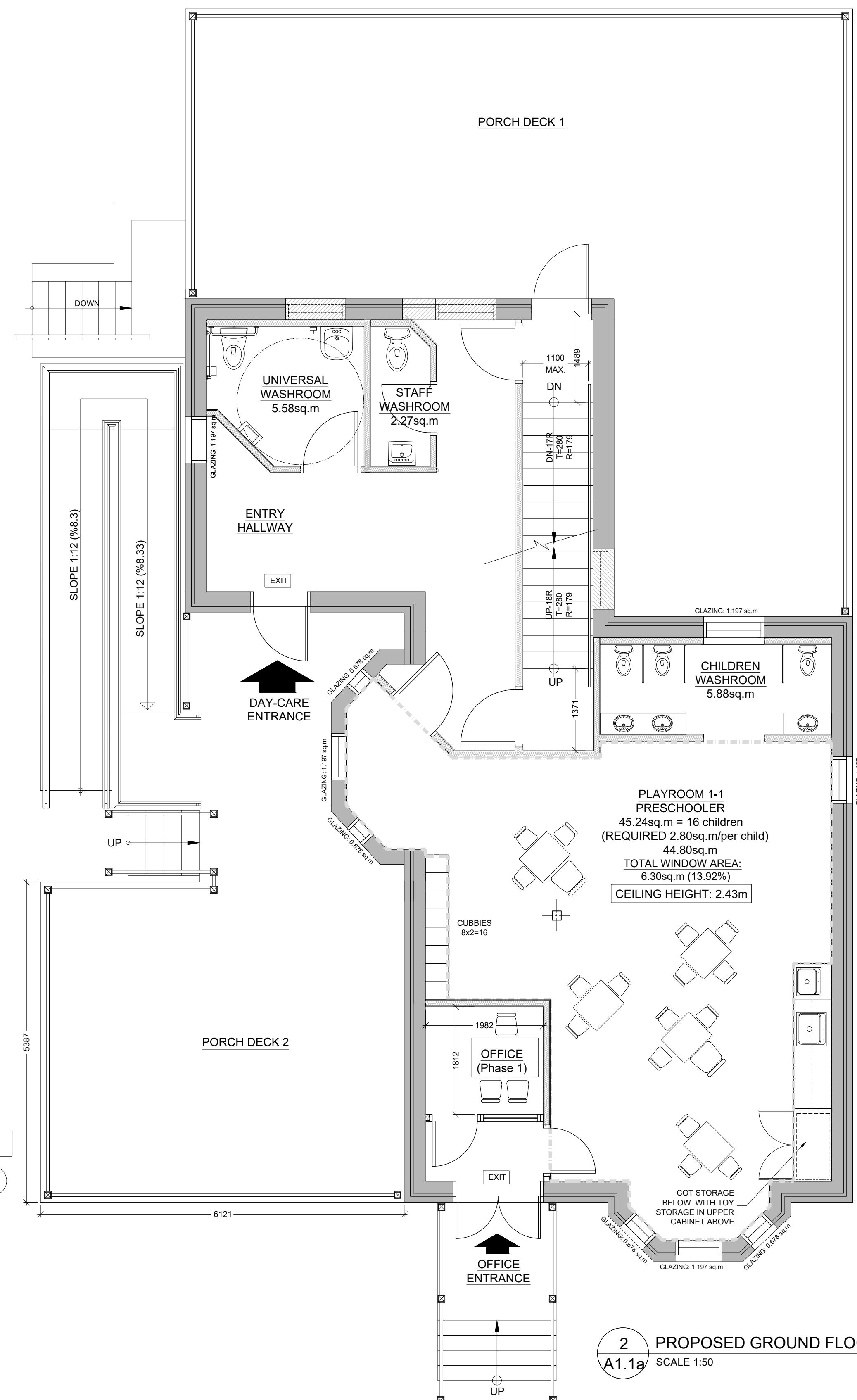


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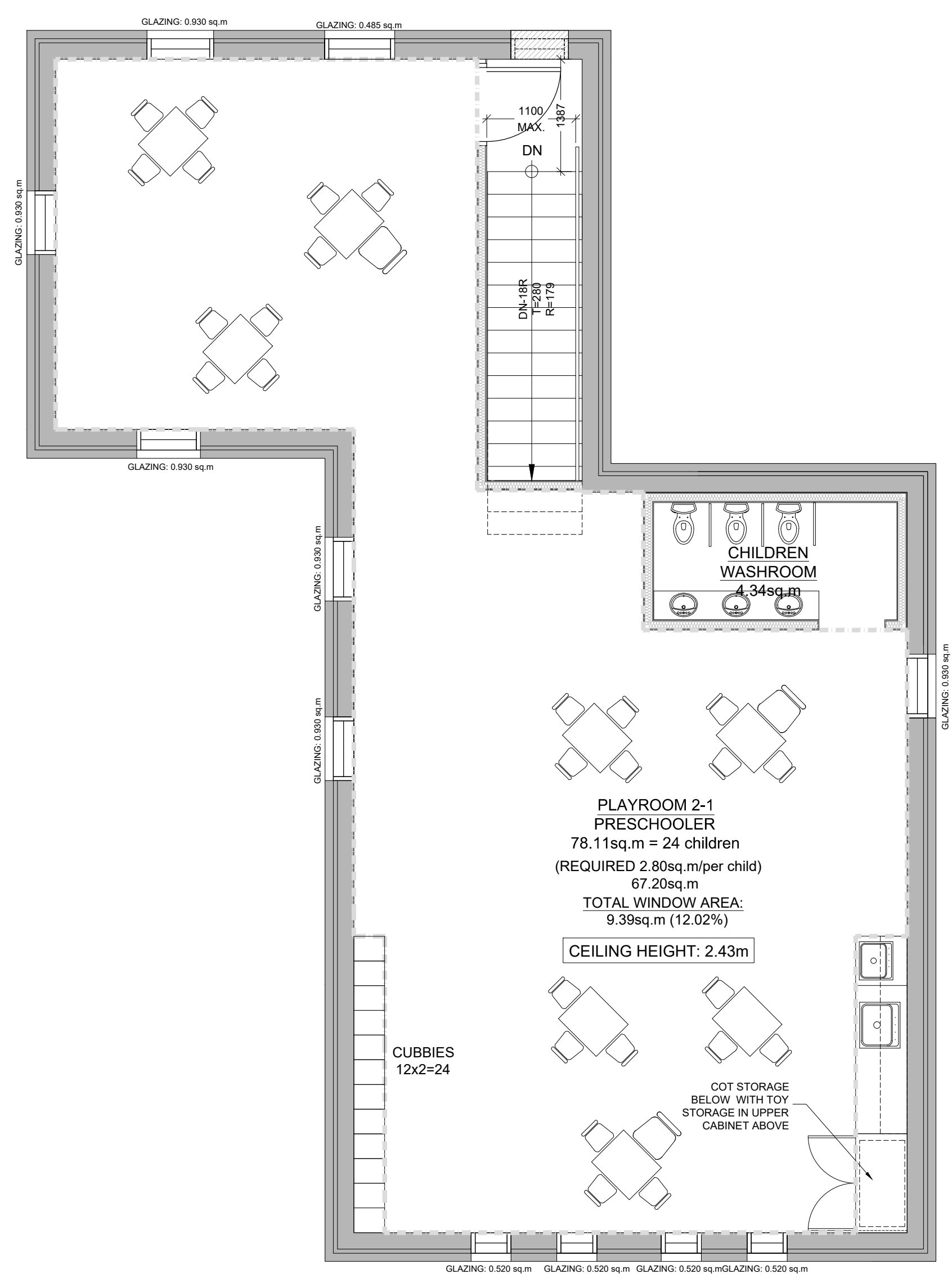
SIGNED \_\_\_\_\_ DATE \_\_\_\_\_



**1** PROPOSED BASEMENT FLOOR PLAN  
 SCALE 1:50



**2** PROPOSED GROUND FLOOR PLAN  
 SCALE 1:50

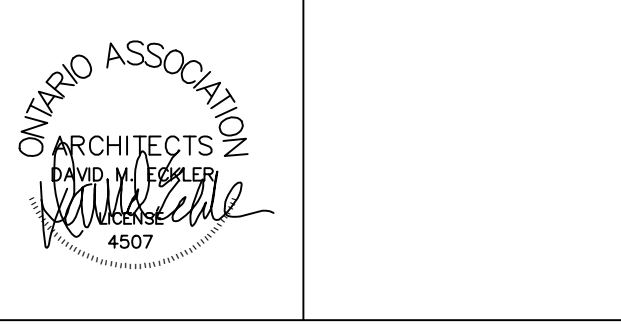


**3** PROPOSED SECOND FLOOR PLAN  
 SCALE 1:50

DATE	NO.	REVISIONS / ISSUES	BY
2024-05-01	15	ISSUED FOR BUILDING PERMIT	HT
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT	AA
2024-03-05	13	RE-ISSUED FOR PRELIMINARY PHASE 1	AA
2024-02-29	12	ISSUED FOR PERLIMINARY PHASE 1	HT
2023-12-20	11	REVISED PER CLIENT COMMENT (2)	HT
2023-10-10	10	UPDATED FOR COORDINATION	HT
2023-09-13	9	ISSUED PER EXAMINER COMMENTS	HT
2023-04-26	8	ISSUED FOR CoA (PRELIMINARY)	HT
2023-04-24	7	REVISED PER CLIENT COMMENT (1)	HT
2023-04-21	6	DAYCARE DESIGN 4	HT
2023-04-04	5	DAYCARE DESIGN 3	HT
2023-03-22	4	DAYCARE DESIGN 2	HT
2023-02-24	3	DAYCARE DESIGN 1	HT
2023-02-03	2	RE-ISSUE TO CLIENT	HT
2022-12-19	1	ISSUE TO CLIENT	HT



ARCHITECTS RASH ECKLER ASSOCIATES LTD.  
 15 LOLA ROAD  
 TORONTO, ONTARIO, M5E 1P5  
 TEL (416) 696-1969  
 FAX (416) 696-1966



PROJECT TITLE  
 LITTLE SAGES ACADEMY  
 ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4  
 DRAWING TITLE  
 FURNITURE & OCCUPANCY  
 FLOOR PLANS - PHASE 1

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET NO. 1	PROJECT NORTH DRAWING NO. A1.1a
TOTAL DWG. NO. 3	PROJECT NO. 12-576

ISSUED FOR BUILDING PERMIT



**1 INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10.)**

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2ND STOREY.  
NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE  
AND 2"x2" (25x38) TOP PLATE. 1" (25.4) INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE  
2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING  
WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD  
BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOAD  
BEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

**2 ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.)**

	MAX. RISE (R)	MIN. RISE (R)	MAX. RUN (T)	MIN. RUN (T)	MAX. TREAD (T)	MIN. TREAD (T)
PRIVATE	7" (178)	5" (125)	14" (355)	10" (254)	11" (280)	10" (254)
PUBLIC	7" (178)	5" (125)	11" (280)	NO LIMIT	11" (280)	NO LIMIT
	MIN. STAIR WIDTH		CURVED STAIRS		ALL STAIRS	
PRIVATE	2'-10" (600)		MIN. RUN	5' 7" (140)	MAX. NOSING	1" (25)
PUBLIC	2'-11" (609)		MIN. AVG. RUN	7' 7" (200)		

\* HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A  
STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-8"  
(1990) FOR SINGLE DWELLING UNIT @ 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)  
REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)  
FOR AN INTERIOR STAIR SERVING A GARAGE DOES NOT CONTAIN MORE THAN 3 RAISERS, LANDING IS  
NOT REQUIRED AS PER CODE.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1(3)  
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (605)  
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)  
HEIGHT AT LANDING 3'-6" (1070)  
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE 2'-9" (855) MIN. HEIGHT

**3 GUARDS/RAILINGS (9.8.7., 9.8.8.)**

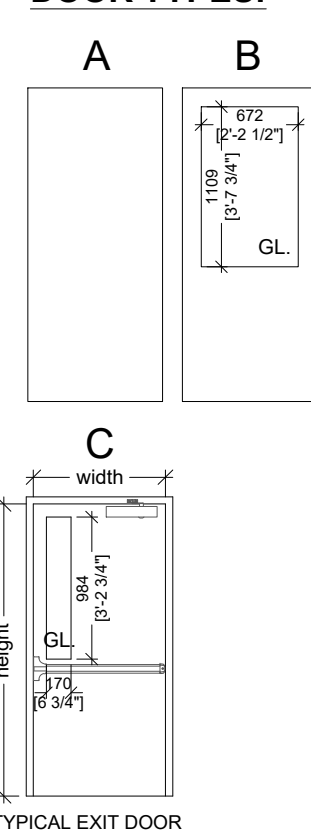
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX.  
OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6 AND BE ABLE TO RESIST LOADS AS PER  
TABLE 9.8.8.2.  
MORE SPECIFICALLY, INTERIOR AND EXTERIOR GUARDS SHOULD HAVE  
CAPACITY FOR A HORIZONTAL LOAD OF 0.75 KNM OR A CONCENTRATED LOAD OF  
1.0 KN APPLIED AT ANY POINT, WHICHEVER GOVERNS IN ACCORDANCE WITH  
TABLE 9.8.8.2 AND OBC 4.1.5.14.  
GUARD HEIGHTS - O.B.C. 9.8.8.  
INTERIOR GUARDS: 2'-11" (600) MIN.  
EXTERIOR GUARDS: 2'-11" (600) MIN. (LESS THAN 5'-11" (1800) TO GRADE)  
3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)  
GUARDS FOR EXIT STAIRS: 3'-0" (900) MIN.  
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-4" (1070) MIN.  
GUARDS FOR FLOORS & RAMP IN GARAGES (SERVICE STAIRS)  
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE  
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 4" (102) HIGH, AND GUARD MIN.  
3'-6" (1070) HIGH.  
REQUIRED GUARDS  
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN  
ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 2'-11" (1200)  
& WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED  
WITH GUARDS PER CONSTRUCTION CODE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1(3)  
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (605)  
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)  
HEIGHT AT LANDING 3'-6" (1070)  
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE 2'-9" (855) MIN. HEIGHT

**INTERIOR DOOR SCHEDULE**

NO.	LOCATION	DOOR SIZE	TYPE	MATERIAL	FINISH	GLAZING	CONDITION	FIRE	HARDWARE & NOTES
		width x height		door & frame	door & frame		EXIST. NEW	RATING	
ID0-1	BASEMENT	915 x 2080 x 35	A	METAL	PAINT	N/A		45min.	WEATHER STRIPPING, BUTT HINGES, LEVER, DEADBOLT LOCK
ID0-2	BASEMENT	915 x 2080 x 35	A	METAL	PAINT	N/A		45min.	DOOR SHALL BE EQUIPPED WITH CLOSER
ID0-3	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A		45min.	DOOR SHALL BE EQUIPPED WITH CLOSER
ID0-4	BASEMENT	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID0-5	BASEMENT	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID0-6	BASEMENT	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS		45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID0-7	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER
ID0-8	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER
ID0-9	BASEMENT	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID1-1	GROUND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS		45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID1-2	GROUND FLOOR	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID1-3	GROUND FLOOR	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED		45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID1-4	GROUND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS		45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID1-5	GROUND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS		45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID1-6	GROUND FLOOR	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A		45min.	DOOR SHALL BE LOCKABLE
ID1-7	GROUND FLOOR	963 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A		45min.	DOOR SHALL BE LOCKABLE (SEE DOOR NOTES NO.9)
ID2-1	SECOND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS		45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
	RESERVED								
	RESERVED								
	RESERVED								

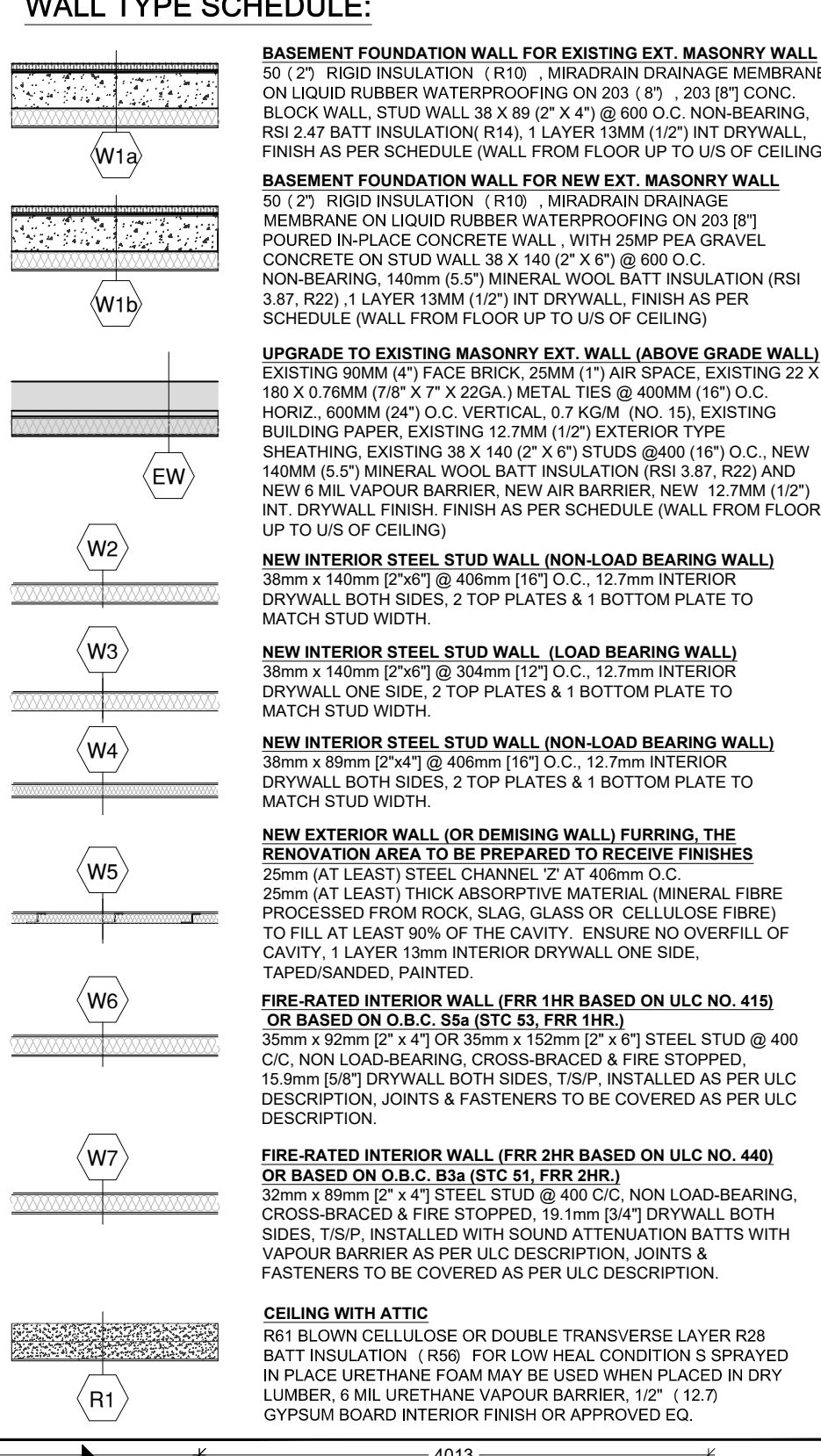
**DOOR TYPES:**



**DOOR NOTES:**

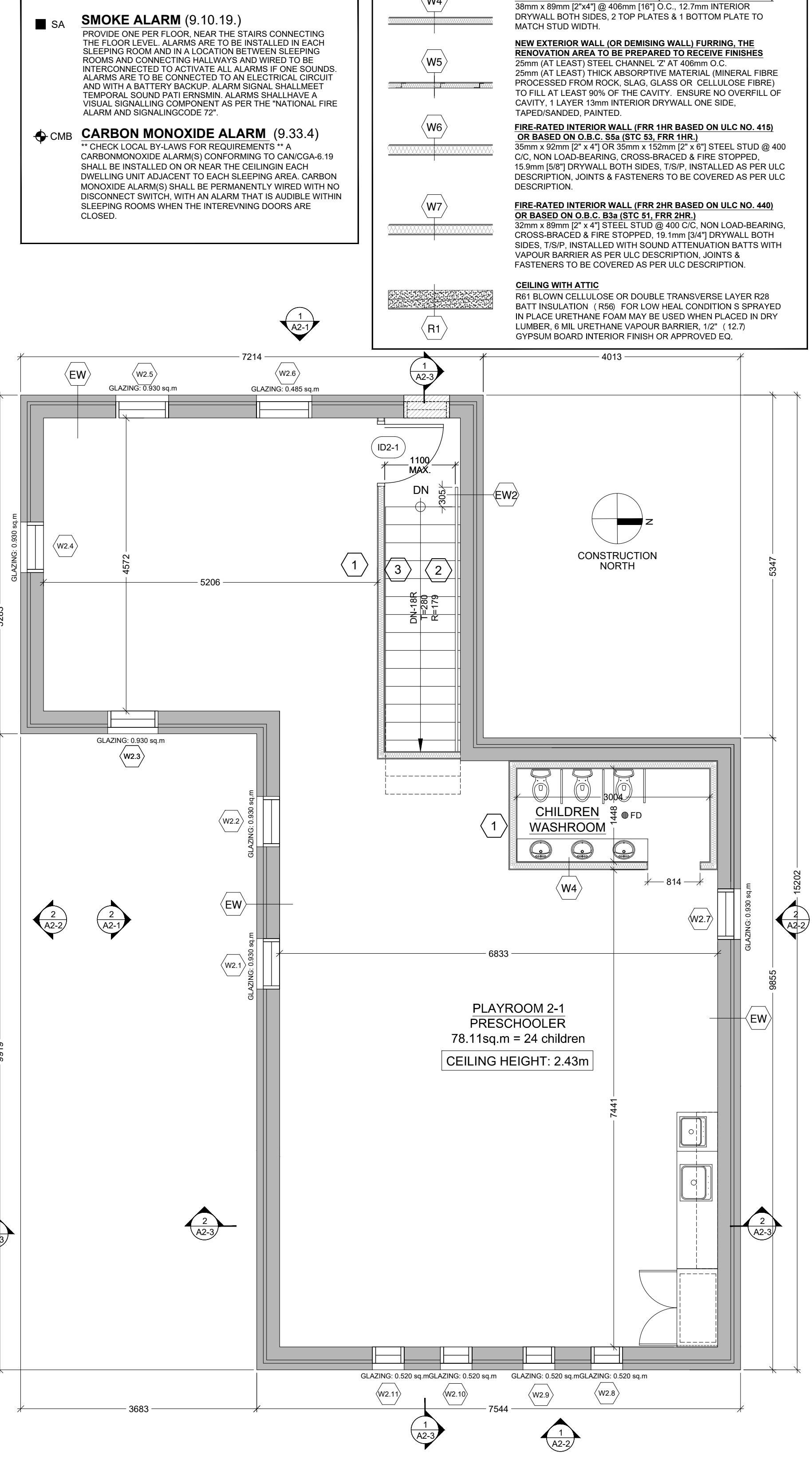
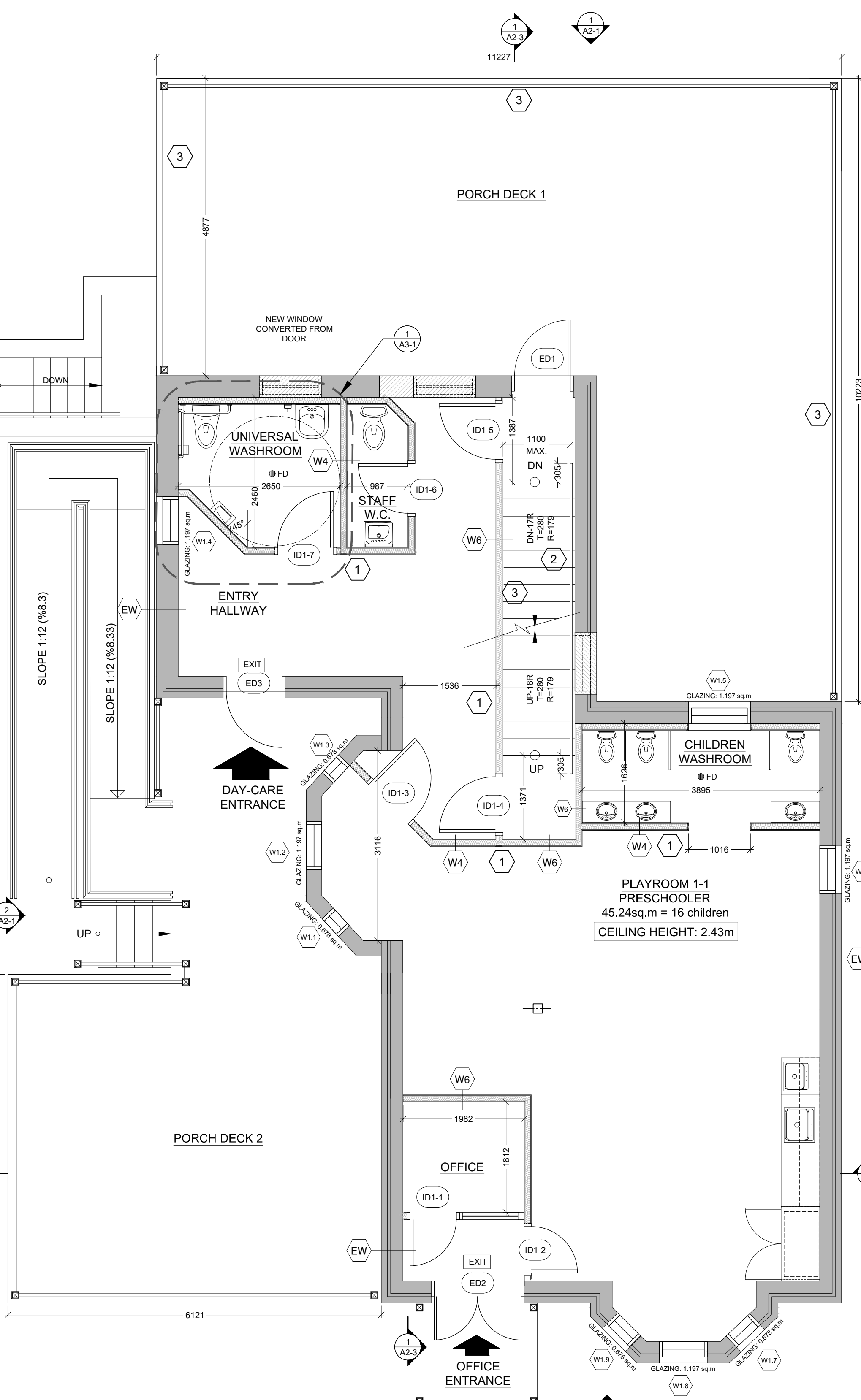
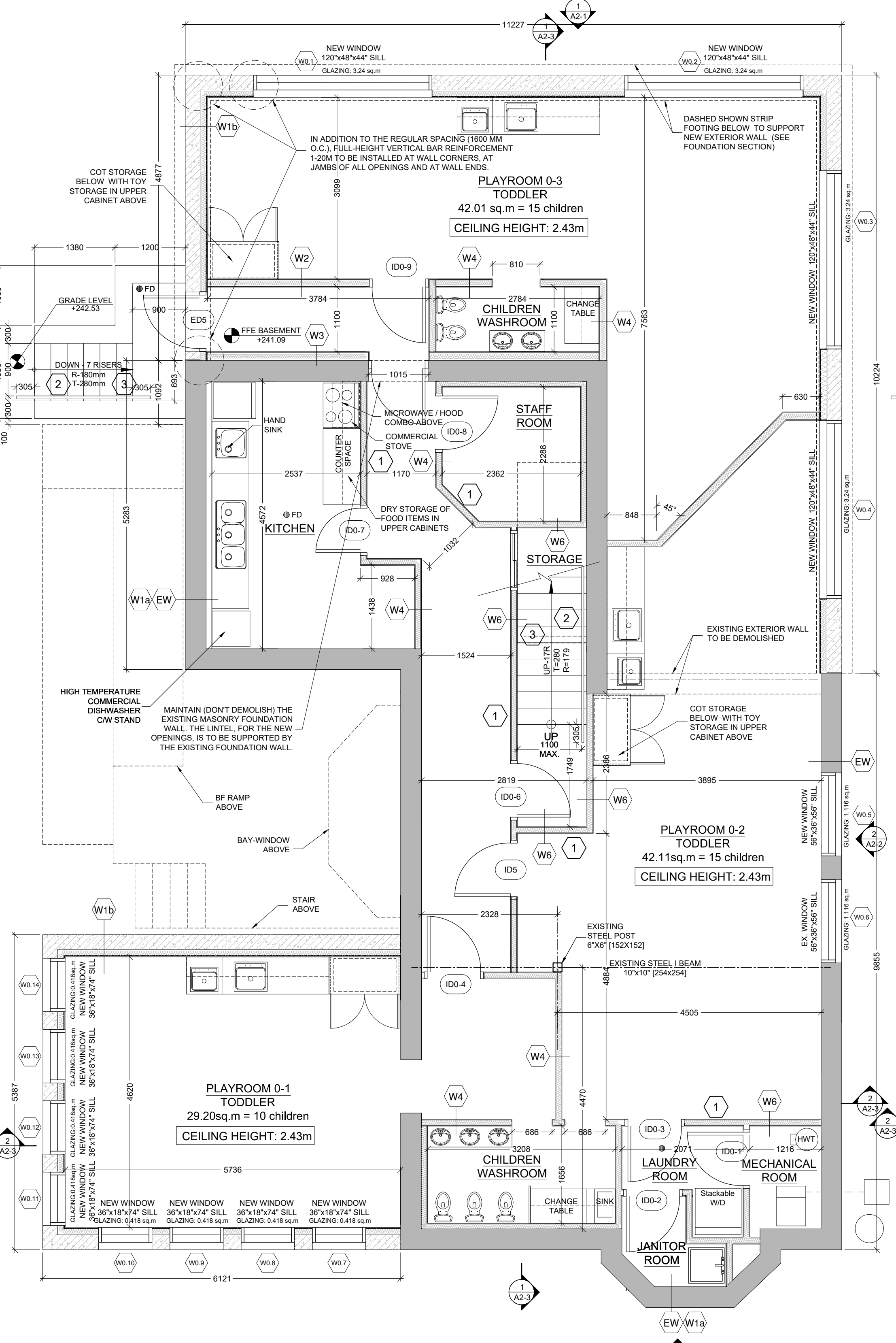
- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING  
RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS'  
REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED  
ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS' REVIEW  
AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME. REPLACEMENT AND  
ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD  
COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAINT/FINISH EXISTING AND RELOCATED  
DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE  
PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE  
GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM  
REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.)
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE, INSULATED (I.G.)  
SEALED UNITS. MUNTIN BARS TO BE REPLICATED AS PER EXISTING WITH  
NEW SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION  
ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE  
GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING  
SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING  
DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.  
SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING  
QUARTERS.
- UNIVERSAL WASHROOM DOOR SHALL BE EQUIPPED WITH A GRASPABLE  
LATCH OPERATING MECHANISM AND WILL NOT HAVE A SELF-CLOSING DEVICE  
THE DOOR SHALL BE LOCKABLE FROM THE INSIDE AND RELEASED FROM THE  
OUTSIDE IN CASE OF EMERGENCY.
- THE EXTERIOR DOOR SCHEDULE IS SHOWN ON A2-1 WEST & SOUTH  
ELEVATIONS.

**WALL TYPE SCHEDULE:**



ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH  
ALL BY-LAWS AND CODES HAVING JURISDICTION OVER  
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A HARD COPY OF THIS ELECTRONIC FILE EXISTS IN OUR  
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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_



**1 PROPOSED BASEMENT FLOOR PLAN**  
SCALE 1:50

**2 PROPOSED GROUND FLOOR PLAN**  
SCALE 1:50

**3 PROPOSED SECOND FLOOR PLAN**  
SCALE 1:50

DATE	NO.	REVISIONS / ISSUES	BY
2024-05-01	15	ISSUED FOR BUILDING PERMIT	HT
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT	AA
2024-03-05	13	RE-ISSUED FOR PRELIMINARY PHASE 1	AA
2024-02-29	12	ISSUED FOR PRELIMINARY PHASE 1	HT
2023-12-20	11	REVISED PER CLIENT COMMENT (2)	HT
2023-10-10	10	UPDATED FOR COORDINATION	HT
2023-09-13	9	ISSUED PER EXAMINER COMMENTS	HT
2023-04-26	8	ISSUED FOR COA (PRELIMINARY)	HT
2023-04-21	7	REVISED PER CLIENT COMMENT (1)	HT
2023-04-04	6	DAYCARE DESIGN 4	HT
2023-04-04	5	DAYCARE DESIGN 3	HT
2023-03-22	4	DAYCARE DESIGN 2	HT
2023-02-24	3	DAYCARE DESIGN 1	HT
2023-02-03	2	RE-ISSUE TO CLIENT	HT
2022-12-19	1	ISSUE TO CLIENT	HT

**AREA**  
ARCHITECTS RASHID EKHLEER ASSOCIATES LTD.  
15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL. (416) 696 - 1969  
FAX. (416) 696 - 1969

ONTARIO ASSOCIATION  
OF ARCHITECTS  
DAVID W. EKHLEER  
4507

PROJECT TITLE  
**LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE**

10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE  
**CONSTRUCTION FLOOR PLANS  
- PHASE 1**

DRAWN BY  
HT

CHECKED BY  
DE

SCALE  
DATE  
OCTOBER 6, 2021

SET NO.  
1

TOTAL DWG. NO.  
3

PROJECT NORTH

DRAWING NO.  
**A1.2a**

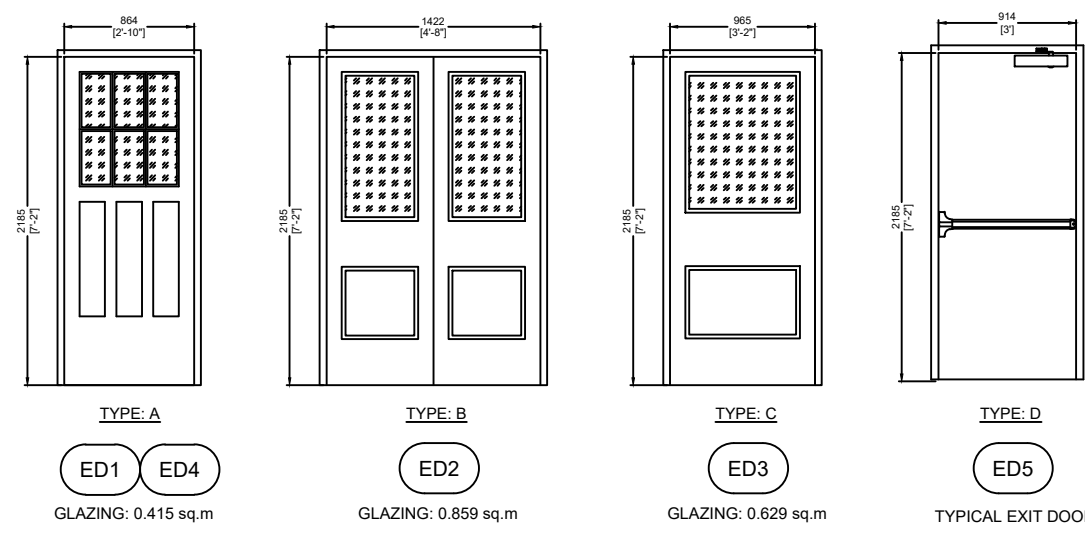
PROJECT NO.  
12-576

**ISSUED FOR BUILDING PERMIT**

**EXTERIOR DOOR SCHEDULE**

NO	LOCATION	TYPE	DOOR SIZE width x height	DOOR & FRAME	DOOR & FRAME FINISH	GLAZING	CONDITION		FIRE RATING	HARDWARE & NOTES
							EXIST	NEW		
D1	GROUND FLOOR	A	864 x 2185 x 45	WOOD	PAINT	NA	■			WEATHER STRIPPING, SWEEP, BUTT HINGES, EXTERIOR DOOR TO BE REPAIRED & REFINISHED
D2	GROUND FLOOR	B	1422 x 2185 x 45	WOOD	PAINT	NA	■			WEATHER STRIPPING, SWEEP, BUTT HINGES, EXTERIOR DOOR TO BE REPAIRED & REFINISHED
D3	GROUND FLOOR	C	965 x 2185 x 45	WOOD	PAINT	NA	■			WEATHER STRIPPING, SWEEP, BUTT HINGES, EXTERIOR DOOR TO BE REPAIRED & REFINISHED
D4	GROUND FLOOR	A	864 x 2185 x 45	WOOD	PAINT	NA	■			EXISTING DOOR REMAIN LOCKED IN ORDER TO ACCOMMODATE A NEW STAIR TO BE REPAIRED & REFINISHED IF NEEDED
D5	BASEMENT	D	915 x 2185 x 45	WOOD	HOLLOW METAL	NA		■	45min	NEW INSULATED DOOR AND FRAME WITH WEATHERSTRIPPING, CLOSER, LOCKSET AND ALUMINUM THRESHOLD

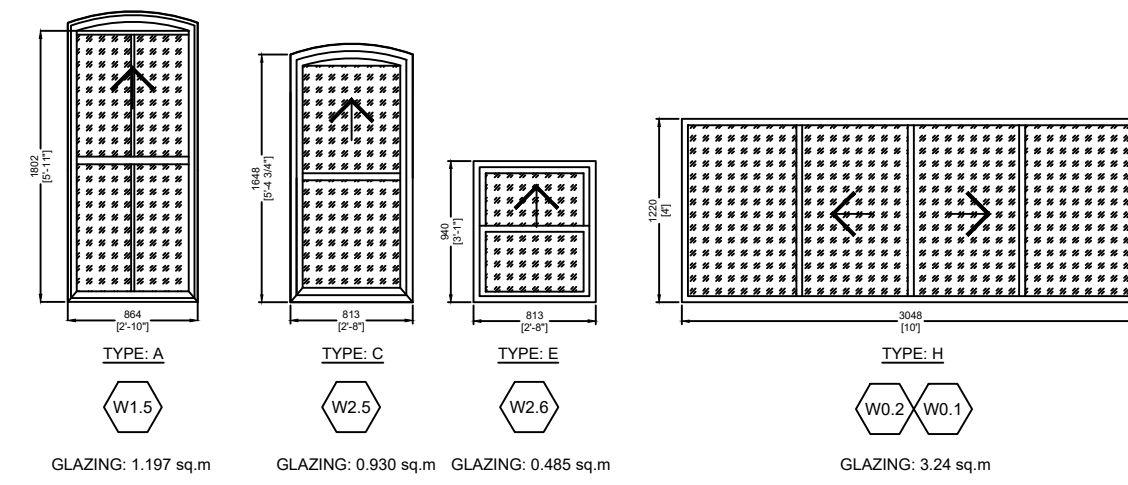
**EXTERIOR DOOR TYPE**



**WINDOW SCHEDULE - WEST ELEVATION**

NO	LOCATION ELEVATION	STOREY	WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION		NOTES
								EXIST	NEW	
W0.1	WEST	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	■	■	REFER TO WINDOW NOTES
W0.2	WEST	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	■	■	
W1.5	WEST	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W2.5	WEST	SECOND FLOOR	813 x 1548	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W2.6	WEST	SECOND FLOOR	813 x 940	1095	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	

**WINDOW TYPE - WEST ELEVATION**



**SPATIAL SEPARATION CALCULATIONS:**

**WEST ELEVATION - O.B.C. Table 3.2.3.1.B**

EXISTING BUILDING FACE PERM. LIMITING DISTANCE = 0.80 M. BALCONY OVER AREA = 0.00 M<sup>2</sup>. GLAZING AREA = 1.197 M<sup>2</sup>. TOTAL EXISTING BUILDING FACE = 31.67 M<sup>2</sup>. GLAZING PERCENTAGE = 14.10%.

PERMITTED GLAZING PERCENTAGE = 10%.

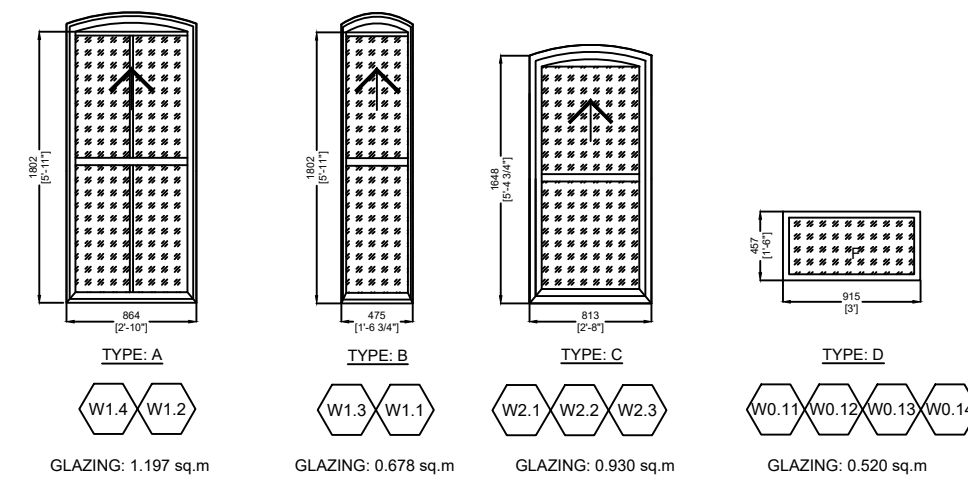
PERMITTED GLAZING AREA = 3.167 M<sup>2</sup>.

ACTUAL GLAZING AREA = 3.24 M<sup>2</sup>.

**WINDOW SCHEDULE - SOUTH ELEVATION**

NO	LOCATION ELEVATION	STOREY	WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION		NOTES
								EXIST	NEW	
W0.11	SOUTH	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	■	
W0.12	SOUTH	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	■	
W0.13	SOUTH	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	■	
W0.14	SOUTH	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	■	
W1.1	SOUTH	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W1.2	SOUTH	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W1.3	SOUTH	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W1.4	SOUTH	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W2.1	SOUTH	SECOND FLOOR	813 x 1548	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W2.2	SOUTH	SECOND FLOOR	813 x 1548	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	
W2.3	SOUTH	SECOND FLOOR	813 x 1548	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	■	

**WINDOW TYPE - SOUTH ELEVATION**



**SPATIAL SEPARATION CALCULATIONS:**

**SOUTH ELEVATION - O.B.C. Table 3.2.3.1.B**

EXISTING BUILDING FACE PERM. LIMITING DISTANCE = 0.80 M. BALCONY OVER AREA = 0.00 M<sup>2</sup>. GLAZING AREA = 1.197 M<sup>2</sup>. TOTAL EXISTING BUILDING FACE = 31.67 M<sup>2</sup>. GLAZING PERCENTAGE = 14.10%.

PERMITTED GLAZING PERCENTAGE = 10%.

PERMITTED GLAZING AREA = 3.167 M<sup>2</sup>.

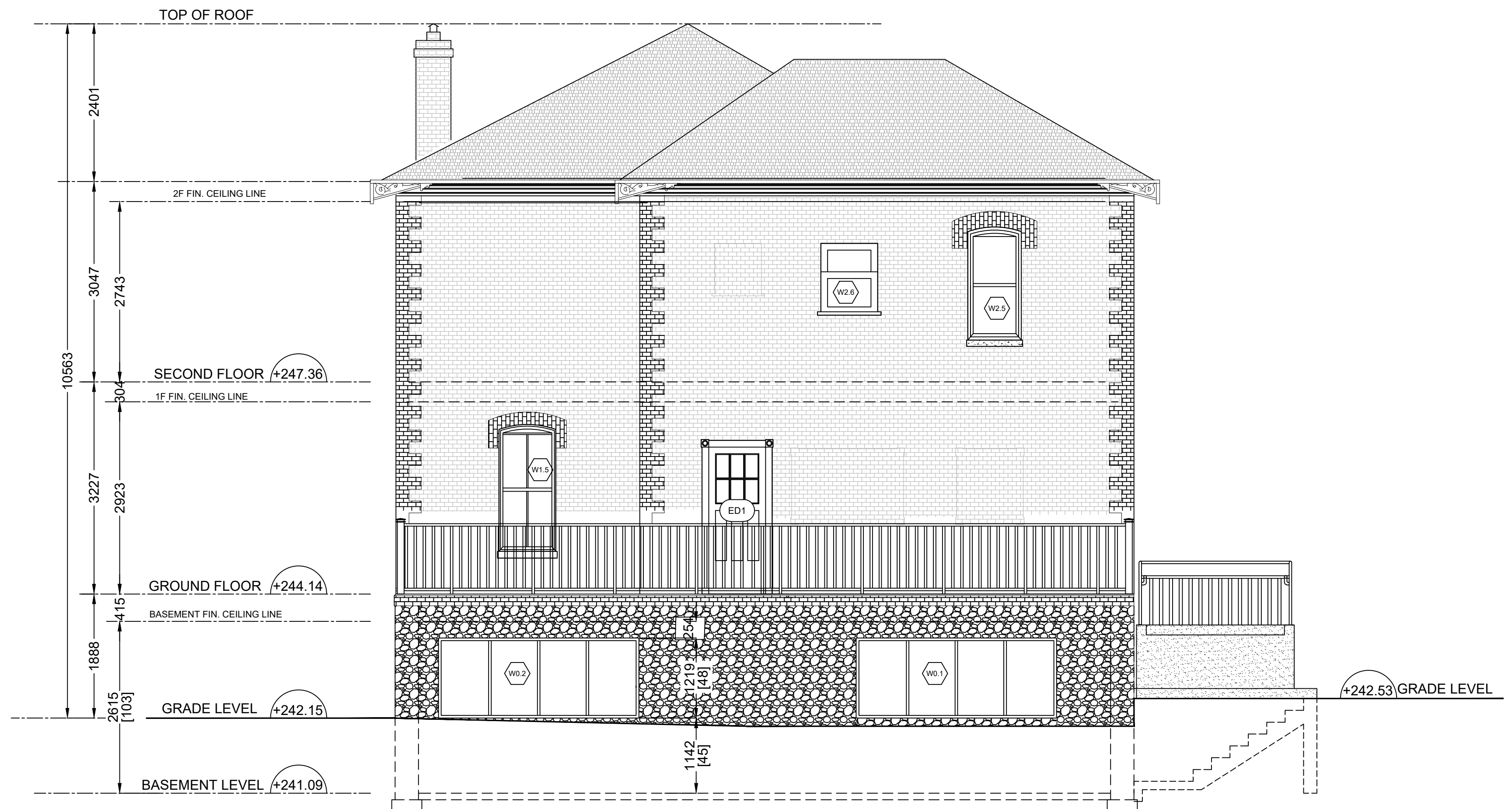
ACTUAL GLAZING AREA = 3.24 M<sup>2</sup>.

**WINDOW NOTES:**

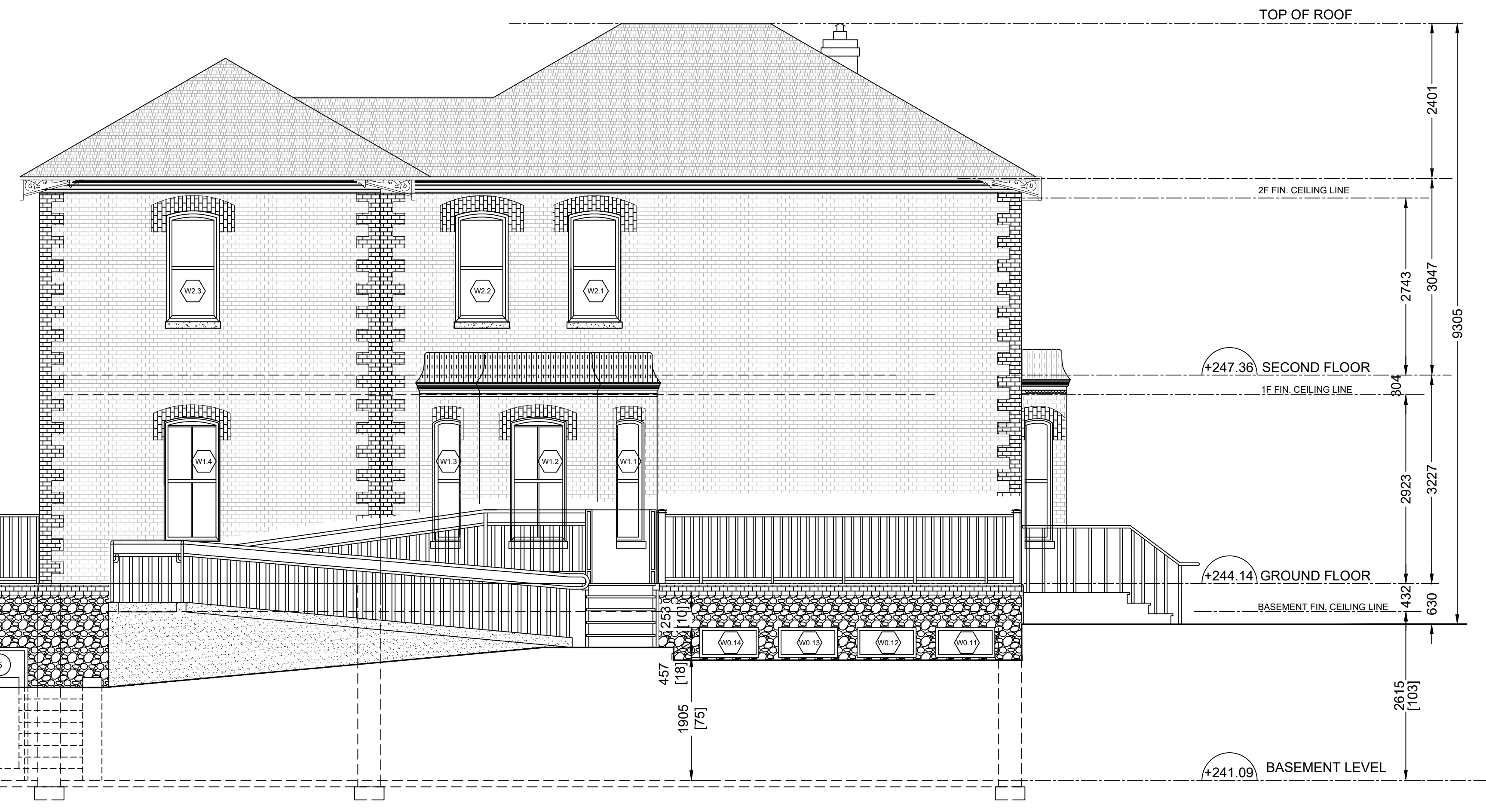
- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED HARDWARE AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMBS, HEADER, SILL, CASING, BRICK MOLD) EXHIBITING DETRIMENTATION SHALL BE REPAIRED. PIECE REPLACED (DUTCHMAN) OR FILLED AREA OF DETRIMENTATION TO BE REPAIRED. WHERE UNCERTAIN, SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTATED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND AND RE-PAIN EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR GAPS FROM REMOVED WINDOW EQUIPMENT (i.e. HINGES, ETC.).
- ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (I.G.) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMBS, SHIMS, CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

**DOOR NOTES:**

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAIN EXISTING AND REPAIRED WINDOW COMPONENTS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (I.G.) SEALED UNITS MUNTIN BARS TO BE REPLACED AS PER EXISTING WITH NEW SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.



**1 WEST ELEVATION**  
SCALE 1:50



**2 SOUTH ELEVATION**  
SCALE 1:50

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

DATE	NO	REVISIONS / ISSUES	BY
2024-05-01	3	ISSUED FOR BUILDING PERMIT	HT
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT

**AREA**  
ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL. (416) 696 - 1969  
FAX. (416) 696 - 1966



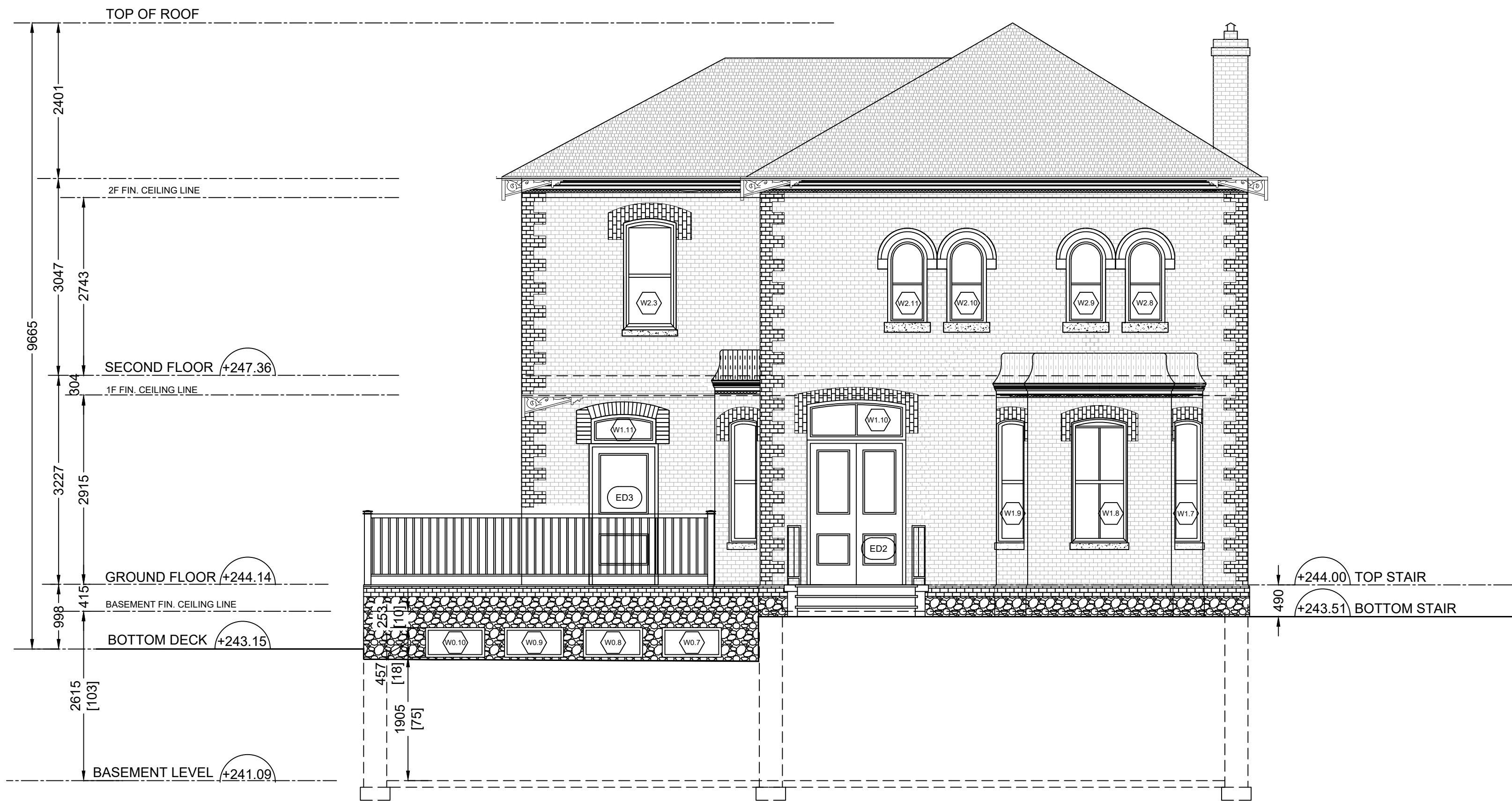
PROJECT TITLE  
**LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE**

10254 Hurontario Street, Brampton, ON L7A 0E4  
DRAWING TITLE

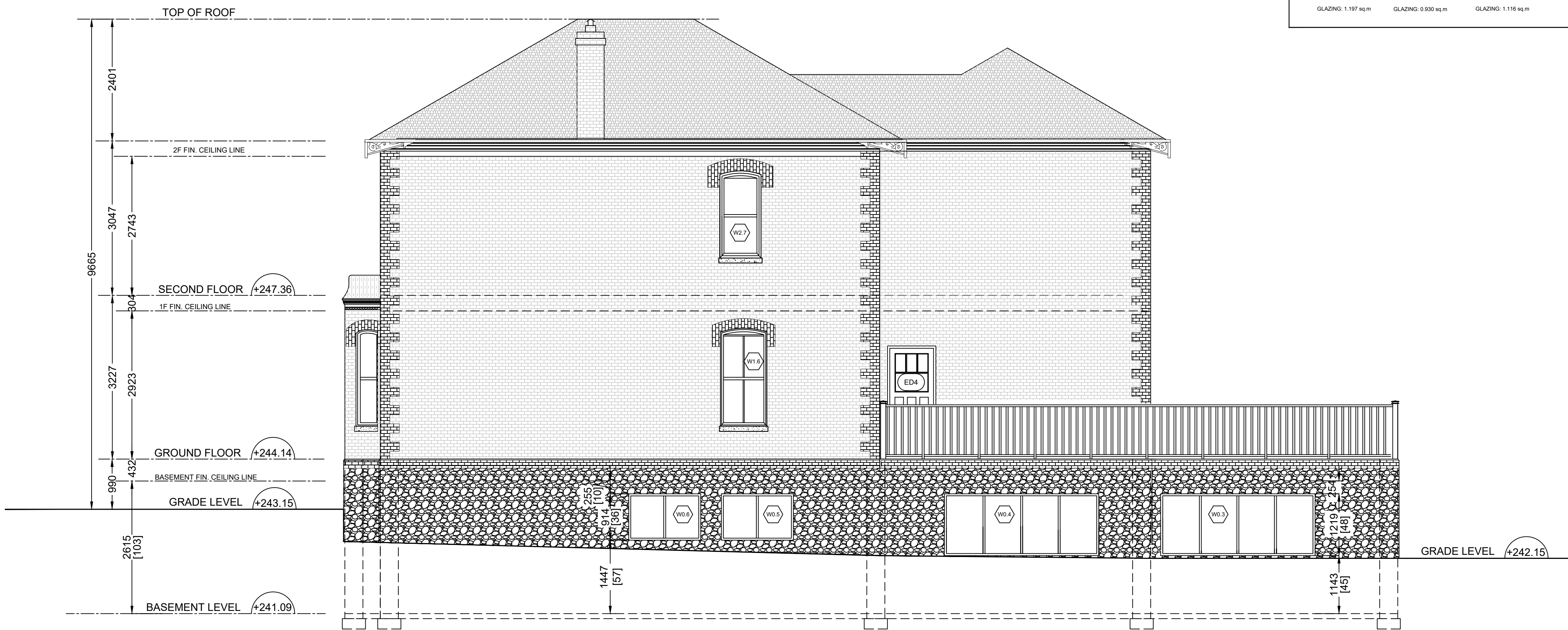
**WEST & SOUTH ELEVATIONS**

DRAWN BY HT	SCALE AS NOTED
CHECKED BY DE	DATE NOVEMBER 1, 2017
SET NO. 1	DRAWING NO. <b>A2-1</b>
TOTAL DWG. NO 2	PROJECT NO. <b>15-620</b>

**ISSUED FOR BUILDING PERMIT**



1 EAST ELEVATION  
SCALE 1:50

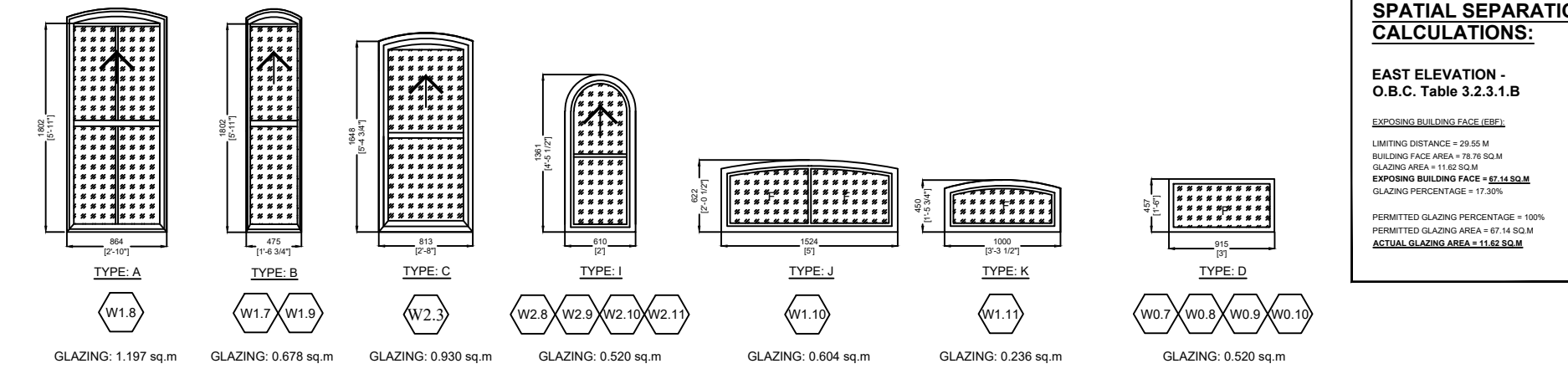


2 NORTH ELEVATION  
SCALE 1:50

WINDOW SCHEDULE - EAST ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION	NEW		NOTES
	ELEVATION	STOREY							EXIST	NEW	
W0.7	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	■		
W0.8	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	■		
W0.9	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	■		
W0.10	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	■		
W1.7	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W1.8	EAST	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W1.9	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W1.10	EAST	GROUND FLOOR	625 x 1624	-	WOOD	FIXED	L6E x INSULATED	■	■		
W1.11	EAST	GROUND FLOOR	450 x 1600	-	WOOD	FIXED	L6E x INSULATED	■	■		
W2.3	EAST	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W2.8	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W2.9	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W2.10	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W2.11	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		

WINDOW TYPE - EAST ELEVATION



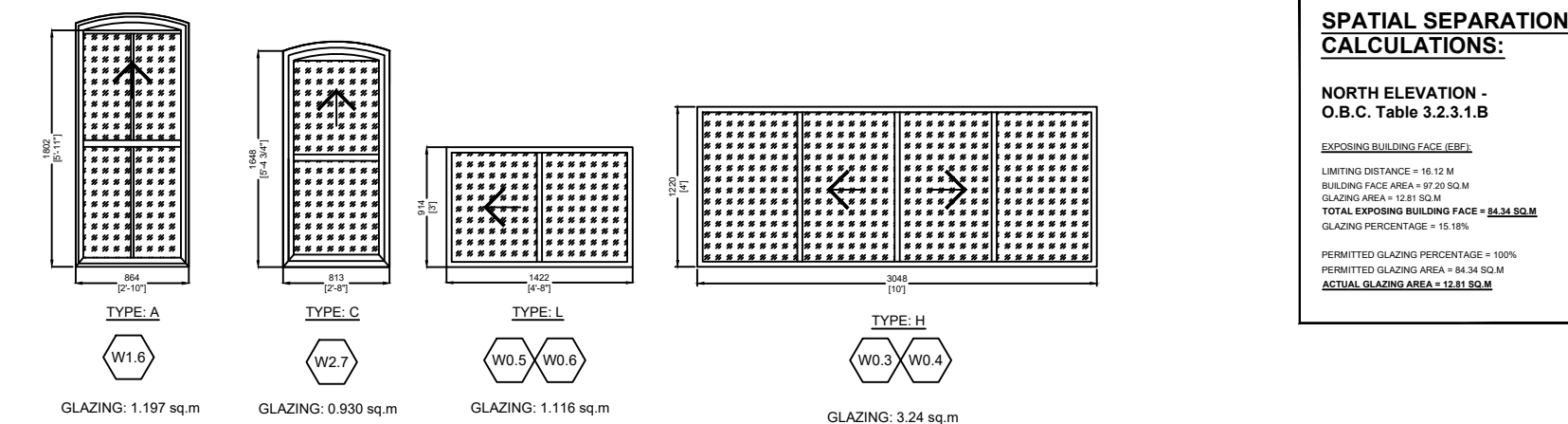
SPATIAL SEPARATION CALCULATIONS:

EAST ELEVATION -  
O.B.C. Table 3.2.3.1.B  
SPACING BETWEEN GLAZING: 100%  
GLAZING AREA: 15.10 SQM  
TOTAL WINDOW AREA: 15.10 SQM  
GLAZING PERCENTAGE: 15.20%  
PERMITTED GLAZING PERCENTAGE: 100%  
PERMITTED GLAZING AREA: 15.10 SQM  
ACTUAL GLAZING AREA: 15.10 SQM

WINDOW SCHEDULE - NORTH ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION	NEW		NOTES
	ELEVATION	STOREY							EXIST	NEW	
W0.3	NORTH	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	L6E x INSULATED	■	■		
W0.4	NORTH	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	L6E x INSULATED	■	■		
W0.5	NORTH	BASEMENT	915 x 1422	1447	VINYL	FIXED	L6E x INSULATED	■	■		
W0.6	NORTH	BASEMENT	915 x 1422	1447	VINYL	FIXED	L6E x INSULATED	■	■		
W1.6	NORTH	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		
W2.7	NORTH	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	■		

WINDOW TYPE - NORTH ELEVATION



SPATIAL SEPARATION CALCULATIONS:

NORTH ELEVATION -  
O.B.C. Table 3.2.3.1.B  
SPACING BETWEEN GLAZING: 100%  
GLAZING AREA: 15.10 SQM  
TOTAL WINDOW AREA: 15.10 SQM  
GLAZING PERCENTAGE: 15.20%  
PERMITTED GLAZING PERCENTAGE: 100%  
PERMITTED GLAZING AREA: 15.10 SQM  
ACTUAL GLAZING AREA: 15.10 SQM

WINDOW NOTES:

- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT ALL RELATED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMBS, HEADERS, SILL CASING, BRICK MOLD EXHIBITING DETRIORATION SHALL BE REPAIRED. PIECE REPLACED (OUTSIDER) OR FILLED AREA OF DETRIORATION TO BE REPAIRED, WHERE UNCERTAIN SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION IT SHALL BE RE-INSTATED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND AND RE-PAIN EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR GAPS FROM REMOVED WINDOW EQUIPMENT (i.e. HINGES, ETC.).
- DO NOT CUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW AC UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (I) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SEALED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMBS, SHIMS, CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

DOOR NOTES:

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- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAIN THE FINISH COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR GAPS FROM REMOVED DOOR EQUIPMENT (I.E. HINGERS, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (I) SEALED UNITS MUNTIN BARS TO BE REPLACED AS PER EXISTING WITH NEW SEALED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SMALL SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

DATE	NO.	REVISIONS / ISSUES	BY
2024-05-01	3	ISSUED FOR BUILDING PERMIT	HT
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT

**AREA**

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL. (416) 696 - 1969  
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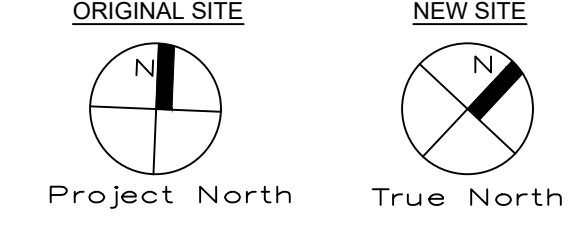
PROJECT TITLE  
LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4  
DRAWING TITLE

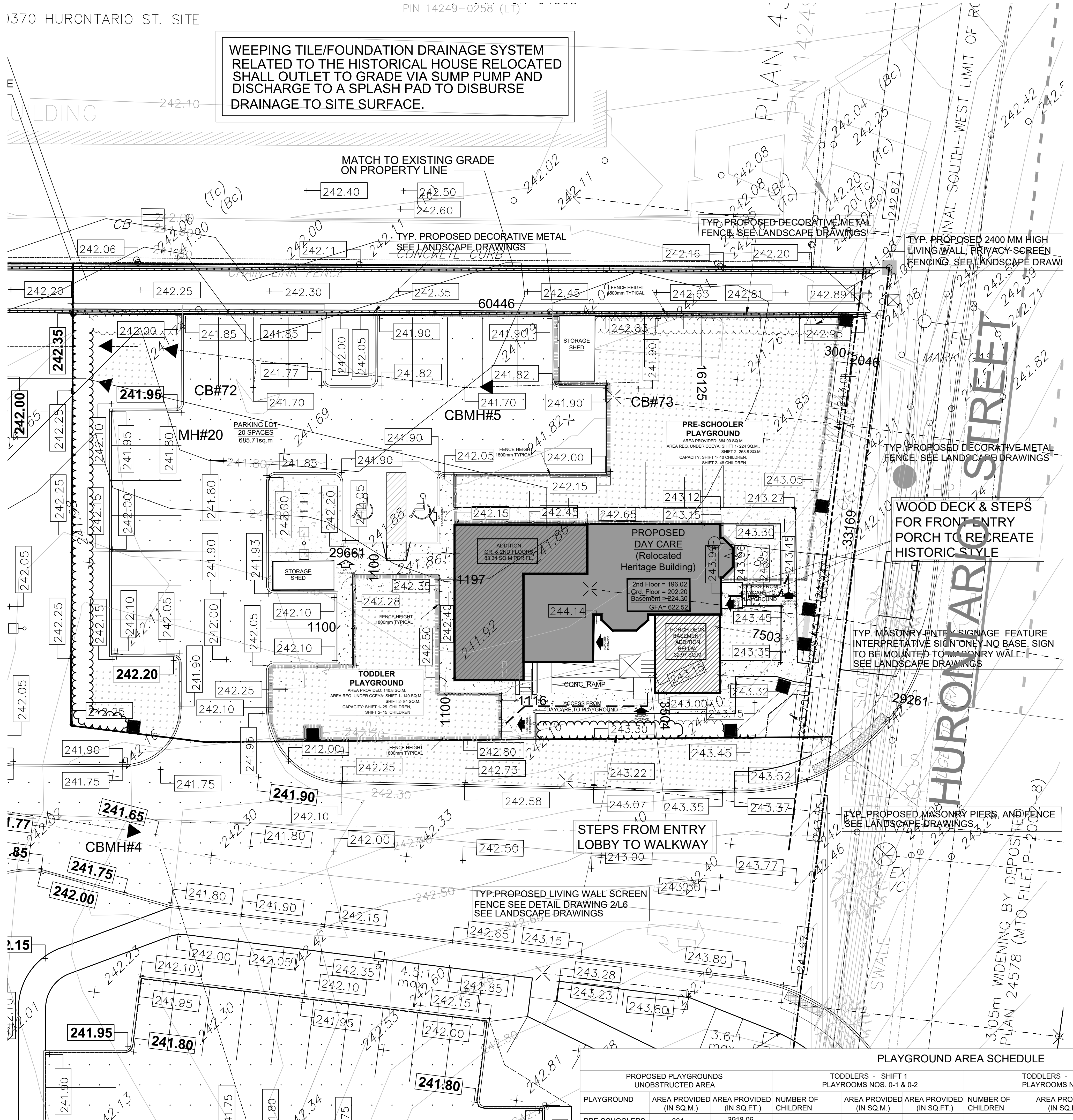
EAST & NORTH ELEVATIONS

DRAWN BY	SCALE
HT	AS NOTED
CHECKED BY	DATE
DE	NOVEMBER 1, 2017
SET. NO.	DRAWING NO.
1	A2-2
TOTAL DWG. NO.	PROJECT NO.
2	15-620

ISSUED FOR BUILDING PERMIT

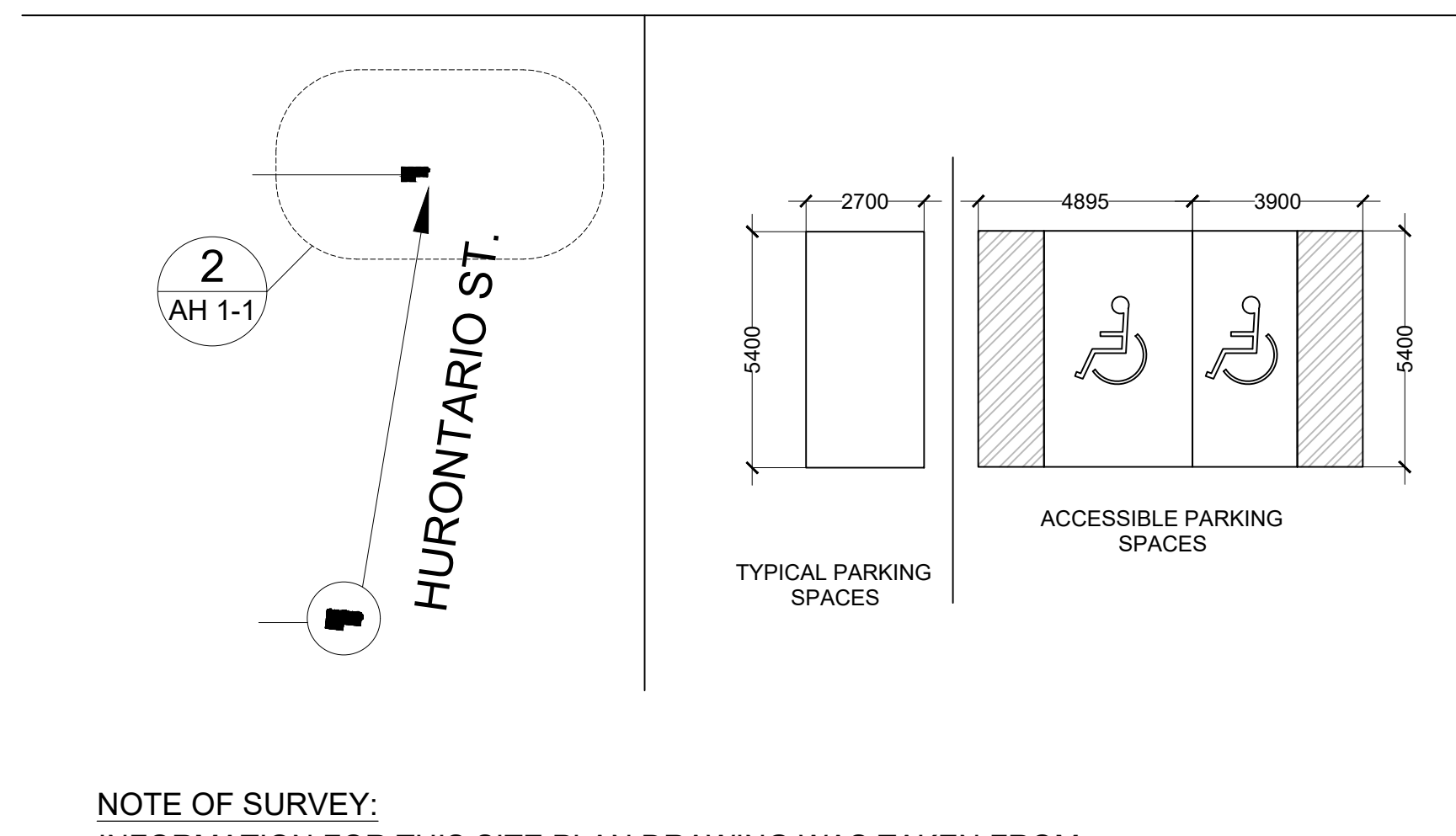


**WEeping TILE/FOUNDATION DRAINAGE SYSTEM RELATED TO THE HISTORICAL HOUSE RELOCATED SHALL OUTLET TO GRADE VIA SUMP PUMP AND DISCHARGE TO A SPLASH PAD TO DISBURSE DRAINAGE TO SITE SURFACE.**

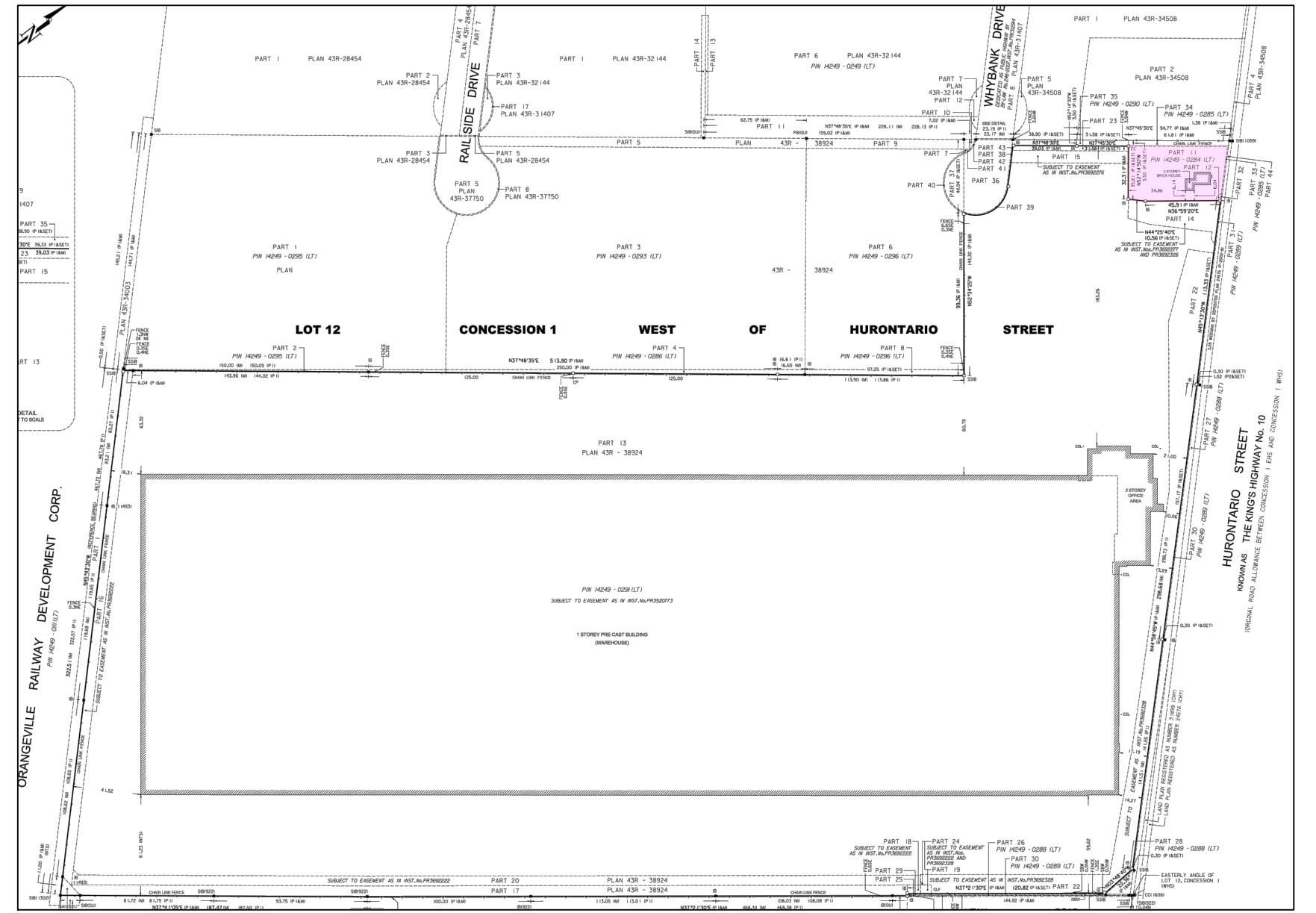


SITE STATISTICS AND ZONING REQUIREMENTS	
PROPOSED USE: DAYCARE, PRIVATE SCHOOL	
ZONING: SC-3652	
LOT AREA	1,938 sq.m. (20,861 s.f.)
LOT FRONTAGE	33.2 m
LOT DEPTH	60.4 m
PROPOSED BUILDING GROSS FLOOR AREA (EST)	622.52 sq.m. (6,700.75 s.f.)
LOT COVERAGE	10.43 % (202.20 sq.m.)
LANDSCAPED OPEN SPACE	48.68 % (973.74 sq.m.)
BUILDING HEIGHT (EST)	9.41 m
PARKING SPACES PROVIDED	REGULAR PARKING (2.7M X 5.4M) = 15 ACCESSIBLE PARKING (3.9M X 5.4M) = 2 TOTAL SPACES PROVIDED: 20
MINIMUM DRIVEWAY WIDTH	6.6m
LOADING SPACES PROVIDED	N/A

- LEGEND**
- PROPERTY LINE
  - RESERVE & EASEMENT LINES
  - NEW CONCRETE CURBS c/w SAW CUTS AND EXPANSION JOINTS
  - RAISED ISLAND c/w CONCRETE PAVING AND CONCRETE CURBS
  - PAINTED MEDIAN STRIPS/ISLANDS
  - NEW CONCRETE SIDEWALK MONOLITHIC
  - LANDSCAPE AREA
  - SOD AREA
  - PAINTED TRAFFIC LINES (REFER TO SITE DETAILS)
  - PROPOSED BUILDING ENTRY
  - PROPOSED BUILDING EXIT
  - FIRE HYDRANT
  - BICYCLE ROCK



**NOTE OF SURVEY:**  
INFORMATION FOR THIS SITE PLAN DRAWING WAS TAKEN FROM SURVEY PLAN PREPARED BY NANFARA & NG SURVEYORS INC. COMPLETED OCTOBER 19, 2021



PLAYGROUND AREA SCHEDULE														
PROPOSED PLAYGROUNDS UNOBSTRUCTED AREA			TODDLERS - SHIFT 1 PLAYROOMS NOS. 0-1 & 0-2			TODDLERS - SHIFT 2 PLAYROOMS NOS. 0-3			PRE-SCHOOLERS - SHIFT 1 PLAYROOMS NOS. 1-1 & 2-1			PRE-SCHOOLERS - SHIFT 1 PLAYROOMS NOS. 2-1 & 2-2		
PLAYGROUND	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)
PRE-SCHOOLERS	364	3918.06	25	140	1506.95	15	84	904.17	40	224	2411.11	48	268.8	2893.34
TODDLERS	140	1506.95	25	140	1506.95	15	84	904.17	40	224	2411.11	48	268.8	2893.34
<b>TOTAL</b>	<b>504</b>	<b>5425.01</b>	<b>25</b>	<b>140</b>	<b>1506.95</b>	<b>15</b>	<b>84</b>	<b>904.17</b>	<b>40</b>	<b>224</b>	<b>2411.11</b>	<b>48</b>	<b>268.8</b>	<b>2893.34</b>

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

DATE	NO.	REVISIONS / ISSUES	BY
2024-10-04	23	ISSUED FOR CoA	AA
2024-08-21	22	ISSUED FOR CLIENT COMMENT	HT
2024-04-02	21	ISSUED FOR CLIENT COMMENT	HT
2024-03-14	20	ISSUED FOR PRELIMINARY REVIEW	AA
2023-11-28	19	REVISED PER CLIENT COMMENTS	HT
2023-08-22	18	REVISED PER MINISTRY COMMENTS	HT
2023-04-26	17	ISSUED FOR CoA (PRELIMINARY)	HT
2023-04-26	16	RE-ISSUED TO CLIENT	HT
2023-04-24	15	ISSUED TO CLIENT	HT
2023-03-21	14	ISSUED FOR CoA	HT
2019-03-05	13	RE-ISSUED FOR SPA (9)	PL
2019-01-22	12	RE-ISSUED FOR SPA (8)	PL
2019-01-17	11	RE-ISSUED FOR SPA (7)	PL
2019-01-14	10	RE-ISSUED FOR SPA (6)	PL
2019-01-10	09	RE-ISSUED FOR SPA (5)	PL
2018-10-4	08	RE-ISSUED FOR SPA (4)	RJ
2018-09-27	07	RE-ISSUED FOR SPA (3)	RJ
2018-07-09	06	RE-ISSUED FOR SPA (2)	HT
2018-06-28	05	RE-ISSUED FOR SPA (1)	HT
2018-06-15	04	ISSUED FOR FOUNDATION PERMIT	HT
2018-06-13	03	ISSUED TO CONSULTANTS	HT
2018-05-15	02	ISSUED TO CLIENT/SPA	AZ
2018-05-03	01	ISSUED TO CLIENT	AZ

**AREA**  
ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL: (416) 696-1969  
FAX: (416) 696-1966

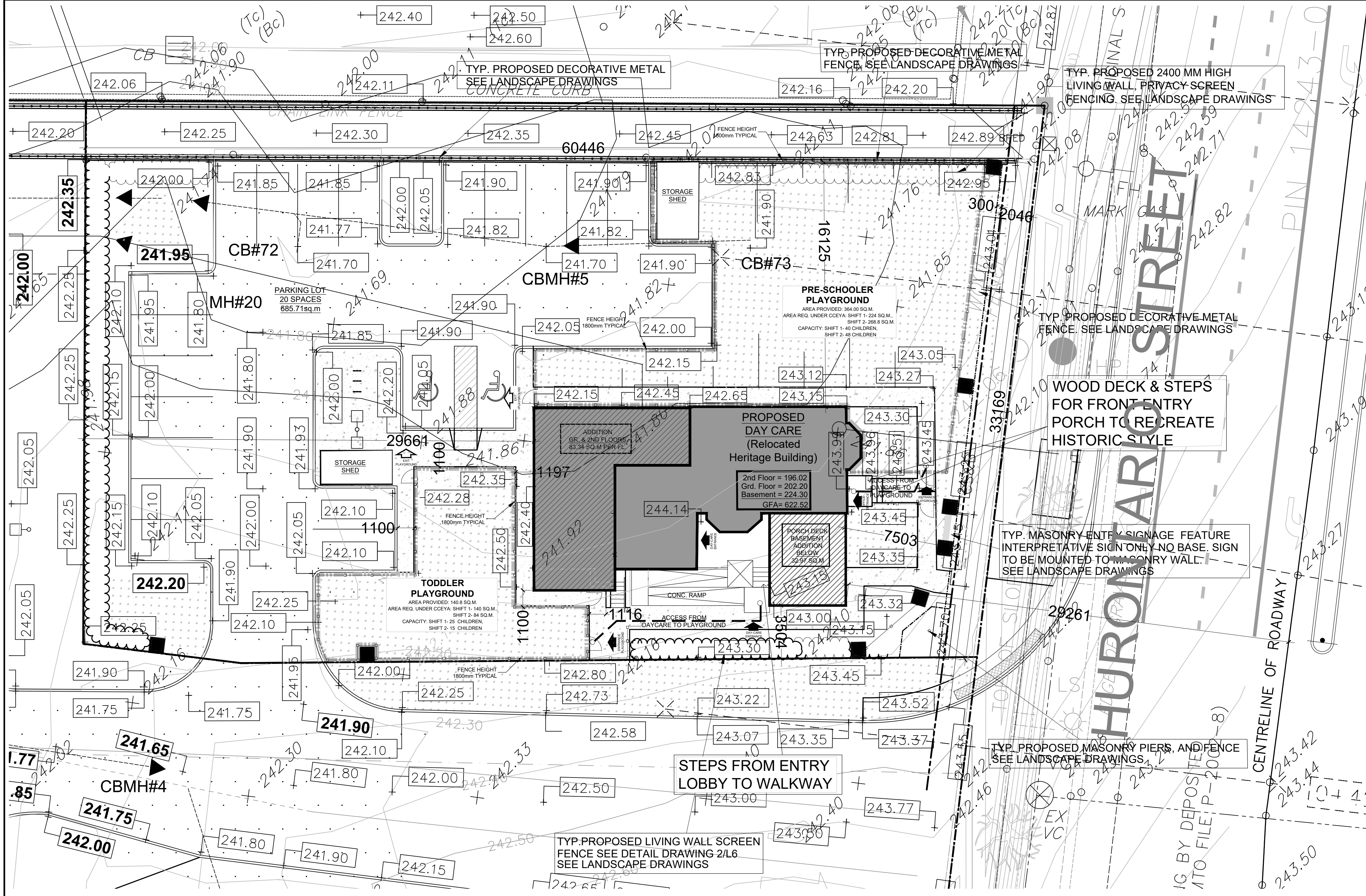
ONTARIO ASSOCIATION OF ARCHITECTS  
4507

PROJECT TITLE  
LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE  
10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE  
SITE PLAN OF RELOCATED  
HERITAGE BUILDING - PHASE 2

DRAWN BY	SCALE
HR	AS NOTED
CHECKED BY	DATE
DE	APRIL 27 2018
SET. NO.	DRAWING NO.
1	A0-2b
TOTAL DWG. NO.	PROJECT NO.
2	15-620

ISSUED FOR BUILDING PERMIT



Item	Ontario Building Code Data Matrix Parts 3 & 9	IBC Reference
1	Project Description: Addition and Renovation	2.1.1, 2.1.1.3
2	Major Occupancy: GROUP A, DIV 2 - DAYCARE FACILITY	3.1.2(1)
3	Building Area (m <sup>2</sup> ): Existing 118.86 (m <sup>2</sup> ), New 63.34 (m <sup>2</sup> ), Total 202.20 (m <sup>2</sup> )	1.1.3.2, 1.1.3.2
4	Gross Area (m <sup>2</sup> ): Existing 459.84 (m <sup>2</sup> ), New 166.68 (m <sup>2</sup> ), Total 622.52 (m <sup>2</sup> )	1.1.3.2
5	Number of Storeys: Above grade - 2 (UNCHANGED), Below grade - 1 (UNCHANGED)	3.2.1.1 & 1.1.3.2
6	Number of Streets/Fire Fighter Access: FACE 1 STREET (UNCHANGED)	3.2.2.10 & 3.2.5
7	Building Classification: GROUP A, (UP TO 2 STOREY, NO SPRINKLERED)	3.2.2.25
8	Sprinkler System Proposed: Sprinkler System: <input type="checkbox"/> existing <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.27
9	Staircase required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9
10	Fire Alarm required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4
11	Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7
12	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6
13	Permitted Construction: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.20-83
14	Actual Construction: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both (UNCHANGED)	3.2.20-83
15	Occupant load based on: 80 Child + 13 Staff = 93 persons	3.1.16, 9.8.1.3
16	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19
18	Required: Horizontal Assemblies or Description (SG-2)	3.2.20-83 & 3.2.1.4
19	Fire Resistance Rating (FRR): Floors: N/A (EXISTING), Roof: N/A (EXISTING), Mezzanine: N/A	3.2.3
20	Location of Exit: See Item 20 below	3.4.3.4, 3.4.3.5 (1)(5)
21	Sanitary Facilities: N/A EXISTING	3.7.4.2 (1), 3.7.4.8
22	Sanitary Facilities: N/A EXISTING	3.7.4.2 (1), 3.7.4.8
23	Other - Describe:	

Item	Ontario Building Code Data Matrix Parts 11	IBC Reference
11.1	Existing Building Classification: DAYCARE FACILITY - GROUP A, DIV 2 (3.2.2.25)	3.2.20-83
11.2	Alteration to Existing Building Is: Basic Renovation: <input type="checkbox"/> Extensive Renovation: <input type="checkbox"/>	11.3.3.1, 11.3.3.2
11.3	Reduction in Performance Level: Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), By increase in occupancy load: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), By change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), Sewage system: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain)	11.4.2, 11.4.2.1, 11.4.2.2, 11.4.2.3, 11.4.2.4, 11.4.2.5
11.4	Compensating Construction: Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), By increase in occupancy load: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), By change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain), Sewage system: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Explain)	11.4.3, 11.4.3.2, 11.4.3.3, 11.4.3.4, 11.4.3.5, 11.4.3.6
11.5	Compliance Alternatives Proposed: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (give number (s))	11.4.3

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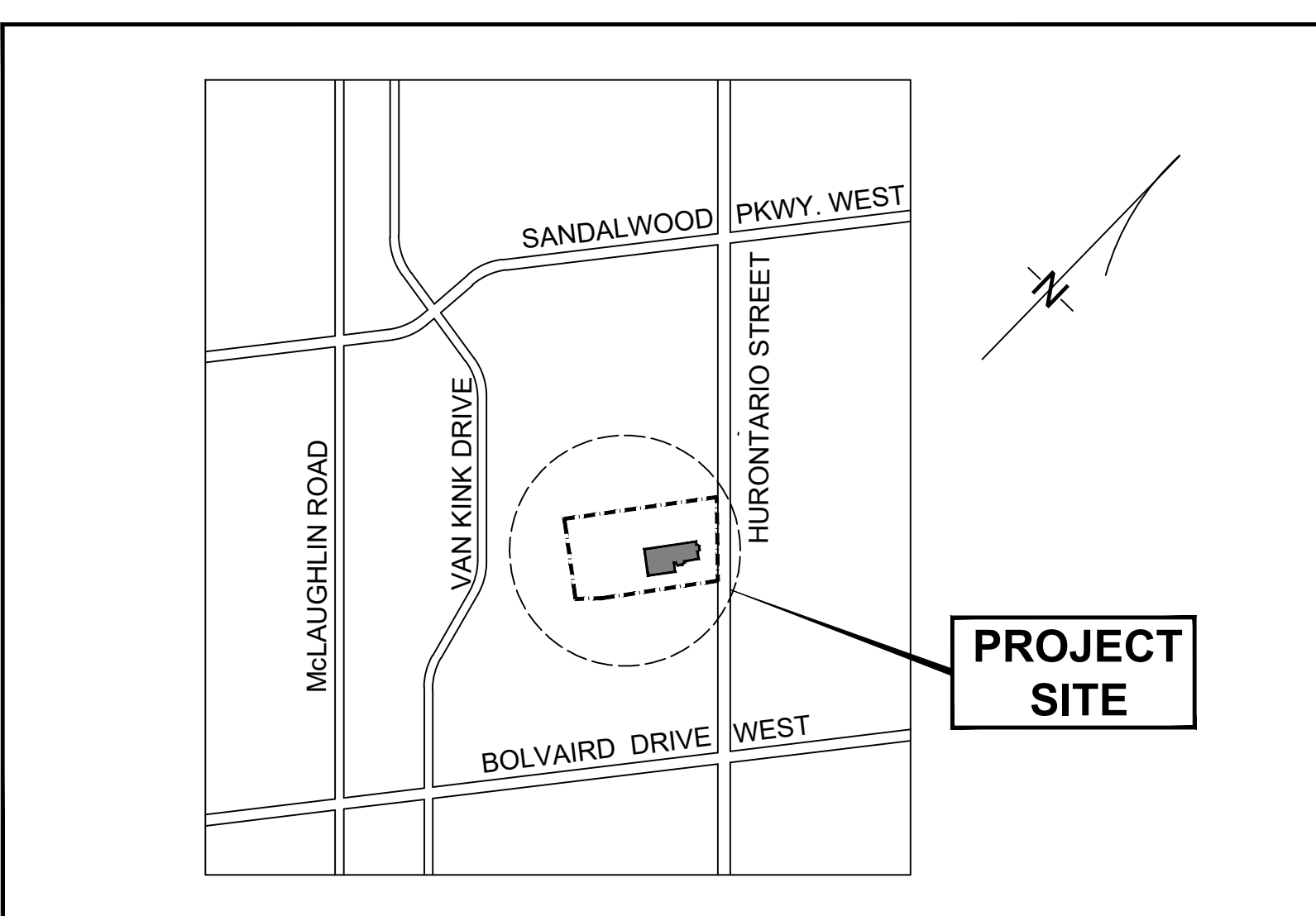
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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

1 SITE PLAN  
A1.0b SCALE 1:200



1 KEY PLAN  
A1.0b NOT TO SCALE

SITE STATISTICS AND ZONING REQUIREMENTS	
PROPOSED USE: DAYCARE, PRIVATE SCHOOL	
ZONING:	SC-3852
LOT AREA	1,938 sq.m. (20,861 s.f.)
LOT FRONTAGE	33.2 m
LOT DEPTH	60.4 m
PROPOSED BUILDING GROSS FLOOR AREA (EST)	622.52 sq.m. (6,700.75 s.f.)
LOT COVERAGE	10.43 % (202.20 sq.m.)
LANDSCAPED OPEN SPACE	48.68 % (973.74 sq.m.)
BUILDING HEIGHT (EST)	9.41 m
PARKING SPACES PROVIDED	REGULAR PARKING (2.7M X 5.4M) = 18 ACCESSIBLE PARKING (3.9M X 5.4M) = 2 TOTAL SPACES PROVIDED: 20
MINIMUM DRIVEWAY WIDTH	6.6m
LOADING SPACES PROVIDED	N/A

- LIST OF DRAWINGS:**
- A0.2a PROPOSED SITE PLAN
  - A1.0 SITE PLAN AND OCCUPANCY MATRIX
  - A1.1 FURNITURE AND OCCUPANCY PLAN
  - A1.2 CONSTRUCTION FLOOR PLANS
  - A1.3 FOUNDATION PLAN AND SECTIONS
  - A1.4 REFLECTED CEILING PLANS
  - A2.1 WEST AND SOUTH ELEVATIONS
  - A2.2 EAST AND NORTH ELEVATIONS
  - A2.3 BUILDING SECTIONS
  - A3.1 UNIVERSAL WASHROOM
  - A4.1 LIFE SAFETY PLANS
  - S1.1 FRAMING FLOOR PLANS

**GENERAL NOTES:**

- ALL GYPSUM BOARD SURFACES TO BE TAPED, PLASTERED, SANDED AND FINISHED READY TO RECEIVE PAINT/WALL PAPER/FINISHES. COORDINATE WITH FINISH SCHEDULE AND/OR OWNER.
- ALL FLOORS TO BE LEVEL THROUGHOUT AND HAVE SMOOTH CONCRETE FINISH.
- ALL CONCRETE FLOORS WITH DRAINS TO HAVE CONCRETE SLOPED TO DRAIN.
- CONTRACTOR TO CO-ORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS FOR LOCATION AND SIZES OF ALL WALLS, FLOORS, CEILING OPENINGS AND EQUIPMENT ETC., AS WELL AS RECESSES AND CHASES IN WALLS AND FLOORS. OPENINGS REQUIRED TO THE BUILDING ENVELOPE TO BE DONE BY LANDLORD AT THE TENANTS COST.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING SERVICES (EXPOSED AND CONCEALED) PRIOR TO ANY DEMOLITION, CUTTING DRILLING OR DIGGING. SERVICES CUT OR DAMAGED AND ANY RESULTING DAMAGE TO PREMISES CAUSED FROM FAILURE TO DO SO WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY EXISTING SPRAYED FIREPROOFING DAMAGED OR REMOVED IS TO BE REPAIRED AND ITS REPAIR IS TO BE APPROVED BY THE ARCHITECT & LANDLORD.
- FOR FINISHES SPECIFICATIONS, COORDINATE WITH OWNER.
- ALL DOORS AND FRAMES TO BE PAINTED.
- GYPSUM BOARD SHALL BE WATER & MOLD RESIST (W/MR) IN ALL AREAS TO RECEIVE WALL TILE OR FRP PANELS.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE ENTIRE SCOPE OF WORK. HE SHALL COORDINATE THE ORDER AND EXTENT OF THE DEMOLITION WORK REQUIRED.
- CONFORM TO REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- WIRING TO ELECTRICAL DEVICES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED FROM THE PANEL AND DISCARDED.
- ALL EXISTING SURFACES TO REMAIN ARE TO BE PROTECTED THROUGHOUT DEMOLITION & CONSTRUCTION.

**NOTE OF SURVEY:**

INFORMATION FOR THIS SITE PLAN DRAWING WAS TAKEN FROM SURVEY PLAN PREPARED BY MANFARA & NG SURVEYORS INC. COMPLETED OCTOBER 19, 2021

**ACCESSIBILITY NOTE:**

- EMERGENCY WARNING SYSTEMS SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING WASHROOMS, AND PLACED 80" ABOVE THE FLOOR OR 611" BELOW CEILING, WHICHEVER IS LOWER WHERE APPLICABLE.
- DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER-OPERATED, PUSH-TYPE, LI-SHAPED) MOUNTED NO HIGHER THAN 48" ABOVE THE FLOOR.
- FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25" AND 0.5" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5" REQUIRE RAMP. GRATINGS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5" WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5" IN HEIGHT.
- HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY OR SINK.
- THE FOLLOWING MATERIAL AND EQUIPMENT WILL BE FURNISHED AND/OR INSTALLED BY OTHERS: LOW VOLTAGE (24 VOLT) WIRE AND CABLE, COMMUNICATION DEVICES, SECURITY EQUIPMENT, POINT OF SALE (POS) EQUIPMENT, SIGNAGE, CONCRETE BASES FOR SITE LIGHTING POLES.
- GENERAL REQUIREMENTS: ALL WORK SHALL BE PERFORMED BY SKILLED LICENSED ELECTRICIANS IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE, MEETING THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, APPLICABLE FEDERAL, PROVINCIAL/LOCAL CODES, ELECTRICAL SAFETY AUTHORITY AND THE REQUIREMENTS OF THE ELECTRICAL UTILITY COMPANY FURNISHING THE SERVICES. ALL NECESSARY CONSTRUCTION PERMITS AND CERTIFICATES OF INSPECTION SHALL BE PURCHASED AND OBTAINED UNDER THIS CONTRACT.
- COORDINATION: ALL OUTLETS MUST BE ACCURATELY LOCATED, PARTICULARLY APPLIANCE OUTLETS. REVIEW APPLIANCE CUT-SHEETS AND MANUFACTURERS SPECIFICATIONS FOR ALL ELECTRICAL REQUIREMENTS.
- SIGNAGE LIGHTING: PROVIDE A 1" RIGID GALVANIZED STEEL ELECTRICAL CONDUIT AND WIRING FROM THE PANEL TO ALL ILLUMINATED SIGNS. COORDINATE WITH OWNER THE LOCATION OF SIGNAGE.
- ELECTRICAL WIRING AND CABLES EXPOSED WITHIN THE CEILING SPACE MUST CONFORM TO O.B.C. 3.6.4.3.(1).

**NOTE:**

THESE NOTES ARE TO BE CAREFULLY READ AND FOLLOWED BY THE CONTRACTOR BEFORE CONSTRUCTION. CHANGES/SUBSTITUTIONS WILL NOT BE ACCEPTABLE WITHOUT THE ARCHITECT'S COMPLIANCE WITH ALL NOTES.

DO NOT SCALE DRAWINGS. CONCLUSIONS DERIVED BY SCALING ANY DRAWINGS WITHIN THIS ACCEPTED. PLEASE VERIFY ALL REQUIRED INFORMATION WITH THE ARCHITECT OF RECORD.

**CONSTRUCTION NOTES**

- INSTALL 8'-0" H X 18 GA CONTINUOUS STAINLESS STEEL PANEL BEHIND THE 3 COMPARTMENT SINK. REFER TO PLAN FOR EXACT LOCATION.
- PORTABLE FIRE EXTINGUISHERS PER NFPA-10 INSTALLED BY G.C. ON SITE AND SUBJECT TO LOCAL JURISDICTION APPROVAL TO BE 51BS.

**DOOR AND HARDWARE NOTES**

- ALL DOOR HARDWARE MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- ENSURE PANIC HARDWARE IS INSTALLED ON ALL EGRESS DOORS. G.C TO INSTALL AND INCLUDE PRICE.
- SEAL THE BOTTOM OF WOOD DOORS.

**WALL NOTES:**

- PROVIDE 1/2" PLYWOOD FROM FLOOR TO 4'-0" A.F.F. AT INTERIOR WASHROOM WALLS, AS SPECIFIED ON WASHROOM DETAILS.
- PROVIDE & INSTALL BLOCKING FOR ALL WASHROOM ACCESSORIES, HANDRAIL, CABINETS, ETC. (SEE WASHROOM PLANS)

**FINISHES:**

- SEE FINISHES DRAWINGS AND/OR SCHEDULE FOR ALL DETAILS.
- COORDINATE WITH OWNER BEFORE ORDERING.

**BLOCKING NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURER'S CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.
- COORDINATE WITH OWNER LOCATION OF SHELVING AND PROVIDE BLOCKING ACCORDINGLY. REFER TO DRAWINGS.

**ISSUED FOR BUILDING PERMIT**

PROJECT TITLE  
LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE  
SITE PLAN & KEY PLAN - PHASE 2  
O.B.C. DATA MATRIX

DRAWN BY HR	SCALE AS NOTED
CHECKED BY DE	DATE APRIL 27 2018
SET NO. 1	DRAWING NO. A1-0b
TOTAL DWG. NO	PROJECT NO.

15-020

**GROSS FLOOR AREA - PHASE 1:**

EXISTING BUILDING GFA = 346.66 SQ.M. (100%)  
 Basement: 115.12 SQ.M.  
 Ground Floor: 118.86 SQ.M.  
 Second Floor: 112.68 SQ.M.

New Addition Basement: 109.18 SQ.M  
 As-Existing Basement: 115.12 SQ.M  
**BASEMENT TOTALS: 224.30 SQ.M**

PROPOSED BUILDING GFA = 455.84 SQ.M. (100%)  
 BASEMENT: 224.30 SQ.M.  
 GROUND FLOOR: 118.86 SQ.M.  
 SECOND FLOOR: 112.68 SQ.M.

**GROSS FLOOR AREA - PHASE 2:**

EXISTING BUILDING GFA = 455.84 SQ.M. (100%)  
 BASEMENT: 224.30 SQ.M.  
 GROUND FLOOR: 118.86 SQ.M.  
 SECOND FLOOR: 112.68 SQ.M.

NEW ADDITION AREAS = 166.68 SQ.M. (100%)  
 BASEMENT: 000.00 SQ.M.  
 GROUND FLOOR: 83.34 SQ.M.  
 SECOND FLOOR: 83.34 SQ.M.

PROPOSED BUILDING GFA = 622.52 SQ.M. (100%)  
 BASEMENT: 224.30 SQ.M.  
 GROUND FLOOR: 202.20 SQ.M.  
 SECOND FLOOR: 196.02 SQ.M.

**UNOBSTRUCTED PLAY AREA FOR CHILDREN:**

**SECOND FLOOR:**  
 PLAYROOM 2-1 PRESCHOOLER: 68.70 SQ.M = 24 CHILDREN  
 PLAYROOM 2-2 PRESCHOOLER: 67.30 SQ.M = 24 CHILDREN

**GROUND FLOOR:**  
 PLAYROOM 1-1 PRESCHOOLER: 44.88 SQ.M = 16 CHILDREN  
 PLAYROOM 1-2 PRESCHOOLER: 67.24 SQ.M = 24 CHILDREN

**BASEMENT:**  
 PLAYROOM 0-1 TODDLER: 29.20 SQ.M = 10 CHILDREN  
 PLAYROOM 0-2 TODDLER: 42.11 SQ.M = 15 CHILDREN  
 PLAYROOM 0-3 TODDLER: 42.01 SQ.M = 15 CHILDREN

**UNOBSTRUCTED PLAY AREA TOTALS: 361.44 SQ.M = 128 CHILDRENS**

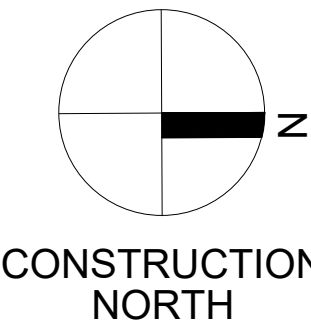
**OCCUPANCY FOR STAFF & CHILDREN:**

**SECOND FLOOR:**  
 PRESCHOOLER (2-1) 24  
 STAFF (2-1) 3  
 PRESCHOOLER (2-2) 24  
 STAFF (2-2) 3

**GROUND FLOOR:**  
 PRESCHOOLER (1-1): 16  
 STAFF (1-1) 2  
 TODDLER (0-2): 15  
 STAFF (0-2) 3  
 TODDLER (0-3): 15  
 STAFF (0-3) 3

**BASEMENT:**  
 TODDLER (0-1): 10  
 STAFF (0-1) 2  
 TODDLER (0-2): 15  
 STAFF (0-2) 3  
 TODDLER (0-3): 15  
 STAFF (0-3) 3

**TOTALS CHILDREN: 128**  
**TOTALS STAFF: 19**  
**CHILD TOILETS 17**



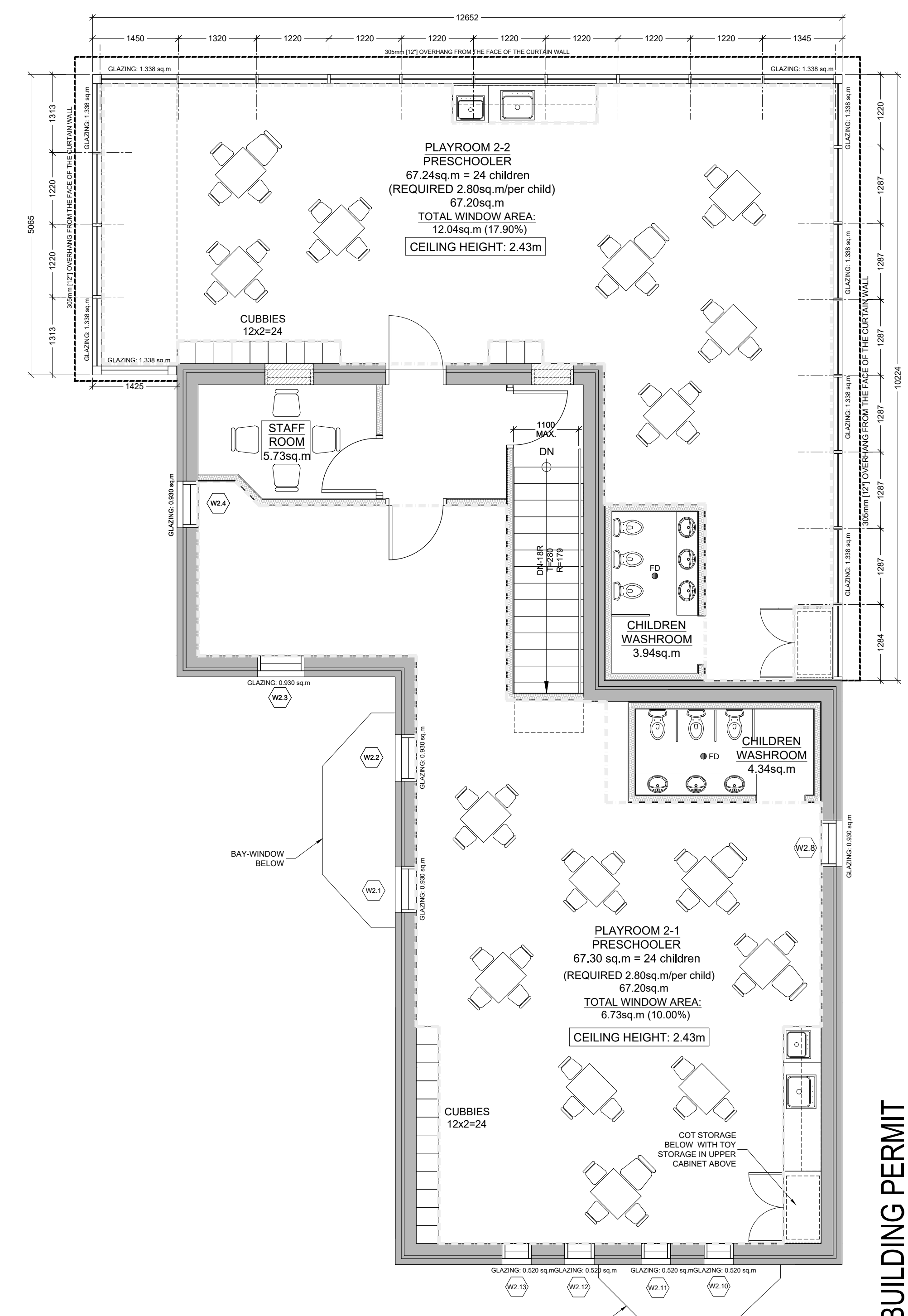
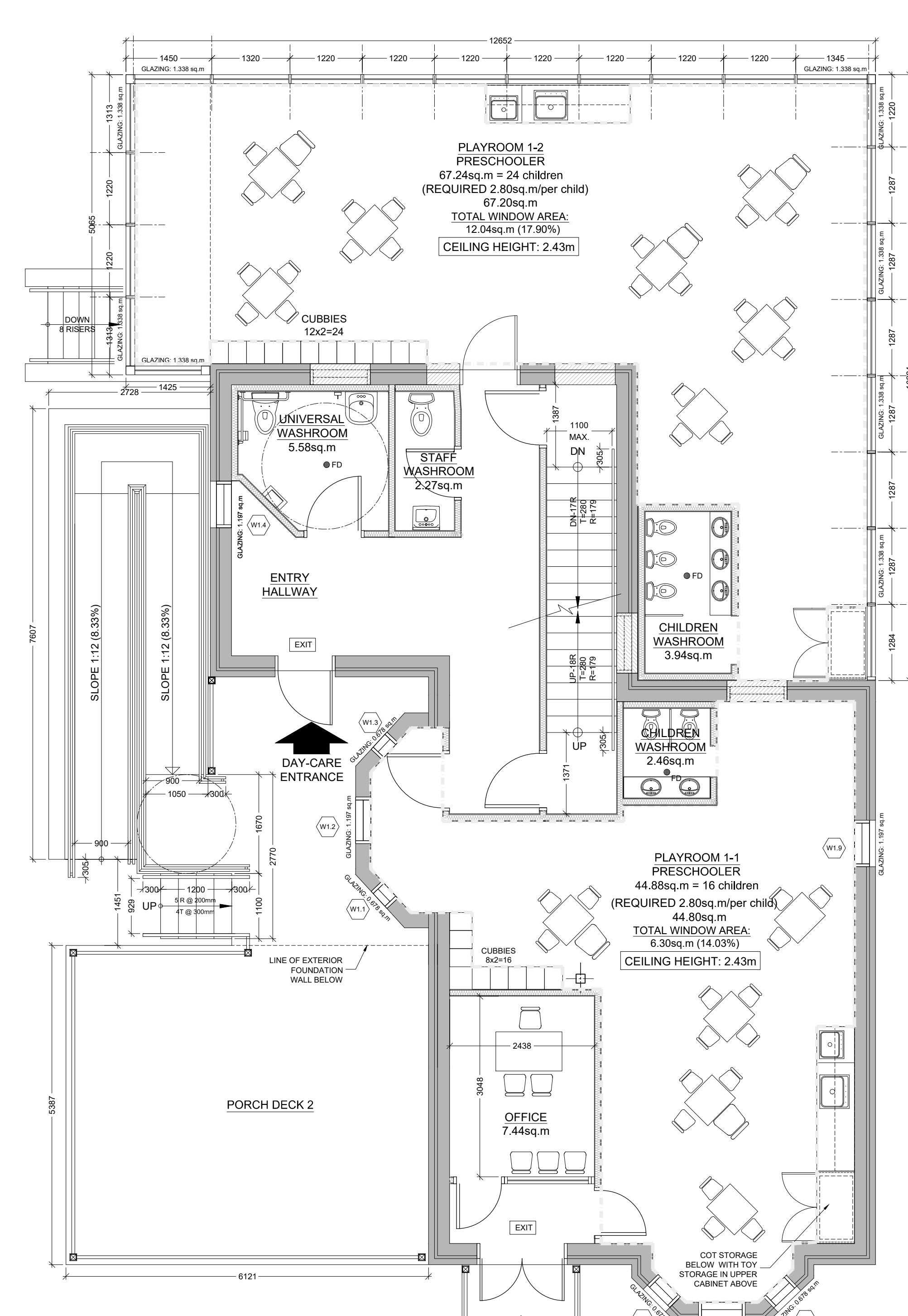
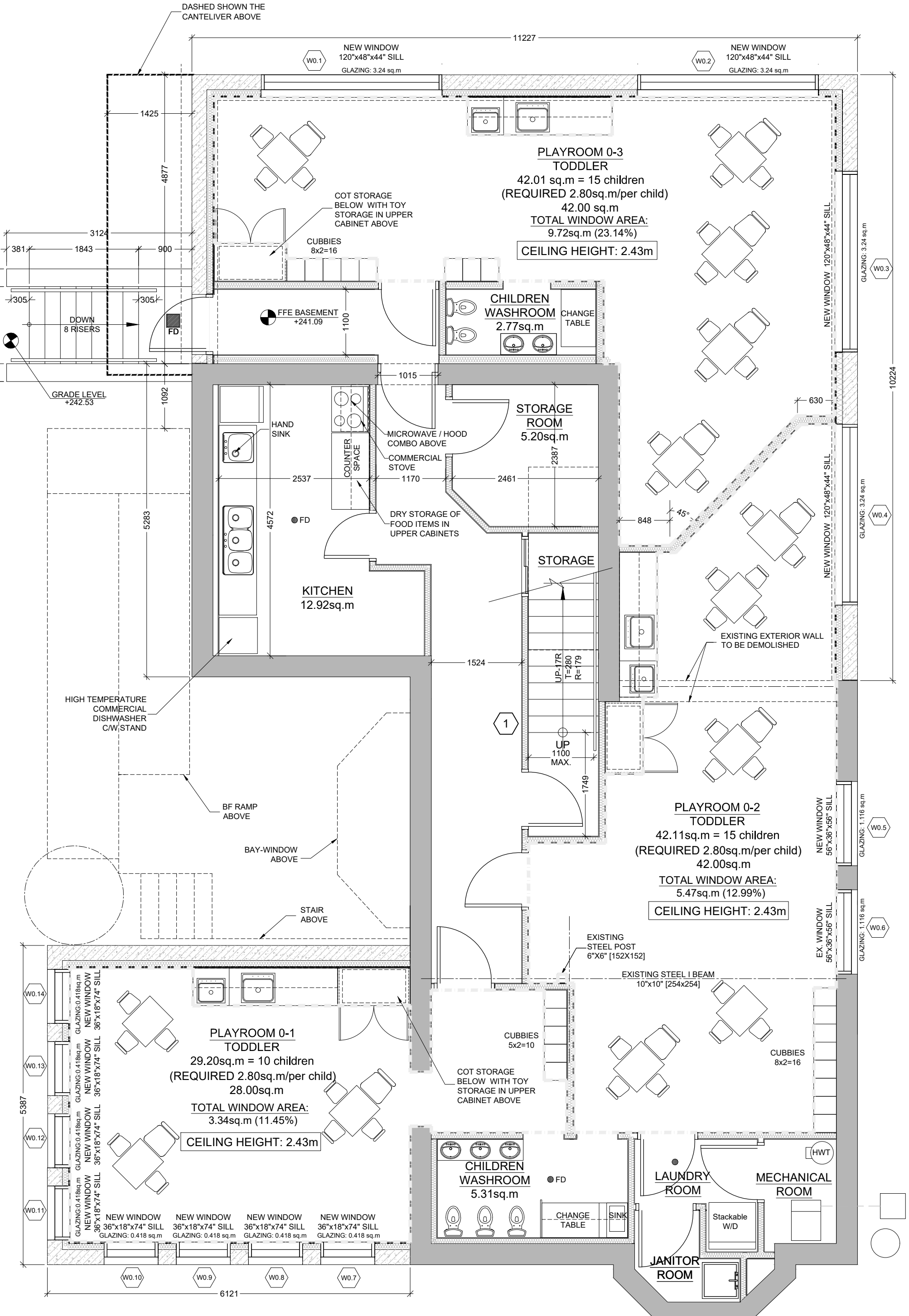
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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_



DATE	NO.	REVISIONS / ISSUES	HT	BY
2024-08-20	18	REVISED PER CLIENT COMMENT ( 5 )	HT	
2024-08-14	17	REVISED PER CLIENT COMMENT ( 4 )	HT	
2024-04-25	16	REVISED PER CLIENT COMMENT ( 3 )	HT	
2024-04-05	15	ISSUED FOR PERLIMINARY PHASE 2	AA	
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT	AA	
2024-03-05	13	ISSUED FOR PERLIMINARY PHASE 2	AA	
2024-02-29	12	ISSUED FOR PERLIMINARY PHASE 2	HT	
2023-12-20	11	REVISED PER CLIENT COMMENT ( 2 )	HT	
2023-10-10	10	UPDATED FOR COORDINATION	HT	
2023-09-13	9	ISSUED PER EXAMINER COMMENTS	HT	
2023-04-26	8	ISSUED FOR CoA ( PRELIMINARY )	HT	
2023-04-24	7	REVISED PER CLIENT COMMENT ( 1 )	HT	
2023-04-21	6	DAYCARE DESIGN 4	HT	
2023-04-04	5	DAYCARE DESIGN 3	HT	
2023-03-22	4	DAYCARE DESIGN 2	HT	
2023-02-24	3	DAYCARE DESIGN 1	HT	
2023-02-03	2	RE-ISSUE TO CLIENT	HT	
2022-12-19	1	ISSUE TO CLIENT	HT	

**AREA**  
 ARCHITECTS RASH ECKLER ASSOCIATES LTD.  
 15 LOLA ROAD  
 TORONTO, ONTARIO, M5E 1P5  
 TEL (416) 696-1969  
 FAX (416) 696-1966

ONTARIO ASSOCIATION  
 ARCHITECTS  
 DAVID W. ECKLER  
 4507

**ISSUED FOR BUILDING PERMIT**

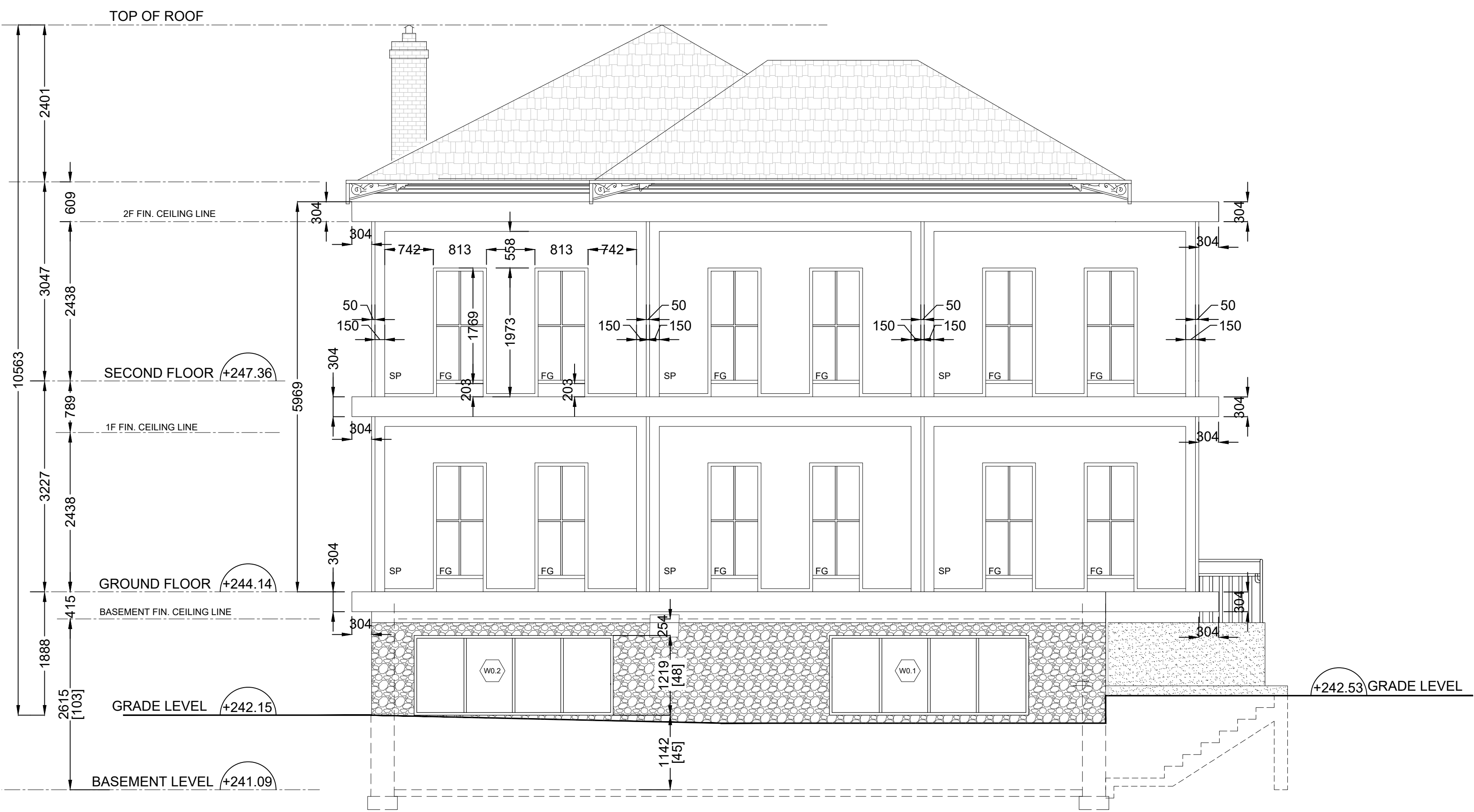
PROJECT TITLE  
 LITTLE SAGES ACADEMY  
 ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE  
 FURNITURE & OCCUPANCY  
 FLOOR PLANS - PHASE 2

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET. NO. 1	PROJECT NORTH DRAWING NO. A1.1b
TOTAL DWG. NO. 3	PROJECT NO. 12-576





1 WEST ELEVATION  
A2-1 SCALE 1:50

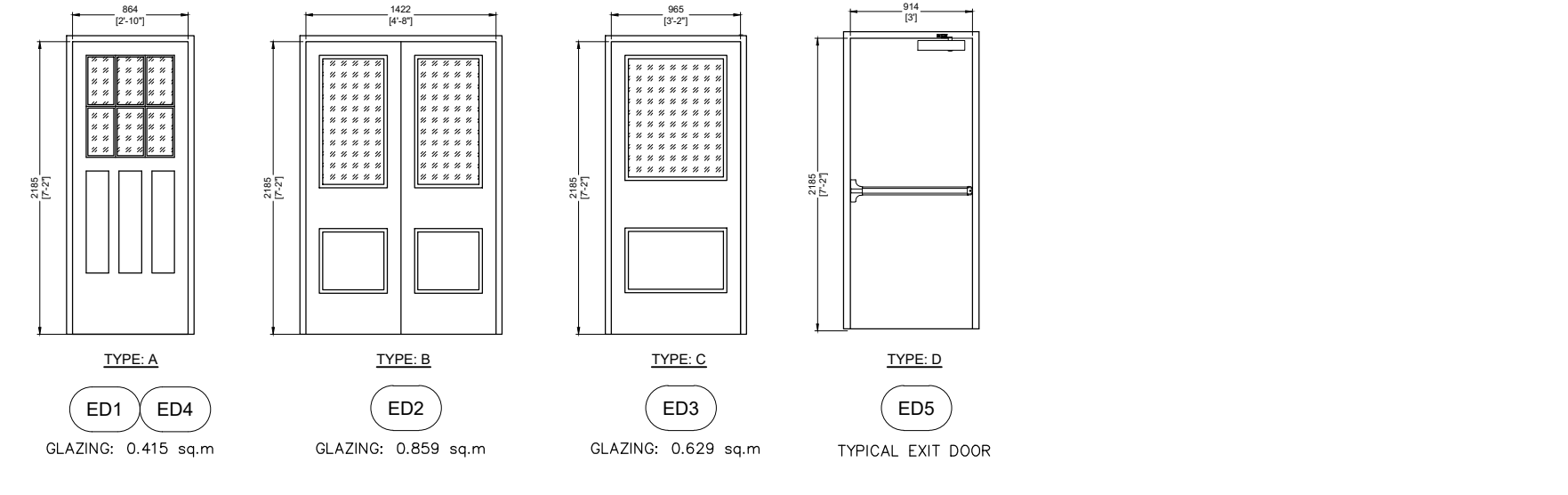


2 SOUTH ELEVATION  
A2-1 SCALE 1:50

EXTERIOR DOOR SCHEDULE

NO	LOCATION	TYPE	DOOR SIZE width x height	DOOR & FRAME FINISH	GLAZING	CONDITION	FIRE RATING	HARDWARE & NOTES
D1	GROUND FLOOR	A	864 x 2185 x 45	WOOD PAINT	N/A	EXIST		WEATHER STRIPPING, SWEEP, BUTT HINGES EXTERIOR DOOR, TO BE REPAIRED & REFINISHED
D2	GROUND FLOOR	B	1422 x 2185 x 45	WOOD PAINT	N/A	EXIST		WEATHER STRIPPING, SWEEP, BUTT HINGES EXTERIOR DOOR, TO BE REPAIRED & REFINISHED
D3	GROUND FLOOR	C	965 x 2185 x 45	WOOD PAINT	N/A	EXIST		WEATHER STRIPPING, SWEEP, BUTT HINGES EXTERIOR DOOR, TO BE REPAIRED & REFINISHED
D4	GROUND FLOOR	A	864 x 2185 x 45	WOOD PAINT	N/A	EXIST		EXISTING DOOR REMAIN LOCKED IN ORDER TO ACCOMMODATE NEW STAIRS, TO BE REPAIRED & REFINISHED IF NEEDED
D5	BASEMENT	D	915 x 2185 x 45	WOOD HOLLOW METAL	N/A	NEW	45min	NEW INSULATED DOOR AND FRAME WITH WEATHERSTRIPPING, CLOSER, LOCKSET AND ALUMINUM THRESHOLD

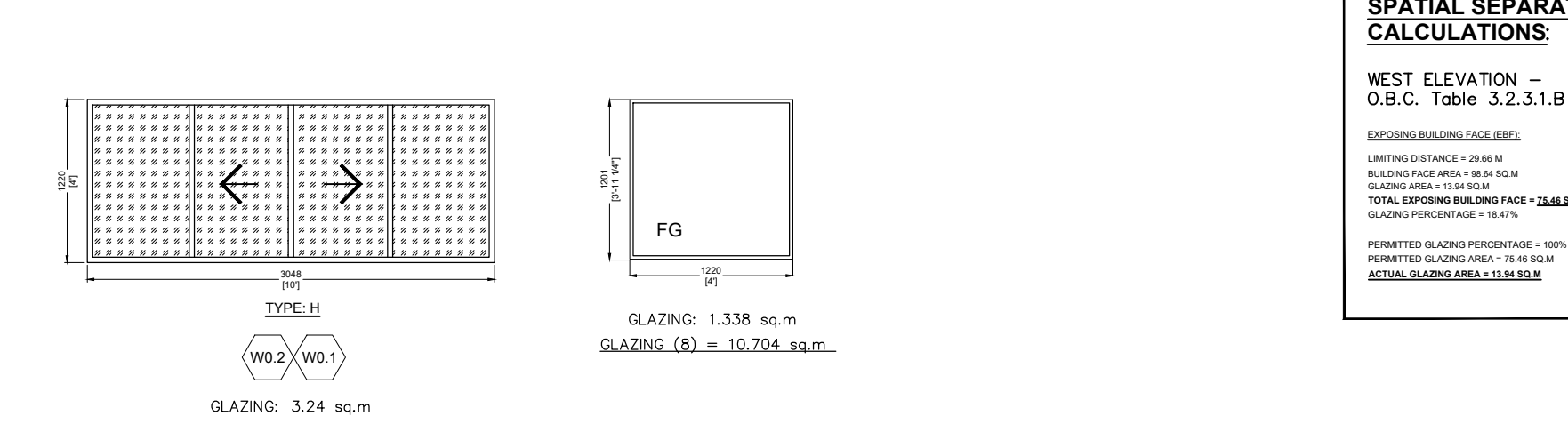
EXTERIOR DOOR TYPE



WINDOW SCHEDULE – WEST ELEVATION

NO	ELEVATION	LOCATION	STOREY	WINDOW SIZE width x height	SILL	MATER.	TYPE	GLAZING	CONDITION	NOTES
W0.1	WEST	BASEMENT		3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	EXIST	REFER TO WINDOW NOTES
W0.2	WEST	BASEMENT		3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	NEW	

WINDOW TYPE – WEST ELEVATION

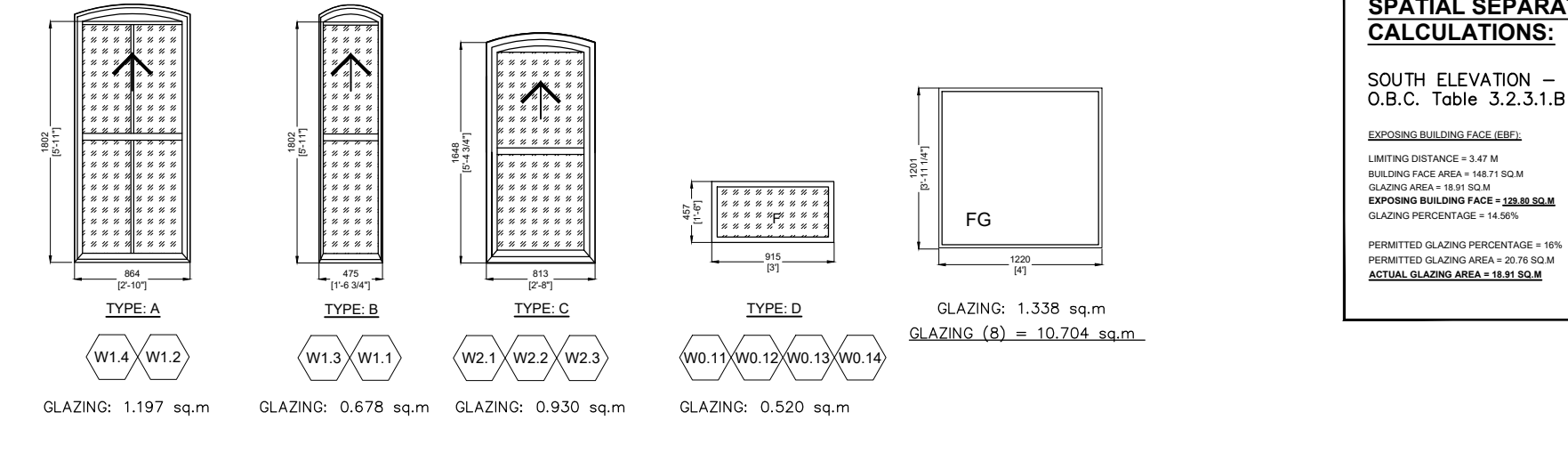


**SPATIAL SEPARATION CALCULATIONS:**  
WEST ELEVATION – O.B.C. Table 3.2.3.1.B  
EXISTING BUILDING FLOOR AREA: 10,704 sq.m  
LIMITING DISTANCE = 20.00 m  
BUILDING FLOOR AREA = 10,704 sq.m  
GLAZING AREA = 10.704 sq.m  
TOTAL EXISTING BUILDING FLOOR AREA = 21,408 sq.m  
GLAZING PERCENTAGE = 50.00%  
PERMITTED GLAZING PERCENTAGE = 50.00%  
PERMITTED GLAZING AREA = 10,704 sq.m  
ACTUAL GLAZING AREA = 10,704 sq.m

WINDOW SCHEDULE – SOUTH ELEVATION

NO	ELEVATION	LOCATION	STOREY	WINDOW SIZE width x height	SILL	MATER.	TYPE	GLAZING	CONDITION	NOTES
W0.11	SOUTH	BASEMENT		915 x 457	1905	VINYL	FIXED	LoE x INSULATED	EXIST	
W0.12	SOUTH	BASEMENT		915 x 457	1905	VINYL	FIXED	LoE x INSULATED	NEW	
W0.13	SOUTH	BASEMENT		915 x 457	1905	VINYL	FIXED	LoE x INSULATED	NEW	
W0.14	SOUTH	BASEMENT		915 x 457	1905	VINYL	FIXED	LoE x INSULATED	NEW	
W1.1	SOUTH	GROUND FLOOR		475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	
W1.2	SOUTH	GROUND FLOOR		864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	
W1.3	SOUTH	GROUND FLOOR		475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	
W1.4	SOUTH	GROUND FLOOR		864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	
W2.1	SOUTH	SECOND FLOOR		813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	
W2.2	SOUTH	SECOND FLOOR		813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	
W2.3	SOUTH	SECOND FLOOR		813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	EXIST	

WINDOW TYPE – SOUTH ELEVATION



**SPATIAL SEPARATION CALCULATIONS:**  
SOUTH ELEVATION – O.B.C. Table 3.2.3.1.B  
EXISTING BUILDING FLOOR AREA: 10,704 sq.m  
LIMITING DISTANCE = 20.00 m  
BUILDING FLOOR AREA = 10,704 sq.m  
GLAZING AREA = 10.704 sq.m  
TOTAL EXISTING BUILDING FLOOR AREA = 21,408 sq.m  
GLAZING PERCENTAGE = 50.00%  
PERMITTED GLAZING PERCENTAGE = 50.00%  
PERMITTED GLAZING AREA = 10,704 sq.m  
ACTUAL GLAZING AREA = 10,704 sq.m

LEGEND

- FG CLEAR FIXED GLASS – VISION GLAZING
- SP GREY (MATCHING STONE) GLASS SPANDREL PANEL
- RED (MATCHING BRICK) METAL CLADDING [SIDEWAYS 'C']
- WHITE METAL CLADDING
- RED (MATCHING BRICK) MULLION CAPS
- BLACK MULLION CAP [AS REVEAL] B/W RED 'C's
- SIMULATED STONE BASE EXPOSED FOUNDATION WALL

WINDOW NOTES:

- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT, ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMBES, HEADER, SILL, CASING, BROCK MOLD) EXHIBITING DEGRADATION, SHALL BE REPAIRED - PIECE REPLACED (OUTCHMAN FILED). AREA OF DEGRADATION TO BE REPAIRED, WHERE UNCERTAIN SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTALLED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND AND RE-PAIN EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOW AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (L.H. HINGES, ETC.).
- ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW/SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW A/C UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (LoE) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMBES, SILL CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN. ALL ACCESSORIES TO BE

DOOR NOTES:

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAIN RE-FINISH EXISTING AND EXHIBITED DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (L.H. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (LoE) SEALED UNITS MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE ARCHITECT'S WRITTEN AUTHORITY.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

DATE	NO	REVISIONS / ISSUES	BY
2024-10-21	6	REVISED PER CLIENT COMMENT	AA
2024-08-14	5	REVISED PER CLIENT COMMENT	HT
2024-04-15	4	ISSUED PER CLIENT COMMENTS	HT
2024-04-05	3	ISSUED FOR PRELIMINARY PHASE 2	AA
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT

**AREA**  
ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL. (416) 696 - 1969  
FAX. (416) 696 - 1966



ISSUED FOR BUILDING PERMIT

PROJECT TITLE  
LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE  
WEST & SOUTH ELEVATIONS

DRAWN BY  
HT

CHECKED BY  
DE

SCALE  
DATE  
OCTOBER 6, 2021

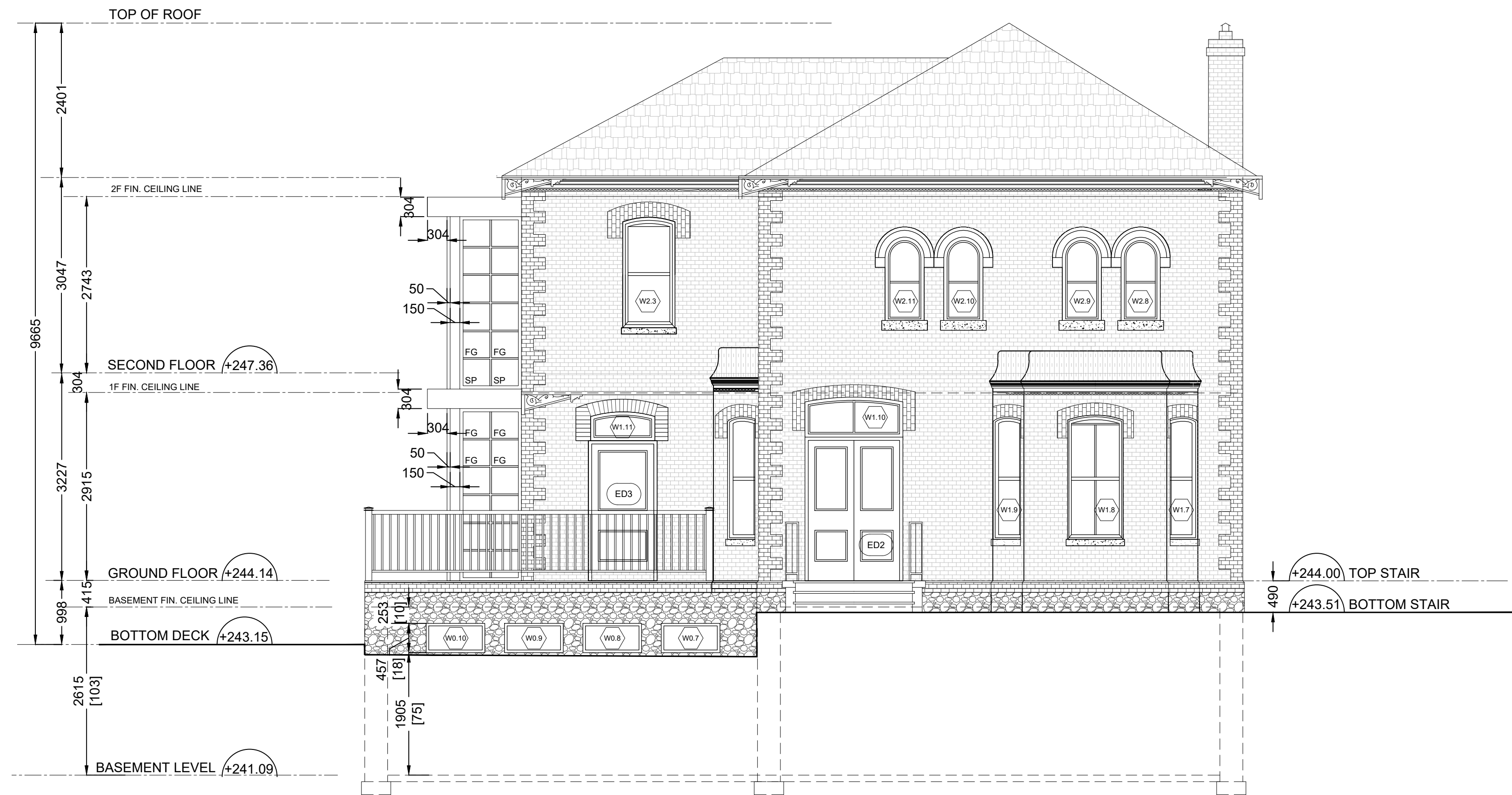
SET NO.  
1

TOTAL DWG. NO.  
2

PROJECT NORTH  
DRAWING NO.  
A2-1

PROJECT NO.  
15-620





1 EAST ELEVATION  
A2-2 SCALE 1:50

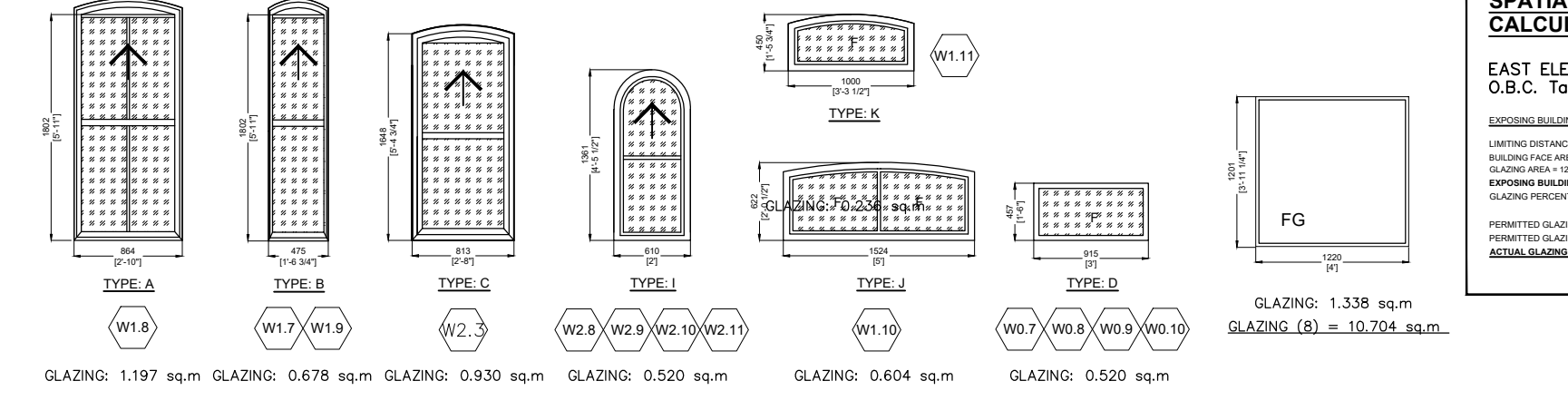


2 NORTH ELEVATION  
A2-2 SCALE 1:50

WINDOW SCHEDULE – EAST ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING		CONDITION		NOTES
	ELEVATION	STOREY					EXIST.	NEW			
W0.7	EAST	BASEMENT	915 x 457	1905	VNYL	FIXED	LtE x INSULATED				
W0.8	EAST	BASEMENT	915 x 457	1905	VNYL	FIXED	LtE x INSULATED				
W0.9	EAST	BASEMENT	915 x 457	1905	VNYL	FIXED	LtE x INSULATED				
W0.10	EAST	BASEMENT	915 x 457	1905	VNYL	FIXED	LtE x INSULATED				
W1.7	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W1.8	EAST	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W1.9	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W1.10	EAST	GROUND FLOOR	622 x 1524	-	WOOD	FIXED	LtE x INSULATED				
W1.11	EAST	GROUND FLOOR	450 x 1000	-	WOOD	FIXED	LtE x INSULATED				
W2.3	EAST	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W2.8	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W2.9	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W2.10	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W2.11	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					

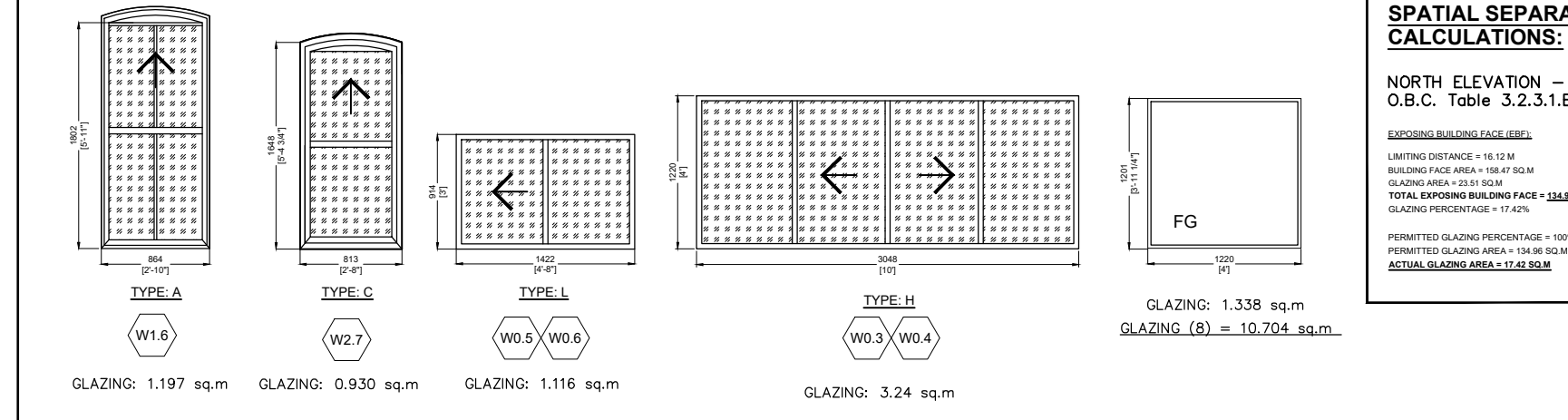
WINDOW TYPE – EAST ELEVATION



WINDOW SCHEDULE – NORTH ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING		CONDITION		NOTES
	ELEVATION	STOREY					EXIST.	NEW			
W0.3	NORTH	BASEMENT	3048 x 1220	1142	VNYL	SLIDE	LtE x INSULATED				
W0.4	NORTH	BASEMENT	3048 x 1220	1142	VNYL	SLIDE	LtE x INSULATED				
W0.5	NORTH	BASEMENT	915 x 1422	1447	VNYL	FIXED	LtE x INSULATED				
W0.6	NORTH	BASEMENT	915 x 1422	1447	VNYL	FIXED	LtE x INSULATED				
W1.6	NORTH	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					
W2.7	NORTH	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNtLE x INSULATED					

WINDOW TYPE – NORTH ELEVATION



LEGEND

- FG CLEAR FIXED GLASS – VISION GLAZING
- SP GREY (MATCHING STONE) GLASS SPANDREL PANEL
- RED (MATCHING BRICK) METAL CLADDING [SIDEWAYS 'C']
- WHITE METAL CLADDING
- RED (MATCHING BRICK) MULLION CAPS
- BLACK MULLION CAP [AS REVEAL] B/W RED 'C'S
- SIMULATED STONE BASE EXPOSED FOUNDATION WALL

WINDOW NOTES:

1. DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
2. WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
3. FOR WINDOWS WITH SASH REPLACEMENT, ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMBS, HEADER, SILL, CASING, BRICK MOLD) EXHIBING DETRIORATION, SHALL BE REPAIRED. PRICE REPAIRED (OUTSMAN) OR FILLED. AREA OF DETRIORATION TO BE REPAIRED, WHERE UNCERTAIN, SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
4. IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTATED TO ITS PREVIOUS STATE.
5. REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
6. REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
7. SCRAPE, SAND AND RE-PANT EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
8. CONICAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (i.e. HINGES, ETC.).
9. ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
10. EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW/SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW A/C UNITS TO BE REMOVED.
11. GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (3) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
12. EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
13. WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, HINGES, SASH, SILL, ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
14. WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

DOOR NOTES:

1. NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
2. DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
3. DOOR REPLACEMENT AND ANY ASSOCIATED FRAME, REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
4. SCRAPE, SAND, REPAIR AND RE-PANT/FINISH EXISTING AND RELOCATED DOORS AND THEIR COMPONENTS. NEW DOORS & INSTALLATION AND ADJACENT FINISHES MADE GOOD.
5. CONICAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.).
6. GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (3) SEALED UNITS MUNTIN BARS TO BE REPLACED AS PER EXISTING WITH NEW SIMULATED DIVIDERS.
7. GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE REPT IF CONDITION ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
8. PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

2024-10-31	6	REVISED PER HERITAGE STAFF COMMENT	AA
2024-08-14	5	REVISED PER CLIENT COMMENT	HT
2024-04-15	4	ISSUED PER CLIENT COMMENTS	HT
2024-04-05	3	ISSUED FOR PRELIMINARY PHASE 2	AA
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT
DATE	NO.	REVISIONS / ISSUES	BY

**AREA**  
ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
TEL. (416) 696 - 1969  
FAX. (416) 696 - 1966

ONTARIO ASSOCIATION  
OF ARCHITECTS  
REGISTERED ARCHITECT  
4507

PROJECT TITLE  
LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE  
10254 Hurontario Street, Brampton, ON L7A 0E4  
DRAWING TITLE

EAST & NORTH ELEVATIONS

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET. NO. 1	PROJECT NORTH DRAWING NO. A2-2
TOTAL DWG. NO. 2	PROJECT NO. 15-620

ISSUED FOR BUILDING PERMIT



1 WEST ELEVATION  
A2-1 SCALE 1:50



2 SOUTH ELEVATION  
A2-1 SCALE 1:50

### EXTERIOR DOOR SCHEDULE

NO	LOCATION	TYPE	DOOR SIZE width x height	DOOR FRAME	DOOR & FRAME FINISH	GLAZING	CONDITION	FIRE RATING	HARDWARE & NOTES
D1	GROUND FLOOR	A	864 x 2185	45 WOOD	PAINT	N/A	EXIST		WEATHER STRIPPING, SWEEP, BUTT HINGES, EXTERIOR DOOR, TO BE REPAIRED & REFINISHED
D2	GROUND FLOOR	B	1422 x 2185	45 WOOD	PAINT	N/A	EXIST		WEATHER STRIPPING, SWEEP, BUTT HINGES, EXTERIOR DOOR, TO BE REPAIRED & REFINISHED
D3	GROUND FLOOR	C	965 x 2185	45 WOOD	PAINT	N/A	EXIST		WEATHER STRIPPING, SWEEP, BUTT HINGES, EXTERIOR DOOR, TO BE REPAIRED & REFINISHED
D4	GROUND FLOOR	A	864 x 2185	45 WOOD	PAINT	N/A	EXIST		EXISTING DOOR REMAIN LOCKED IN ORDER TO ACCOMMODATE A NEW STAIR, TO BE REPAIRED & REFINISHED IF NEEDED
D5	BASEMENT	D	915 x 2185	45 WOOD	HOLLOW METAL	N/A	NEW	45min	NEW INSULATED DOOR AND FRAME WITH WEATHERSTRIPPING, CLOSER, LOCKSET AND ALUMINUM THRESHOLD

### EXTERIOR DOOR TYPE

### WINDOW SCHEDULE – WEST ELEVATION

NO	LOCATION	WINDOW SIZE width x height	SILL	MATER.	TYPE	GLAZING	CONDITION	NOTES
W0.1	WEST	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	NEW	REFER TO WINDOW NOTES
W0.2	WEST	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	NEW	

### WINDOW TYPE – WEST ELEVATION

#### SPATIAL SEPARATION CALCULATIONS

WEST ELEVATION – O.B.C. Table 3.2.3.1.B

LIMITED DETAIL: 0.0000  
 BALCONY FLOOR AREA: 0.0000  
 EXPOSED BALCONY FLOOR AREA: 0.0000  
 TOTAL EXPOSED BALCONY FLOOR AREA: 0.0000  
 GLAZING PERCENTAGE: 100.00%

PRINTED GLAZING PERCENTAGE: 100%  
 PRINTED GLAZING AREA: 1.338000  
 ACTUAL GLAZING AREA: 1.338000

### WINDOW SCHEDULE – SOUTH ELEVATION

NO	LOCATION	WINDOW SIZE width x height	SILL	MATER.	TYPE	GLAZING	CONDITION	NOTES
W0.11	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	EXIST	
W0.12	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	EXIST	
W0.13	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	EXIST	
W0.14	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	EXIST	
W1.1	SOUTH	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	
W1.2	SOUTH	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	
W1.3	SOUTH	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	
W1.4	SOUTH	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	
W2.1	SOUTH	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	
W2.2	SOUTH	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	
W2.3	SOUTH	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	NEW	

### WINDOW TYPE – SOUTH ELEVATION

#### SPATIAL SEPARATION CALCULATIONS

SOUTH ELEVATION – O.B.C. Table 3.2.3.1.B

LIMITED DETAIL: 0.0000  
 BALCONY FLOOR AREA: 0.0000  
 EXPOSED BALCONY FLOOR AREA: 0.0000  
 TOTAL EXPOSED BALCONY FLOOR AREA: 0.0000  
 GLAZING PERCENTAGE: 100.00%

PRINTED GLAZING PERCENTAGE: 100%  
 PRINTED GLAZING AREA: 1.197000  
 ACTUAL GLAZING AREA: 1.197000

### LEGEND

- FG: CLEAR FIXED GLASS – VISION GLAZING
- SP: GREY (MATCHING STONE) GLASS SPANDREL PANEL
- RED (MATCHING BRICK) METAL CLADDING [SIDEWAYS 'C']
- WHITE METAL CLADDING
- RED (MATCHING BRICK) MULLION CAPS
- BLACK MULLION CAP [AS REVEAL] B/W RED 'C's
- Simulated Stone Base
- Exposed Foundation Wall

### WINDOW NOTES:

- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT, HEADER, SILL, CASING, BRICK MOLD EXHIBITING DETRIORATION, SHALL BE REPAIRED. PIECE REPLACED (DUTCHMAN) OR FILLED. AREA OF DETRIORATION SHALL BE REPAIRED. WHERE UNCERTAIN, SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERFERED FOR WINDOW SILL MAY BE RETAINED AS IS.
- IF EXTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTALLED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE EXISTING WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. EXISTING RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND, AND RE-PAIN EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (H. HINGES, ETC.).
- ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REPAIRED AND DISPOSED. EXISTING WOOD STORM WINDOW/SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW A/C UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE, INSULATED (I-C) SEALED UNITS MOUNTING BASES TO BE REPLICATED WITH NEW SIMULATED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE PROPOSAL.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMBES, SHIMS, CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.

### DOOR NOTES:

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME. REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAIN PRE-FINISH EXISTING AND RELOCATED DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE, INSULATED (I-C) SEALED UNITS MOUNTING BASES TO BE REPLICATED AS PER EXISTING WITH NEW SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWS IT; DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

DATE	NO.	REVISIONS / ISSUES	BY
2024-10-31	7	REVISED PER HERITAGE STAFF COMMENT	AA
2024-10-21	6	REVISED PER CLIENT COMMENT	AA
2024-08-14	5	REVISED PER CLIENT COMMENT	HT
2024-04-15	4	ISSUED PER CLIENT COMMENTS	HT
2024-04-05	3	ISSUED FOR PRELIMINARY PHASE 2	AA
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT

**AREA**  
 ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
 15 LOLA ROAD  
 TORONTO, ONTARIO, M5E 1P5  
 TEL. (416) 696-1969  
 FAX. (416) 696-1966



PROJECT TITLE  
 LITTLE SAGES ACADEMY  
 ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE  
 WEST & SOUTH ELEVATIONS  
 RENDERED

ISSUED FOR BUILDING PERMIT

DRAWN BY: HT  
 CHECKED BY: DE  
 SET NO.: 1  
 TOTAL DWG. NO.: 2

SCALE: DATE: OCTOBER 6, 2021

PROJECT NORTH  
 DRAWING NO.: A2-1  
 PROJECT NO.: 15-620

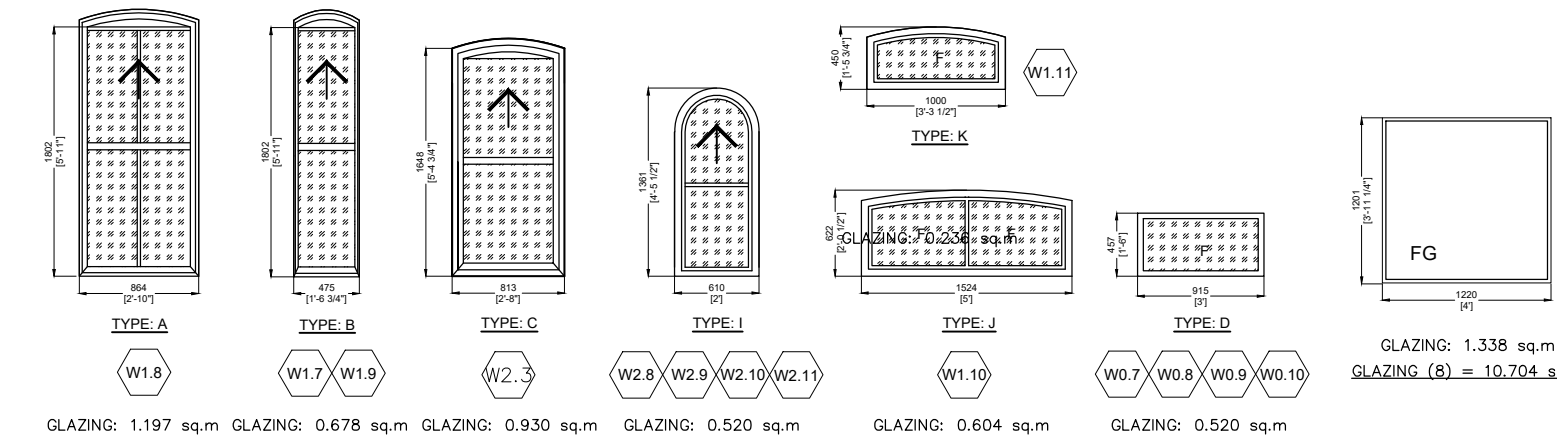


1 EAST ELEVATION  
A2-2 SCALE 1:50

WINDOW SCHEDULE – EAST ELEVATION

NO	LOCATION	WINDOW SIZE	SILL	MATER	TYPE	GLAZING	CONDITION	NOTES
ELEVATION	STOREY	width x height					EXIST. NEW	REFER TO WINDOW NOTES
W0.7	EAST BASEMENT	915 x 457	1905	VNVL	FIXED	L6E x INSULATED		
W0.8	EAST BASEMENT	915 x 457	1905	VNVL	FIXED	L6E x INSULATED		
W0.9	EAST BASEMENT	915 x 457	1905	VNVL	FIXED	L6E x INSULATED		
W0.10	EAST BASEMENT	915 x 457	1905	VNVL	FIXED	L6E x INSULATED		
W1.7	EAST GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W1.8	EAST GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W1.9	EAST GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W1.10	EAST GROUND FLOOR	622 x 1524	-	WOOD	FIXED	L6E x INSULATED		
W1.11	EAST GROUND FLOOR	450 x 1000	-	WOOD	FIXED	L6E x INSULATED		
W2.3	EAST SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W2.8	EAST SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W2.9	EAST SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W2.10	EAST SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W2.11	EAST SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			

WINDOW TYPE – EAST ELEVATION



SPATIAL SEPARATION CALCULATIONS:

EAST ELEVATION –  
O.B.C. Table 3.2.3.1.B

GLAZING PERCENTAGE = 15.72%

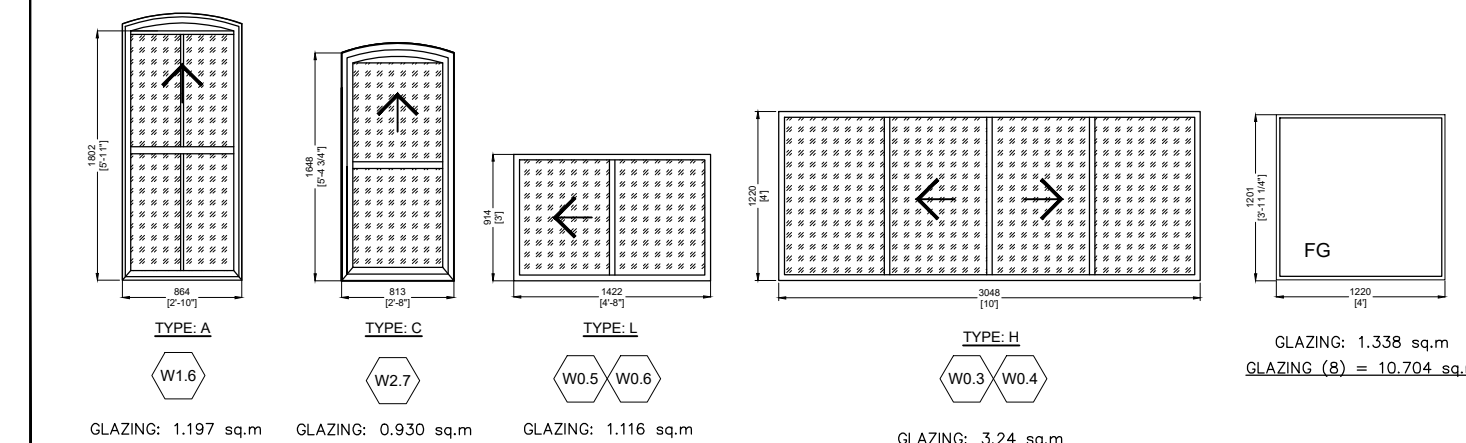
PERMITTED GLAZING PERCENTAGE = 10%

PERMITTED GLAZING AREA = 10.704 sq.m.

WINDOW SCHEDULE – NORTH ELEVATION

NO	LOCATION	WINDOW SIZE	SILL	MATER	TYPE	GLAZING	CONDITION	NOTES
ELEVATION	STOREY	width x height					EXIST. NEW	REFER TO WINDOW NOTES
W0.3	NORTH BASEMENT	1348 x 1201	1142	VNVL	SLIDE	L6E x INSULATED		
W0.4	NORTH BASEMENT	3048 x 1201	1142	VNVL	SLIDE	L6E x INSULATED		
W0.5	NORTH BASEMENT	915 x 1422	1447	VNVL	FIXED	L6E x INSULATED		
W0.6	NORTH BASEMENT	915 x 1422	1447	VNVL	FIXED	L6E x INSULATED		
W1.6	NORTH GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			
W2.7	NORTH SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNITLE x INSULATED			

WINDOW TYPE – NORTH ELEVATION



SPATIAL SEPARATION CALCULATIONS:

NORTH ELEVATION –  
O.B.C. Table 3.2.3.1.B

GLAZING PERCENTAGE = 15.72%

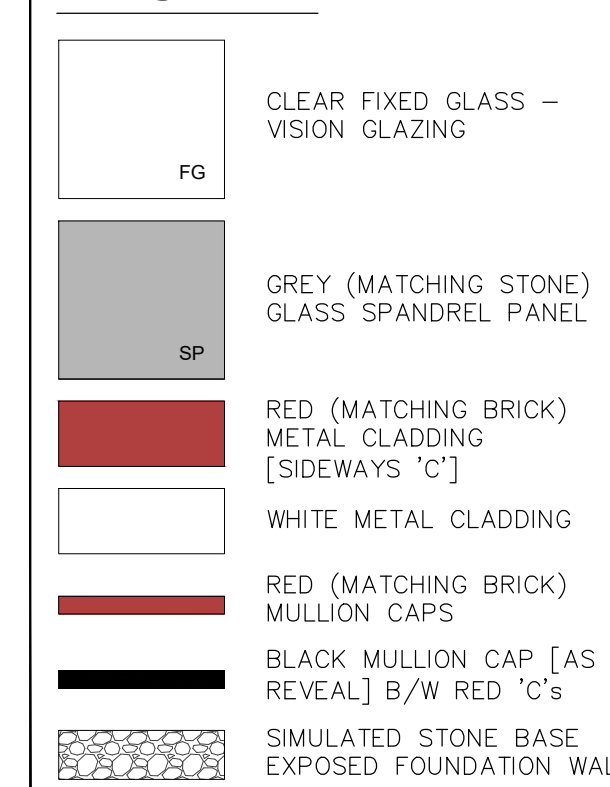
PERMITTED GLAZING PERCENTAGE = 10%

PERMITTED GLAZING AREA = 10.704 sq.m.



2 NORTH ELEVATION  
A2-2 SCALE 1:50

LEGEND



WINDOW NOTES:

- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT, ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMB, HEADER, SILL, CASING, BRICK MOLD) EXHIBITING DETRIORATION, SHALL BE REPAIRED. PIECE REPLACED (OUTSWAN) OR FILLED. AREA OF DETRIORATION, SHALL BE REPAIRED. WHEN UNCERTAIN, SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTALLED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE EXISTING WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING AND EXISTING RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE SAND AND RE-PAIN EXISTING AND REPAIR WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION. PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (i.e. HINGES, ETC.).
- ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW A.P.C. UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE, INSULATED (IG) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMB, SILL, CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

DOOR NOTES:

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME. REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE SAND, REPAIR AND RE-PAIN/RE-FINISH EXISTING AND RELOCATED DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (i.e. HINGES, ETC.).
- GLAZING IF ANY, IN ALL NEW DOORS TO BE DOUBLE, INSULATED (IG) SEALED UNITS MUNTIN BARS TO BE REPLACED AS FOR EXISTING WITH NEW SIMULATED DIVIDERS.
- GLAZING IF ANY, IN EXISTING EXTERIOR DOORS TO BE "LEFT IF CONDITION ALLOWS IT; DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

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SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

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2024-04-05	3	ISSUED FOR PRELIMINARY PHASE 2	AA
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT

**AREA**  
ARCHITECTS RASCH ECKLER ASSOCIATES LTD.  
15 LOLA ROAD  
TORONTO, ONTARIO, M5E 1P5  
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FAX. (416) 696 - 1966



PROJECT TITLE  
LITTLE SAGES ACADEMY  
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4  
DRAWING TITLE

EAST & NORTH ELEVATIONS  
RENDERED

DRAWN BY	SCALE	
HT		
CHECKED BY	DATE	
DE	OCTOBER 6, 2021	
SET. NO.	PROJECT NORTH	DRAWING NO.
1		A2-2
TOTAL DWG. NO.	PROJECT NO.	DRAWING NO.
2	4507	15-620

ISSUED FOR BUILDING PERMIT

# Heritage Permit Kit

for Properties Designated under Part IV  
of the Ontario Heritage Act

Heritage Attributes  
Masonry  
Character  
Designated  
Natural  
Historical  
Details  
Heritage  
Restoration  
Architectural Contextual  
Landscaping  
Alteration



**BRAMPTON**  
Flower City

Planning, Design and Development  
Heritage

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## **PART ONE - PROPERTY OWNER'S GUIDE:**

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### **Why Is A Heritage Permit Required?**

Heritage designation puts in place a simple and quick mechanism, through the heritage permit process, to encourage preservation properties designated under Part IV of the Ontario Heritage Act (section 29).

The heritage permit process is designed to ensure that the “heritage attributes”, as described in the designation by-law, are not obscured, damaged or destroyed unnecessarily by alterations and other forms of intervention. Heritage attributes are the elements that lend a property its cultural heritage value.

Any work likely to result in the loss, damage, alteration or removal of one or more heritage attributes requires written approval from City Council before the work can begin. This rule applies mostly to major exterior renovations, additions and other works subject to a building permit or demolition permit.

The heritage permit process was not designed to prevent alterations to heritage buildings. Its purpose is to guide alterations in a reasonable and balanced manner - never losing sight of the pragmatic considerations that often trigger the call for change in the first place.

The heritage permit process is also not intended to prevent the introduction of modern conveniences such as central air conditioning, wheel chair ramps, new windows, swimming pools, satellite dishes, garages, parking spaces, and modern interior design treatments. Again, the permit process is, in most cases, simply used to guide such changes so that the new feature or replacement feature does not diminish the heritage value of the property.

*“The process is generally not about “if” such changes can be made to a property - it's about “how” or “how best” within the budget constraints and objectives of the property owner - factoring in the significance of the heritage attributes that might be impacted.”*

It should be stressed that in most instances, the heritage permit process is surprisingly routine.

### **Legal Basis for Heritage Permit - Ontario Heritage Act**

To maintain consistency with provincial legislation and Brampton's new Official Plan, extending the heritage permit process Citywide, is recommended.

**Section 33** of the Ontario Heritage Act states that Council must provide its 'consent in writing' before any alterations can proceed that are likely to affect heritage attributes on properties designated under Part IV of the Act. The wording in the Act is as follows:

*“No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes... unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration.”*

---

**Section 42** of the Ontario Heritage Act applies to properties designated under Part V of the Heritage Act (districts). It states:

*“The owner of property situated in a designated heritage conservation district may apply to the municipality for a permit to alter any part of the property other than the interior of a building or structure on the property or to erect, demolish or remove a building or structure on the property. 2005, c. 6, s. 32 (1).”*

Most municipalities have adopted a heritage permit system to manage the review and approval process as prescribed under sections 33 and 42 of the Ontario Heritage Act.

Despite the fact that section 33 of the Heritage Act only refers to “consent in writing” from Council, and does not specifically refer to a ‘permit’, it is industry practice to seek Council’s consent in writing, as the act requires, and to call that consent a ‘permit’.

### **What Are Heritage Attributes?**

In general terms heritage attributes are the materials, details, forms, spatial configurations, uses, historical and cultural associations and character defining elements that collectively contribute to the cultural heritage value of the designated property.

A heritage designation by-law identifies and describes these heritage attributes so that everyone knows what features should be given special consideration when an alteration is proposed.

In specific terms, these attributes can be architectural, contextual, natural and/or historical. The heritage permit focuses on the architectural and contextual elements:

**Architectural heritage attributes often include:** windows, chimneys, verandahs, porches, doors, exterior cladding materials, decorative millwork and detailing, shutters, trim, stonework and any other structural features that are obviously old or original to the building.

**Contextual and natural heritage attributes can also be significant** - particularly with regard to the designation of streetscapes, farms, cemeteries and districts. They include: visual and aesthetic qualities, historical landscaping features, mature trees and hedgerows, fences, laneways, vistas, barns and other features found on the property.

**Historical heritage attributes** relate to past ownership, history, events and associations with broader themes and subjects.

Rarity, age, landmark status, construction methods, symbolic value and other factors are also taken into consideration, depending on the type of property being designated.

### **When Is A Heritage Permit Required?**

In the most general sense, as outlined in the Heritage Act, a heritage permit is required prior to any alteration likely to result in the loss, removal, obstruction, replacement, damage or destruction of one or more heritage attributes on a property designated under Part IV of the Ontario Heritage Act.

As a rule of thumb, a heritage permit is always required for any large-scale exterior renovations and additions; essentially any works that would also require a building permit, demolition permit or other formal approvals by the City, conservation authorities and/or other agencies and other levels of government.

A heritage permit may also be required for some smaller scale projects (*e.g. replacing a front door, removing a verandah railing, etc*), if that project would impact existing heritage attributes and features as found.

The heritage permit process applies to the entire property and all exterior elevations - not just to the front facade.

Whether a heritage permit is required or not, you must still comply with the requirements of the Zoning By-law and Building Code.

Heritage permits should always be secured before seeking any other approvals, such as minor variances from the Committee of Adjustment, approvals from conservation authorities, site plan approvals and so on.

### **Typical Projects That Do Require A Heritage Permit:**

**New Construction:** such as new additions, introducing new exterior architectural detailing and finishes, along with new garages, fences, barns, outbuildings, porches, verandahs, steps and decks;

**Major Structural Alterations and Rehabilitation Projects:** such as replacement, removal and changes to existing porches, verandahs, windows and window openings, doors and door openings, chimneys, awnings, existing millwork, decorative elements, detailing and finishes, foundations, barns, outbuildings and the like;

**Major Changes to Exterior Walls and Cladding** such as introduction or removal of metal soffits, fascia, vinyl siding, stucco finishes; painting previously unpainted masonry walls or removing paint from painted masonry walls; repointing masonry, replacing bricks, repairing or replacing stone finishes, parging foundation (is there another way to describe this that average people would recognize) walls, removing key wall features such as lintels, sills, parapets, chimneys, quoins, voussoirs (these two terms too), removing insulbrick, and the like;

**Major Landscaping:** such as removal of mature trees, removal or significant alterations to period gardens and hedgerows, installation of new landscaping plans, patios, paths and laneways, altering or removing original or vintage pergolas, fences, garages, outbuildings and the like;

**New Signage;**



**Historical Restoration Projects:** such as restoration or replication of original or vintage period elements including verandahs, millwork, finishes and the like;

**Any Other Larger Scale Exterior Alterations or Structural Repairs** that are likely to affect existing heritage attributes anywhere on the property.

**Typical Projects That Do Not Require A Heritage Permit:**

If works are not likely to affect existing designated heritage attributes, a heritage permit is not required. If in doubt, contact the City for confirmation.

A property owner does not require a heritage permit for regular or routine maintenance and other day-to-day activities or functions required to use, maintain and enjoy a property.

Routine care, maintenance and minor repairs do not require a heritage permit.

Examples of such work include:

- Minor repairs to windows, doors, eaves troughs, fences, foundations, roofing, railings, steps, chimneys, etc;
- Weather-stripping, insulating, etc;
- Interior work such as plumbing and electrical upgrades, interior painting, interior renovations and other works, provided interior spaces, detailing and finishes and are not included in the scope of heritage designation; (other City permits may be required however).
- New roof shingles;
- All forms of exterior painting (suitable heritage colour schemes are encouraged but are not required);
- Construction of backyard patios, tool sheds, other small outbuildings if they are to be located at the rear of the property and/or if not readily visible from the street or other public areas;
- Gardening and minor landscaping;

**How Long Does the Permit Review Process Take?:**

The Ontario Heritage Act is very specific on this point. Once a complete permit application is received, the City is to *“cause a notice of receipt to be served on the applicant”*.

Council must then make its decision regarding the merits of an application within 90 days. If mutually agreed upon, an extension can be granted.

If the applicant does not hear back after the 90-day period expires the council shall be deemed to have consented to the application. Although the standard procedure would be for the City to notify the applicant of Council's decision.

**Role of the Property Owner / Applicant:**

The property owner must evaluate the proposed scope of work and determine if that work is likely to affect the heritage attributes as designated. If in doubt, they should contact the City Heritage Coordinator for confirmation.

If a heritage permit is required, the applicant should work with the Heritage Coordinator. Together they can review the heritage considerations and fill out the application form.

When ready, the applicant must submit the completed heritage permit application form, along with any supporting information as required, to the Heritage Coordinator.

Applicants and/or their agents are encouraged to come before the Heritage Board as a delegation to briefly outline the scope of their heritage permit application and to answer questions. Arrangements can be made with the Heritage Coordinator.

**Role of the Heritage Coordinator:**

Heritage permit applications are available from the Heritage Coordinator the Planning Design and Development Department (3rd Floor, City Hall).

The completed application form, along with the required plans, is to be submitted to the Heritage Coordinator. The Heritage Coordinator will review the application and provide comments and recommendations.

Prior to submitting a Heritage permit application, applicants are encouraged to discuss their proposal with the Heritage Coordinator.

The Heritage Coordinator will assist the property owner at every step of the way with application process.

The Heritage Coordinator will also circulate the application to other departments as required for review and comment.

Finally, the Heritage Coordinator will take the heritage permit application to the Brampton Heritage Board for review and endorsement.

**Role of the Brampton Heritage Board:**

The Brampton Heritage Board (BHB) reviews all heritage permit applications. The Board makes recommendations: to approve, approve with terms and conditions or to refuse. These recommendations are then submitted to the Planning Design and Development Committee (PDD) and then City Council.

The BHB comments and recommendations are forwarded to PDD and City Council - either through a motion in the minutes or in a follow-up staff report.

**Role of Planning, Design and Development Committee and City Council:**

The Planning Design and Development Committee (PDD) and City Council will consider the permit application on its merits factoring in the comments and recommendations of staff and the Brampton Heritage Board.

**PDD Committee and City Council will then:**

- (1) Approve the permit without conditions;
- (2) Approve the permit with certain terms and conditions;
- (3) Refuse the permit.

Assuming City Council approves the permit, the City Clerk's Department issues correspondence and the heritage permit is then prepared by the Heritage Coordinator and mailed to the applicant. A copy of the permit is circulated to the Building Division.

**Role of Conservation Review Board - Appeals:**

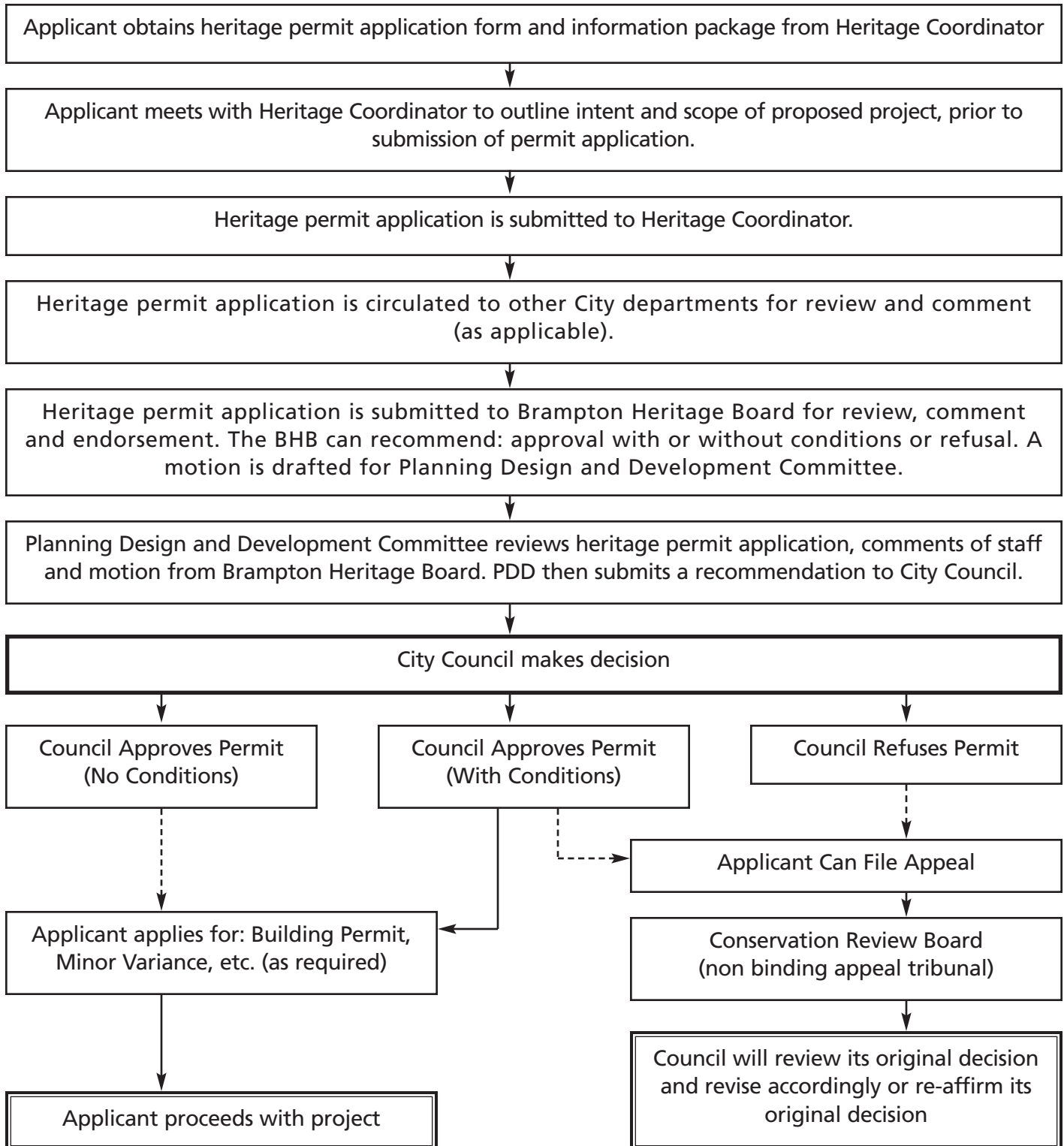
All applicants have the right to appeal if in a heritage permit application is refused by City Council or if the applicant does not support any terms and conditions. It is rare for City Council to refuse a heritage permit application.

The permit applicant always has the right to appeal. Applicants can apply to Council for a hearing before the Conservation Review Board (CRB). The Council will refer the matter to the Board. A hearing will be held and the Board will prepare a report for Council. Council will review the Board report and will either reaffirm its original decision or revise it accordingly. Council's decision is final.

The Conservation Review Board (CRB) was established in 1975 with the passage of the Ontario Heritage Act, as a Schedule I Agency whose mandate is to conduct hearings and make non-binding recommendations dealing with objections under Parts IV of the Ontario Heritage Act.

# HERITAGE PERMIT APPLICATIONS

## PART IV DESIGNATIONS - PROCESS FLOW



## **Supporting Documentation:**

In order to describe the intent and scope of a proposed project certain documents and supporting materials should be included with a heritage permit application. Applicants may be required to submit some or all of the following supporting documentation:

**Drawings / Plans** should be folded to 8.5" x 11" paper size, if possible, and should be measured in metric scale.

**Photographs** – May be colour or black and white and labelled. A general view of the street showing the building and adjacent properties (streetscape), as well as a frontal view of the existing building and a photograph of each elevation are recommended.

**Registered Survey** should be up to date with no construction since time of survey. The survey should be a copy of the original survey that has been prepared by an Ontario Land Surveyor. All existing easements and right-of-ways should be shown.

**Site Plans** – Showing existing and proposed structure(s)/addition(s) on the lot, setbacks from front, rear and side lot lines, demolition of existing site features, and location of proposed site features such as parking spaces, driveways, walls, gates, fences, trees, hydro poles, retaining walls, fire hydrants, and accessory buildings.

**Floor Plans** – Depicting the arrangement of interior spaces, including the existing and proposed location of walls, windows and doors. All rooms should be labelled as to use, with dimensions on each floor plan in metric scale.

**Building Elevations** – Showing all elevations of the proposed addition/alteration. Suggested details to include consist of: building height, existing/proposed grade, finished floor elevations, window and door openings, roof slopes, building materials, location and type of outdoor lighting fixtures, railings, design/location of signage, down spouts, porches, landings, stairs and balconies.

**Outline Material Specifications** – Samples, brochures, etc. of all exterior materials, finishes and colours will assist the Committee, Board and City staff in making their recommendations.

**Summary of Supporting Documents Required According to Type of Project:**

In some cases a few photographs may be sufficient to support a permit application.

If a larger project is proposed, more supporting material is required. The following list outlines what supporting documentation is generally required by type of project:

**Major Repair, Upgrade or Larger-scale Maintenance Projects (e.g. replacement of windows)**

- i) Photographs
- ii) Outline and samples of materials or products to be used
- iii) Brief description of work specifications and techniques to be applied

**Additions and Construction of New Buildings**

- i) Photographs
- ii) Site plan
- iii) Plans and elevations of existing structure - "as built"
- iv) Plans and elevations of proposed work
- v) Outline and samples of materials to be used
- vi) Description of construction specifications

**Major Alterations**

- i) Photographs.
- ii) Outline and samples of materials or products to be used
- iii) Description of work specifications and techniques to be applied
- iv) Outline and samples of materials to be used

**Exterior and Interior Restorations (i.e. replicating or revealing lost heritage elements)**

- vii) Detail photographs of all features and attributes to be restored
- viii) Brief description of restoration techniques to be applied
- ix) Outline and samples of materials to be used (e.g. mortar mixes)
- x) Copies of historical photographs or references used to document features being restored
- xi) Description of construction specifications

**Relocation of an Existing Structure**

- i) Photographs
- ii) Current registered survey
- iii) Site plan
- iv) Plans and elevations documenting existing structure

**Land Division**

- i) Photographs
- ii) Current registered survey
- iii) Site plan and subdivision

### **New Signage**

- i) Photographs – (streetscape and property)
- ii) Site Plan
- iii) Elevations affected by signage
- iv) Design of sign, including dimensions, materials list and colour scheme

### **Demolitions**

- i) Photographs of structures proposed for demolition
- ii) Current registered survey
- iii) Plans and elevations documenting existing structure
- iv) Material salvage plan as necessary

## **Standards Used to Evaluate Heritage Permit Applications:**

The following guiding principles are based on the Ontario Ministry of Culture principles of conservation for heritage properties. These principles are based on international charters, which have been established over several decades.

### **1. RESPECT FOR DOCUMENTARY EVIDENCE:**

**Do not base restorations solely on conjecture.** Conservation work should be based on historic documentation and/or historical precedents using archival photographs, drawings, physical evidence and historical references.

### **2. RESPECT FOR THE ORIGINAL LOCATION:**

**Do not move buildings unless there is no other means to save them.** Site is an integral component of a building. Change in site diminishes heritage value considerably.

### **3. RESPECT FOR HISTORIC MATERIAL:**

**Repair and Conserve existing materials and finishes rather than replacing them - except where absolutely necessary.** Minimal intervention maintains the historical integrity and true character of the resource and is often less expensive!

### **4. RESPECT FOR ORIGINAL FABRIC:**

**Repair with like material whenever possible.** Repair to return the resource to its prior condition, without altering its integrity.

### **5. RESPECT FOR THE BUILDING'S HISTORY:**

**Do not restore to one period at the expense of another period.** Do not destroy later additions to a house solely to restore to a single time period. Removal of later additions is valid only when a later addition is uncomplimentary or inappropriate historically.

Also, ensure that the massing and height of new additions do not overshadow the heritage portions of the building. Additions should appear smaller and subordinate to the original or early portions of the building. Ideally, they should be located to the rear of the heritage portion of the building.

#### **6. REVERSIBILITY:**

Whenever possible, alterations should be executed in such that they could be reversed later and returned to original conditions. This conserves earlier building design and technique. For example, when a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

#### **7. LEGIBILITY:**

New work should be distinguishable from old. Building additions and new construction should be recognized as products of their own time, and new additions should not blur the distinction between old and new by slavishly attempting to duplicate. Strive for complimentary additions not replicas of the existing building.

#### **8. MAINTENANCE:**

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.



## **10 Ways to Ruin an Old Building**

1. Hiring consultants, architects and/or contractors who do not specialize or who have not had experience working with heritage buildings
2. Neglecting the building by avoiding routine maintenance and regular upkeep. Costs add up and work become more complicated
3. Using Portland cement instead of softer lime mortar for old brick and stone repairs
4. Painting or coating surfaces that were originally left unpainted/uncoated such as brick walls and stone. Repair individual brick and stone instead. Avoid covering masonry walls with stucco-like coatings. They can destroy the brick underneath and greatly diminishes heritage value
5. Enlarging or altering the building in a manner that conflicts with its architectural style, form or time period
6. Introducing "period" details that were never intended for the building or removing vintage details that may not be "original"
7. Replacing original or vintage details unnecessarily and/or with modern materials that do not match (e.g. replacing wood sash windows with plate glass panels or vinyl casement windows)
8. Locating modern services and equipment (e.g. satellite dishes) in obvious, indiscrete locations (e.g. front of the house)
9. Using cleaning methods that damage original surfaces (e.g. sandblasting or caustic cleaners). Remember, old brick is supposed to look old
10. Not recognizing and embracing the value of natural age, character and patina found in old buildings

**PART TWO - HERITAGE PERMIT APPLICATION:**

**HERITAGE PERMIT APPLICATION FORM**

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

**A. REGISTERED OWNER**

**NAME OF REGISTERED OWNER(S)** 10254 Hurontario Street Holdings Inc.

**TELEPHONE NO. HOME ( )** **BUSINESS: (416)456-2021** **FAX: ( )**

**E-MAIL ADDRESS:** Rubal@NirvanaHomes.ca

**MAILING ADDRESS:** 645 Remembrance Road, Brampton, ON L7A 5H2

**B. AGENT**

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

**NAME OF AGENT(S)** DAVID ECKLER, AREA, Architects Rasch Eckler Associates Ltd.

**TELEPHONE NO. HOME ( )** **BUSINESS: ( 416) 418-3828** **FAX: ( )**

**E-MAIL ADDRESS:** deckler@areaarchitects.ca

**MAILING ADDRESS:** 15 Lola Road, Toronto, ON M5P1E5

*Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.*

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## C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

**LOTS(S) / BLOCK(S)** Parts 11 & 12 ON PLAN 43R-38924, PIN 14249- 0284 (LT)

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**CONCESSION NO.**

**REGISTERED PLAN NO.**

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**PART(S) NO.(S)**

**REFERENCE PLAN NO.**

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**ROLL NUMBER:**

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**PIN (PROPERTY IDENTIFICATION NO.)**

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Address: 10254 Hurontario St. Building Name: Learment-C. Armstrong House

## D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

Change of Use: Daycare

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A proposed site alteration based on a Site Plan Approval (SPA) 2024-0139 application seeks to transform the heritage building into a childcare centre. A 'Scoped' HIA Report is submitted in conjunction with and to support this Heritage Permit Application (HPA) to assess and evaluate the expected impacts of the proposed site alterations on the heritage attributes identified in the Designation By-law ('DBL') for this property. In general, these alterations include:

- (1) basement alterations & a basement addition on the side elevations, interior renovations, and
- (2) a west (rear) addition, two-storeys, to the ground and second floors.

The additions and alterations can be grouped into two categories of changes which are proposed to be approved as [in] Building Permit Applications (BPA) in two phases:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations (on side elevations); and
- (2) Phase 2 Daycare Ground & Second Floor Addition (on rear elevation)

The BPA phases will also have associated SPA applications. Altogether the Phases 1 & 2 BPA & SPA applications will satisfy the requirements necessary for the creation of a childcare centre to be operated by 'Little Sages Academy' (LSA) and also called the Armstrong House Daycare.

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This proposed daycare is already approved for this use under the Zoning By-law, through a previous Minor Variance approval by the Committee of Adjustment which received support from the City's Planning & Development and Heritage Planning Divisions. This daycare facility also was approved by the Ministry of Education (MEDU) Child Care Licensing System (CCLS). This daycare has also received funding approval under the Canada-wide Early Learning and Child Care (CWELCC) and will be operated as a non-profit child care centre.

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Phase 1 has been & Phase 2 will be submitted for their SPA and BPA. **This specific HPA is requesting approval for only the Phase 2 component comprising a west (rear) addition, two-storeys, to the ground and second floors.** A previous HPA submission already considered the Phase 1 component.

The Phase 2 component is discussed in a further revised HIA, which can also be described as an 'HIA Addendum' in an upcoming BHB meeting. Therefore, this HPA and its accompanying revised HIA Report will relate exclusively to the Phase 2 Daycare Ground & Second Floor Addition (on rear elevation).

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**E. DESCRIPTION OF WORKS**

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

**Rehabilitation and/or Preventative Conservation Measures** (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

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**Major Alterations, Additions and/or New Construction** (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

Refer to accompanying HIA which describes **Minor Variance** items for Phase 1 as follows:

- a. West (rear) addition to the ground and second storeys on an existing (previously approved) basement extension and its ground floor level deck.

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**Restoration** (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

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**F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY**

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED

DEMOLISH

ALTER

EXPAND

RELOCATE

**G. SITE STATISTICS (For addition and construction of new structures)**

Not Applicable since existing footprint of structure is maintained. See Architectural drawing A0-2b Site Plan, HIA Appendix C.

LOT DIMENSIONS FRONTAGE \_\_\_\_\_ DEPTH \_\_\_\_\_

LOT AREA \_\_\_\_\_ m2

EXISTING BUILDING COVERAGE \_\_\_\_\_ %

BUILDING HEIGHT EXISTING \_\_\_\_\_ m

PROPOSED \_\_\_\_\_ m

BUILDING WIDTH EXISTING \_\_\_\_\_ m

PROPOSED \_\_\_\_\_ m

ZONING DESIGNATION Commercial

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) \_\_\_\_\_

SITE PLAN APPROVAL

BUILDING PERMIT

CONSERVATION AUTHORITY \_\_\_\_\_

SIGN BYLAW APPROVAL \_\_\_\_\_

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

## H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

Refer to accompanying HIA which includes Appendix with drawings for Phase 1 as follows:

- REGISTERED SURVEY
- SITE PLAN (showing all buildings and vegetation on the property)
- EXISTING PLANS & ELEVATIONS - AS BUILT
- PROPOSED PLANS & ELEVATIONS
- PHOTOGRAPHS
- MATERIAL SAMPLES, BROCHURES, ETC
- CONSTRUCTION SPECIFICATION DETAILS - ON-DRAWING NOTES

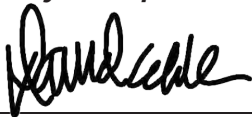
## I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

*(Property entry, if required, will be organized with the applicant or agent prior to entry)*



\_\_\_\_\_  
Signature of Applicant or Authorized Agent

November 3, 2024

\_\_\_\_\_  
Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

**J. APPROVAL CHECKLIST**

(Internal use only)

**Authority:**

**Date:**

**Resolution:**

Brampton Heritage Board

\_\_\_\_\_

\_\_\_\_\_

Planning Committee (PDD)

\_\_\_\_\_

\_\_\_\_\_

City Council

\_\_\_\_\_

\_\_\_\_\_

## **APPENDIX - HERITAGE REVIEWS IN LAND USE PLANNING PROCESS**

### **Brampton Heritage - Land Use Planning**

#### **Policy Context:**

#### **Ontario Heritage Act (2005):**

The Act provides statutory protection for designated heritage properties including demolition control, enforcement provisions, minimum property standards, etc.

Section 33 of the Ontario Heritage Act states:

*“No owner of property designated... shall alter the property or permit the alteration of the property if the alteration is likely to affect the property’s heritage attributes... unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration.”*

#### **Stronger City of Toronto for a Stronger Ontario Act, 2006:**

This new piece of legislation contains certain provisions affecting all municipalities.

The Act amends Ontario Heritage Act; introduces additional statutory protection across Ontario; requires owners of listed properties to give a municipality at least 60 days notice of the owner's intention to demolish or remove a building or structure on the property.

#### **Ontario Planning Act:**

Section 2 of the Planning Act declares that the “conservation of features of significant architectural, cultural, historical, archaeological or scientific interest” is a Provincial Interest. Municipal councils, local boards, planning boards and the Ontario Municipal Board shall have regard for this interests as they carry out their responsibilities under the Act.

#### **Provincial Policy Statements - PPS (2005):**

The Provincial Policy Statement (PPS, 2005) is the framework for broad, integrated and long term planning. It provides policy direction to municipalities and approval authorities that make decisions on land use planning matters.

All decisions affecting land use planning matters “shall be consistent with” the Provincial Policy Statements.

Section 2.6 sets out the cultural heritage and archaeology policies. The two policies most pertinent are:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.



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2.6.3 Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.

The PPS, 2005, together with the provisions of the Ontario Heritage Act and its regulations strengthens the framework for the identification and protection of Ontario's cultural heritage and archaeological resources.

**Building Code:**

Part 11 provides compliance alternatives "where the chief building official" is satisfied that compliance with the standard requirements under the Code are impracticable because "it is detrimental to the preservation of a heritage building".

The Code would allow, for instance, the conversion of an older industrial building to residential use without requiring the use of non-combustible construction throughout the building.

Also, where an existing building is subject to material alteration or repair, the Building Code will apply only to those parts of the building that are subject to such work, and the entire building is not required to be brought into compliance with modern standards.

**Brampton Official Plan (2006):**

4.9.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

4.9.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.9.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.9.9.15 Impact on the significant heritage elements of designated and other heritage resources shall be avoided through the requirements of the City's sign permit application system and the heritage permit under the Ontario Heritage Act.

### **Heritage Considerations Within Land Use Planning Process:**

1. Receive notification from Planning and Building staff of proposed development applications, building and demolition permit applications, site plan applications, minor variance applications, informal proposals; (Communication protocols are critical).
2. Circulate information on known heritage resources within subject and adjacent lands to all parties (i.e. City staff, landowner, consultants, etc).
3. Field assessment of the subject lands:
  - documenting all heritage resources including cultural landscapes and other contextual features, natural heritage elements, areas of archaeological potential, standing structures not previously listed or designated, etc.
4. Where necessary, call for heritage impact assessment by qualified heritage consultant affiliated with the Canadian Association of Professional Heritage Consultants (CAPHC).
5. Where necessary, call for archaeological assessment by licensed archaeologist if archaeological potential is apparent.
6. Propose strategies for mitigation tailored to the cultural heritage significance of any affected resources - build consensus; (This seems out of context – maybe additional explanation is needed?)

Mitigation can include:

- retention or partial retention (e.g. front façades);
- adaptive reuse;
- heritage designation - as condition of approval;
- heritage conservation easements;
- cost sharing agreements;
- letters of credit;
- archaeological assessments;
- documentation;
- relocation and adaptive reuse;
- salvage;
- site security measures;
- preventative and long term conservation plans;
- sensitive site avoidance measures.

7. Review and provide comments to City staff upon submission of studies, draft guidelines, heritage impact reports, etc.
8. Provide comments on recommended mitigation.
9. Formalize mitigation measures through conditions in agreements.
10. Brief Brampton Heritage Board and Planning, Design and Development Committee as required.

11. If property is designated under either Part IV or V of the Ontario Heritage Act statutory approval by Council is required (i.e. heritage permit process followed by endorsement of Brampton Heritage Board and approval by Council).
12. Work with landowners to ensure approved mitigation plans are implemented, prepare designation reports and bylaws, negotiate easement agreements and ensure prior to conditions are satisfied.

**Planning Processes Where Heritage Reviews May Be Applicable:**

Environmental Assessments  
Official Plan / Amendments  
Secondary Plans / Amendments  
Block Plans  
Zoning Bylaws / Amendments  
Subdivision Agreements  
Site Plan Applications / By-laws  
Architectural Controls  
Minor Variances - Committee of Adjustment  
Building Permits  
Demolition Permits  
Sign Permits  
Topsoil stripping permits  
Downtown Façade Improvement Loans  
Heritage Incentive Grant Program  
Capital Works on City Owned Assets  
Property Maintenance Standards  
Bylaw Enforcement  
Public Works (e.g. in Village of Churchville)  
Parks Planning

## APPENDIX - HERITAGE PERMIT APPLICATIONS - STAFF CHECKLIST

1. Significance of the Heritage Property	Yes	No	N/A
i) Is the current property a prominent local landmark?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Do the proposed changes compliment or contribute to the character of the surrounding streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Will the proposed changes be visible from the street or other nearby public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Does the property hold provincial or national significance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>2. Architectural Heritage Attributes</b>			
i) Is the current building considered to be a good example of a particular style of architecture (e.g. Gothic Revival)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Have the possible impacts on existing architectural heritage attributes been sufficiently considered?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Have measures been taken to protect or avoid impacts to existing architectural heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Have sufficient measures been taken with plans and designs to ensure compatibility between new and old?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v) Are any existing architectural heritage attributes being replaced? If so, are these replacement features appropriate, both visually and functionally with the existing structure?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi) Has the applicant provided justification for the alteration, removal or replacement of existing architectural heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii) Do the proposed works effectively compliment the existing building and its architectural heritage attributes in massing, material(s) composition, design, texture and colour?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### 3. Compatibility of Materials and Detailing

	Yes	No	N/A
i) Are original materials and detailing being retained and repaired to the greatest degree possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Where removal or replacement of original materials and detailing is proposed, has the applicant provided appropriate evidence/rationale for why this is necessary?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are replacement materials and detailing, as proposed, appropriate and compatible with the following structural elements as applicable:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Wall cladding (e.g. stucco, clapboard, and brick)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Roofing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Chimney and other roof structures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Exterior trim work and detailing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Windows and doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Porches and verandahs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Fences and retaining walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Colour Schemes (i.e. Paint - Exterior colours)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
viii) Are replacement materials similar to or complimentary to the prevailing building or on adjacent properties in the neighbourhood, area or streetscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ix) Are conservation/preservation measures, materials and techniques compatible with recognized heritage conservation standards (e.g. natural lime mortar mixes instead of Portland cement, gentle cleaning methods, etc)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
x) Are restoration techniques compatible with recognized heritage conservation standards? Have appropriate measures been taken to ensure protection and avoidance of existing architectural heritage attributes during construction phase?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Windows, Doors, Porches	Yes	No	N/A
i) Are original windows and doors being retained where possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are new windows, if any, consistent in size, shape, configuration, materials, opening and placement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are new doors, if any, consistent in size, shape, configuration, materials, opening and placement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Is the design of the new porch or verandahs, if any, compatible with the character of the existing heritage building(s) and/or surrounding building stock?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>5. Roofs</b>			
i) Is the roofline, roof details and roof pitch consistent with the existing heritage building? (Every effort should be made to respect the predominant roof line and to minimize the impacts.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are proposed roof vents, solar panels, skylights, dormers and satellite dishes located inconspicuously away from public view and in a manner that does not damage important heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>6. Overall Scale</b>			
i) Is the scale and size of the proposed alteration/addition in keeping with the prevailing character and massing of the existing heritage building(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Is the alteration/addition in keeping with the building heights and scale found on adjacent properties and with the immediate streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Do upper storey additions compliment the height and roof profile of existing rooflines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

7. Location & Setbacks	Yes	No	N/A
i) Is the proposed alteration or addition (including attached garages, balconies and greenhouses) located in a subordinate location or to the rear of existing heritage building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are the setbacks for this application consistent with those found along the streetscape and in particular with neighbouring structures?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are new structures or outbuildings to be located in a subordinate location or to the rear of existing heritage building and principle facades?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) If a garage and driveway are proposed, has the impact been minimized by locating them to the rear or to the side of the existing heritage building(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>8. Contextual and Natural Heritage Attributes</b>			
i) Do the proposed changes maintain traditional views, vistas and spaces of the property and surrounding neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) If not, have satisfactory mitigation been outlined?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Do the proposed changes attempt to preserve and maintain existing driveways, walkways, fences and walls that contribute to the character of the grounds surrounding the heritage building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Do the proposed changes maintain heritage attributes and features found on the grounds such as front lawns, vistas, mature trees, hedges, and period gardens?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v) Do fences, walls, gates, pathways, plantings, and light standards reflect the historic presence and character of the property and streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi) Do the proposed changes impact views of the heritage attributes from the street and other public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii) Have appropriate measures been taken to ensure protection and avoidance of existing contextual and natural heritage attributes during construction phase?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

