

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** CHRISTOPHER MARTIN SPENCER & SYLAN ROS  
**Address** 23 OBLATE CRESCENT, BRAMPTON, ON L6Y 0K2

**Phone #** 647-267-7641 **Fax #**  
**Email** cspencer02.cs@gmail.com

2. **Name of Agent**  
**Address**

**Phone #** **Fax #**  
**Email**

3. **Nature and extent of relief applied for (variances requested):**  
The minimum setback required to the proposed steps to the basement ADU principal entrance in the left side yard is 0.9 meters, 0.35 meters distance is the maximum that can be provided.

4. **Why is it not possible to comply with the provisions of the by-law?**  
The left side yard is simply too narrow and cannot accommodate the minimum required offset

5. **Legal Description of the subject land:**  
**Lot Number** 216  
**Plan Number/Concession Number**  
**Municipal Address** 23 OBLATE CRESCENT, BRAMPTON, ON L6Y 0K2

6. **Dimension of subject land (in metric units)**  
**Frontage** 11M  
**Depth** 29.5M  
**Area** 326,43SM

7. **Access to the subject land is by:**  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground floor area - 130.45sm, 2 storeys above grade, Width=9.14 meters, Length=14.5m, Height=8.5m

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Ground floor area - 130.45sm, 2 storeys above grade, Width=9.14 meters, Length=14.5m, Height=8.5m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	6.12M
Rear yard setback	8.82M
Side yard setback	1.27M
Side yard setback	0.65M

**PROPOSED**

Front yard setback	6.12M
Rear yard setback	8.82M
Side yard setback	1.27M
Side yard setback	0.65M

10. Date of Acquisition of subject land: MAY 15, 2024

11. Existing uses of subject property: PRIMARY RESIDENCE

12. Proposed uses of subject property: RENTAL BASEMENT UNIT/2 UNIT DWELLING

13. Existing uses of abutting properties: SINGLE FAMILY DWELLING

14. Date of construction of all buildings & structures on subject land: 2006

15. Length of time the existing uses of the subject property have been continued: \_\_\_\_\_

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

ES CS  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON OF THE PROVINCE OF ONTARIO

THIS 12TH DAY OF SEPTEMBER, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Chris Spencer, OF THE City OF Brampton  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel. THIS 15th DAY OF

November, 2024

Clara Vani  
A Commissioner etc.

Clara Vani  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton

Expires September 20, 2026

ES CS  
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED Nov 5, 2024

Date Application Deemed  
Complete by the Municipality

Clara

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 23 OBLATE CRESCENT, BRAMPTON, ON L6Y 0K2

I/We, CHRISTOPHER MARTIN SPENCER & SYLAN ROS  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12 day of SEPTEMBER, 2024.



\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

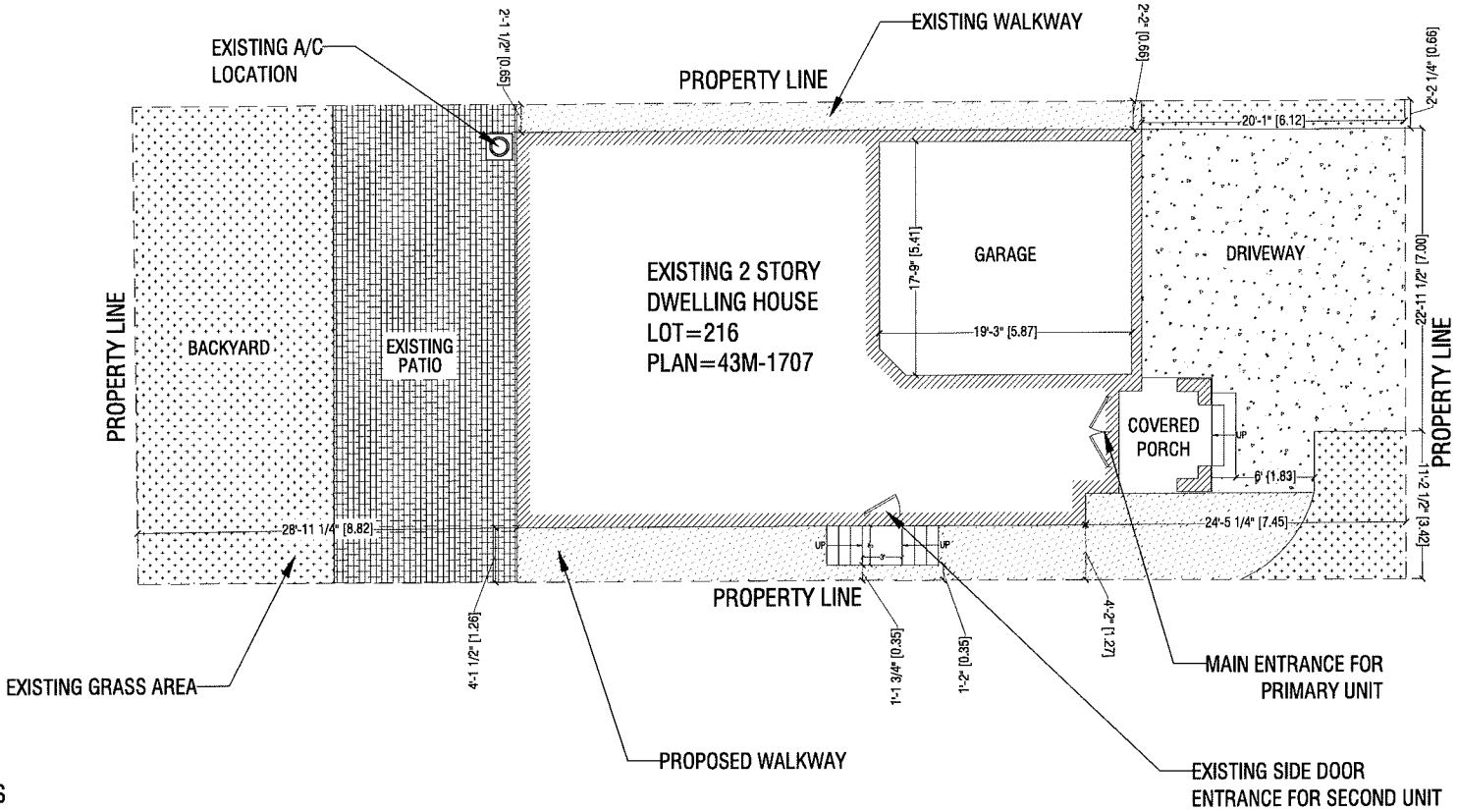
\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

LOT AREA= 3512.44 SF (326.43 SM)  
BUILDING AREA = 1403.69 SF (130.45 SM)  
EXISTING SECOND FLOOR AREA =1193.20SF (110.89 SM)  
EXISTING MAIN FLOOR AREA =898.68 SF (83.52 SM)  
PROPOSED BASEMENT AREA =915.19 SF (85.05 SM)

SITE PLAN  
(WITHOUT MINOR VARIANCE)



- GRASS
- HARD LANDSCAPE
- DRIVEWAY

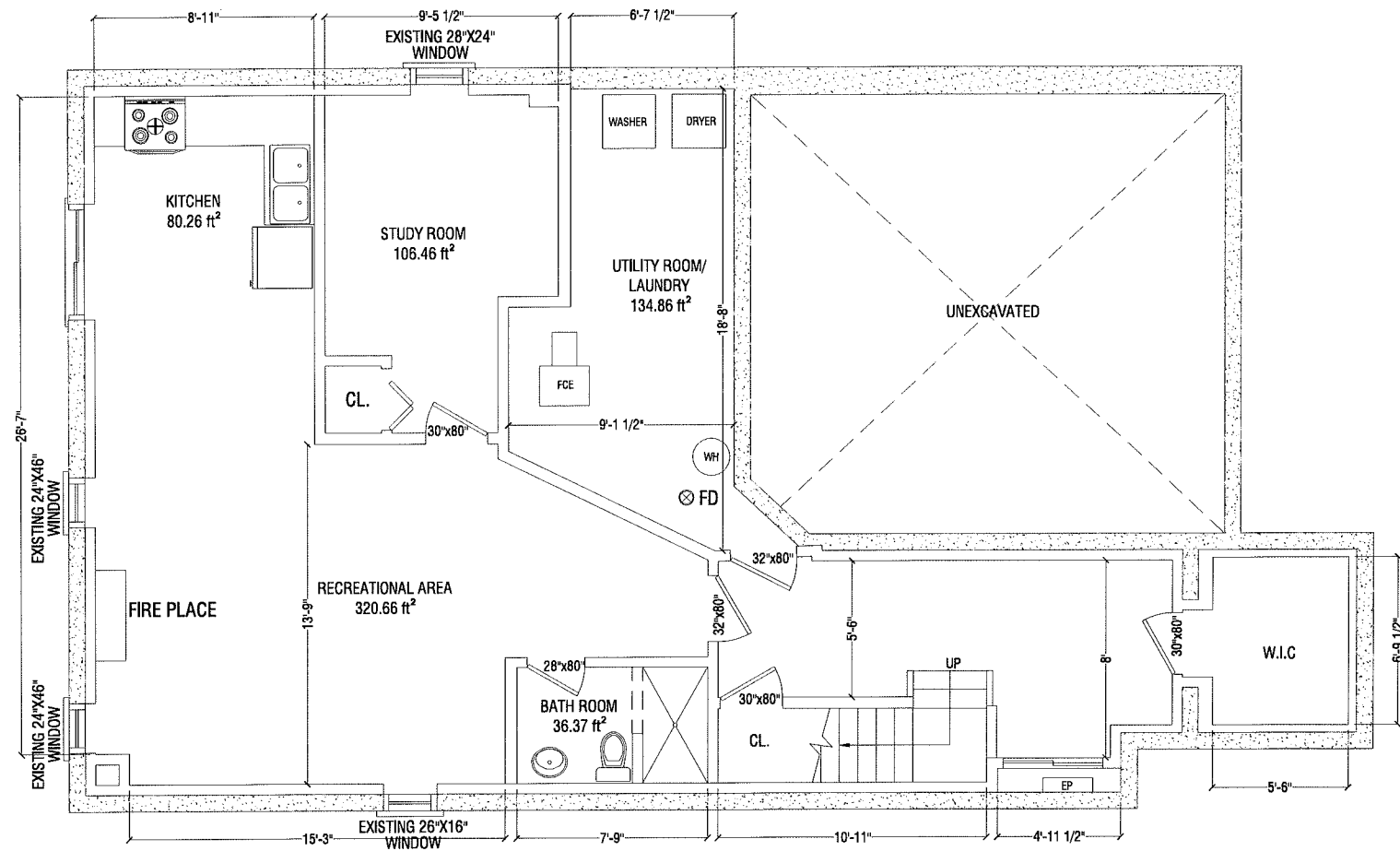
OBLATE CRESCENT

GENERAL NOTES:  
- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.  
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.  
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.  
- DO NOT SCALE THE DRAWING.  
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	09.09.24
No.	DESCRIPTION	DATE
PROJECT:		
23 OBLATE CRES, BRAMPTON ONTARIO		
TITLE:		
SITE PLAN OPTION-B		
CONSULTANT:		
PAVLO PALAGUT (416 528 3834) palagut@gmail.com		
DRAWN BY: A.B.K		CHECKED BY: P.P
DATE: 09.09.24		DRAWING NO:
SCALE: 3/32" = 1'		A-1

CEILING HEIGHT = 7'-6"



- GENERAL NOTES:
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01	SCHEMATIC	09.09.24
No.	DESCRIPTION	DATE
PROJECT:		

23 OBLATE CRES,  
BRAMPTON ONTARIO

TITLE:  
**EXISTING BASEMENT  
PLAN**

CONSULTANT:  
**PAVLO PALAGUT**  
(416 528 3834)  
palagut@gmail.com

DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	09.09.24	DRAWING NO:	
SCALE:	3/16" = 1'-0"		A-2

NOTES:  
-FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1



ROOMS	REQD. WINDOW AREA	AVAILABLE WINDOW AREA
BEDROOM	2.5% OF 106.46 SF=2.66 SF	4.2 SF
LIVING/DINING/KITCHEN	5% OF 350.08 SF= 17.50 SF	20.32 SF

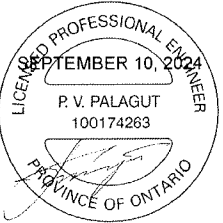
CEILING HEIGHT = 7'-6"

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"

GENERAL NOTES:

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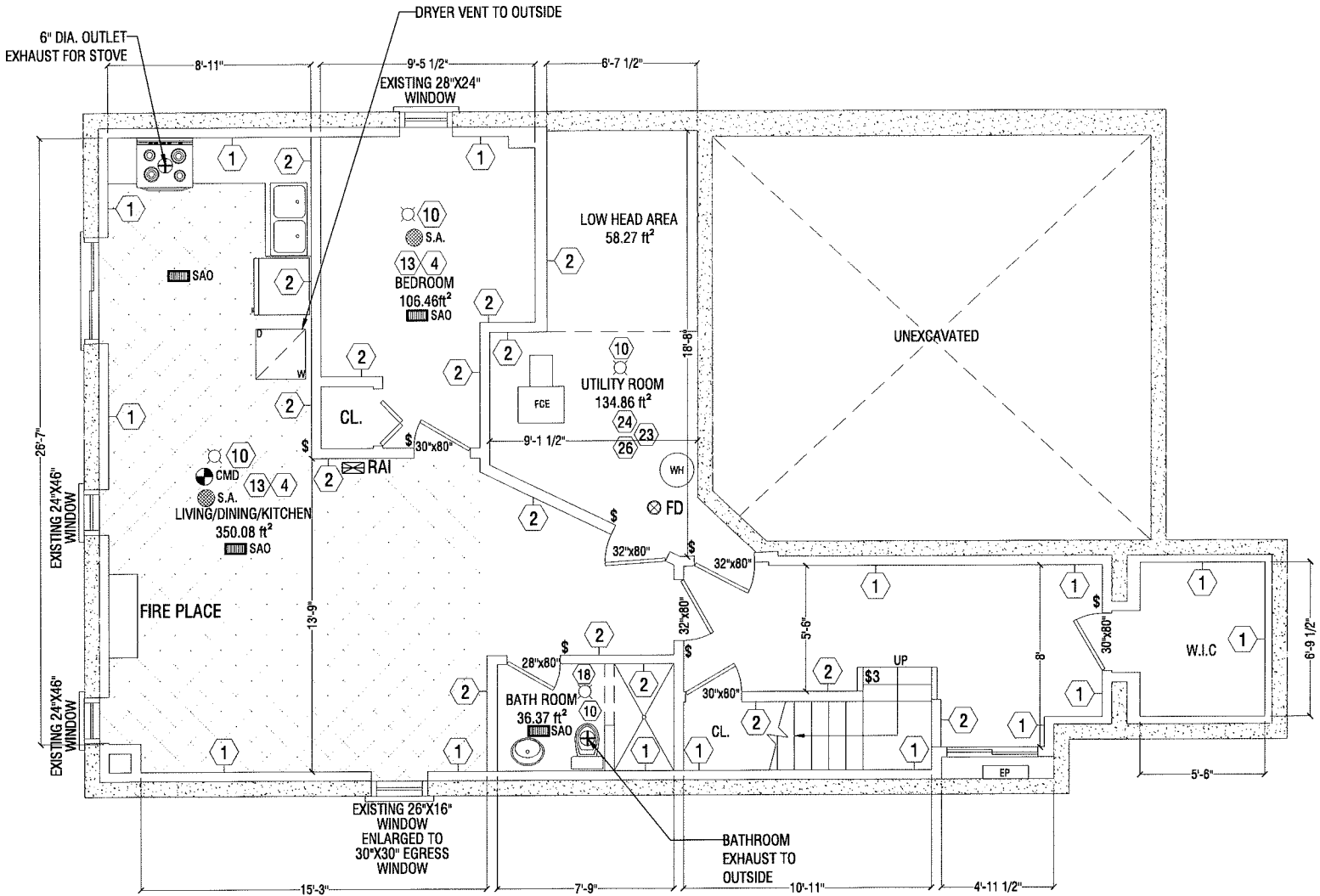
01	SCHEMATIC	09.09.24
No.	DESCRIPTION	DATE

23 OBLATE CRES,  
BRAMPTON ONTARIO

TITLE:  
**PROPOSED BASEMENT  
PLAN**

CONSULTANT:  
**PAVLO PALAGUT**  
(416 528 3834)  
palagut@gmail.com

DRAWN BY: A.B.K	CHECKED BY: P.P
DATE: 09.09.24	DRAWING NO:
SCALE: 3/16" = 1'-0"	A-3



LEGEND :

- EXISTING WALL TO BE DEMOLISHED
- EXISTING EXTERIOR WALLS
- PROPOSED INTERIOR WALLS
- FIRE RATED WALLS REFER TO N-01 FOR DETAILS

NOTES:  
-FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1

CEILING HEIGHT = 8'-11"

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"

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01	SCHEMATIC	09.09.24
No.	DESCRIPTION	DATE

PROJECT:

23 OBLATE CRES,  
BRAMPTON ONTARIO

TITLE:

MAIN FLOOR  
PLAN

CONSULTANT:

**PAVLO PALAGUT**  
(416 528 3834)  
palagut@gmail.com

DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	09.09.24	DRAWING NO:	
SCALE:	3/16" = 1'-0"		A-4

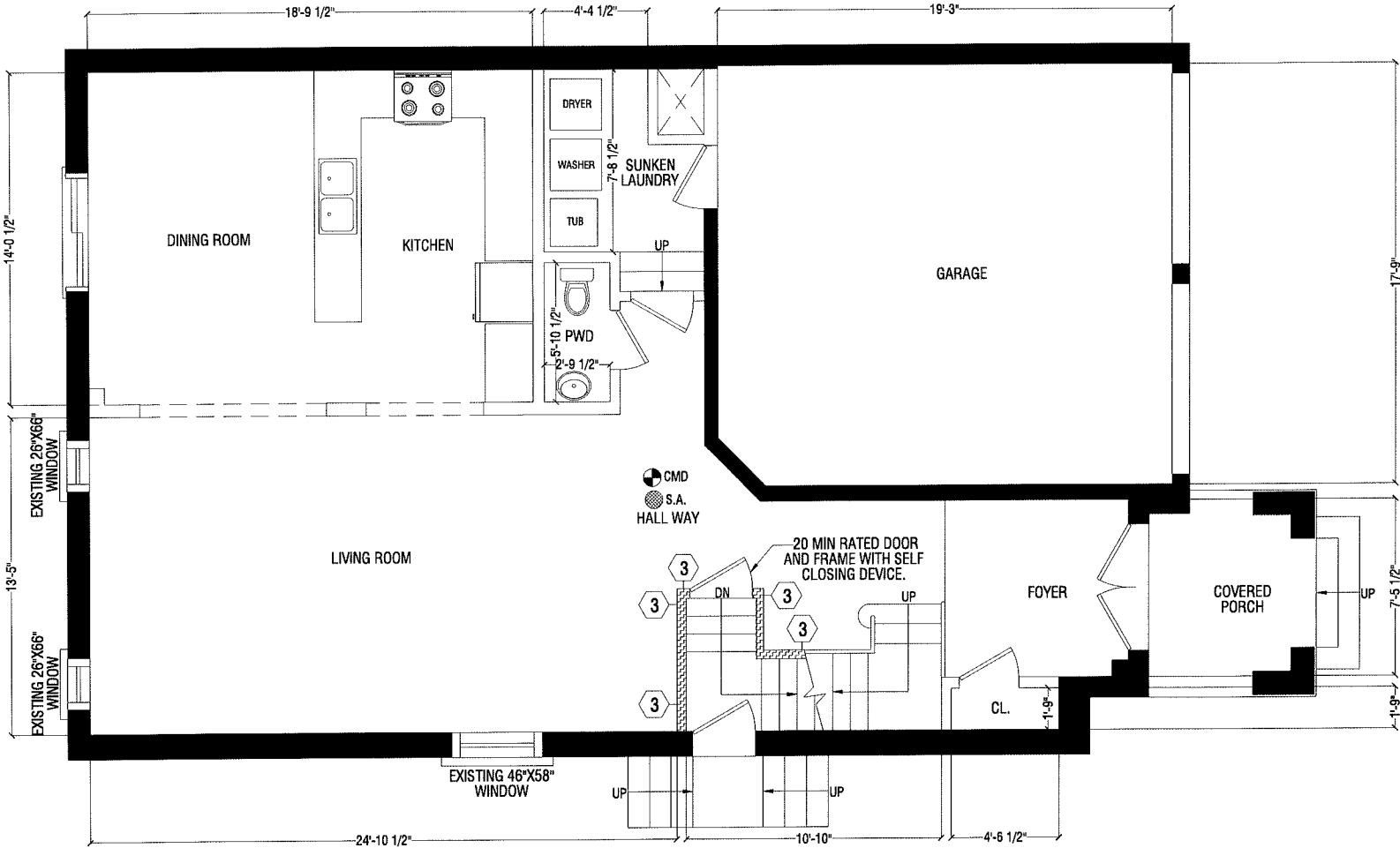
LEGEND :



FIRE RATED WALLS REFER TO N-01 FOR DETAILS

NOTES:

ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED  
FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG. N-1





CEILING HEIGHT = 7'-11"

WOOD LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x10"

STEEL LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L3.5"x3.5"x0.3125"
L2	UPTO 66" OPENINGS	L4.0"x3.5"x0.3125"

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01	SCHEMATIC	09.09.24
No.	DESCRIPTION	DATE

PROJECT:

23 OBLATE CRES,  
BRAMPTON ONTARIO

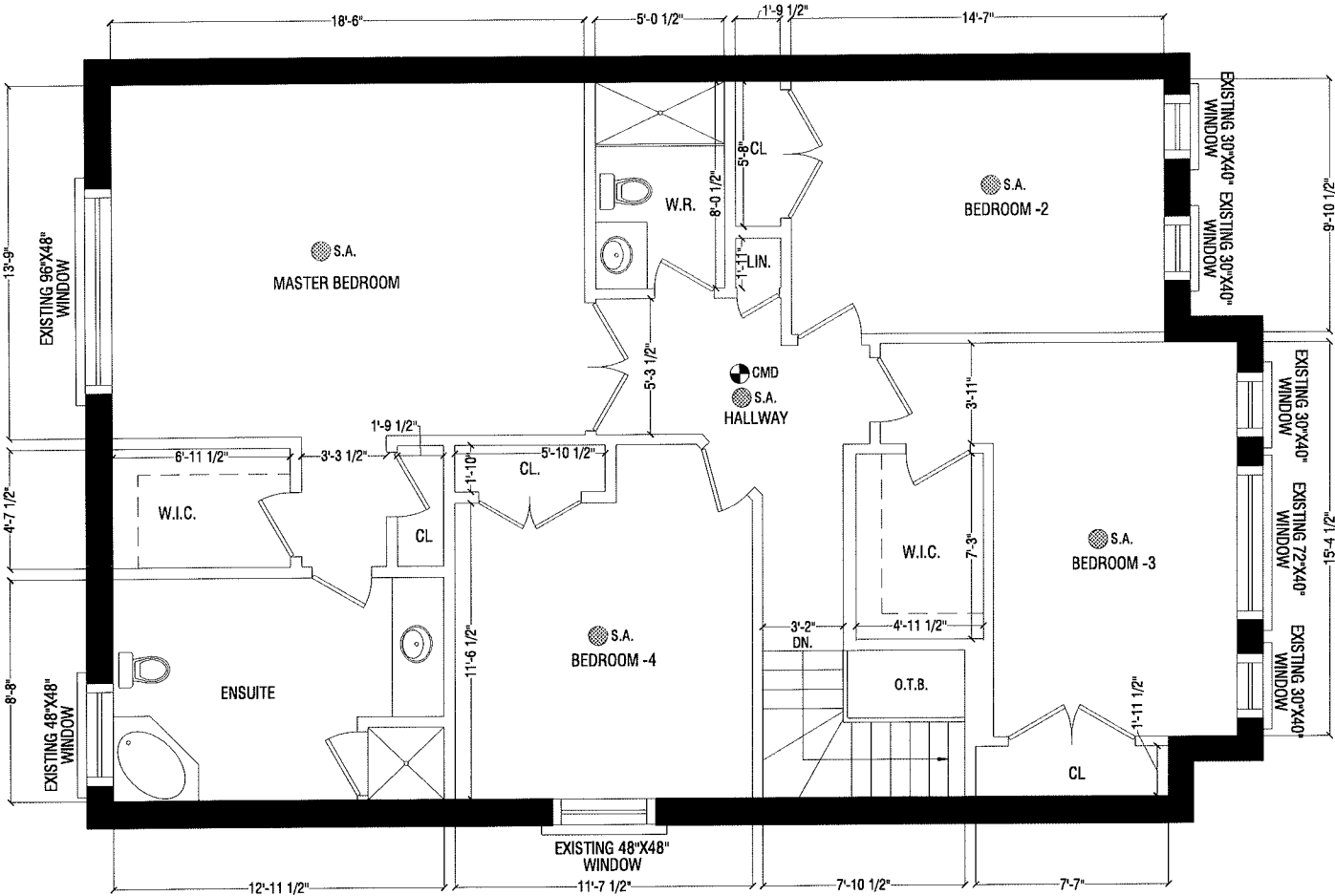
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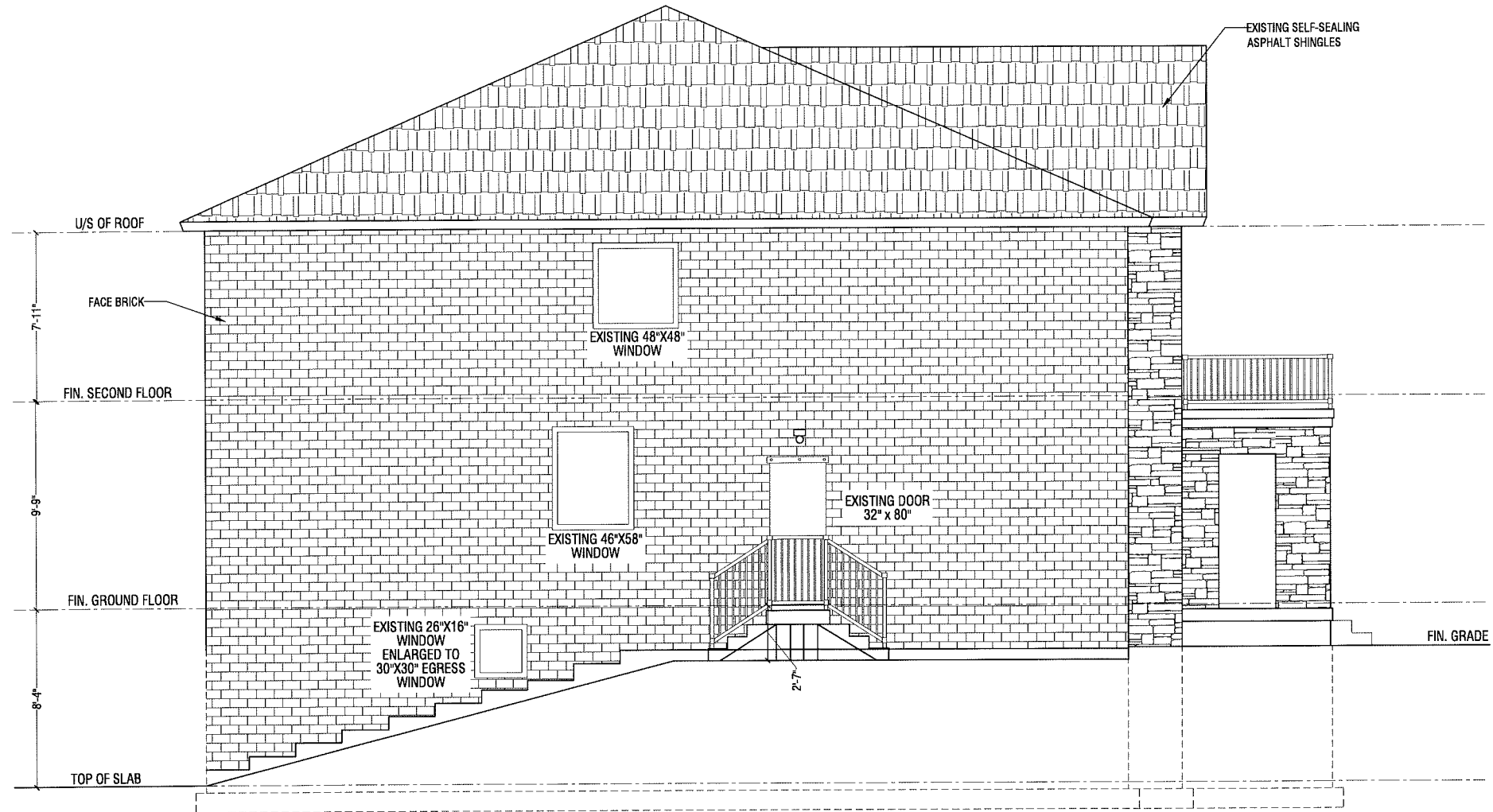
SECOND FLOOR  
PLAN

CONSULTANT:

**PAVLO PALAGUT**  
(416 528 3834)  
palagut@gmail.com

DRAWN BY:	A.B.K	CHECKED BY:	P.P
DATE:	09.09.24	DRAWING NO:	
SCALE:	3/16" = 1'-0"		A-5

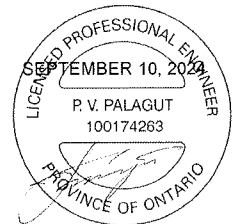




LEFT SIDE ELEVATION

GLAZED AREA:  
WALL AREA =1001.16 SF ,( 93.04 SM)  
LIMITING DISTANCE =1.26 m  
GLASS AREA ALLOWED (7 %) =70.08 SF ,(6.51 SM)  
GLASS AREA PROVIDED (3.06 %) =30.69 SF, (2.85 SM)

GENERAL NOTES:  
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01	SCHEMATIC	08.09.24
No.	DESCRIPTION	DATE
PROJECT:		

23 OBLATE CRES,  
BRAMPTON ONTARIO

TITLE:  
LEFT SIDE ELEVATION

CONSULTANT:  
**PAVLO PALAGUT**  
(416 528 3834)  
palagut@gmail.com

DRAWN BY: A.B.K	CHECKED BY: P.P
DATE: 09.09.24	DRAWING NO:
SCALE: 3/16"= 1'-0"	A-6

CONSTRUCTION NOTES:

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.

- 1

EXTERIOR WALL CONSTRUCTION  
1/2" DRYWALL FINISH  
2"x4" WOOD STUD @ 16" O.C.  
1" AIR SPACE  
EXISTING ROLLED BATT INSULATION  
EXISTING VAPOUR BARRIER  
EXISTING 8" CONCRETE WALL  
EXISTING DAMP PROOFING PAPER
- 2

INTERIOR WALL CONSTRUCTION  
1/2" DRYWALL  
2"x4" WOOD STUD @ 16" O.C.  
1/2" DRYWALL FINISH
- 3

INTERIOR WALL CONSTRUCTION 30 MIN FRR  
1/2" DRYWALL FINISH  
2"x4" WOOD STUD @ 16" O.C.  
3 1/2" ROXULL SAFE 'N' SOUND INSULATION  
1/2" DRYWALL FINISH
- 4

CEILING: 1/2" GYPSUM BOARD  
PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.14.(1) and (3));  
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,  
(i)smoke alarm are installed in every dwelling unit, sleeping rooms and in common areas in conformance with Subsection 9.10.19., and  
(ii)smoke alarms are interconnected.
- 5

PART 11 COMPLIANCE ALTERNATIVE C95 (6.2.4.7.10);  
In a building containing not more than four dwelling units or residential suits, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite and provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.
- 6

PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.15(1));  
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fireresistance rating of the fire separation is waived where the building is sprinklered.
- 7

As per the requirements of OBC 9.10.19. Smoke alarms. All smoke alarms shall be interconnected with Audio and Visual Signal.
- 8

As per the requirements of OBC 9.33.4  
A Carbon Monoxide Alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances.
- 9

EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF-CLOSING DEVICE.  
20 MIN FIRE PROTECTION RATING OF CLOSURE IS REQUIRED FOR 30 OR 45 MIN FRR OF FIRE SEPARATION.

- 10

A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- 11

PART 11 COMPLIANCE ALTERNATIVE C136 (9.9.9)  
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists:  
  
(a.) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,  
  
(b.) an exit that is accessible to more than one dwelling unit, and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19 and are interconnected,
- 12

ALL FRAMING LUMBER WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING.
- 13

PART 11 COMPLIANCE ALTERNATIVE C102 (9.5.3.1)  
In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units,  
(a.) minimum room height shall not be less than 1950mm over the required floor area and in any location that would normally be used as a means of egress, or  
(b.) minimum room height shall not be less than 2030mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1400mm shall no be considered in computing the required floor area.
- 14

AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.
- 15

THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER AND SHALL HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.
- 16

AIR SUPPLY REGISTERS AT CEILING.
- 17

AIR RETURN REGISTERS AT FLOOR LEVEL.
- 18

EXHAUST FAN TO DIRECTLY DISCHARGE OUTSIDE.
- 19

UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILL.
- 20

BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO. 141 "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN ANY COMMON MEANS OF EGRESS

- 21

2"x6" STUD 16" O.C.(2"x6") SIL PLATE ON DAMP PROOFING MATERIAL (1/2") DIA. ANCHOR BOLTS 8" LONG EMBEDDED MIN. (4") INTO CONCRETE 7"-10" O.C. (4") HIGH CONCRETE CURB ON (14"x6") CONCRETE FOOTING ADD HORIZONTAL BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED
- 22

INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"  
1/2" DRYWALL FINISH  
2"x6" WOOD STUD @ 16" O.C.  
5 1/2" ROXULL SAFE 'N' SOUND INSULATION  
1/2" DRYWALL FINISH
- 23













PROVIDE SMOKE DETECTOR IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SMOKE DETECTOR. SEE NOTE 5.
- 24

PROVIDE SPRINKLERS IN AREAS WITH UNFINISHED CEILING. NEW SPRINKLER SYSTEM TO BE PROVIDED. SEE NOTE 15  
GAS PROOF ALL CEILING VOIDS.
- 25

20 MIN RATED DOOR AND FRAME WITH SELF CLOSING DEVICE.
- 26

Shut-off valves shall be installed in every suite in a building of residential occupancy as may be necessary to ensure that when the supply to one suite is shut off the supply to the remainder of the building is not interrupted.

LEGEND

	CMD	CARBON MONOXIDE DETECTOR
	S.A.	SMOKE ALARM INTERCONNECTED
	SAO	WARM AIR REGISTER
	RAI	RETURN AIR REGISTER
		EXHAUST FAN
	CL	CLOSET
	EP	ELECTRICAL PANEL
	FD	
		LIGHT FIXTURE
	\$	SWITCH
	\$3	THREE WAY SWITCH
		SPRINKLERS

GENERAL SPECIFICATIONS:

ALL DRAWING TO BE USED FOR CONSTRUCTION ONLY WHEN APPROVED BY MUNICIPALITY ACCOMPANIED WITH THE BUILDING PERMIT. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH WORK.  
MANUFACTURED ITEMS MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA MORTGAGE AND HOUSING CORPORATIONS (C.M.H.C.) AND CANADIAN STANDARDS ASSOCIATION (C.S.A).  
DESIGNER SHALL TAKE NO RESPONSIBILITY FOR THE CONSTRUCTION OF THE PROJECT.

THE DRAWINGS ARE NOT TO BE SCALED

GENERAL NOTES:  
- ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.  
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.  
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.  
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.  
- DO NOT SCALE THE DRAWING.  
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.



01	SCHEMATIC	09.09.24
No.	DESCRIPTION	DATE
PROJECT:		

23 OBLATE CRES,  
BRAMPTON ONTARIO

TITLE:  
  
CONSTRUCTION  
NOTES

CONSULTANT:  
  
PAVLO PALAGUT  
(416 528 3834)  
palagut@gmail.com

DRAWN BY: A.B.K	CHECKED BY: P.P
DATE: 09.09.24	DRAWING NO:
SCALE: 3/16" = 1'-0"	N-1

# Zoning Non-compliance Checklist

File No.

A-2024-0417

Applicant: CHRISTOPHER MARTIN SPENCER & SYLAN ROS

Address: 23 OBLATE CRESCENT, BRAMPTON, ON

Zoning: R1C-1322

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE			
ABOVE GRADE ENTRANCES	To permit an existing above grade entrance in an interior side yard, used as a principal entrance to a proposed attached ARU, having a height of 0.79m to the landing	Whereas the by-law requires a maximum height of 0.6m to a landing for an above grade entrance, used as a principal entrance to an attached ARU, in a side yard.	10.16.1.(b)
	To permit an interior side yard setback of 0.35m to an existing above grade stair & landing leading to an above grade side entrance	Whereas the by-law requires a minimum interior side yard setback of 0.9m to any steps or landings for such side entrance.	10.24.2
BUILDING HEIGHT			
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE			
GARAGE DOOR HEIGHT			

John C. Cabral  
Reviewed by Zoning

2024-10-11  
Date