

FILE NUMBER: A - 2024 - 0431

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)Ali Qadirian and Mariam Qadirian

Address

46 Everingham Cir
Brampton, ON L6R 0R7

Phone #

416-875-0677

Fax #

Email

aliqadirian123@gmail.com
2.

Name of AgentAlam Makur of INTEQUA DESIGNS

Address

159 Quebec Avenue, Toronto, ON M6P 2T9

Phone #

647-740-5825

Fax #

Email

intequa@gmail.com
3.

Nature and extent of relief applied for (variances requested):

To permit an above grade side door serving a secondary dwelling unit with a landing that is 0.37 m from the side property line.
while the require minimum setback to the side property line is 0.6 metre.
4.

Why is it not possible to comply with the provisions of the by-law?

The required side entance that servse the new secondry dwelling unit will require steps and Inading to reach grade and there no other
suitable place to put the stairs.
5.

Legal Description of the subject land:

Lot Number

12

Plan Number/Concession Number

43M-1740

Municipal Address

46 Everingham Cir
6.

Dimension of subject land (in metric units)

Frontage

10.40 m

Depth

28 m

Area

291.2 M2
7.

Access to the subject land is by:

Provincial Highway

Seasonal Road

Municipal Road Maintained All Year

Other Public Road

Private Right-of-Way

Water

✓

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Existing 2 storey detached dwelling

PROPOSED BUILDINGS/STRUCTURES on the subject land:

All existing structures to remain - no alterations

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.24M
Rear yard setback	8.37M
Side yard setback	1.25M
Side yard setback	1.25M

PROPOSED

Front yard setback	Existing to remain
Rear yard setback	Existing to remain
Side yard setback	Existing to remain
Side yard setback	Existing to remain

10. Date of Acquisition of subject land: 2012

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2011

15. Length of time the existing uses of the subject property have been continued: Since Built

16. (a) What water supply is existing/proposed?	
Municipal	<input checked="" type="checkbox"/>
Well	<input type="checkbox"/>
Other (specify) _____	
(b) What sewage disposal is/will be provided?	
Municipal	<input checked="" type="checkbox"/>
Septic	<input type="checkbox"/>
Other (specify) _____	
(c) What storm drainage system is existing/proposed?	
Sewers	<input checked="" type="checkbox"/>
Ditches	<input type="checkbox"/>
Swales	<input type="checkbox"/>
Other (specify) _____	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No ✓

If answer is yes, provide details: File # Status

18. Has a pre-consultation application been filed?

Yes No ✓

19. Has the subject property of an application for minor variance? ever been the subject

Yes No ✓ Unknown

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Signature of Applicant(s) or Authorized Agent

DATED AT THE OF

THIS DAY OF , 20

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Electronically signed & declared via online video before me in Ottawa, ON while the Affiant / Declarant was located in Toronto, ON, Canada on October 04, 2024, as per Ontario Reg. 431/20 & the Electronic Commerce Act.

I, Alam Makur, OF THE City OF Toronto

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

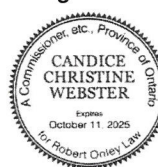
City OF Ottawa
IN THE Province OF
Ontario THIS 4 DAY OF
October, 2024

Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

SignNow e-signature ID: 04c35fda65...
10/04/2024 18:52:30 UTC

A Commissioner etc.
Candice Christine Webster - A Commissioner etc., Province of Ontario,
For Robert Onley Law, Expires October 11, 2025



FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Nov 8, 2024
LR

Revised 2023/01/12

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 46 Everingham Cir, Brampton, ON L6R 0R7

I/We, Ali Qadirian and Mariam Qadirian

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Alam Makur of INTEQUA DESIGNS

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 04 day of 10, 2024.

Ali Qadirian (Oct 4, 2024 11:34 EDT)

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 46 Everingham Cir, Brampton, ON L6R 0R7

I/We, Ali Qadirian and Mariam Qadirian
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 04 day of 10, 2024.


Ali Qadirian (Oct 4, 2024 11:34 EDT)
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



Document History

SignNow E-Signature Audit Log

All dates expressed in MM/DD/YYYY (US)

Document name:

Document created:

Document pages:

Document ID:

Document Sent:

Document Status:

Application Form (Minor Variance) - 46 Everingham Cir.

10/04/2024 18:44:49

6

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10/04/2024 18:55:18 UTC

Signed
10/04/2024 18:57:23UTC

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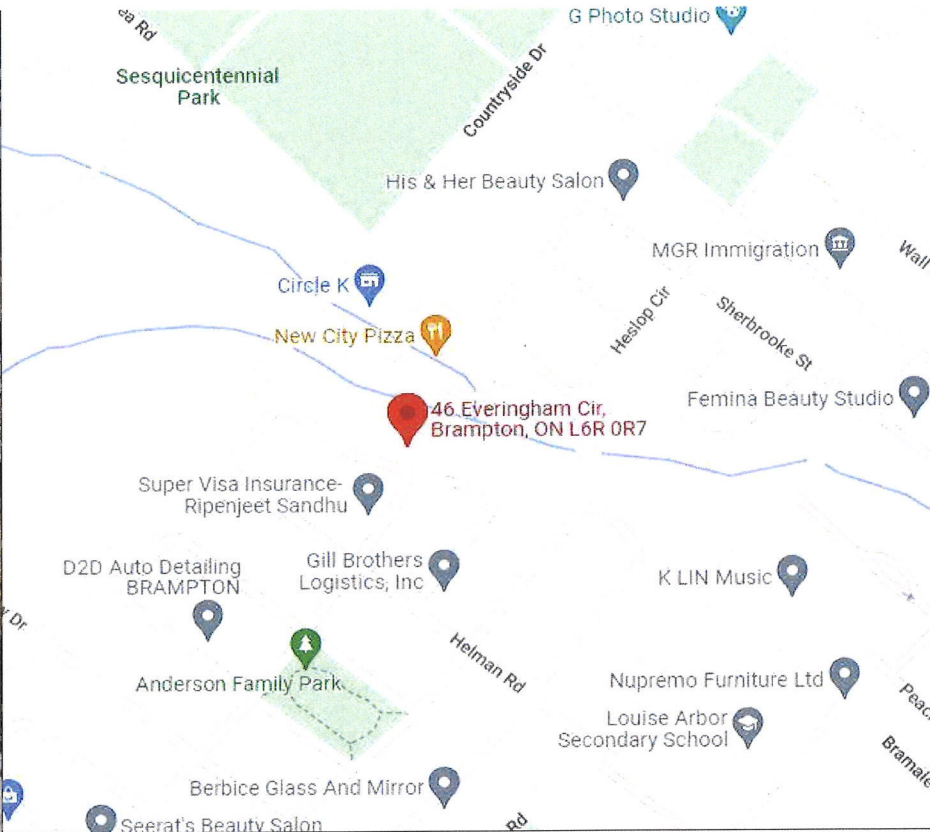
Signers:

CC:

online@notarypro.ca

notary@notarypro.ca (NotaryPro), intequa@gmail.com (NotaryPro)

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BASEMENT SECOND UNIT

ALI QADIRIAN

46 EVERINGHAM CIR

BRAMPTON, ON L6R 0R7

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Alan Mabur
NAME SIGNATURE 109095
BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

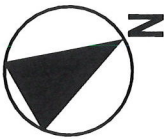
46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

COVER PAGE

Project number 22RE500-205
Date 2024.09.24

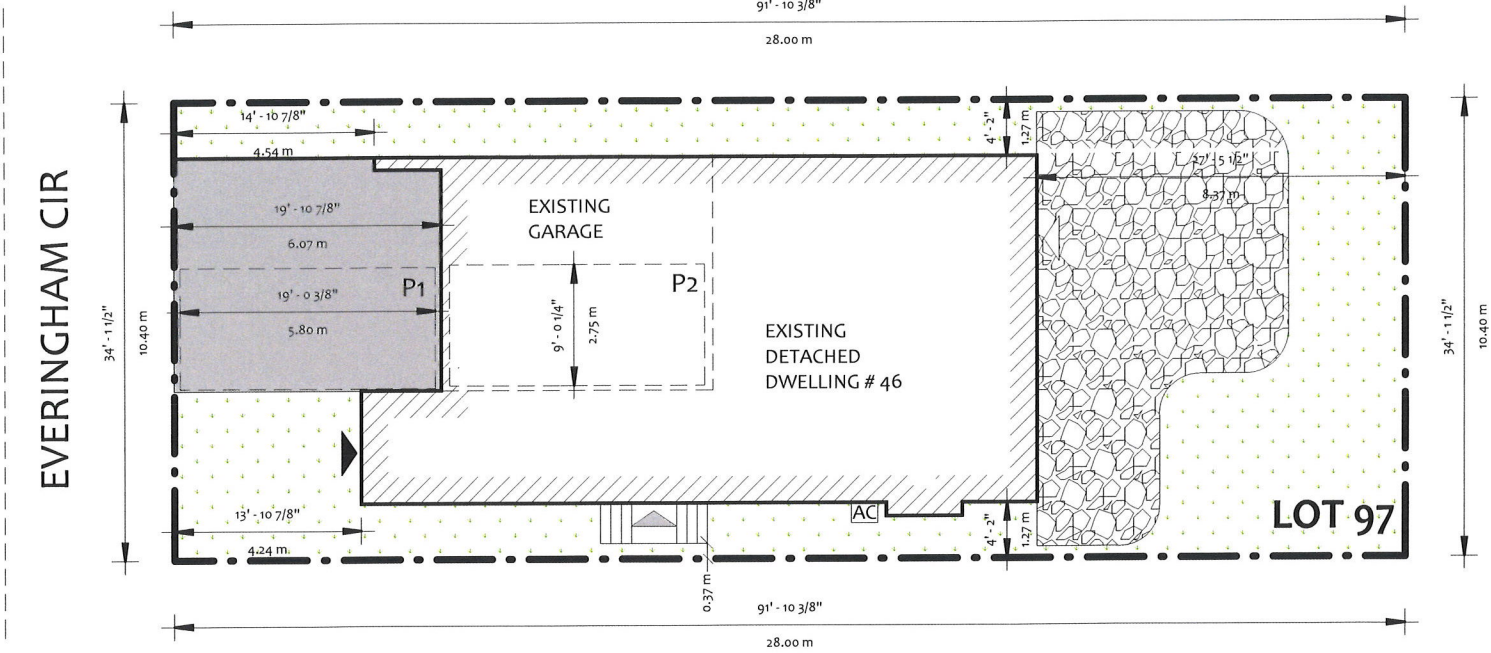
A-00

Drawn by K.R.
Scale



FLOOR / UNIT AREA	AREA	
	SQFT	SQM
BASEMENT (UNIT 2)	697.3	64.8
BASEMENT (COMMON SPACE)	71.87	6.7
LOW LEVEL (UNIT 1)	547.83	50.9
LOW LEVEL (COMMON SPACE)	69	6.4
FIRST FLOOR (UNIT 1)	1024	95.1
SECOND FLOOR (UNIT 1)	1013.46	94.1
TOTAL BUILDING AREA	2875.63	318

- ▶ MAIN ENTRANCE
- ▷ SECONDARY ENTRANCE
- ▷ BASEMENT ENTRANCE



1.0 SITE PLAN
A-02 3/32" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code.

Alan Makur

109096

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code.

FIRM NAME

BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

SITE PLAN

Project number22RE500-205

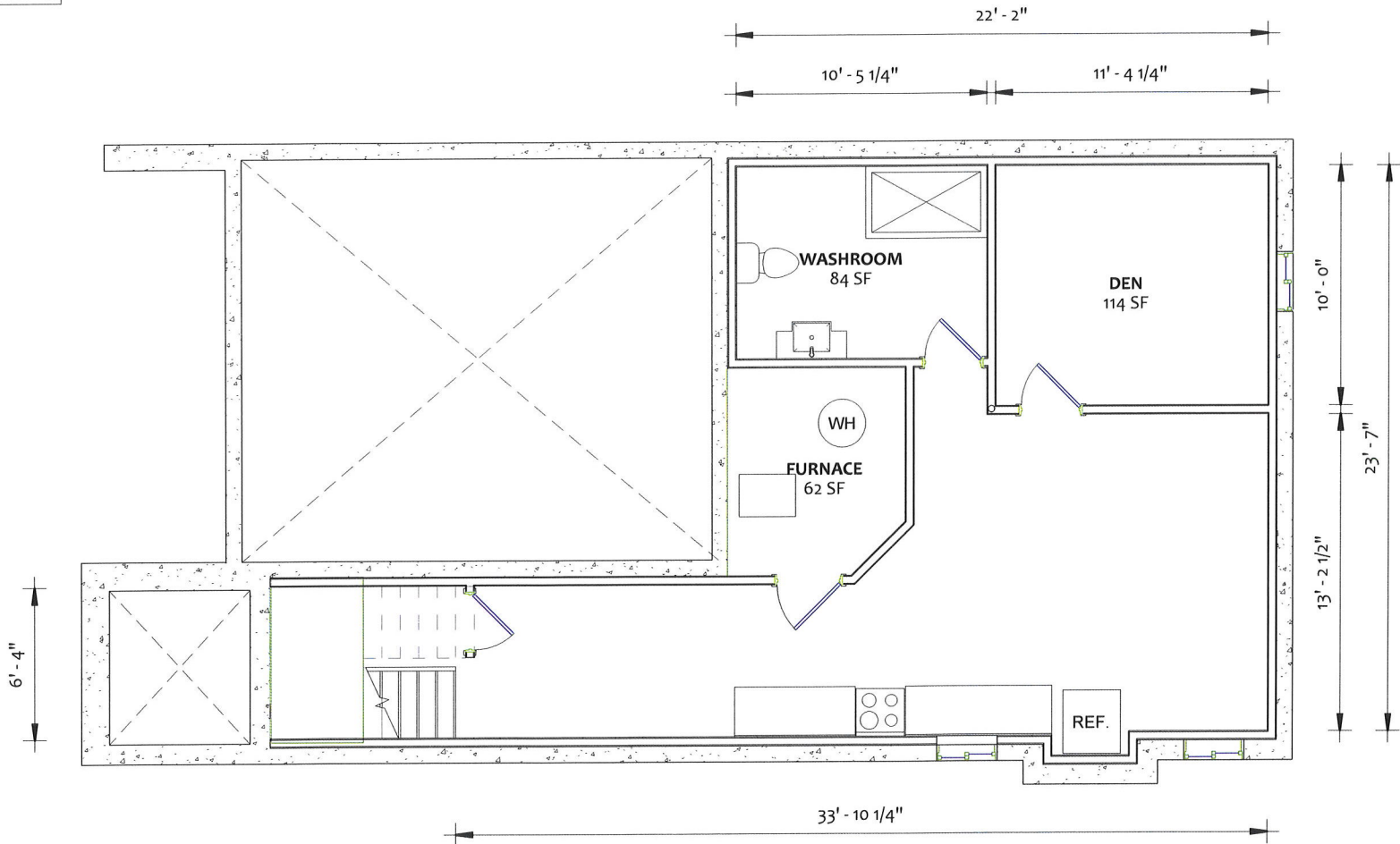
Date2024.09.24

A-02

Drawn byK.R.

ScaleAs indicated

WINDOW SCHEDULE EXISTING				
Type	Width	Height	Phase Created	Level
W1	2' - 6"	2' - 0"	Existing	BASEMENT
W1	2' - 6"	2' - 0"	Existing	BASEMENT
W1	2' - 6"	2' - 0"	Existing	BASEMENT
Grand total: 3				



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Altam, Makur 109095
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

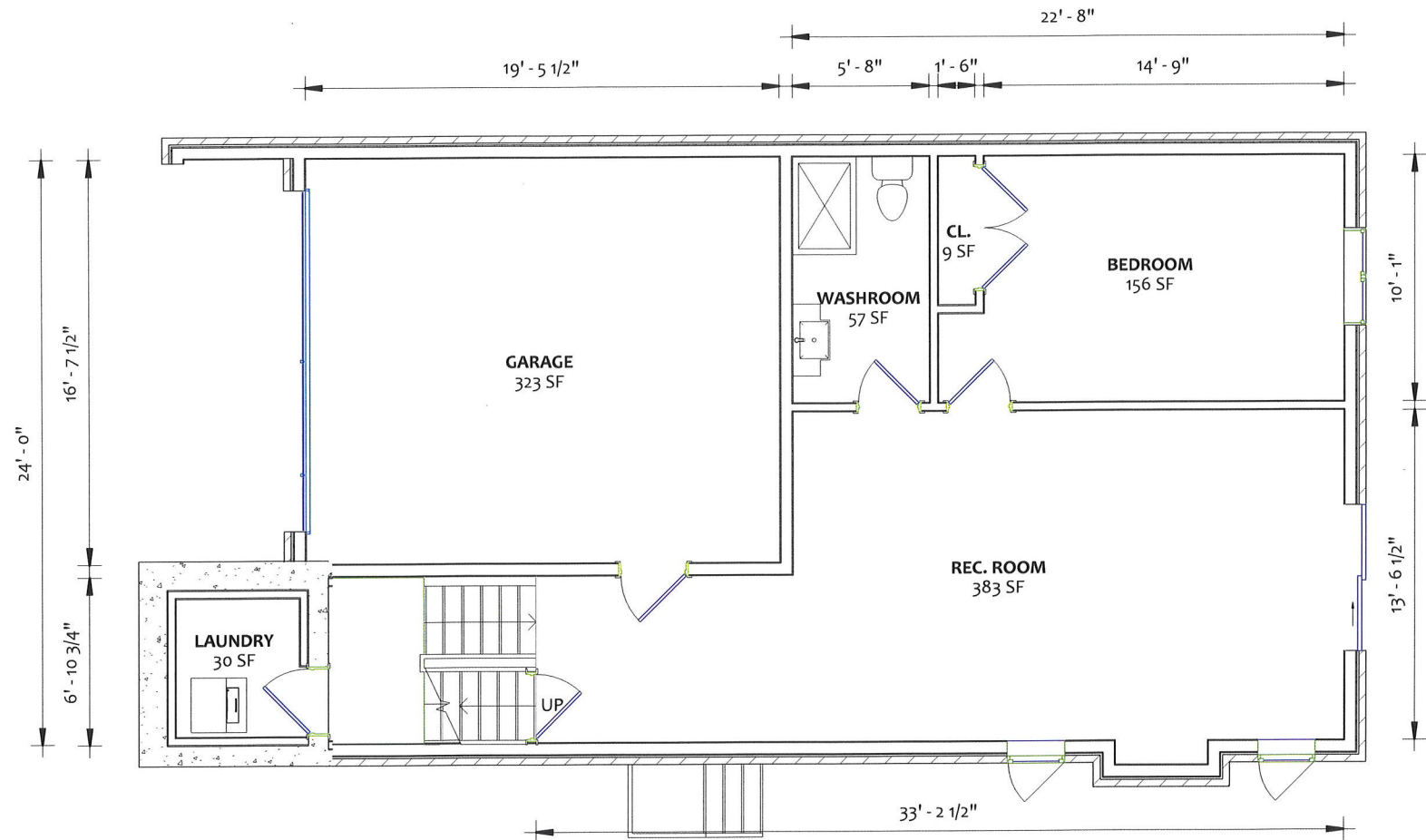
46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

EXT. BASEMENT

Project number 22RE500-205
Date 2024.09.24

A-03

Drawn by K.R.
Scale 3/16" = 1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Alan Makur 109095
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

EXT. LOW LEVEL

Project number

22RE500-205

Date

2024.09.24

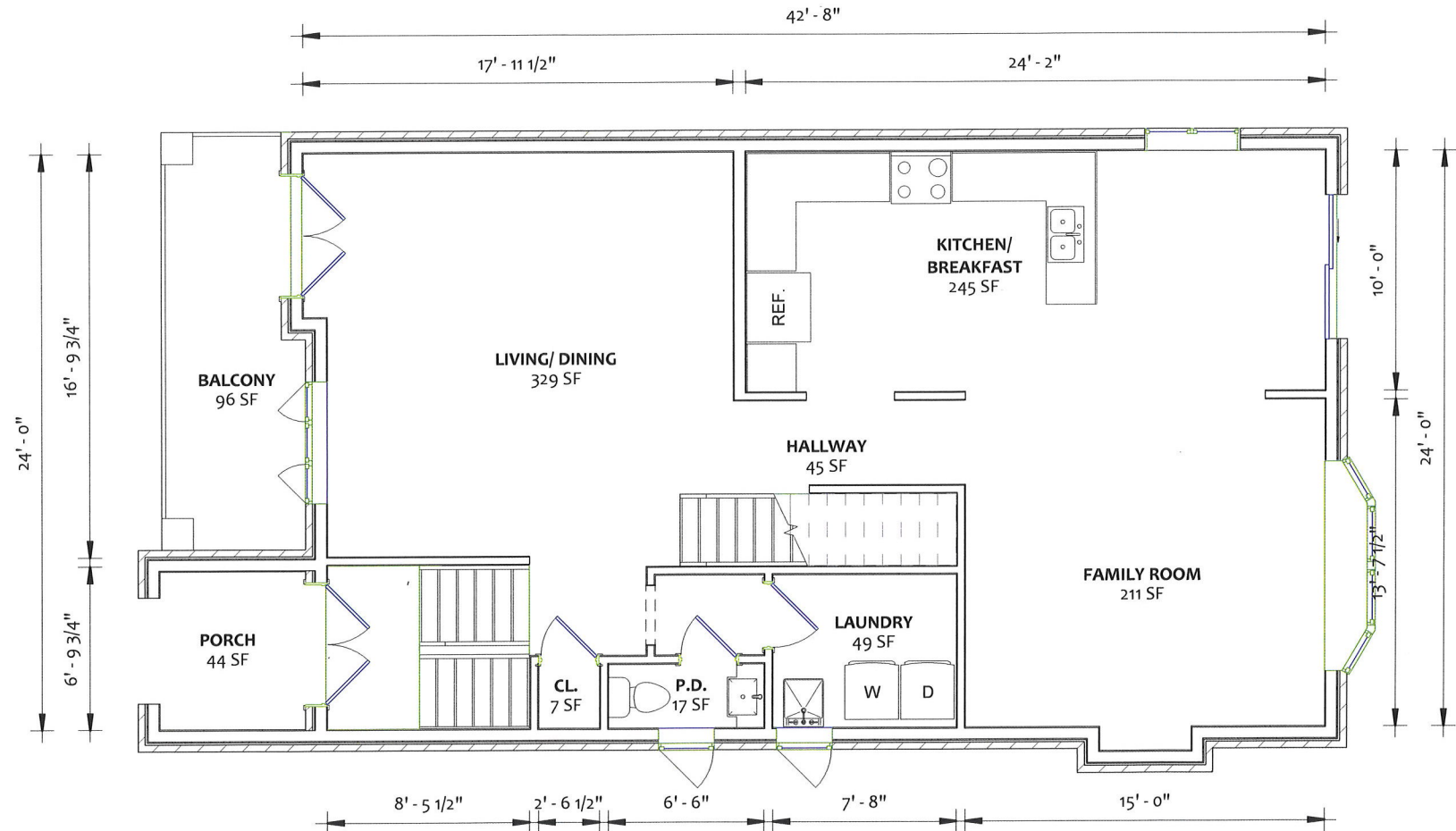
A-04

Drawn by

K.R.

Scale

3/16" = 1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1. of the Building Code

109095
BCIN

NAME SIGNATURE
Required unless design is exempt under 3.2.4.1. of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

EXT. MAIN FLOOR

Project number

22RE500-205

Date

2024.09.24

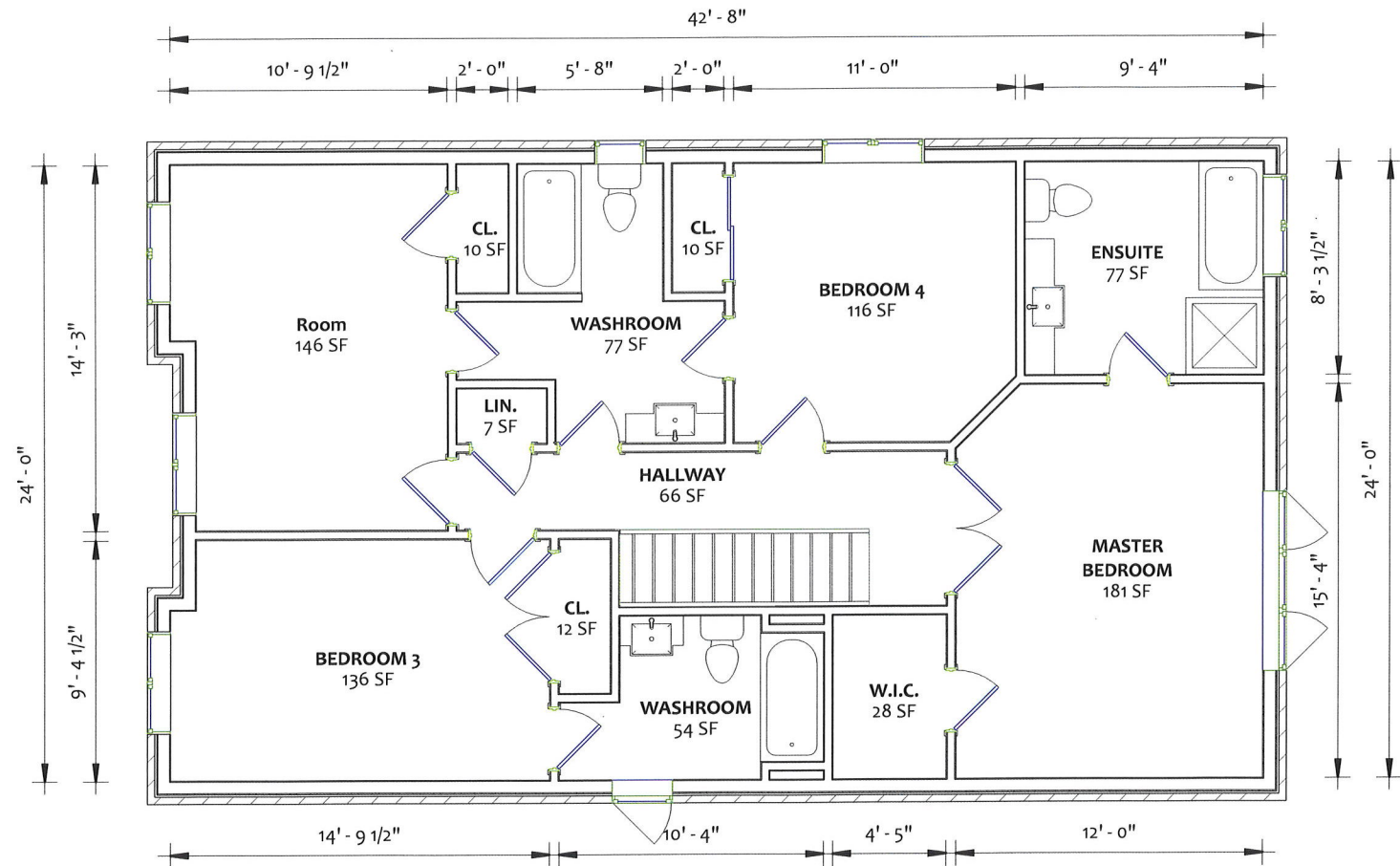
A-05

Drawn by

K.R.

Scale

3/16" = 1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Alan Makur
NAME SIGNATURE 109095
BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

EXT. SECOND FLOOR

Project number

22RE500-205

Date

2024.09.24

A-06


Drawn by

H.R

Scale

3/16" = 1'-0"

- **C.A. #152** APPLIED FOR VERTICAL & HORIZONTAL FIRE SEPARATION FOR RESIDENTIAL SUITES. 15 MIN FOR HORIZONTAL & 30 MIN VERTICAL.



COMMON AREA

UNIT 2

DUCT TYPE SMOKE DETECTOR SHALL BE PROVIDED IN SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE HOUSE WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN ENTIRE BUILDING AND COMMON AREAS

The undersigned has reviewed and takes responsibility for this design, and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2 5.1 of the Building Code

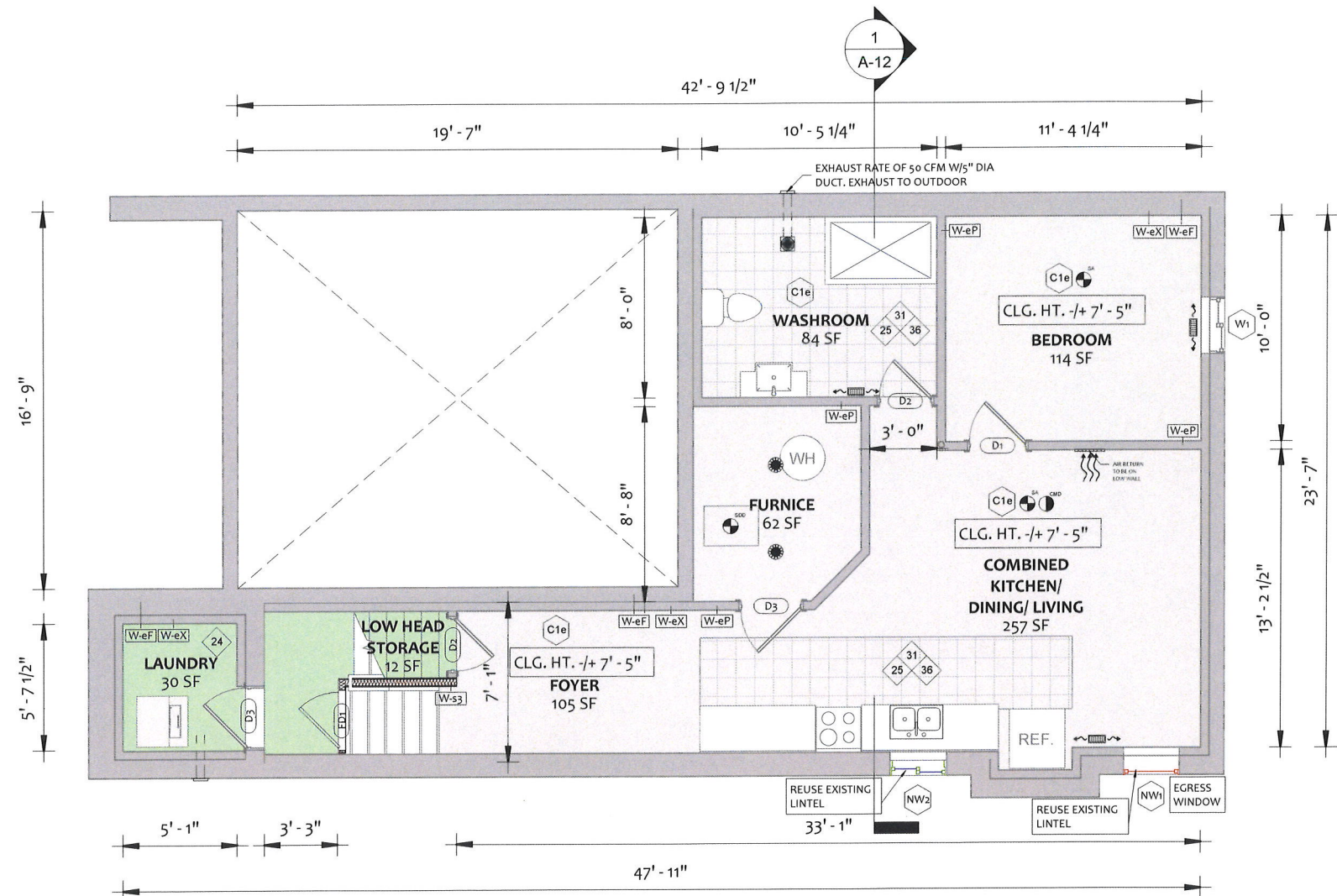
<u>Alam Makur</u>		<u>109025</u>
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2 4.1 of the Building Code

<u> </u>	<u> </u>
FIRM NAME	BCIN

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7



Project number 22RE500-205

Date 2024.09.24

A-07

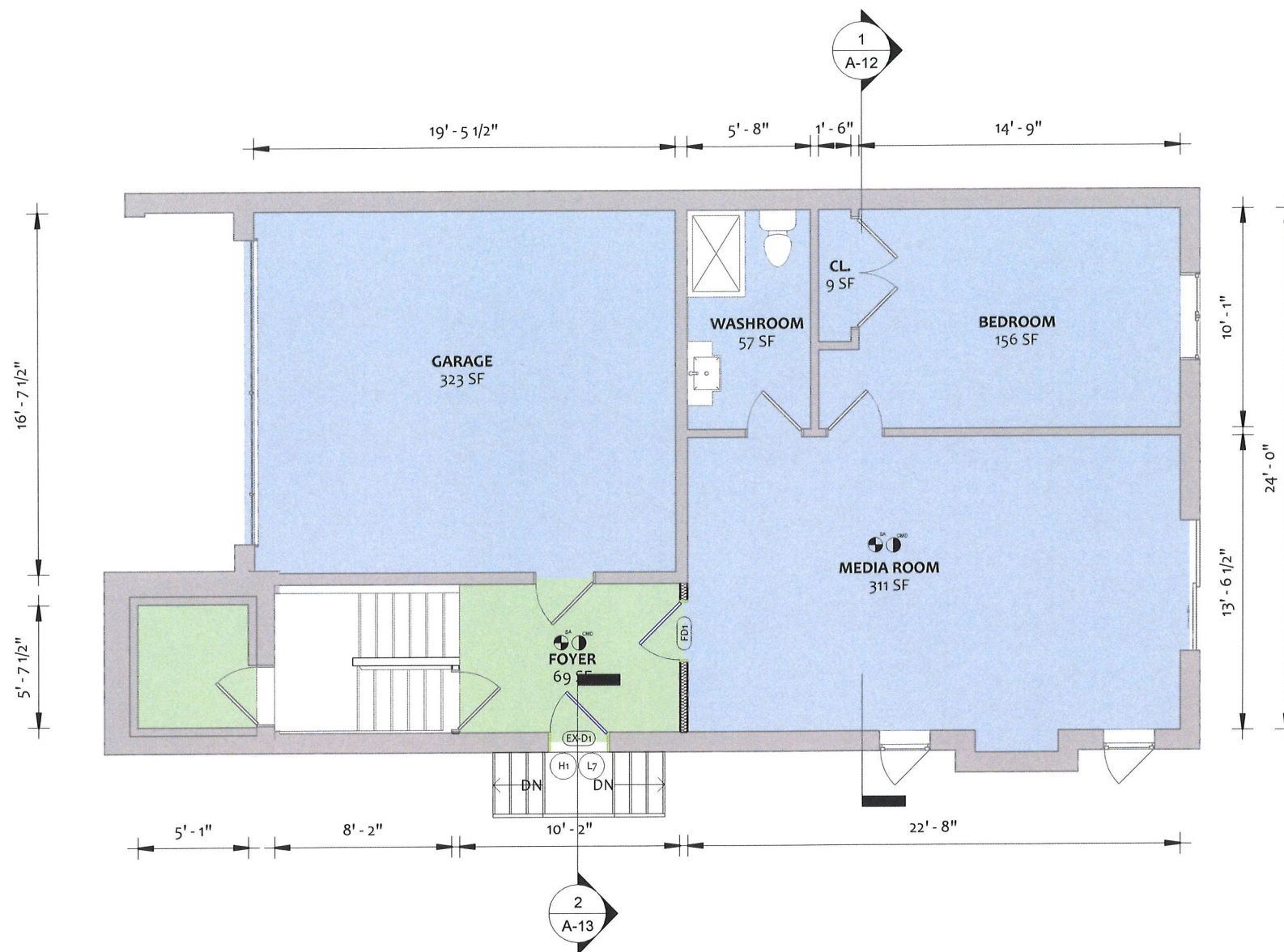
Drawn by **H.R.**
Scale **3/16" = 1'-0"**

COMMON AREA

UNIT 1

ALL PLUMBING MUST CONFORM TO O.REG.
332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED
WITHIN ENTIRE BUILDING AND COMMON
AREAS.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code.

Alarm Maker 109095
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code.

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

PROP. LOW LEVEL

Project number

22RE500-205

Date

2024.09.24

A-08

Drawn by

H.R

Scale

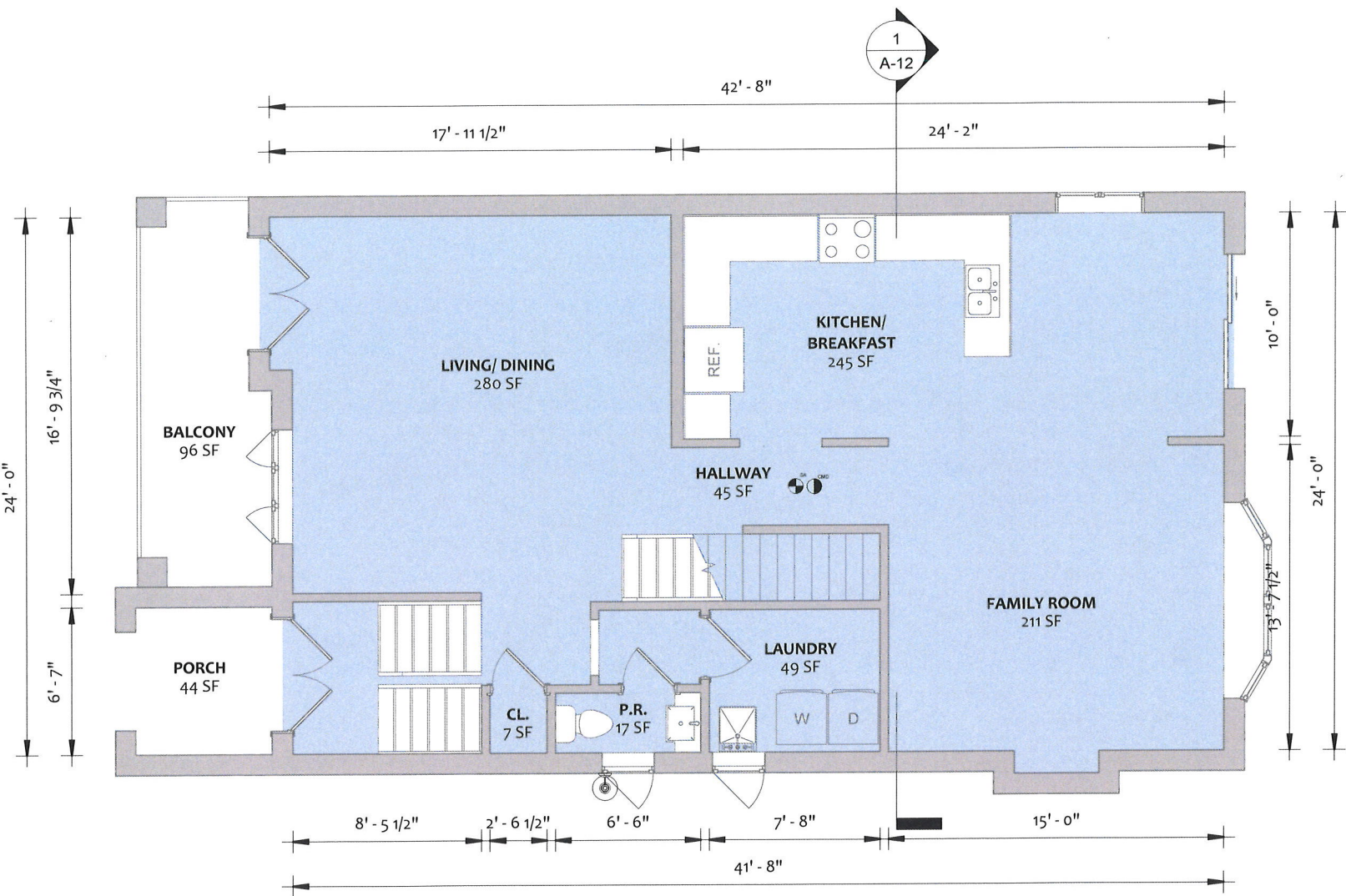
3/16" = 1'-0"



UNIT 1

ALL PLUMBING MUST CONFORM TO O.REG.
332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED
WITHIN ENTIRE BUILDING AND COMMON
AREAS.



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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code.

Alam Makur 109095
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code.

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

PROP. MAIN FLOOR

Project number 22RE500-205
Date 2024.09.24

A-09

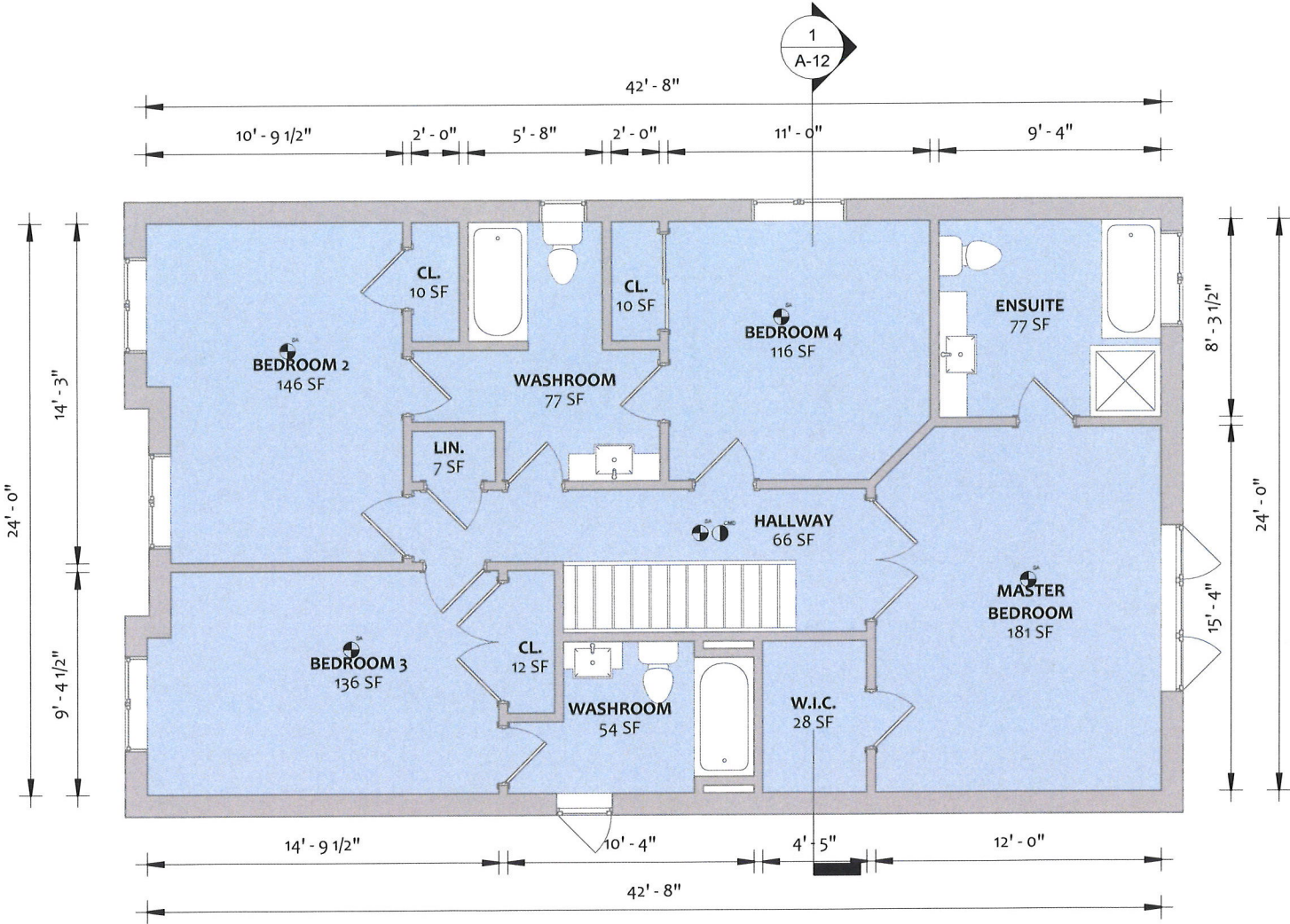
Drawn by H.R.
Scale 3/16" = 1'-0"



UNIT 1

ALL PLUMBING MUST CONFORM TO O.REG.
332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED
WITHIN ENTIRE BUILDING AND COMMON
AREAS.



BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

PROP. SECOND FLOOR

Project number 22RE500-205
Date 2024.09.24

A-10

Drawn by K.R.
Scale 3/16" = 1'-0"

NEW SIDE ENTRANCE NOTES:
PROPOSED DOOR TO COMPLY WITH OBC DIV. B 9.7.3,
WHEN IN CLOSED POSITION, DOOR SHALL:
- RESIST THE INGRESS OF PRECIPITATION INTO INTERIOR SPACE,
- RESIST WIND LOADS,
- CONTROL AIR LEAKAGE,
- RESIST THE INGRESS OF INSECTS AND VERMIN,
- WHERE REQUIRED, RESIST FORCED ENTRY, AND
- ARE EASILY OPERABLE, UNLESS THEY ARE FIXED UNITS.
DOOR SHALL COMPLY WITH PROVISIONS OF 9.7.5.2 RESISTANCE TO
FORCED ENTRY FOR DOORS

LIMITING DISTANCE CALCULATIONS:
SET BACK : 4.16 FT (1.27 m)
WALL AREA : 1425.58 SQFT (132.4 m²)
WINDOW GLAZING AREA : 57.72 SQFT (5.3 m²)
GLAZING % = 4%
ALLOWED GLAZED AREA 14.97% (99.7 SQFT)



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

NAME: Alvin Makur SIGNATURE: [Signature] REGISTRATION NUMBER: 109085 BCPN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME: BCPN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

NORTH ELEVATION

Project number 22RE500-205
Date 2024.09.24

A-11

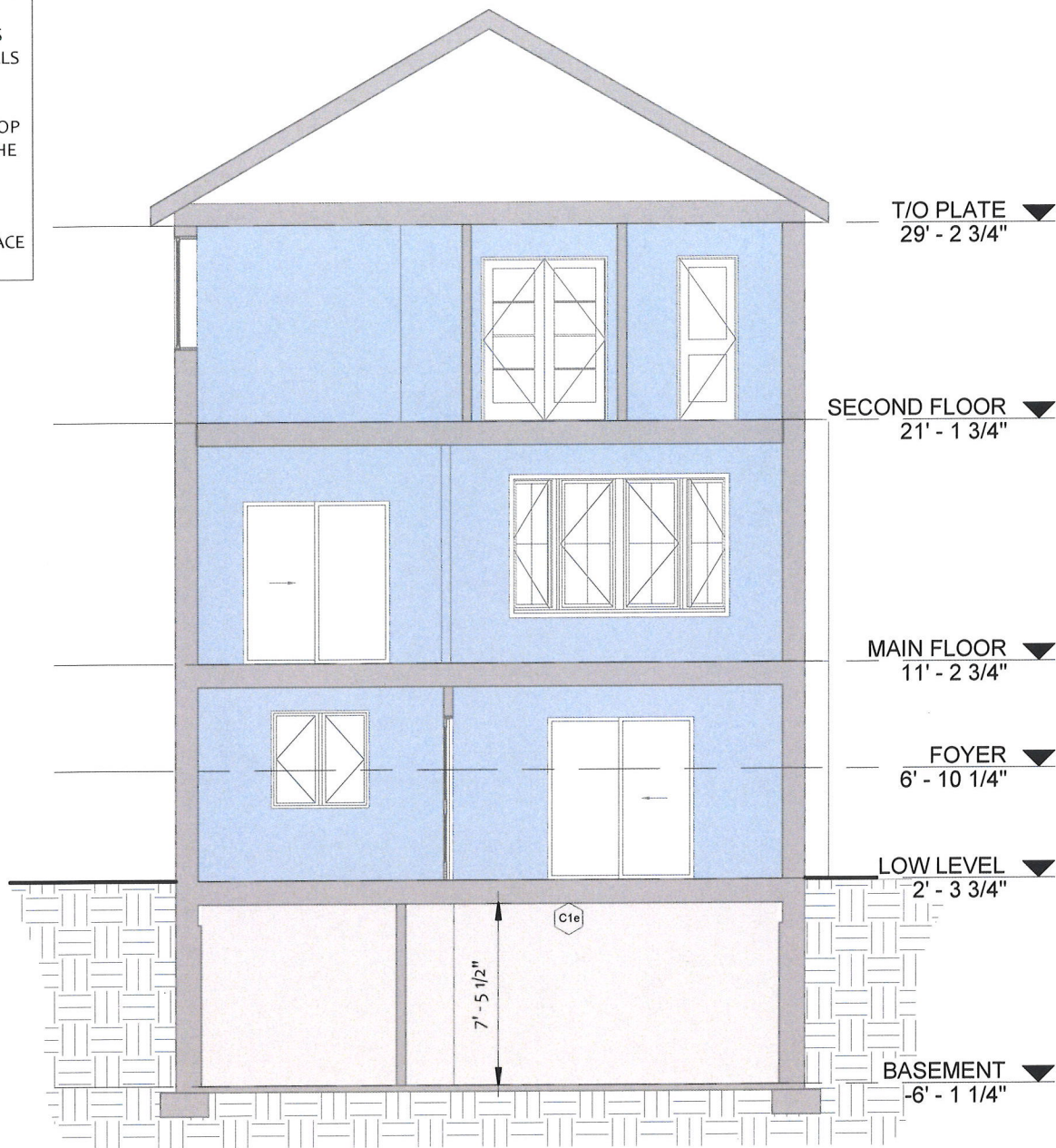
Drawn by K.R.
Scale 3/16" = 1'-0"

9.10.16.1. REQUIRED FIRE BLOCKS IN CONCEALED SPACES:

1. CONCEALED SPACES IN INTERIOR WALLS, CEILINGS, FLOORS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTIC OR ROOF SPACES.

2. FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAMED-SPREAD RATING GREATER THAN 25.

3. FIRE BLOCKS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A SURFACE OF FLAME-SPREAD RATING GREATER THAN 25.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code.

Alam Makur
NAME SIGNATURE 109295
BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code.

FIRM NAME BCIN

BASEMENT SECOND UNIT

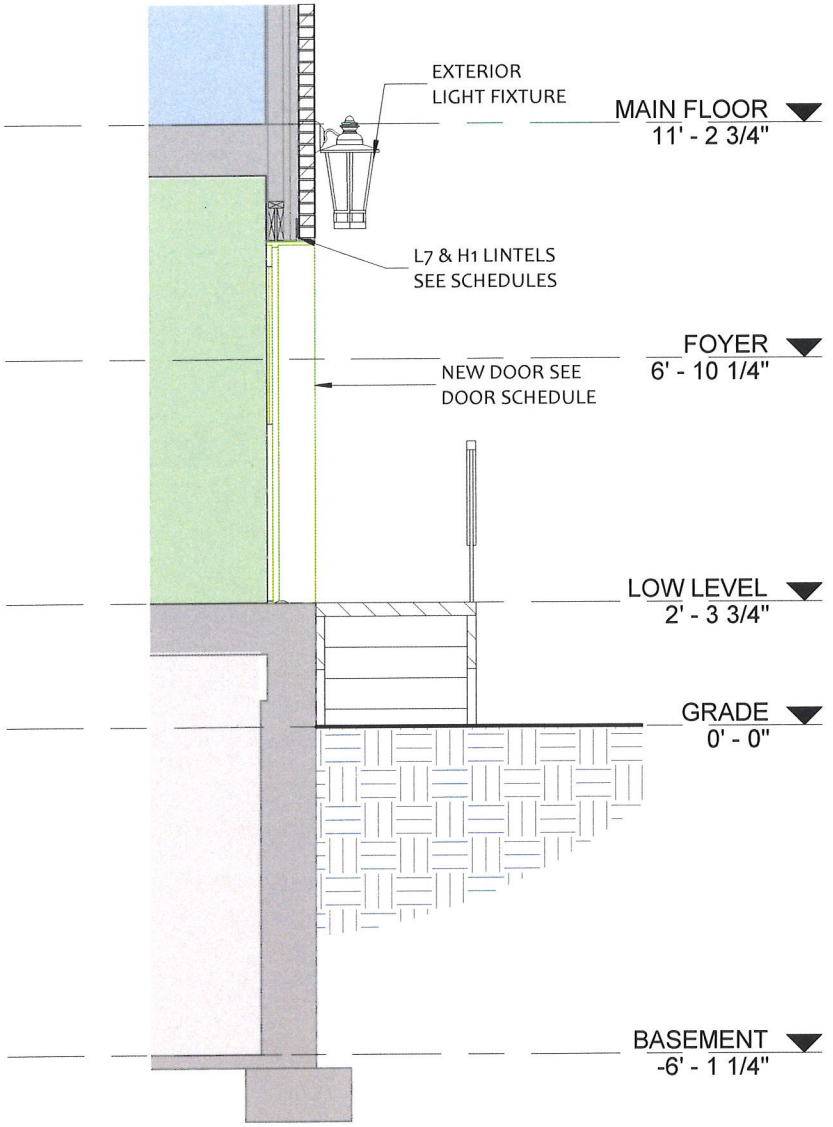
46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

SECTIONS

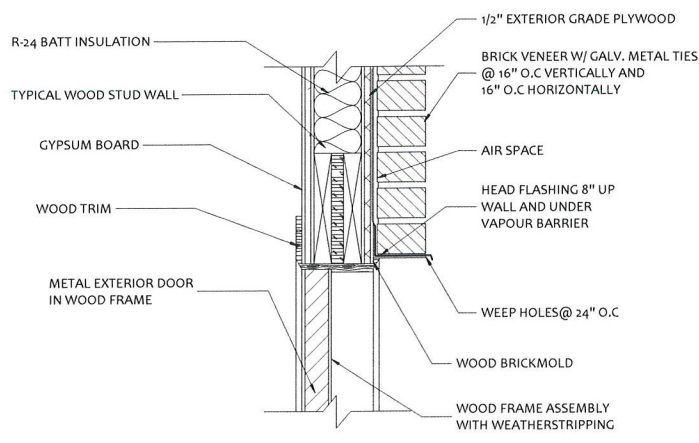
Project number 22RE500-205
Date 2024.09.24

A-12

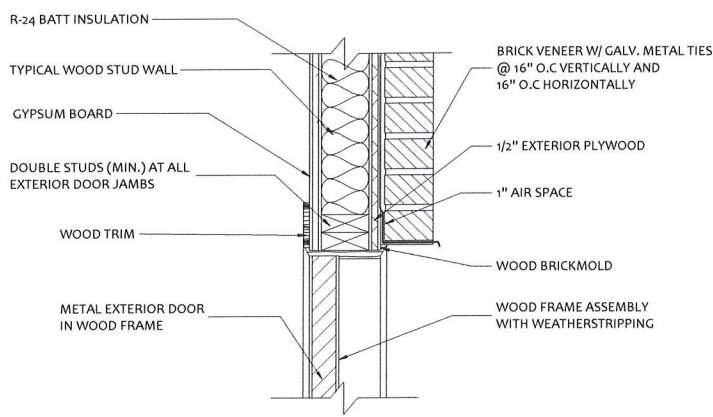
Drawn by K.R.
Scale 3/16" = 1'-0"



2
A-13 SECTION AT LANDING
3/8" = 1'-0"



DOOR DETAIL - HEAD



DOOR DETAIL - JAMB

1
A-13 D12 - Door Head and Jamb
1" = 1'-0"

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Align Makur
NAME SIGNATURE 109095
BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

SIDE ENTRANCE DETAILS

Project number 22RE500-205
Date 2024.09.24




A-13

Drawn by Author
Scale As indicated

DOOR SCHEDULE EXISTING						
Type	Ct.	Level	Width	Height	Phase Created	Comments
D1	1	BASEMENT	2' - 6"	6' - 8"	Existing	
D2	1	BASEMENT	2' - 4"	6' - 8"	Existing	
D2	1	BASEMENT	2' - 4"	6' - 8"	Existing	
D3	1	BASEMENT	2' - 8"	6' - 8"	Existing	
Grand total: 4						






DOOR SCHEDULE NEW						
Type	Ct.	Level	Width	Height	Phase Created	Comments
FD1	1	COLD ROOM LANDING	2' - 8"	6' - 8"	New Construction	20 MIN F.R.R W / SELF CLOSING DEVICE
EX-D1	1	LOW LEVEL	2' - 8"	6' - 8"	New Construction	
FD1	1	LOW LEVEL	2' - 8"	6' - 8"	New Construction	20 MIN F.R.R W / SELF CLOSING DEVICE
Grand total: 3						

WINDOW SCHEDULE						
Type	Ct.	Level	Width	Height	GLASS AREA	Phase Created
NW1	1	BASEMENT	2' - 6"	3' - 0"	6.75 SF	New Construction
NW2	1	BASEMENT	2' - 6"	3' - 0"	6.75 SF	New Construction
W1	1	BASEMENT	2' - 6"	2' - 0"	4.50 SF	Existing
Grand total: 3						

BASEMENT (UNIT2)						
No.	Elevation	Room Name	Room Area (sqft)	Req. Win. %	Req. Win. Area (sqft)	Glass Area (sqft)
W1		BEDROOM 1	114 sqft	2.5 %	3.3 sqft	4.5 sqft
NW1		FAMILY / DINING ROOM	257 sqft	5 %	12.8 sqft	13.5 sqft
NW2						

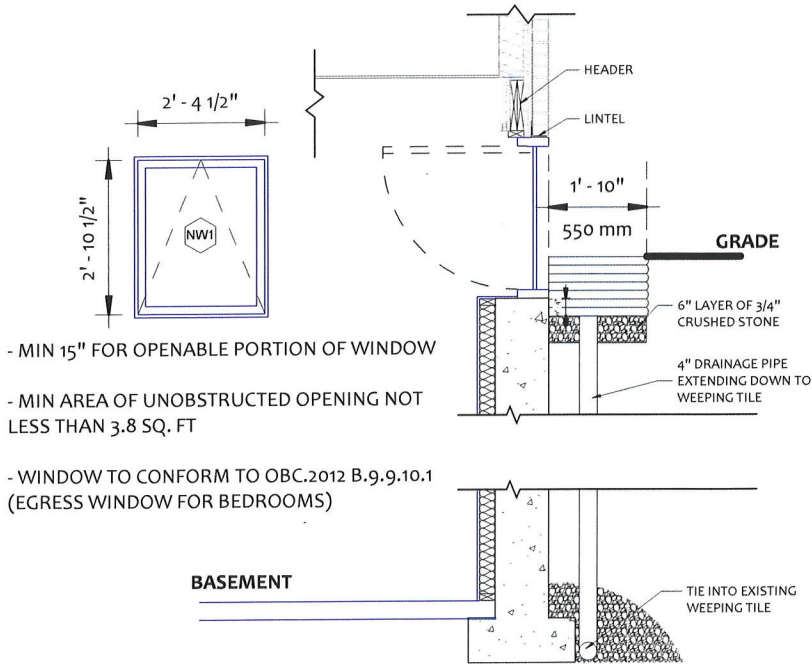
STRUC. ELEMENTS	
LINTEL SCHEDULE	
NO.	DESCRIPTION
H1	2 - 2x8
H2	3 - 2x8
H3	2 - 2x10
H4	3 - 2x10
H5	2 - 2x12
H6	3 - 2x12
L7	L - 5 x 3 1/2 x 5/16
L8	L - 5 x 5 x 5/16
L9	L - 5 x 5 x 1/2

WALL SCHEDULE

	W-eF	EXISTING FOUNDATION WALL
	W-eX	EXISTING EXTERIOR WALL
	W-eP	EXISTING STUD PARTITION WALL
	W-p1	NEW INTERIOR - STUD PARTITION - 1/2" GYPSUM WALL BOARD - 2"x4" @16" o.c. WOOD STUDS - 1/2" GYPSUM WALL BOARD
	W-s3	NEW INTERIOR - 30min FIRE SEP. (Wic) - 1 LAYER 1/2" REGULAR GWB - 2"x4" WOOD STUDS @ 16"o.c. - ROXUL INSULATION IN CAVITIES - 1 LAYER 1/2" REGULAR GWB

CEILING SCHEDULE

	C1e	EXISTING CEILING -EX. FLOOR FINISH -EX. FLOOR JOIST -EXISTING 1 LAYER 1/2" GYPSUM BOARD * NOTE: NO OPENINGS ARE PERMITTED
	C2	BULKHEAD 15 min FIRE SEPARATION - NEW 1 LAYERS 1/2" GYPSUM BOARD *NOTE: NO OPENINGS ARE PERMITTED



- MIN 15" FOR OPENABLE PORTION OF WINDOW
- MIN AREA OF UNOBSTRUCTED OPENING NOT LESS THAN 3.8 SQ. FT
- WINDOW TO CONFORM TO OBC.2012 B.9.9.10.1 (EGRESS WINDOW FOR BEDROOMS)

1	D17.2 - EGRESS WINDOW BSMT - WINDOW/ELL
A-14	3/8" = 1'-0"

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Alan Makur
NAME SIGNATURE 102025 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

SCHEDULES

Project number	22RE500-205
Date	2024.09.24

Drawn by	K.R.
Scale	As indicated

A-14

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT., etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONC. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :

IV. RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPA AND 35 MPA FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
 - I) HOLLOW SECTION: G 40.21-M 350W
 - II) I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

4. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES

5. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

6. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"X2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

7. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, Ss= 2.0 kPa, Sr = 0.4kPa)
2. ROOF DEAD LOAD = 0.75kPa
3. SECOND FLOOR DEAD LOAD=0.75kPa
4. MAIN FLOOR DEAD LOAD=1.0kPa
5. OCCUPANCY LIVE LOAD=1.9kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY =75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the Building Code

Alper Malik

SIGNATURE

108095

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME

BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

GENERAL NOTES

Project number22RE500-205
Date2024.09.24

AN-01

Drawn byA.R
Scale

CONSTRUCTION NOTES

ALL CONSTRUCTION TO ADERE TO THESE PLANS AND SPECS AND TO CONFORM TO ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION THES REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS ONT.REG.350/06

- 1
- ROOF CONSTRUCTION
- NO210 ROOF ASPHALT SHINGLES ON 1/8" PLYWOOD SHEATHING WITH H-CLIPS.APPROVED WOOD TRUSSES @24" O.C. MAX APPROVED EAVES PROTECTION TO EXTEND 3' FROM EDGE OF ROOF AND MIN. 12" INNER FACE OF EXTERIOR WALL . 2"x4" TRUSS BRACING @6' O.C. BOTTOM CORD.PREFIN. ALUM. EAVSTROUGH,FASCIA,RWL&VENTED SOFFIT.ATTIC VENTILATION 1300 OF INSULATED ELING AREA WITH 50% AT EAVS.
- 2
- STONE VENEER WALL CONSTRUCTION
- 4" FACE STONE ,1" AIR SPACE 0.03 THICK X 7/8 WIDE GALVANIZED METAL TIES INSRALLED W/ GALVANIZED SPIRAL NAILS 32" O.C HORIZ,16" O.C VERT. SHEATHING PAPER , LAYERS TO OVERLAP EACH OTHER ON 1/2" EXTERIOR TYPE SHEATHING . 2"x6" WOOD STUDS @16" O.C. R24 BATT INSULATION IN CONTINUOUS CONTACT W/SHEATHING AND VAPOUR BARIER /AIR BARIOUR DOUBLE PLAT AT THE TOP,SINGLE PLATE AT THE BOTTOM
- 3
- STONE VANEER @ FDN. WALL
- 20 MM POLY FLASHING MINIMUM 6" UP BEHIND SHEATHING PAPER.WEEPING HOLES @ MIN 2'-7" APART
- 4
- STUCCO WALL CONSTRUCTION
- 3 COATS OF STUCCO FINISH ON STUCCO LATH ON 1 1/2" T&G EPS INSULATION BOARD FASTENED WITH NAILS OF MIN 3.2 MM DIA. W/ MIN 11:1 MM HEAD SAPCED @ MAX. 6" O.C VERTICALLY AND 16" O.C HORIZONTALLY OR 4" O.C VERTICALLY AND 24" HORIZONTALLY ON SHEATHING PAPER . @ NOT LESS THAN 8" ABOVE FINISHED GROUND
- 5
- WOOD SIDING WALL CONSTRUCTION
- FRAME WALL CONSTRUCTION FINISH WITH VYNEL SIDING SIDING PAPER LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SIDING ON 2X6 WOOD STUDS @ 16" O.C.DOUBLE PLATE AT THE TOP SINGLE PLATE @ BOTTOM R24 BATT INSULATION IN CAVITIES.
- 6
- FOUNDATION WALLS
- BITUMINOUS DAMPROOFING ON 1/4" PARGING. ON 10" CONCRETE BLOCKS FDN. WALL TOP COURSE FILLED W/ CONCRETE PROVIDE PARGING COVED OVER 24"x12" POURED CONCRETE FOOTING TO BEAR ON UNDISTURBED SOIL PROVIDE DRAINAGE LAYER :
- MIN 3/4" MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 3.6 LB/FT OR
- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL OR
- A B.M.E.C. APPROVED DRAINAGE LAYER MATERIAL
- 7
- REDUCTION IN FOUNDATION WALL THICKNESS
- WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOIST, THE REDUCED SECTION SHALL BE NOT MORE 13 3/4" HIGHT AND NOT LESS THAN 3 1/2" THICK. WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FACING .THE REDUCED SECTION SHALL BE NOT LESS 3 1/2" THICK AND TIED TO THE FACING MATERIAL W/ METAL TIES.
- 8
- INTERIOR STUD PARTITIONS (NO BEARING)
- NO BEARING PATITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x4" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

- 9
- INTERIOR STUD PARTITIONS (BEARING)
- BEARING PATITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x6" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.
- 10
- WALL INSULATION
- MIN. R24 INSULATION BATTs TO COVER THE INTERIOR FACE OF THE EXTERIOR WALLS WITH CONTINUOUS AIR / VAPOUR BARIER
- 11
- FOUNDATION INSULATION
- R20 INSULATION BLANKET WITH AIR/VAPOUR BARRIER FROM SUB-FLOOR TO BASEMENT SLAB.DAMPProof W/ BLDG.PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 12
- STUD WALL REINFORCEMENT
- PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BARS
INSTALLATION IN MAIN BATHROOM 33"-36" A.F.F. BEHIND TOILET 33" A.F.F ON THE WALL OPPOSITE THE ENTERANCE TO THE TUB AND SHOWER
- 13
- SILL PLATE
- 2"x6" SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN . 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 7'-10" O.C MAX. PROVIDE CAULKING FOR GASKET BETWEEN PLATE AND FOUNDATION WALL.
- 14
- FLOOR FRAMING
- 5/8" T&G PLYWOOD NAILED AND GLUED ON 2" X 8" I-JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C
- 15
- ENGINEERED FLOOR FRAMING
- 5/8" T&G PLYWOOD NAILED AND GLUED ON 2" X 10" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C
- 16
- BASEMENT SLAB
- MIN. 3" 25 MPA CONC. SLAB ON 4" COARSE GRANULAR FILL WITH DAMP PROOFING BELOW SLAB.
- 17
- STEEL BASEMENT COLUMN
- MIN 3" DIA. AND WALL THICKNESS OF MIN. 3/16" WITH 4"x4"x1/4" THICK STEEL PLATE WELDED TOP AND BOTTOM AND SUPPORTED ON A 36"x36"x18" THK CONCRETE FOOTING .
- 18
- STEEL BEAM
- W 150X22 SITTING ON STEEL COLUMN ON ONE END AND 3 1/2" END BEARING ON FOUNDATION WALL ON THE OTHER END WITH 1"x3" CONTINUS WOOD STRAPPING ON EACH SIDE OF THE BEAM
- 19
- GRADE
- SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL.
- 20
- DRAINAGE
- 4" DIA. WEEPING TILE W/ 6" CRUSHED STONE OVER AND ARROUND
- 21
- CRAWL SPACE ACCESS HATCH
- CRAWL SPACE CLEARANCE MIN. 24" CLEAR TO U/S OF STRUCTURE PROVIDE 1/64" POLY GROUND COVER MIN. 11 13/16" OVERLAP, SEALED AT JOISTS & FOUNDATIONS WALL & WEIGHTED DOWN W/MIN ACCESS OPENING OF 2' 7" X 1' 10"
- 22
- ATTIC ACCESS
- ATTIC ACCESS HATCH 22"x28" WITH WEATHERSTRIPPING (MIN.3.4FT2) RSI 8.8 (R50) RIGID INSULATION BACKING.

- 23
- CEILING CONSTRUCTION
- MIN 5/8" DRYWALL FINISH ON ALL CEILINGS .WITH CONTINUOUS AIR VAPOUR BARIER WITH MIN. R40 INSULATION FOR ATTIC
- 24
- DRYER VENT
- CAPPED DRYER EXHAST VENTED TO EXTERIOR .DUCT SHALL CONFORM TO OBC 2012 DIV. B PART 6
- 25
- WASHROOM EXHAUST
- MECHANICAL EXHAST FAN, VENTED TO EXTERIOR ,TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR .PROVIDE DUCT SCREEN AS PER OBC 2012 DIV. B 9.32.3.12
- 26
- CABINETRY ABOVE RANGE
- FRAMING FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE MIN 2'-6" CLEARANCE ,UNLESS FRAMING , FINISHES AND CABINETRY ARE NON-COMBUSTABLE OR ARE PROTECTED AS PER 9.10.22.(2)(10)(1) AND (11)
- 27
- SMOKE ALARM O.B.C. 9.10.19
- PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL . ALARMTO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.IT SHOULD BE INSTALED IN CONFORMANCE WITH CAN/ULC-5553
- 28
- CARBON MOMOXIDE ALARM O.B.C. 9.33.4.
- PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING AREA .
- 29
- EXCAVATION AND BACKFILL
- * EXCAVATION SHOULD BE UNDER TAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES ADN ADJACENT PROPERTY
* THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIALS.
* IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS ,ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NOT LESS THAN 17 3/4"
* BACK FILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIES AND BOULDERS OVER 7/8" IN DIAMETER.
- 30
- NOTCHING AND DRELLING OF TRUSSESS,JOISTS AND RAFTERS
- * HOLES IN FLOORS,ROOFS AND CEILING MEMBES TO BE MAX.1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
* NOTCHES IN FLOORS,ROOF,CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
* WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDE THAT NOT LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING AND 1 1/2 IF NON LOAD BEARING WALL.
* ROOF TRUSS MEMBERS WHALL NOR BE NOTCHED , DRILLED, OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.
- 31
- CERAMIC TILES
- WHEN CERAMIC TILES APPLIED TO A MORTAR BED WITH ADHISEVE, THE BED SHALL BE A MIN. OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH , APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.
- 32
- 2 STORY VOLUME SPACE
- 2 STORY HIGH (18'-0") EXTERIOR WALL STUDS TO BE 2-2"x6" CONTINUOUS STUDS @12" O.C. TRIPLE UP AT EVERY THIRD DOUBLE STUDS C/W 3/8" EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ (4'-0") O.C.VERTICALLY .FOR HORIZONTAL DISTANCE NOT EXCEEDING (9'-6") PROVIDE (2-2"x6") TOP PLATE AND A SINGLE BOTTOM PLATE .MIN. OF 3-2"x8" CONTINUS HEADER AT GROUND CEILING LEVEL.TOE-NAILED AND GLUED AT TOP,BOTTOM PLATES AND HEADERS FOR 9' HIGH GROUND/FIRST FLOOR CEILING AND TRIPPLE HEADERS NAILED ONTOP OF FOUNDATION WALL SILL PLATE AND ADD 1-2"x6" CONTINUS BOTTOM PLATE NAILED ON TOP OF HEADERS.

- 33
- FOOTING
- 24"x12" DEEP POURED CONCRETE 2200 PSI . ON UNDISTERBED SOIL.MIN. 48" BELOW FINISHED GRADE
- 34
- BUILT UP POST
- 3-2"x4" BUILT UP POST WITH DAMPPROOFING MATERIAL WRAPPED AT END OF POST ANCHORED TO 24"x24"x12" CONC. FOOTING.
- 35
- RANGE HOOD EXHUST
- MECHANICAL EXHAST HOOD WITH MIN 100 CFM AND 6" DIM. RIGID STEEL DUCT OR EQUIVALENT TO OUTDOOR.
- 36
- SHOWER AND TUB VALVES
1. ALS SHOWER VALVES SHALL CONFORM TO OBC DIV. B 7.6.5.2
2. WATERPROOF FINISH REQUIRED AT SHOWER AND TUB AREAS TO CONFIRM TO OBC DIV B 9.29.2
- 37
- WALL REINFORCEMENT FOR FUTURE GRAB BARS
- INSTALLATION IN WASHROOM
SEE WASHROOM DETAIL SHEET
- 38
- GARAGE WALL-GAS PROOFING
- ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING .
1. PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING.
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHER STRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN INTO A ROOM INTENDED FOR SLEEPING.
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS.
6. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING, ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.
- 39
- PRECAST STAIRS
- PRECAST CONCRETE STEPS OR WOOD STEPS (PERMITTED TO A MAX. OF 3 RISERS) WHER NOT EXPOSED TO WHETHER MAX RISE 7-7/8" MIN. THREAD 9-1/2" . GREATER THAN 3 RISERS WILL REQUIRE LANDING/GUARD / HANDRAIL AND FOUNDATION UNDER CONC. STEPS.
- 40
- WOOD FRAME STAIRS
- STAIRS DETAILS

MAX RISE = 7-7/8"
MIN RUN = 8-1/4"
MIN TREAD = 9-1/4"
MAX NOSIN = 1"- 0
MIN HEADROOM = 6'-5"
RAIL@LANDING = 2'-11"
RAIL@STAIRS = 2'-8"
MIN STAIRS WIDTH = 2'-10"

CURVED STAIRS

MIN AVG. RUN = 7-7/8"
MIN RUN = 5'-7/8"

RAILING

FINISHED RAILING ON PICKETS SPACED MAX. 4".
INFERIOR GUARDS 2'-11" MIN.
EXTERIOR GUARDS 3'-6" MIN.
- 41
- INSULATION VALUES
- ABOVE GRADE WALLS
BASEMENT WALLS

CEILING WITH ATTIC SPACE
CEILING WITHOUT ATTIC SPACE

R-24
CONTINUOUS R-10 RIGID INSULATION +
R-12 MIN BATT INSULATION
R-60
R-31

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5.1 of the Building Code

Alain Makir

SIGNATURE

109090

NAME

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME

BCIN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

CONSTRUCTION NOTES

Project number 22RE500-205
Date 2024.09.24

AN-02

Drawn by A.R
Scale

42 **WINDOWS**

- WINDOWS TO BE SEALED TO THE AIR AND VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 OR
- AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS AND 31 FOR FIXED WINDOWS
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8W/(M2.K)

43 **DOORS AND WINDOWS**

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35 m². AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY AND SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL EXTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

44 **HVAC NOTES**

1. CONTRACTOR TO COORDINATE DUCTS INSTALLATION WITH PIPES, ELECTRICAL LIGHTING & BUILDING STRUCTURE.
 2. ALL MECHANICAL DUCTWORK SHALL BE CONCEALED IN ATTIC SPACE OR BULKHEADS UNLESS OTHERWISE NOTED.
 3. PROVIDE FLUE VENT, COMBUSTION AIR AND TERMINATION KIT FOR FURNACE AND INSTALL AS PER MANUFACTURER WRITTEN INSTRUCTION.
 4. PROVIDE BALANCING DAMPERS AT ALL AIR SUPPLY TAKE-OFFS:
(A.) AT BRANCH DUCT OFF MAIN TRUNK DUCT.
(B.) IN DRY WALL AREA, PROVIDE DAMPER AT GRILLE WITH APPROVED LOCKING DEVICE TO ENGINEER'S APPROVAL.
 5. CUTTING FOR DUCTS SHALL BE DONE BY THIS CONTRACTOR OBTAIN APPROVAL BEFORE CUTTING IN ANY WALL, STRUCTURAL BEAM, FLOOR AND ROOF.
 6. COORDINATE LOCATION OF EACH S.A. GRILLE AND RETURN AIR GRILLE ON SITE BEFORE CUTTING AND ROUGH-IN.
 7. INSULATE ALL EXHAUST AIR DUCTS MIN. 150MM FROM WALLS OR ROOF.
 8. CONNECT GAS PIPE TO EACH UNIT COMPLETE WITH SHUT OFF VALVE. ALL GAS PIPING SHALL BE CSA AND CGA APPROVED. INSTALL PIPES IN ACCORDANCE TO B149.1 CODE.
 9. INSULATE ALL DUCTS IN CEILING SPACE, ATTIC SPACE AND GARAGE .
 10. TEST AND BALANCE SYSTEM. SUBMIT BALANCING REPORT.
 11. COORDINATE ROUTING DUCTS AND LOCATION OF EACH GRILLE, FAN AND FURNACE WITH STRUCTURAL MEMBERS, PIPING, CONDUITS AND LIGHTING. OFFSET AS REQUIRED AND MAINTAIN REQUIRED SERVICE ACCESS.
 12. PROVIDE R.A. GRILLES AT HIGH AND LOW LEVELS. EACH GRILLE SHALL BE COMPLETED WITH BALANCING DAMPER.
- USE SPACE BETWEEN JOISTS AND WALL STUDS FOR RETURN WHERE APPLICABLE. PROVIDE SHEET METAL JOISTS LINER (JL) AS REQUIRED.

45 **MECHANICAL VENTILATION:**

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
- 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 - 5.0 L/S FOR EACH OTHER ROOM
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

46 **NATURAL VENTILATION**

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1m

47 **BASEMENT EGRESS WINDOW**

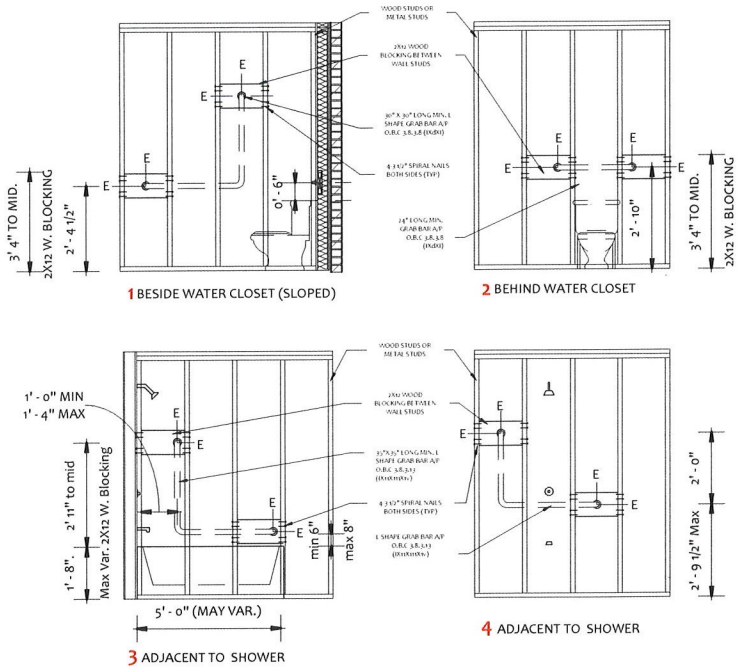
MIN. UNOBSTRUCTED OPENING SIZES	
WIDTH	HEIGHT
18"	30"
19"	28.8"
20"	27.36"
21"	26.04"
22"	24.84"
23"	23.76"
24"	22.8"
25"	21.84"
26"	21"
27"	20.16"

48 **MINIMUM ROOM AREAS**

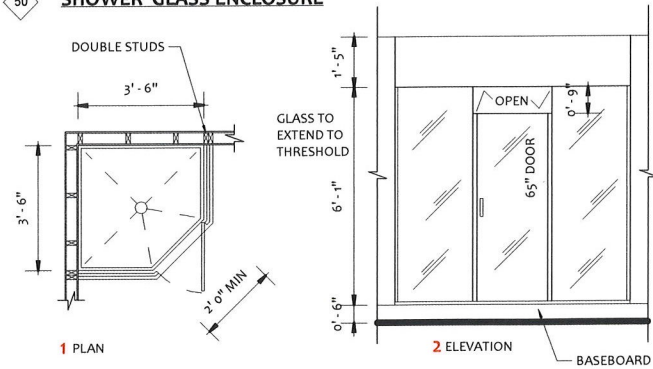
ONE BEDROOM APPARTEMENT		
LIVING AREA	13.5M²	145.3ft²
	11.0M²	118.4ft² IF LIVING AREA IS COMBINED WITH DINING/KITCHEN
DINING AREA	7.0M²	75.3ft²
	3.25M²	35.0ft² IF DINING AREA IS COMBINED WITH OTHER SPACE
1 BEDROOM	9.8M²	105.5ft²
	8.8M²	94.7ft² IF A BUILT IN CLOSET IS PROVIDED
	4.2M²	45.2ft² IF THE BEDROOM AREA IS COMBINED WITH OTHER SPACE
OTHER BEDROOMS	7.0M²	75.3ft²
	6.0M²	64.6ft² IF A BUILT IN CLOSET IS PROVIDED
	4.2M²	45.2ft² IF THE BEDROOM AREA IS COMBINED WITH OTHER SPACE

TWO BEDROOM APPARTEMENT		
LIVING AREA	13.5M²	145.3ft²
	13.5M²	145.3ft² IF LIVING AREA IS COMBINED WITH DINING/KITCHEN
DINING AREA	7.0M²	75.3ft²
	3.25M²	35.0ft² IF DINING AREA IS COMBINED WITH OTHER SPACE

49 **STUD WALL REINFORCEMENT**



50 **SHOWER GLASS ENCLOSURE**



LEGEND

	SMOKE ALARM
	CM ALARM
	DUCT SMOKE DETECTOR
	EXHAUST FAN DUCTED DIRECTLY OUTSIDE
	FLOOR DRAIN
	HEAT REGISTER
	AIR RETURN
	LIGHT FIXTURE
	SPRINKLER
	EMERGENCY LIGHT
	ELECTRICAL OUTLET
	LINTEL NOTE
	DOOR TAG
	WALL TAG
	WINDOW TAG
	CEILING TAG
	CONSTRUCTION NOTE
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	COMMON AREA
	UNIT 1
	UNIT 2
	UNIT 3

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the Building Code

Alarm Makur 109095
NAME SIGNATURE BCRN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the Building Code

FIRM NAME BCRN

BASEMENT SECOND UNIT

46 EVERINGHAM CIR
BRAMPTON, ON L6R 0R7

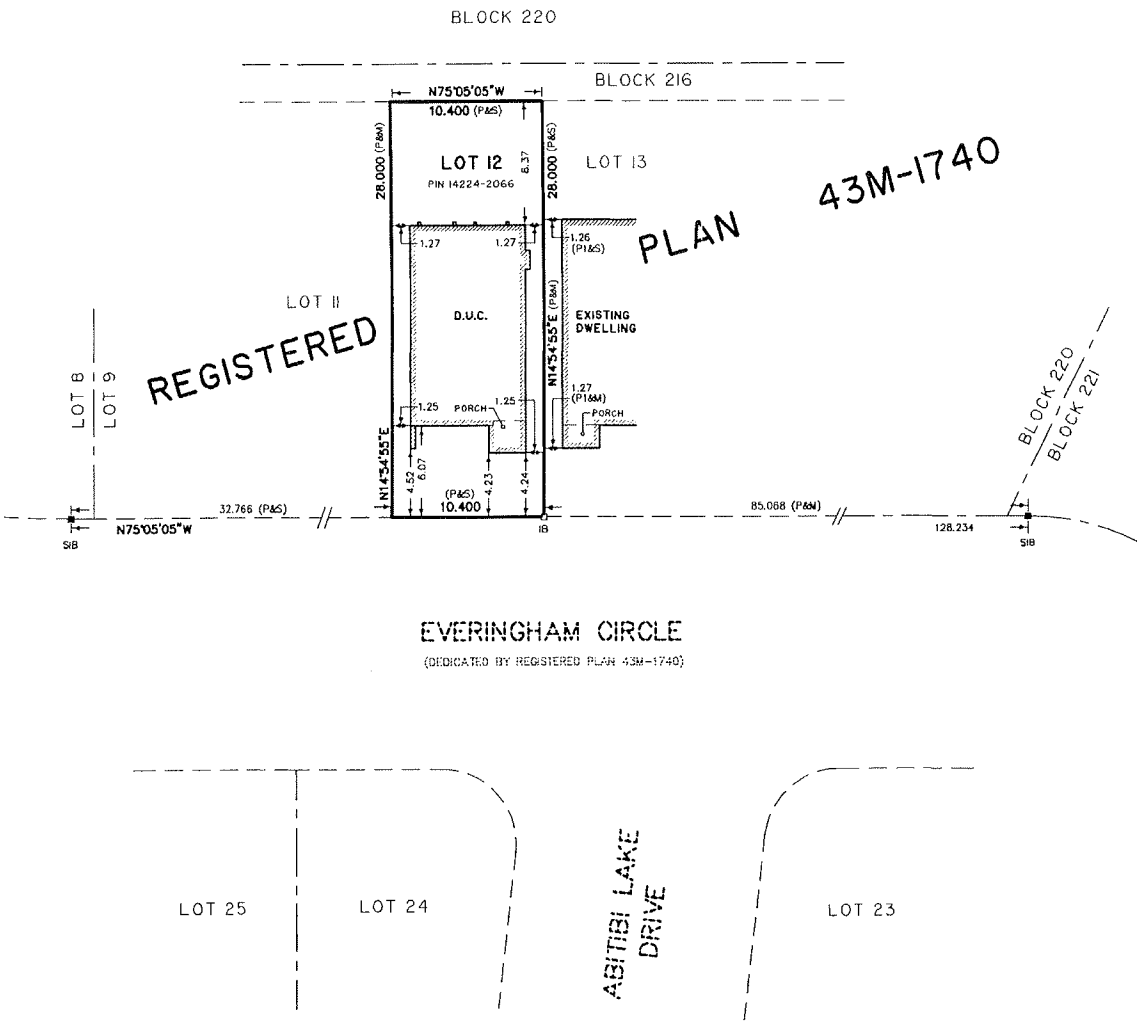
CONSTRUCTION NOTES

Project number 22RE500-205
Date 2024.09.24

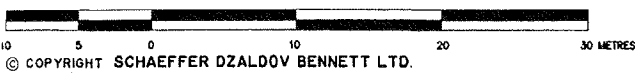
AN-03

Drawn by A.R
Scale As indicated

METRIC: DISTANCES SHOWN
ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO
FEET BY DIVIDING BY 0.3048.



SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN SHOWING
LOT 12
REGISTERED PLAN 43M-1740
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:300



SURVEYOR'S REAL PROPERTY REPORT
PART 2
THIS PLAN MUST BE READ WITH SURVEYOR'S REAL PROPERTY
REPORT DATED MARCH 19, 2012

NOTES		
□	NOTES	PLANTED MONUMENT
■		FOUND MONUMENT
SB		STANDARD IRON BAR
IB		IRON BAR
D.U.C.		DWELLING UNDER CONSTRUCTION
P		REGISTERED PLAN 43M-1740
P1		SCHAEFFER DZALDOV BENNETT LTD., SURVEY DATED JUNE 28, 2011
S		SET
M		MEASURED
922		SCHAEFFER DZALDOV BENNETT LTD.

BEARINGS ARE GRID BEARINGS DERIVED FROM THE 6° UTM CO-ORDINATE
SYSTEM NAD 83, ZONE 17, CENTRAL MERIDIAN 8° WEST LONGITUDE.

ALL MEASUREMENTS TO DWELLINGS ARE TAKEN TO CONCRETE FOUNDATIONS.
ALL FOUND MONUMENTS ARE NUMBERED 922.

THIS REPORT WAS PREPARED FOR MEDALLION HOMES
AND OTHER APPLICABLE PARTIES TO CURRENT TRANSACTIONS ONLY,
AND THE UNDERSIGNED IS NOT LIABLE FOR ANY FUTURE TRANSACTIONS.

SURVEYOR'S CERTIFICATE

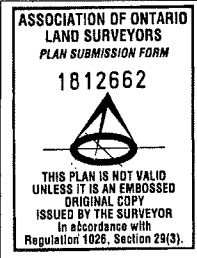
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE
UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 15th DAY OF DECEMBER, 2011.

DATE MARCH 19, 2012.

W.M. Fenton
W.M. FENTON
Ontario Land Surveyor



SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS

64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL (416) 987-0101

DRAWN ACAD/SB CHECKED WMF SCALE 1:300 JOB NO. 05-030-00

Zoning Non-compliance Checklist

A - 2024 - 0431

File No.

~~A - 2024 - 0432~~

Applicant: Alam Makur
Address: 46 Everingham Cir
Zoning: R1D-1329 Residential
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
ABOVE GRADE SIDE DOOR ENTRANCE	To permit 0.37m setback to the landing for an above grade side entrance,	whereas the by-law requires a minimum setback of 0.9m (2.95 ft.) to any steps (or landing) in the interior side yard.	10.24.2
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Angelo Barbato
Reviewed by Zoning

October 17, 2024
Date