

Flower City



brampton.ca

FILE NUMBER:

A-2024-0399

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Farhan Tahir *AMBER FARHAN Tahir*
Address 244 Morningmist Street, Brampton L6R 2B8 *40 Cariboo Court MIT 3 N3 Tahir*
Phone # 647-216-5537 Fax # _____
Email farhan.tahir@gmail.com

2. Name of Agent Mobeen Yousafzai
Address 621-10 Gibbs Street Road,
Etobicoke, M9B 6L6
Phone # 226-600-2244 Fax # _____
Email mobeen@cynosureaec.com

3. Nature and extent of relief applied for (variances requested):

Existing below grade entrance to basement in garage. Requesting for minor variance to keep the staircase.

4. Why is it not possible to comply with the provisions of the by-law?

Existing concrete staircase in garage.

5. Legal Description of the subject land:

Lot Number _____

Plan Number/Concession Number _____

Municipal Address 244 Morningmist Street, Brampton, L6R 2B8

6. Dimension of subject land (in metric units)

Frontage _____ 8.2m

Depth _____ 31.4m

Area _____ 260m²

7. Access to the subject land is by:

☒ Provincial Highway

☒ Municipal Road Maintained All Year

☐ Private Right-of-Way

☐ Seasonal Road

☐ Other Public Road

☐ Water

8. Particulars of all buildings and structures on or proposed for the subject land:
(specify in metric units ground floor area, gross floor area, number of storeys,
width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Existing semi-detached single dwelling unit (2 storey)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No new buildings proposed

9. Location of all buildings and structures on or proposed for the subject lands:
(specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.06m
Rear yard setback 8.51m
Side yard setback 2.44m
Side yard setback N/A

PROPOSED

Front yard setback N/A
Rear yard setback N/A
Side yard setback N/A
Side yard setback N/A

10. Date of Acquisition of subject land:

11. Existing uses of subject property:

Single dwelling unit

12. Proposed uses of subject property:

Single dwelling unit

13. Existing uses of abutting properties:

Residential

14. Date of construction of all buildings & structures on subject land: 1998

15. Length of time the existing uses of the subject property have been continued: Since construction

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☐
Ditches ☒
Swales ☒

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes

No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes

No

19. Has the subject property ever been the subject of an application for minor variance?

Yes

No

Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16 DAY OF OCT, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, FARHAN TAHER, OF THE CITY OF Toronto

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF

PEEL THIS 16 DAY OF

OCT, 2024

A Commissioner etc.

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 24, 2027.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Oct 16, 2024

VL

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 244 Morningmist Steet, Brampton, L6R 2B8

I/We, FARHAN TAHIR / AMBER FARHAN
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Mobeen Yousafzai
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 12 day of September, 2024
Mobeen Yousafzai
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 244 morningmist St Brampton

I/We, FARHAN TAHER / AMBER FARHAN
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12 day of Sept, 2024

[Signature]
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

NOTES AND LEGEND

BEARINGS AND DISTANCES ARE GIVEN
DERIVED FROM THE NORTH-EASTING
LINE OF MORNING MIST STREET
AS SHOWN ON REGISTERED PLAN 43M-1260
TRIMMING A BEARING OF N 44°19'20" W

NOTE:
THE BEARING AND DISTANCE
GIVEN IN THIS PLAN ARE
FOR THE LAND ONLY

NOTES AND LEGEND

1. DENOTES SURVEY MONUMENT PLANTED
2. DENOTES SURVEY MONUMENT FOUND
3. DENOTES STAKE/IRON BAR
4. DENOTES BENCH MARK
5. DENOTES MEASURED
6. DENOTES SET
7. DENOTES WITHIN
8. DENOTES CURB/WHITE FOUNDATION
9. DENOTES CURB/WHITE FOUNDATION
10. DENOTES POINT OF CURVATURE
11. DENOTES FOUND/UNDERGROUND MONUMENTS BY P. SALNA CO. LTD.
12. DENOTES CALCULATED
13. DENOTES REGISTERED PLAN 43M-1260

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT, AND THE
REGULATIONS MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON THE 19th DAY OF OCTOBER 1998

DATE: 2nd NOVEMBER 1998

Fuzal A. Siddiqui
FUZAL A. SIDDIQUI, O.L.S.

SCHEDULE

PART	LOT	REGISTERED PLAN	ALL OF PIN
1	31	43M-1260	14226 - 0264
2	32		14226 - 0265
3	33		14226 - 0266
4	34		14226 - 0267
5	35		14226 - 0268
6	36		14226 - 0269
7	37		14226 - 0270
8	38		14226 - 0271
9	39		14226 - 0272
10	40		14226 - 0273

I require this plan to be deposited
under the Land Titles Act

Date: NOVEMBER 9, 1998
Fuzal A. Siddiqui
FUZAL A. SIDDIQUI, O.L.S.

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

PLAN 43R -23210

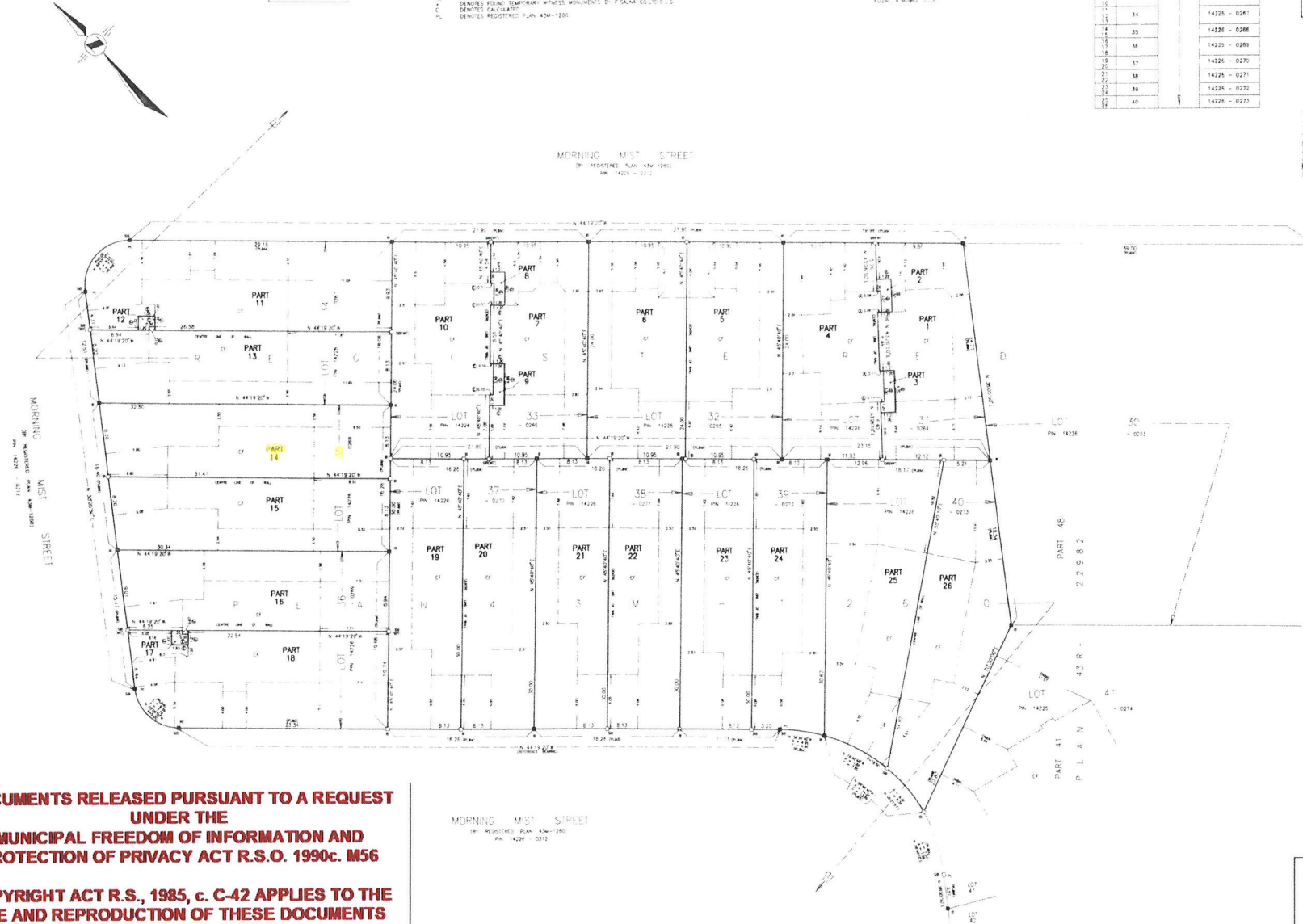
RECEIVED AND DEPOSITED

Date: November 10, 1998
Paul Langston
PAUL LANGSTON, O.L.S.

for the Land Registrar
PEEL (No.43)

PLAN OF SURVEY OF
LOTS 31 TO 40 BOTH INCLUSIVE
REGISTERED PLAN 43M-1260
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:200
P. SALNA CO. LTD., O.L.S.

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS



BEARINGS TABLE	
①	N 46°33'50" W
②	N 43°26'10" E
③	N 44°19'20" W
④	N 45°40'40" E
⑤	N 44°19'20" W
⑥	N 45°40'40" E

P. SALNA COMPANY LTD.
ONTARIO LAND SURVEYORS
10225 YONGE STREET
RICHMOND HILL, ONTARIO L4C 3B2
PHONE (905) 884-3988 FAX (905) 737-7516
FILE: 97-84 CAD FILE: 128C-767
DRAWN BY: T. BAKA CHECKED BY: FUZAL



LOT-34
PART 13

LOT-35
PART 14

LOT-35
PART 15

PROPERTY LINE
FENCING

PROPERTY LINE
FENCING

ENTRANCE TO
BACKYARD

EXISTING TWO
STOREY DWELLING

HOUSE MAIN
ENTRANCE

GARAGE
ONE PARKING

DRIVEWAY
ONE PARKING

CONC. SIDEWALK

CONC. SIDEWALK

BASEMENT AREA = 630 sft
GROUND FL. AREA = 575 sft
SECOND FL. AREA = 780 sft



CYNOSURE AEC
Contact: (+1) 226 600 2244
Email: MOBEEN@CYNOSUREAEC.COM
WAQAS@CYNOSUREAEC.COM



CHECKED BY:
MOBEEN YOUSAFZAI

DRAFTED BY:
WAQAS AHMAD

COVERED AREA: 1950 SF

PROJECT NAME:
FINISH BASEMENT, 244 Morningmist St. Brampton

SHEET TITLE:
SITE PLAN

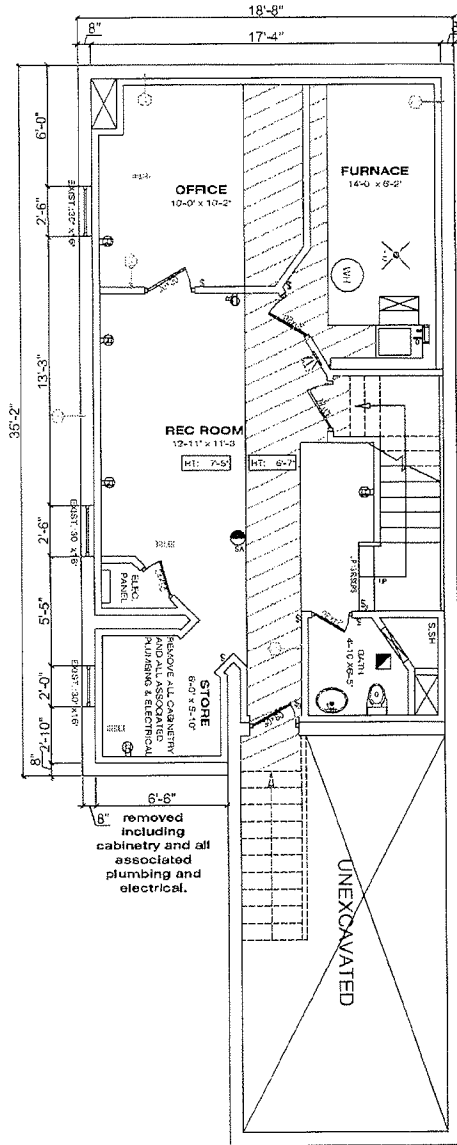
DATE: 16 SEP, 2024

SCALE: 1/8"=1'-0"

PROJECT# BR031

DWG #

A100



EXISTING BASEMENT FL PLAN

LEGENDS AND SCHEDULES	
	EXHAUST FAN
	SMOKE ALARM
	CARBON MONOXIDE DETECTOR SHALL COMPLY WITH OBC DIV. B. 9.33.4
	DUPLEX RECEPTACLE OUTLET
	A THREE-WAY SWITCH AT THE TOP AND BOTTOM OF THE STAIR TO A LIGHT FIXTURE.
	SINGLE POLE SWITCH
	FLOOR DRAIN
	GFCI RECEPTACLE OUTLET
	RETURN AIR GRILL SHALL BE INSTALLED
	AIR REGISTER COMPLIANCE WITH DIV. B. 9.32.3.1(1)
	EXISTING 8" CONCRETE BLOCK WALL MOISTURE BARRIER 2"x4" 16" O.C. W-STUDS R20 BATT INSULATION 1/2" POLY VAPOR BARRIER 1/2" GYPSUM BOARD
	PARTITION WALLS: 1/2" GYPSUM BOARD 2"x4" SPF STUDS @ 16 O.C.



CHECKED BY:
MOBEEEN YOUSAFZAI
DRAFTED BY:
WAQAS AHMAD

PROJECT NAME:
FINISH BASEMENT, 244 Morningmist St. Brampton

SHEET TITLE:
EXISTING BASEMENT FL PLAN

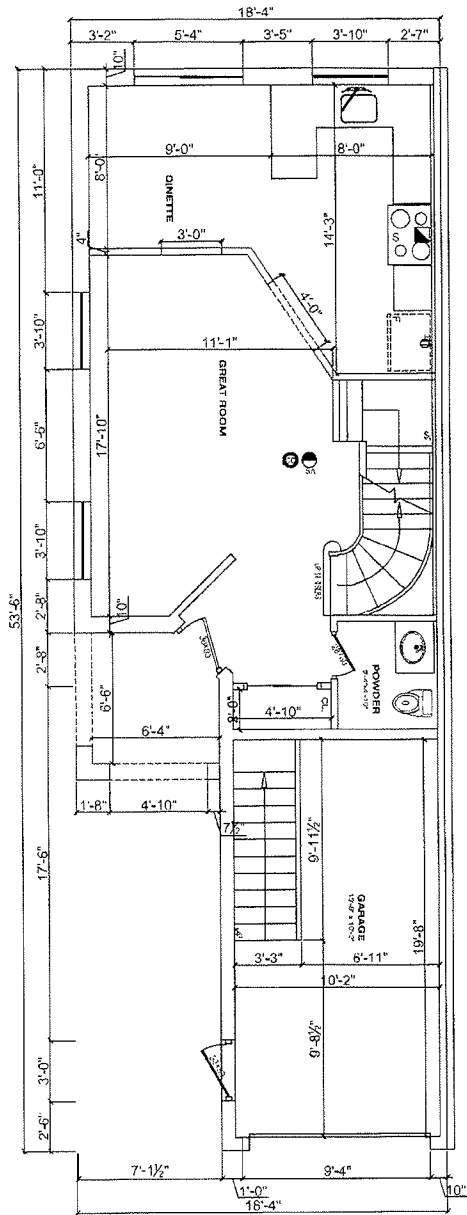
DATE: 01 AUG, 2023

SCALE: 3/16"=1'-0"

PROJECT#: BR031

DWG #

A101



EXISTING MAIN FL PLAN



CYNOSURE AEC
CONTACT: 1-111-222-3333
Email: MOBEEN@CYNOSUREAEC.COM
WAGAS@CYNOSUREAEC.COM



CHECKED BY:
MOBEEN YOUSAFZAI

DRAFTED BY:
WAGAS AHMAD

PROJECT NAME:
FINISH BASEMENT, 244 Morningmist St. Brampton

SHEET TITLE:
EXISTING GROUND FLOOR

DATE: 11 SEP, 2024

SCALE: 3/16"=1'-0"

PROJECT# BR031

DWG #

A102