

NOV 22 2024

Committee of Adjustment

REVISED

FILE NUMBER:

A-2024-0315

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **x Name of Owner(s)** Tarlochan Singh
Address 8 Antler Road, Brampton Ontario L6V 4R4

x Phone # 416 400 9911 **Fax #** _____
x Email parmbirathwal@gmail.com

2. **Name of Agent** Dilpreet Singh & Rafael Martins (RDA Designs)
Address Unit 20 - 2131 Williams Parkway, Brampton Ontario L6S 5Z4

Phone # 647 574 0220 / 647 518 3376 **Fax #** _____
Email rdarch.designs@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
 1. To Allow a Driveway Width of 10.62m.
 2. To Allow Existing Shed to have a setback of 0.40m and 0.57m.
 3. To Allow Soft Landscaping Open Space of 11.45%.
 4. To Allow a Driveway Setback of 0.21m.

4. **Why is it not possible to comply with the provisions of the by-law?**
 1. Maximum allowed width of driveway is 6.1m or 20.00 feet.
 2. Min. Setback from Sheds are a property line is 0.6m when located in the rear yard.
 3. Minimum Landscape Open Space Requirement is 40%.
 4. Minimum Driveway setback of 0.6m.

5. **Legal Description of the subject land:**
Lot Number 125
Plan Number/Concession Number 43M - 1613
Municipal Address 8 Antler Road, Brampton Ontario L6V 4R4

6. **Dimension of subject land (in metric units)**
Frontage 12.20 m
Depth 33.00 m
Area 402.6 sq.m.

7. **Access to the subject land is by:**
 Provincial Highway _____ **Seasonal Road**
 Municipal Road Maintained All Year **Other Public Road**
 Private Right-of-Way _____ **Water**

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Single Detached Dwelling
Shed in Backyard

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Proposed Structures.

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

PROPOSED

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

0. Date of Acquisition of subject land: X August 2023

1. Existing uses of subject property: Residential

2. Proposed uses of subject property: Residential

3. Existing uses of abutting properties: Residential

4. Date of construction of all buildings & structures on subject land: X 2004

5. Length of time the existing uses of the subject property have been continued: Lifetime of Building

16. (a) What water supply is existing/proposed?

Municipal Well [checked] Other (specify)

(b) What sewage disposal is/will be provided?

Municipal Septic [checked] Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers [checked] Ditches Swales Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Diya Singh

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, _____, OF THE _____ OF _____

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

_____ OF _____

IN THE _____ OF _____

_____ THIS _____ DAY OF _____

_____, 20____.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
R1C-1159

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar
Zoning Officer

Aug 20, 2024
Date

DATE RECEIVED _____

PERMISSION TO ENTER

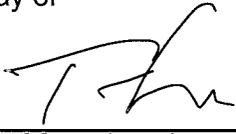
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Antler Road, Brampton Ontario L6V 4R4

I/We, Tarlochan Singh
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this _____ day of _____, 2024.



x _____
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

**SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 124 AND 125
PLAN 43M-1613
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

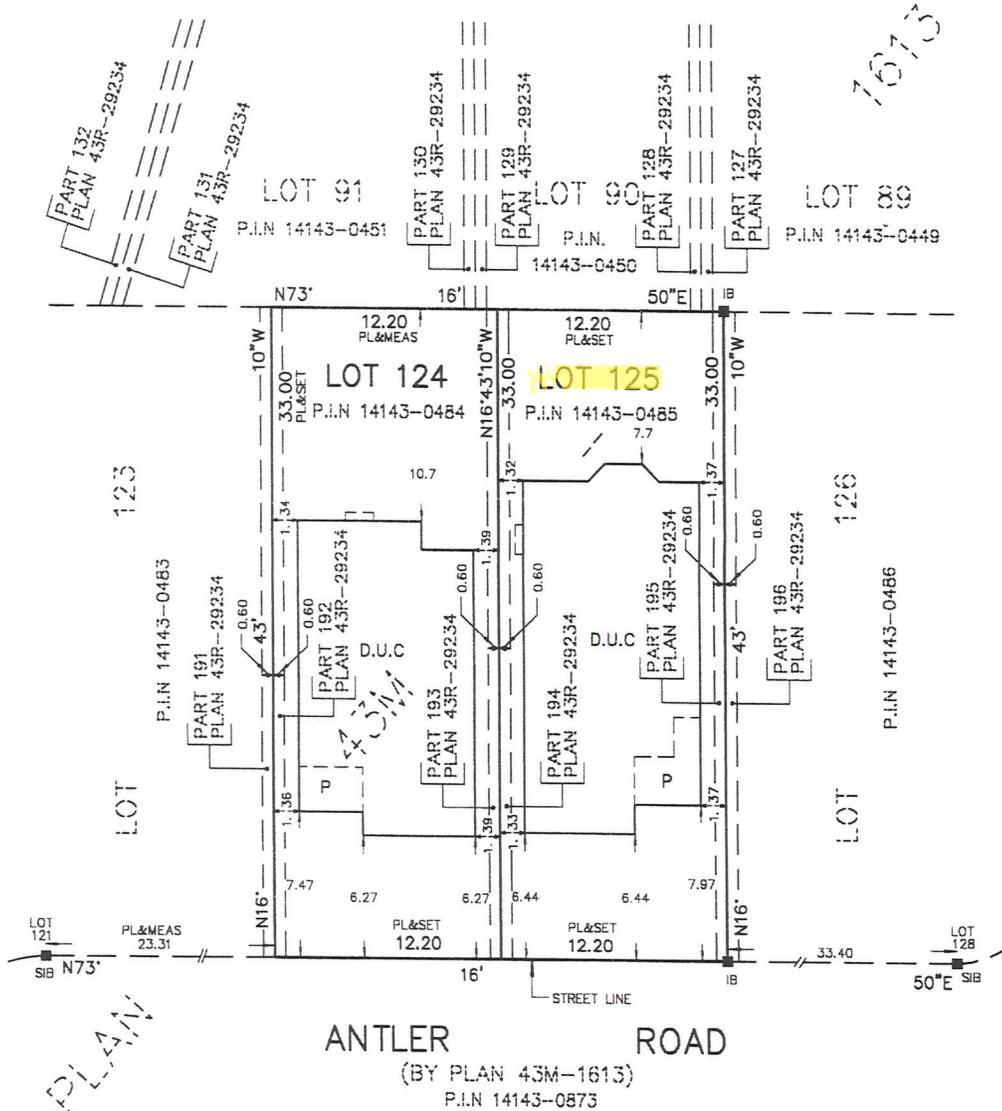
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JUNE, 2004

DATE July 23RD, 2004

T. SINGH
ONTARIO LAND SURVEYOR

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS



NOTES

- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- PL DENOTES PLAN 43M-1613
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL FOUND MONUMENTS BY DAVID B. SEARLES SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWEST LIMIT OF ANTLER ROAD AS SHOWN ON PLAN 43M-1613 HAVING A BEARING OF N73°16'50"E

THIS REPORT WAS PREPARED FOR
ARISTA HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2004

**ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1523582**

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).



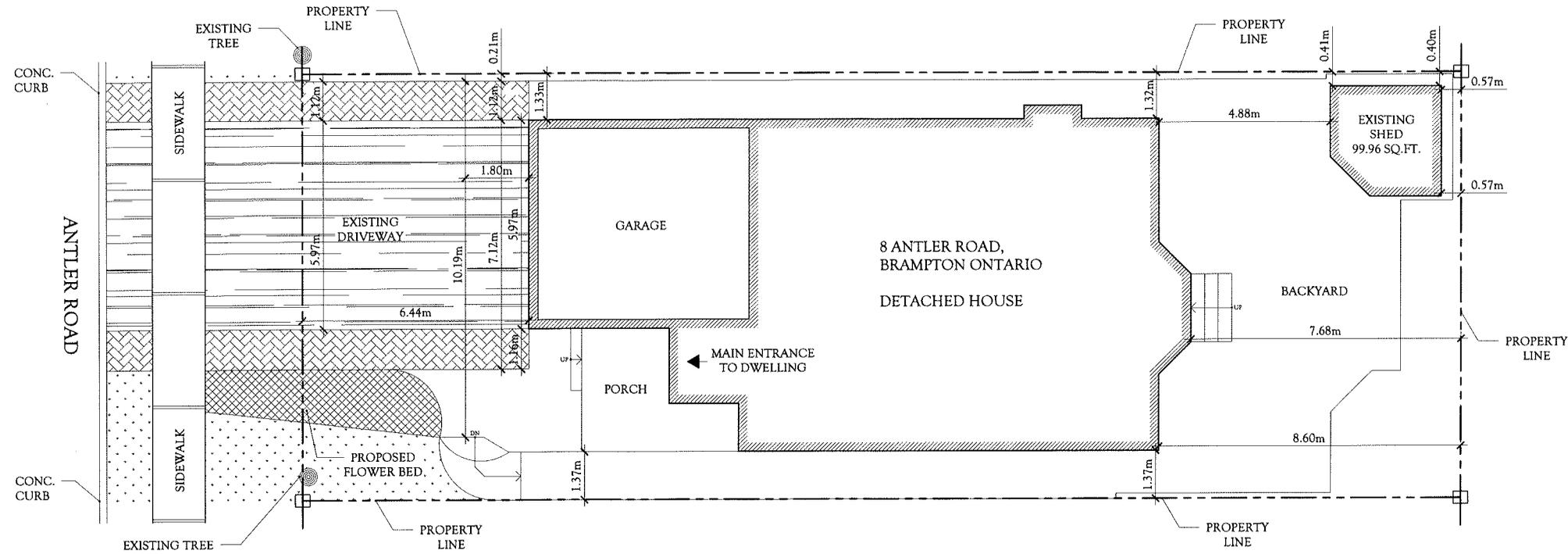
RADY-PENTEK & EDWARD SURVEYING LTD.

ONTARIO LAND SURVEYORS
465 WILSON AVENUE, DOWNSVIEW, ONTARIO
Tel. (416)635-5000 Fax (416)635-5001
Website: www.rpesurveying.ca

DRAWN: V.K.
CAD FILE No.1613-124

CHECKED: T.S.
JOB No. 04-079

SITE STATISTICS
FRONT LOT AREA: 924.39 SQ.FT. OR 85.87 SQ.M.
MINIMUM LANDSCAPE OPEN SPACE OF 40%: 369.75 SQ.FT. OR 34.34 SQ.M.



-  ASPHALT
-  CONCRETE
-  GRASS
-  PROPOSED DRIVEWAY TO REMAIN
-  PROPOSED FLOWER BED LOCATION

1 SITE PLAN
A101 / SCALE: 1:125

NOTES:	
TRUE: 	PROJ: 
 RDA Designs 647-574-0120 / 647-518-3376 www.rdarchdesigns.com rdarch.designs@gmail.com	
PROJECT TITLE: 8 ANTLER ROAD	
DRAWING TITLE: SITE PLAN	
SCALE: 1:125	DATE: 2024/11/22
DESIGNED BY: SINGH D. MARTINS R.	REVISION: 2
PROJECT NO. -	SHEET NO. A-101

Zoning Non-compliance Checklist

File No.

A-2024-0315

Owner: TARLOCHAN SINGH

Address: 8 ANTLER RD

Zoning: R1C-1159

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT	To permit an accessory structure existing shed having a setback of 0.57m to the rear lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure existing shed having a setback of 0.40m to the side lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH	To permit a driveway width of 10.62m,	whereas the by-law permits a maximum driveway width of 7.00m	10.9.1 (B) (1) (c)
	To permit 0.21m of permeable landscaping abutting the side lot line,	whereas the by-law requires a minimum 0.6m of permeable landscaping abutting the side lot line.	10.9.1 (B) (4)
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

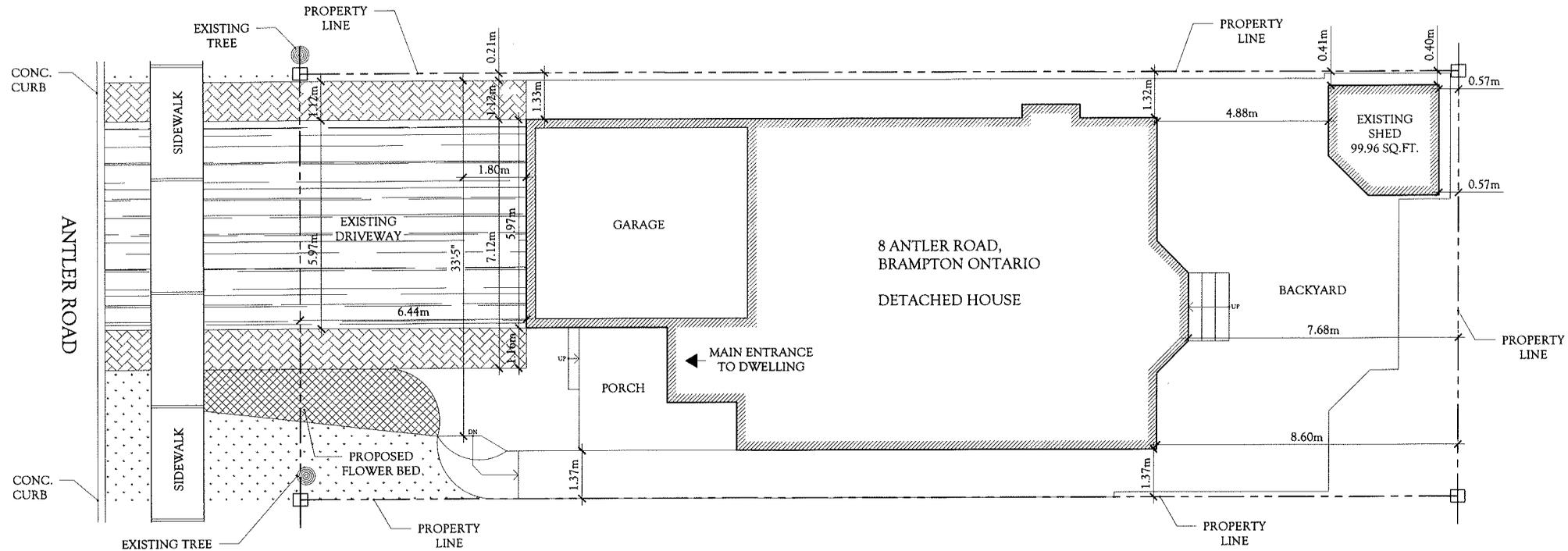
Aug 20, 2024
Date

Received / Revised

NOV 22 2024

Committee of Adjustment

SITE STATISTICS	
FRONT LOT AREA:	924.39 SQ.FT. OR 85.87 SQ.M.
MINIMUM LANDSCAPE OPEN SPACE OF 40%:	369.75 SQ.FT. OR 34.34 SQ.M.



-  ASPHALT
-  PROPOSED DRIVEWAY TO REMAIN
-  CONCRETE
-  PROPOSED FLOWER BED LOCATION
-  GRASS

1 SITE PLAN
A101 / SCALE: 1:125

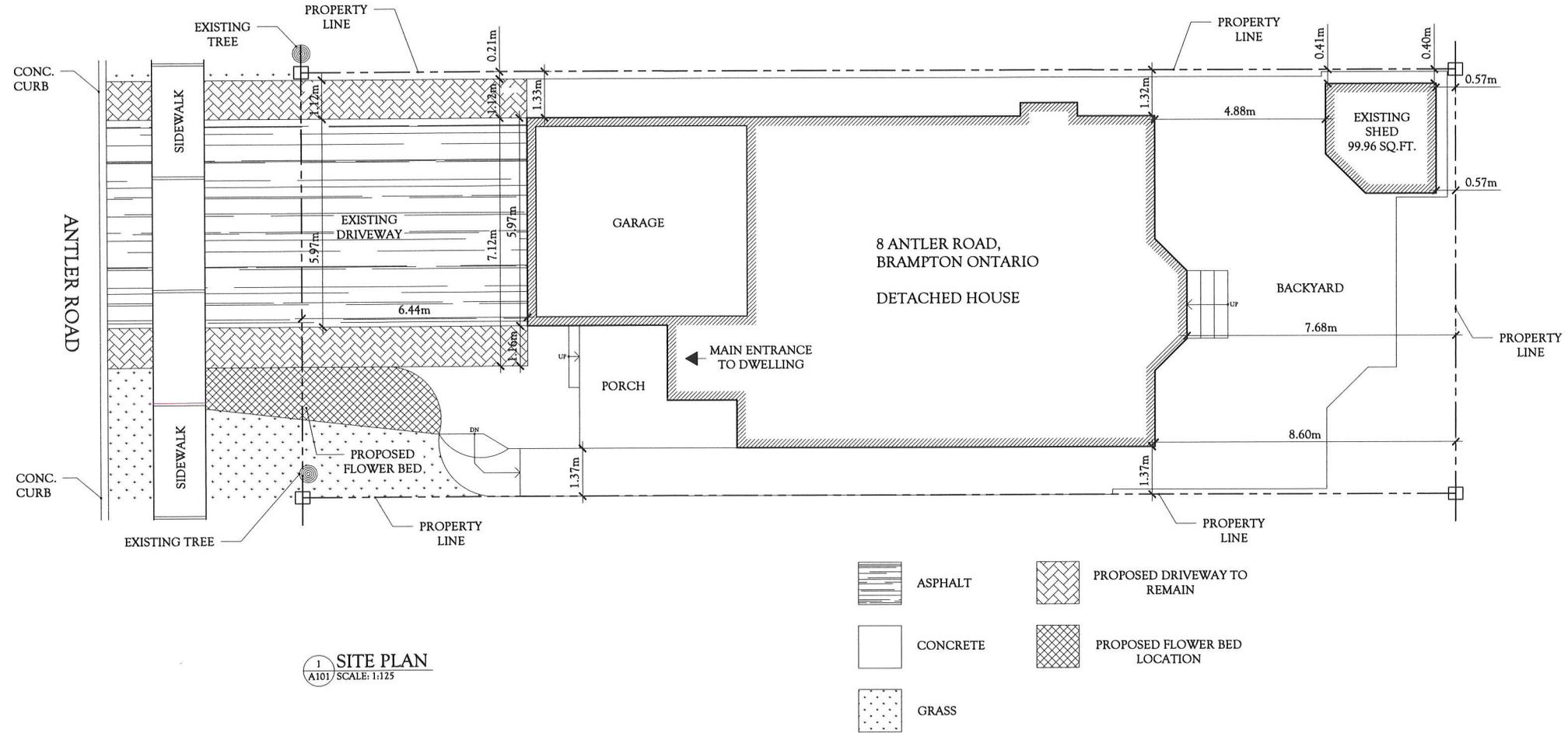
NOTES:	
<p>Received / Revised</p> <p>NOV 22 2024</p> <p>Committee of Adjustment</p>	
TRUE: 	PROJ: 
 <p>RDA Designs 647-574-0220 / 647-518-3376 www.rdashdesigns.com rdarch.designs@gmail.com</p>	
PROJECT TITLE: 8 ANTLER ROAD	
DRAWING TITLE: SITE PLAN	
SCALE: 1:125	DATE: 2024/11/22
DESIGNED BY: SINGH D. MARTINS R.	REVISION: 2
PROJECT NO. -	SHEET NO. A-101

Received / Revised

NOV 22 2024

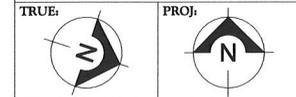
Committee of Adjustment

SITE STATISTICS
FRONT LOT AREA: 924.39 SQ.FT. OR 85.87 SQ.M.
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1 SITE PLAN
A101 SCALE: 1:125

NOTES:



RDA Designs
 647-574-0220 / 647-518-3376
 www.rdarchdesigns.com
 rdarch.designs@gmail.com

PROJECT TITLE:
8 ANTLER ROAD

DRAWING TITLE:
SITE PLAN

SCALE: 1:125	DATE: 2024/11/21
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DESIGNED BY: SINGH D. MARTINS R.	REVISION: 2
--	----------------

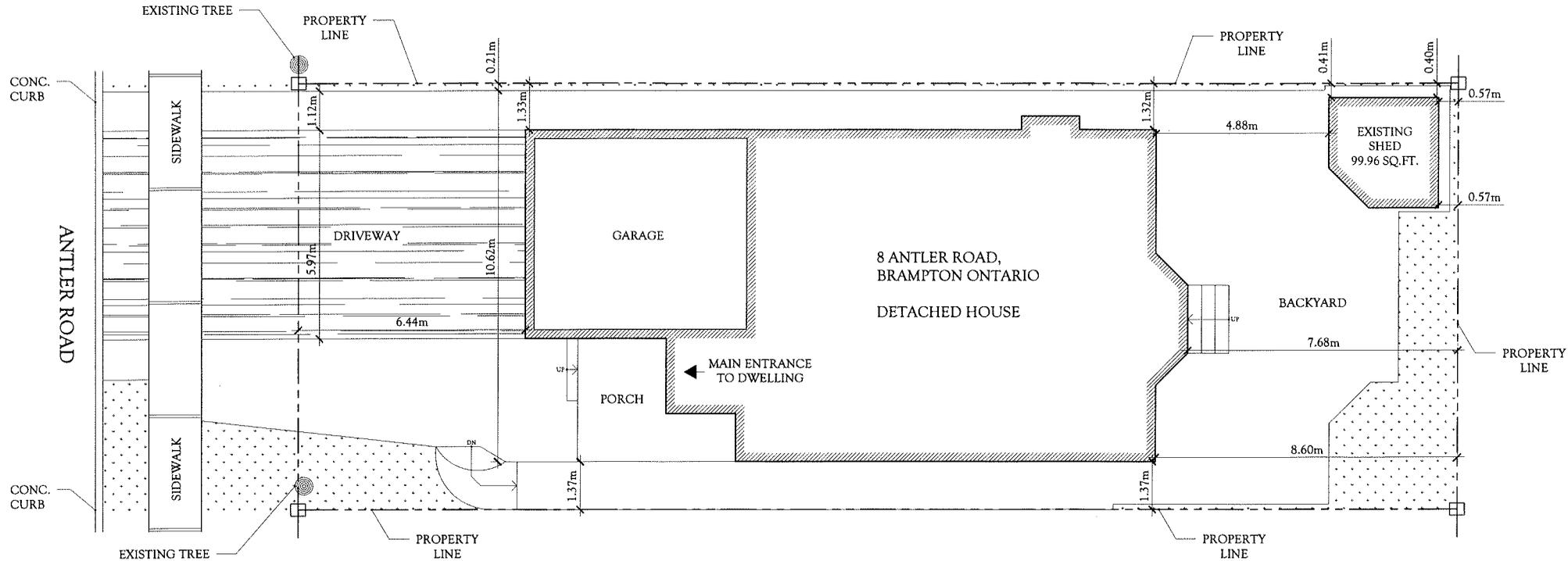
PROJECT NO. -	SHEET NO. A-101
------------------	--------------------

Received / Revised

NOV 22 2024

Committee of Adjustment

SITE STATISTICS	
FRONT LOT AREA:	924.39 SQ.FT. OR 85.87 SQ.M.
MINIMUM LANDSCAPE OPEN SPACE OF 40%:	369.75 SQ.FT. OR 34.34 SQ.M.
PROPOSED LANDSCAPE OPEN SPACE:	105.48 SQ.FT. OR 9.80 SQ.M. OR 11.45%



-  ASPHALT
-  CONCRETE
-  GRASS

1 SITE PLAN
A101 SCALE: 1:125

NOTES:



RDA Designs
647-574-0220 / 647-518-3376
www.rdarchdesigns.com
rdarch.designs@gmail.com

PROJECT TITLE:
8 ANTLER ROAD

DRAWING TITLE:
SITE PLAN

SCALE: 1:125	DATE: 2024/08/09
-----------------	---------------------

DESIGNED BY: SINGH D. MARTINS R.	REVISION: 0
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PROJECT NO. -	SHEET NO. A-101
------------------	--------------------

AUG 20 2024

Committee of Adjustment

A-2024-0315

FILE NUMBER: ~~2024-0315~~

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APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Tarlochan Singh & Kulwinder Singh
Address 8 Antler Road, Brampton Ontario L6V 4R4

Phone # 416 400 9911 **Fax #** _____
Email parmbirathwal@gmail.com

2. **Name of Agent** Dilpreet Singh & Rafael Martins (RDA Designs)
Address Unit 20 - 2131 Williams Parkway, Brampton Ontario L6S 5Z4

Phone # 647 574 0220 / 647 518 3376 **Fax #** _____
Email rdarch.designs@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
 1. To Allow a Driveway Width of 10.62m.
 2. To Allow Existing Shed to have a setback of 0.40m and 0.57m.
 3. To Allow Soft Landscaping Open Space of 11.45%.

4. **Why is it not possible to comply with the provisions of the by-law?**
 1. Maximum allowed width of driveway is 6.1m or 20.00 feet.
 2. Min. Setback from Sheds are a property line is 0.6m when located in the rear yard.
 3. Minimum Landscape Open Space Requirement is 40%.

5. **Legal Description of the subject land:**
Lot Number 125
Plan Number/Concession Number 43M - 1613
Municipal Address 8 Antler Road, Brampton Ontario L6V 4R4

6. **Dimension of subject land (in metric units)**
Frontage 12.20 m
Depth 33.00 m
Area 402.6 sq.m.

7. **Access to the subject land is by:**
 Provincial Highway _____ **Seasonal Road**
 Municipal Road Maintained All Year **Other Public Road**
 Private Right-of-Way _____ **Water**

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Single Detached Dwelling
Shed in Backyard

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Proposed Structures.

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

PROPOSED

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

- 0. Date of Acquisition of subject land: X August 2023
1. Existing uses of subject property: Residential
2. Proposed uses of subject property: Residential
3. Existing uses of abutting properties: Residential
4. Date of construction of all buildings & structures on subject land: X 2004
5. Length of time the existing uses of the subject property have been continued: Lifetime of Building

16. (a) What water supply is existing/proposed?

Municipal [checked]
Well []
Other (specify)

(b) What sewage disposal is/will be provided?

Municipal [checked]
Septic []
Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers [checked]
Ditches []
Swales []
Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property of an application for minor variance? ever been the subject

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Diipreet Singh

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, _____, OF THE _____ OF _____

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

_____ OF _____

IN THE _____ OF _____

_____ THIS _____ DAY OF _____

_____, 20____.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED _____

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Antler Road, Brampton Ontario L6V 4R4

I/We, Tarlochan Singh Tarlochan Singh & Kulwinder Singh
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this _____ day of _____, 2024.



x _____
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

**SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 124 AND 125
PLAN 43M-1613
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

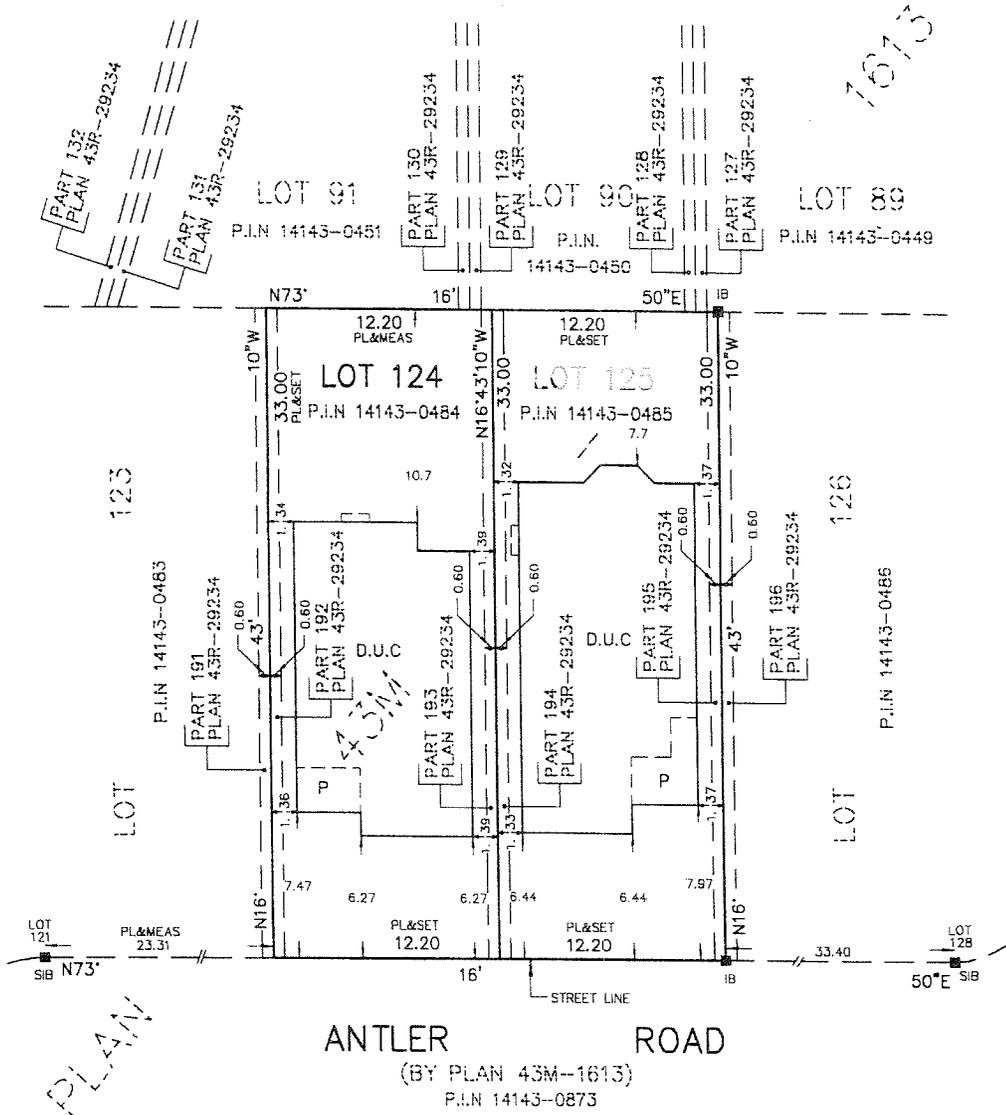
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JUNE, 2004

DATE July 23RD, 2004

T. Singh
T. SINGH
ONTARIO LAND SURVEYOR

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

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NOTES

- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- PL DENOTES PLAN 43M-1613
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL FOUND MONUMENTS BY DAVID B. SEARLES SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWEST LIMIT OF ANTLER ROAD AS SHOWN ON PLAN 43M-1613 HAVING A BEARING OF N73°16'50"E

THIS REPORT WAS PREPARED FOR ARISTA HOMES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2004

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1523582

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1025, Section 29(3).



RADY-PENTEK & EDWARD SURVEYING LTD.

ONTARIO LAND SURVEYORS
465 WILSON AVENUE, DOWNSVIEW, ONTARIO
Tel. (416)635-5000 Fax (416)635-5001
Website: www.rpesurveying.ca

DRAWN: V.K.
CAD FILE No.1613-124

CHECKED: T.S.
JOB No. 04-079

Zoning Non-compliance Checklist

File No.

A-2024-0315

Owner: TARLOCHAN SINGH

Address: 8 ANTLER RD

Zoning: R1C-1159

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT	To permit an accessory structure existing shed having a setback of 0.57m to the rear lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure existing shed having a setback of 0.40m to the side lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH	To permit a driveway width of 10.62m,	whereas the by-law permits a maximum driveway width of 7.00m	10.9.1 (B) (1) (c)
	To permit 0.21m of permeable landscaping abutting the side lot line,	whereas the by-law requires a minimum 0.6m of permeable landscaping abutting the side lot line.	10.9.1 (B) (4)
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

Aug 20, 2024
Date

FILE NUMBER: A-2024-0315

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **× Name of Owner(s)** Tarlochan Singh
Address 8 Antler Road, Brampton Ontario L6V 4R4

× Phone # 416 400 9911 **Fax #** _____
× Email parmbirathwal@gmail.com

2. **Name of Agent** Dilpreet Singh & Rafael Martins (RDA Designs)
Address Unit 20 - 2131 Williams Parkway, Brampton Ontario L6S 5Z4

Phone # 647 574 0220 / 647 518 3376 **Fax #** _____
Email rdarch.designs@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
 1. To Allow a Driveway Width of 10.62m.
 2. To Allow Existing Shed to have a setback of 0.40m and 0.57m.
 3. To Allow Soft Landscaping Open Space of 11.45%.
 4. To Allow a Driveway Setback of 0.21m.

4. **Why is it not possible to comply with the provisions of the by-law?**
 1. Maximum allowed width of driveway is 6.1m or 20.00 feet.
 2. Min. Setback from Sheds are a property line is 0.6m when located in the rear yard.
 3. Minimum Landscape Open Space Requirement is 40%.
 4. Minimum Driveway setback of 0.6m.

5. **Legal Description of the subject land:**
Lot Number 125
Plan Number/Concession Number 43M - 1613
Municipal Address 8 Antler Road, Brampton Ontario L6V 4R4

6. **Dimension of subject land (in metric units)**
Frontage 12.20 m
Depth 33.00 m
Area 402.6 sq.m.

7. **Access to the subject land is by:**
 Provincial Highway
 Municipal Road Maintained All Year
 Private Right-of-Way
 Seasonal Road
 Other Public Road
 Water

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Single Detached Dwelling
Shed in Backyard

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Proposed Structures.

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

PROPOSED

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

0. Date of Acquisition of subject land: X August 2023

1. Existing uses of subject property: Residential

2. Proposed uses of subject property: Residential

3. Existing uses of abutting properties: Residential

4. Date of construction of all buildings & structures on subject land: X 2004

5. Length of time the existing uses of the subject property have been continued: Lifetime of Building

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property of an application for minor variance? ever been the subject

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Diipreet Singh

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, _____, OF THE _____ OF _____

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

_____ OF _____

IN THE _____ OF _____

_____ THIS _____ DAY OF _____

_____, 20____.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
R1C-1159

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar
Zoning Officer

Aug 20, 2024
Date

DATE RECEIVED _____

PERMISSION TO ENTER

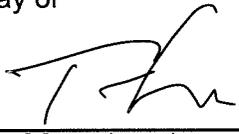
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Antler Road, Brampton Ontario L6V 4R4

I/We, Tarlochan Singh Tarlochan Singh
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this _____ day of _____, 2024.

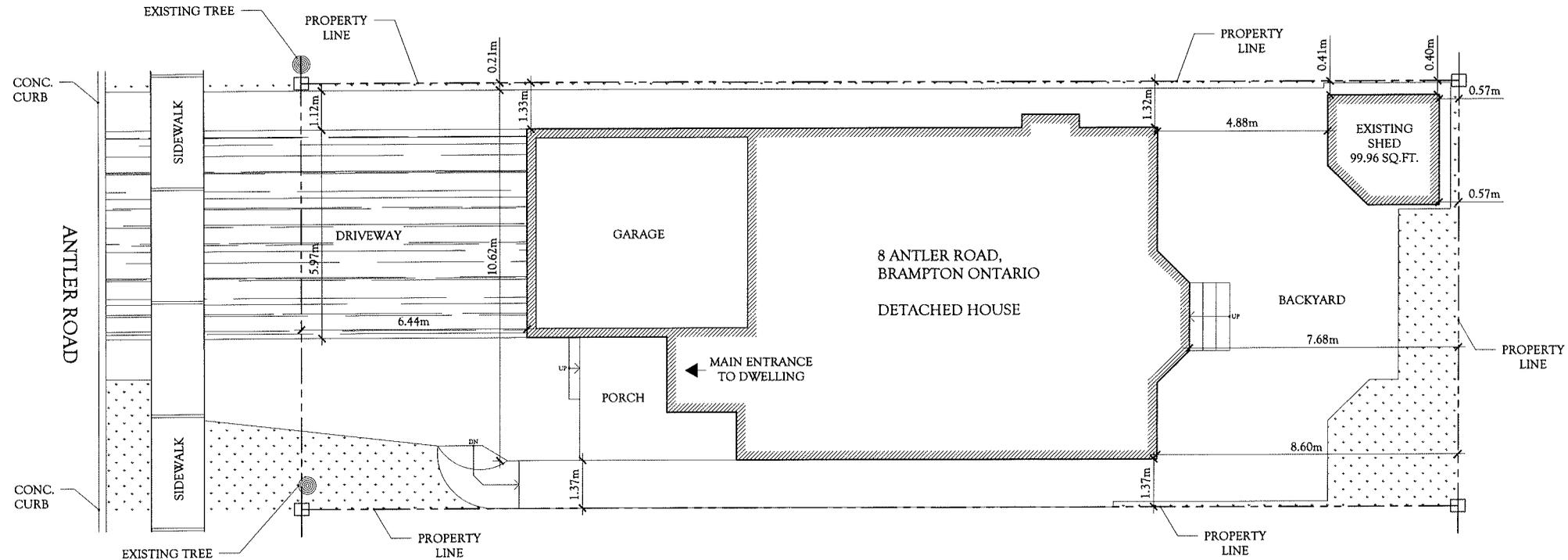

x _____
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

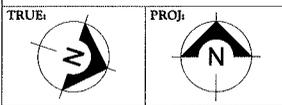
SITE STATISTICS
FRONT LOT AREA: 924.39 SQ.FT. OR 85.87 SQ.M.
MINIMUM LANDSCAPE OPEN SPACE OF 40%: 369.75 SQ.FT. OR 34.34 SQ.M.
PROPOSED LANDSCAPE OPEN SPACE: 105.48 SQ.FT. OR 9.80 SQ.M. OR 11.45%



-  ASPHALT
-  CONCRETE
-  GRASS

1 SITE PLAN
A101 / SCALE: 1:125

NOTES:



RDA Designs
647-574-0220 / 647-518-3376
www.rdashdesigns.com
rdarch.designs@gmail.com

PROJECT TITLE:
8 ANTLER ROAD

DRAWING TITLE:
SITE PLAN

SCALE: 1:125 DATE: 2024/08/09

DESIGNED BY:
SINGH D.
MARTINS R. REVISION: 0

PROJECT NO. - SHEET NO. A-101

**SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 124 AND 125
PLAN 43M-1613
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

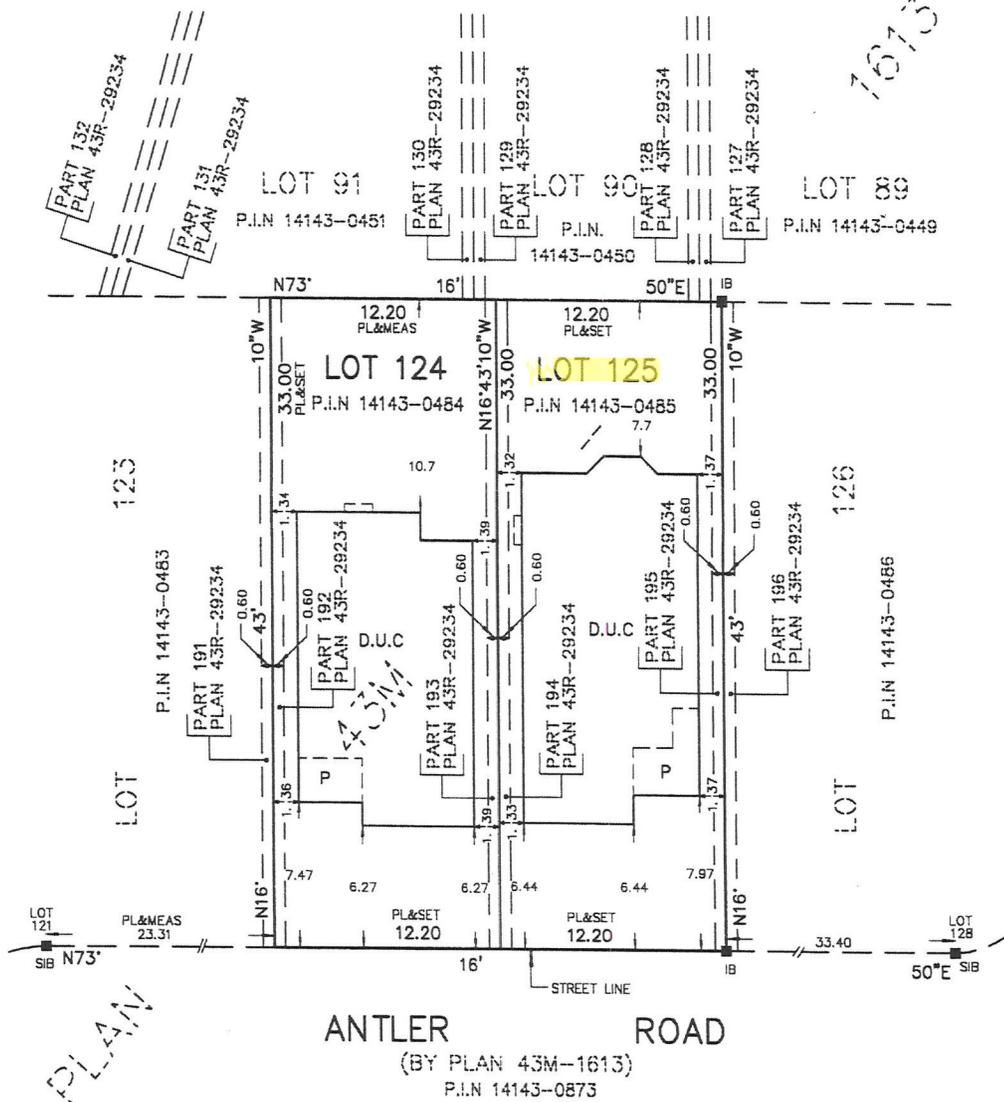
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JUNE, 2004

DATE July 23RD, 2004

T. SINGH
ONTARIO LAND SURVEYOR

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS



NOTES

- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- PL DENOTES PLAN 43M-1613
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL FOUND MONUMENTS BY DAVID B. SEARLES SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWEST LIMIT OF ANTLER ROAD AS SHOWN ON PLAN 43M-1613 HAVING A BEARING OF N73°16'50"E

THIS REPORT WAS PREPARED FOR
ARISTA HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2004

**ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1523582**

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).



RADY-PENTEK & EDWARD SURVEYING LTD.

ONTARIO LAND SURVEYORS
465 WILSON AVENUE, DOWNSVIEW, ONTARIO
Tel. (416)635-5000 Fax (416)635-5001
Website: www.rpesurveying.ca

DRAWN: V.K.
CAD FILE No.1613-124

CHECKED: T.S.
JOB No. 04-079

Zoning Non-compliance Checklist

File No.

A-2024-0315

Owner: TARLOCHAN SINGH

Address: 8 ANTLER RD

Zoning: R1C-1159

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SIZE / HEIGHT	To permit an accessory structure existing shed having a setback of 0.57m to the rear lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
	To permit an accessory structure existing shed having a setback of 0.40m to the side lot line	whereas the by-law requires a minimum 0.6m to the nearest lot line.	10.3 (f) ii
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH	To permit a driveway width of 10.62m,	whereas the by-law permits a maximum driveway width of 7.00m	10.9.1 (B) (1) (c)
	To permit 0.21m of permeable landscaping abutting the side lot line,	whereas the by-law requires a minimum 0.6m of permeable landscaping abutting the side lot line.	10.9.1 (B) (4)
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

Aug 20, 2024
Date



FILE NUMBER:

A-2024-0315

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APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Tarlochan Singh and Kulwinder Singh (D.S.)
Address 8 Antler Road, Brampton Ontario L6V 4R4
Phone # 416 400 9911 **Fax #** _____
Email parmbirathwal@gmail.com

2. **Name of Agent** Dilpreet Singh & Rafael Martins (RDA Designs)
Address Unit 20 - 2131 Williams Parkway, Brampton Ontario L6S 5Z4
Phone # 647 574 0220 / 647 518 3376 **Fax #** _____
Email rdarch.designs@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
1. To Allow a Driveway Width of 10.62m.
2. To Allow Existing Shed to have a setback of 0.40m and 0.57m.
3. To Allow Soft Landscaping Open Space of 11.45%.

4. **Why is it not possible to comply with the provisions of the by-law?**
1. Maximum allowed width of driveway is 6.1m or 20.00 feet.
2. Min. Setback from Sheds are a property line is 0.6m when located in the rear yard.
3. Minimum Landscape Open Space Requirement is 40%.

5. **Legal Description of the subject land:**
Lot Number 125
Plan Number/Concession Number 43M - 1613
Municipal Address 8 Antler Road, Brampton Ontario L6V 4R4

6. **Dimension of subject land (in metric units)**
Frontage 12.20 m
Depth 33.00 m
Area 402.6 sq.m.

7. **Access to the subject land is by:**
Provincial Highway _____ **Seasonal Road** _____
Municipal Road Maintained All Year **Other Public Road** _____
Private Right-of-Way _____ **Water** _____

0. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

Single Detached Dwelling
Shed in Backyard

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Proposed Structures.

1. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

PROPOSED

Front yard setback 6.44m
Rear yard setback 7.68m
Side yard setback 1.32m (West)
Side yard setback 1.37m (East)

0. Date of Acquisition of subject land: x August 2023

1. Existing uses of subject property: Residential

2. Proposed uses of subject property: Residential

3. Existing uses of abutting properties: Residential

4. Date of construction of all buildings & structures on subject land: x 2004

5. Length of time the existing uses of the subject property have been continued: Lifetime of Building

16. (a) What water supply is existing/proposed?

Municipal [checked]
Well []
Other (specify)

(b) What sewage disposal is/will be provided?

Municipal [checked]
Septic []
Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers [checked]
Ditches []
Swales []
Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Dilpreet Singh

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF August, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Dilpreet Singh, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE CITY OF BRAMPTON OF PEEL

IN THE REGION OF PEEL THIS 16 DAY OF AUG, 2024

Valerie Low
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 21, 2027.

Dilpreet Singh

Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
R1C-1159

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Philip Gaspar
Zoning Officer

Aug 09, 2024
Date

DATE RECEIVED Aug 16, 2024
VL

PERMISSION TO ENTER

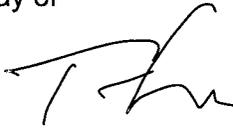
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Antler Road, Brampton Ontario L6V 4R4

I/We, Tarlochan Singh and Kulwinder Singh (D.S.)
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this _____ day of _____, 2024.

x 

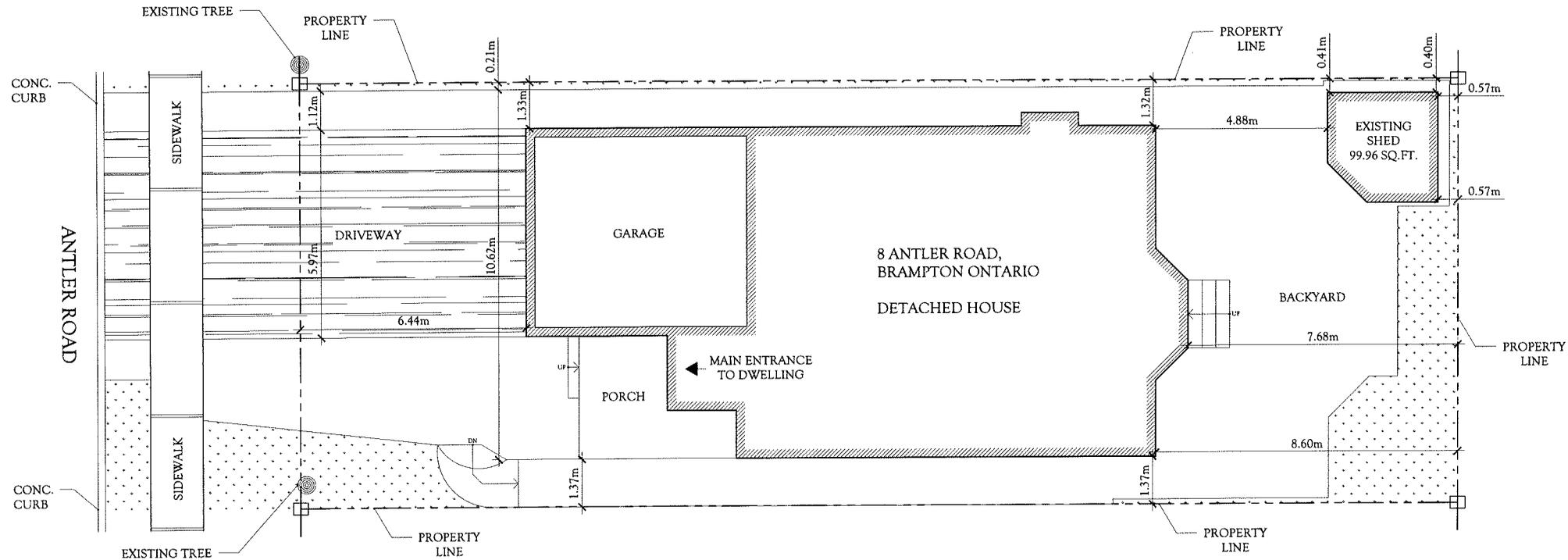
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

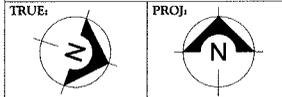
SITE STATISTICS
FRONT LOT AREA: 924.39 SQ.FT. OR 85.87 SQ.M.
MINIMUM LANDSCAPE OPEN SPACE OF 40%: 369.75 SQ.FT. OR 34.34 SQ.M.
PROPOSED LANDSCAPE OPEN SPACE: 105.48 SQ.FT. OR 9.80 SQ.M. OR 11.45%



-  ASPHALT
-  CONCRETE
-  GRASS

1 SITE PLAN
A101 SCALE: 1:125

NOTES:



 **RDA Designs**
647-574-0220 / 647-518-3376
www.rdarchdesigns.com
rdarch.designs@gmail.com

PROJECT TITLE:
8 ANTLER ROAD

DRAWING TITLE:
SITE PLAN

SCALE: 1:125 DATE: 2024/08/09

DESIGNED BY: SINGH D. MARTINS R. REVISION: 0

PROJECT NO. - SHEET NO. A-101

Zoning Non-compliance Checklist

File No.
A-2024-0315

Owner: TARLOCHAN SINGH
Address: 8 ANTLER RD
Zoning: R1C-1159
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
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BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
GFA			
TOWER SEPARATION			
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LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
PARKING			
SCHEDULE "C"			

Philip Gaspar
Reviewed by Zoning

Aug 09, 2024
Date