

FILE NUMBER:

A-2024-0412

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Manjit Singh

Address 128 DEGREY DR., BRAMPTON, ON L6P 4L7

Phone # 905 588 6364

Fax #

Email amaninder.bharj@gmail.com

2. Name of Agent VALIUDDIN MOHAMMED

Address 6 Ripon St., MISSISSAUGA, ON L4T 1E2

Phone # 416 627 4100

Fax #

Email INFO@MECHWAYS.COM

3. Nature and extent of relief applied for (variances requested):

To seek relief from the zoning by law to allow a maximum building height of 5.71m whereas 4.5m is permitted.

4. Why is it not possible to comply with the provisions of the by-law?

Proposed garden suite does not meet the maximum building height of 4.5m. The proposed building height is 5.71m.

5. Legal Description of the subject land:

Lot Number LOT 71 MAP M2 MODEL 4505 A

Plan Number/Concession Number PLAN M1429

Municipal Address 4 GOLAN DR.,BRAMPTON, ON L6P 1E8

6. Dimension of subject land (in metric units)

Frontage 11.13m

Depth 32.05m

Area 356.72 sqm

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area - 102.43 sqm
Gross Floor Area - 221.19 sqm
No of Storeys - 2

PROPOSED BUILDINGS/STRUCTURES on the subject land: GARDEN SUITE

Gross Floor area- 34.89
Width- 4.67m
Length- 7.47m
Height of Building- 5.71m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

<u>EXISTING</u>		Main Dwelling
Front yard setback	5.98m	
Rear yard setback	1305m	
Side yard setback	1.28m	
Side yard setback	1.83m	
<u>PROPOSED</u>		GARDEN SUITE
Front yard setback	Distance from principal dwelling 13.05m	
Rear yard setback	3.32m	
Side yard setback	2.76m	
Side yard setback	5.07m	

10. Date of Acquisition of subject land: Apr 2024

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: ~2005

15. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Valiuddin Mohammed
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF MISSISSAUGA Brampton
THIS 30th DAY OF AUGUST, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VALIUDDIN MOHAMMED, OF THE CITY _____ OF MISSISSAUGA

IN THE REGION _____ OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

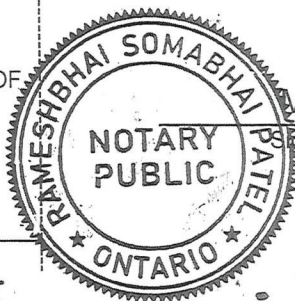
City OF Toronto

IN THE Province OF

Ontario THIS 7th DAY OF

August, 2024.

A Commissioner etc.



Valiuddin Mohammed

Signature of Applicant or Authorized Agent

Valiuddin Mohammed

Digitally signed by Valiuddin Mohammed
DN: cn=Valiuddin Mohammed, c=CA,
o=Mechways Inc., email=info@mechways.com
Reason: I agree to the terms defined by the
placement of my signature on this document.
Date: 2024.08.07 13:23:53 -0400

Rameshbhai Somabhai Patel
Ramesh Patel & Associate Lawyers
Professional Corporation

127 West Beaver Creek Road, Unit #101
Toronto, ON. M9V 3Y6
Tel: 416-742-3888 Fax: 416-742-3888
mail@rplawoffice.net

FOR OFFICE USE ONLY

R1A-1711

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2024/10/08
Date

DATE RECEIVED

Oct 30, 2024

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 4 GOLAN DR., BRAMPTON, ON L6P 1E8

I/We, VALI UDDIN MOHAMMED/ MECHWAYS INC.

please print/type the full name of the owner(s)

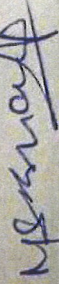
the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Manjit Singh

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for minor variance with respect to the subject land.

Dated this 26 day of August, 2024.



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

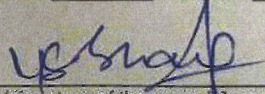
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 4 GOLAN DR., BRAMPTON, ON L6P 1E8

I/We, MANJIT SINGH
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 26 day of August, 2024.

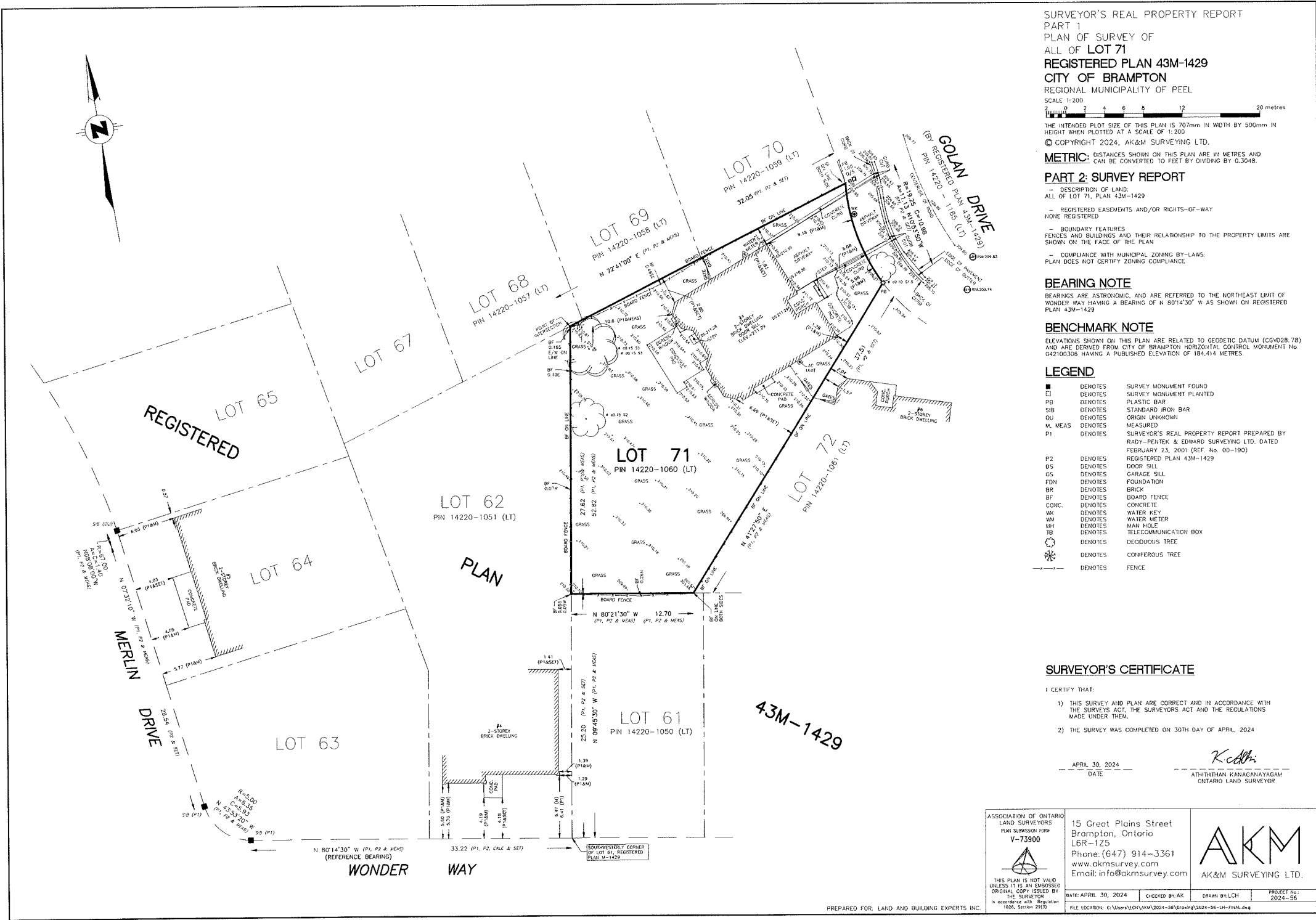


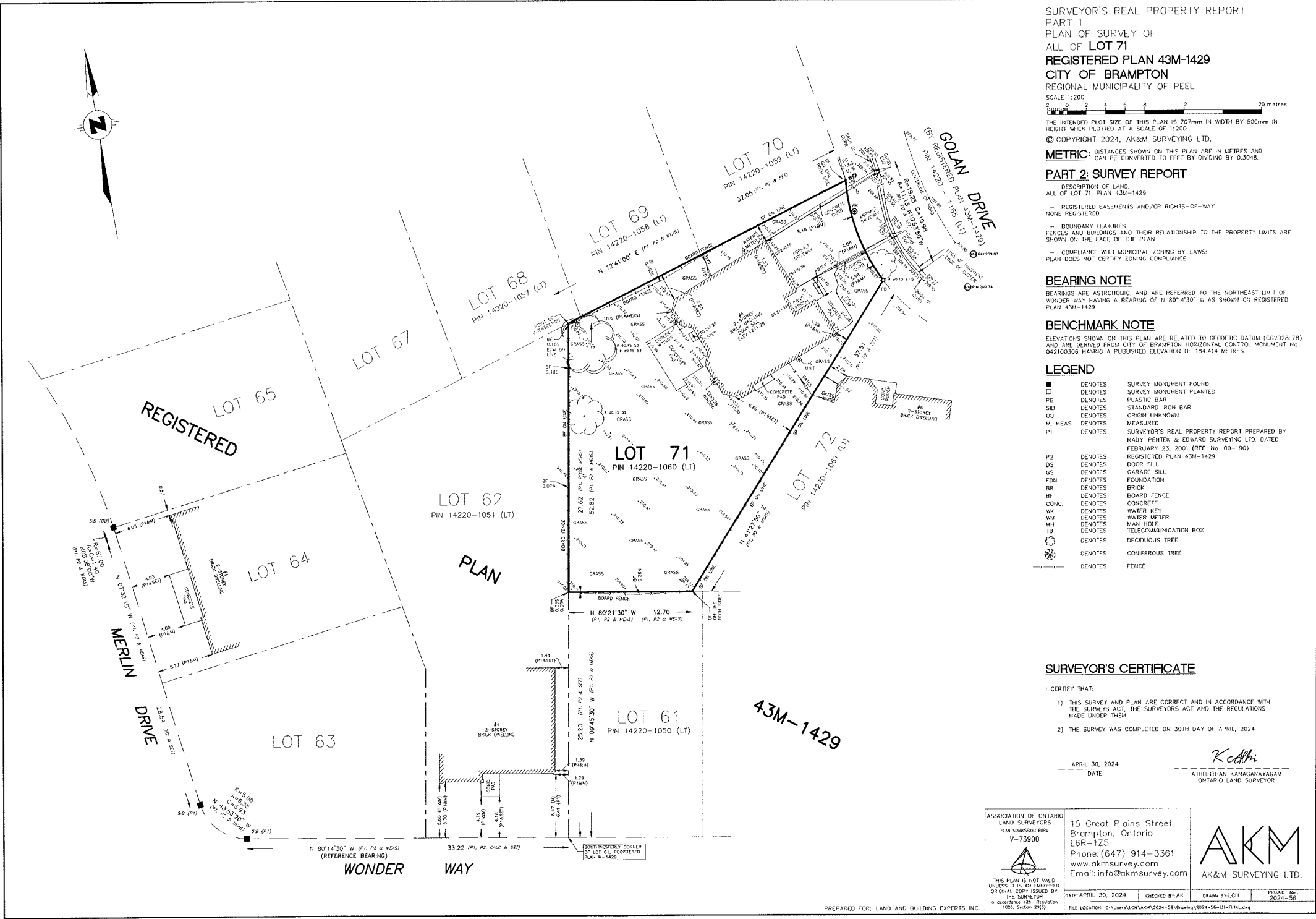
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION





SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF SURVEY OF
ALL OF LOT 71
REGISTERED PLAN 43M-1429
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:200
0 2 4 6 8 10 12 20 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 707mm IN WIDTH BY 500mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200

© COPYRIGHT 2024, AK&M SURVEYING LTD.

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2: SURVEY REPORT

DESCRIPTION OF LAND:
ALL OF LOT 71, PLAN 43M-1429

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE REGISTERED.

BOUNDARY FEATURES
FENCES AND BUILDINGS AND THEIR RELATIONSHIP TO THE PROPERTY LIMITS ARE SHOWN ON THE FACE OF THE PLAN

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
PLAN DOES NOT CERTIFY ZONING COMPLIANCE

BEARING NOTE

BEARINGS ARE ASTRONOMIC, AND ARE REFERRED TO THE NORTHEAST LIMIT OF WONDER WAY HAVING A BEARING OF N 80°14'30" W AS SHOWN ON REGISTERED PLAN 43M-1429

BENCHMARK NOTE

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM (CGD2B.78) AND ARE DERIVED FROM CITY OF BRAMPTON HORIZONTAL CONTROL MONUMENT NO 042100305 HAVING A PUBLISHED ELEVATION OF 184.414 METRES.

LEGEND

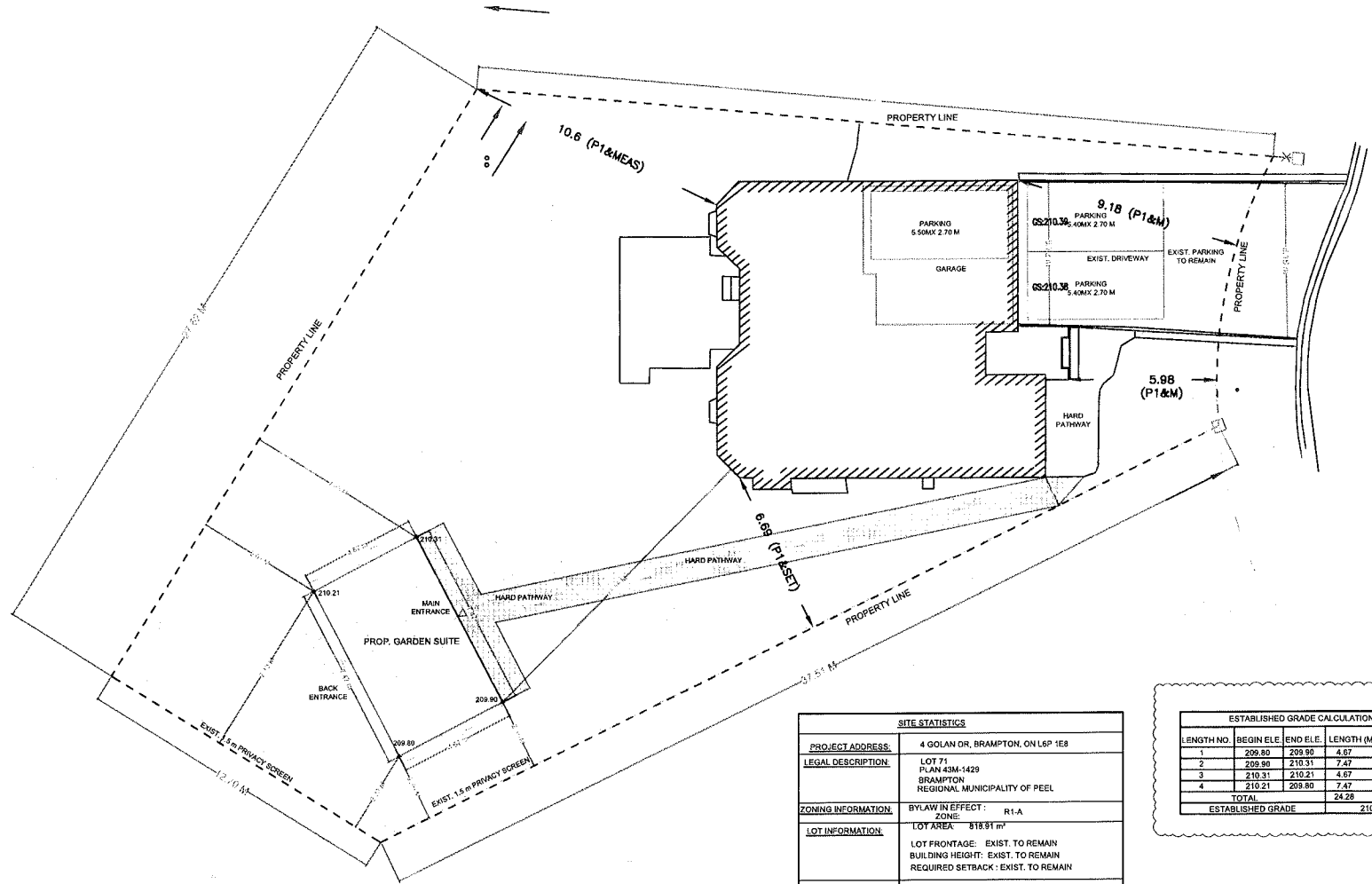
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
PB	DENOTES	PLASTIC BAR
SIB	DENOTES	STANDARD IRON BAR
OU	DENOTES	ORIGIN UNKNOWN
M, MEAS	DENOTES	MEASURED
P1	DENOTES	SURVEYOR'S REAL PROPERTY REPORT PREPARED BY RADDY-PENTEK & EDWARD SURVEYING LTD. DATED FEBRUARY 23, 2001 (REF. No. 00-190)
P2	DENOTES	REGISTERED PLAN 43M-1429
DS	DENOTES	DOOR SILL
CS	DENOTES	GARAGE SILL
FDN	DENOTES	FOUNDATION
BR	DENOTES	BRICK
BF	DENOTES	BOARD FENCE
CONC.	DENOTES	CONCRETE
WK	DENOTES	WATER KEY
WM	DENOTES	WATER METER
MH	DENOTES	MAN HOLE
TB	DENOTES	TELECOMMUNICATION BOX
○	DENOTES	DECIDUOUS TREE
✱	DENOTES	CONIFEROUS TREE
—	DENOTES	FENCE

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON 30TH DAY OF APRIL, 2024

APRIL 30, 2024
DATE
ATHITHTHAN KANAGANAYAGAM
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-73900 THIS PLAN IS NOT VALID UNLESS IT IS AN UNDOUBTED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 24(2)	15 Great Plains Street Brampton, Ontario L6R-1Z5 Phone: (647) 914-3361 www.akmsurveying.com Email: info@akmsurveying.com	 AK&M SURVEYING LTD.
DATE: APRIL 30, 2024 CHECKED BY: AK DRAWN BY: LCH PROJECT No.: 2024-56	FILE LOCATION: C:\Users\AKM\Documents\2024-56\Drawings\2024-56-LH-FINAL.dwg	



SITE STATISTICS			
PROJECT ADDRESS:	4 GOLAN DR, BRAMPTON, ON L6P 1E8		
LEGAL DESCRIPTION:	LOT 71 PLAN 43M-1429 BRAMPTON REGIONAL MUNICIPALITY OF PEEL		
ZONING INFORMATION:	BYLAW IN EFFECT: R1-A ZONE:		
LOT INFORMATION:	TOT AREA: 818.91 m ² LOT FRONTAGE: EXIST. TO REMAIN BUILDING HEIGHT: EXIST. TO REMAIN REQUIRED SETBACK: EXIST. TO REMAIN		
GARDEN SUITE	REQUIRED DISTANCE FROM MIN: 3.0 M PRINCIPAL DWELLING: ACTUAL: 13.05m MIN: 1.80M REQUIRED SIDE YARD: ACTUAL: 2.78, 2.85/7, 45.5, 07m MIN: 2.5 m REQUIRED REAR YARD: ACTUAL: 3.32, 7.13 m MAX AREA: 35 SQM PROPOSED: 69.78 SQM MAX HEIGHT: 4.5 M PROPOSED: 5.71 M		

ESTABLISHED GRADE CALCULATION				
LENGTH NO.	BEGIN ELE.	END ELE.	LENGTH (M)	(EL.+EL.)/2 X L
1	209.80	209.80	4.67	980.00
2	209.80	210.31	7.47	1563.48
3	210.31	210.21	4.67	981.91
4	210.21	209.80	7.47	1568.74
TOTAL			24.28	6100.13
ESTABLISHED GRADE			210.08	

GENERAL NOTES:
DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	REVISION	DATE
3	REVISION	NOV 7 2024
2	REVISION	JUNE 30 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024

ENGINEER:

Mechways Inc.

ADDRESS : 16 RIFON ST, MISSISSAUGA, ON L4T 1E3
TEL : +1-607-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

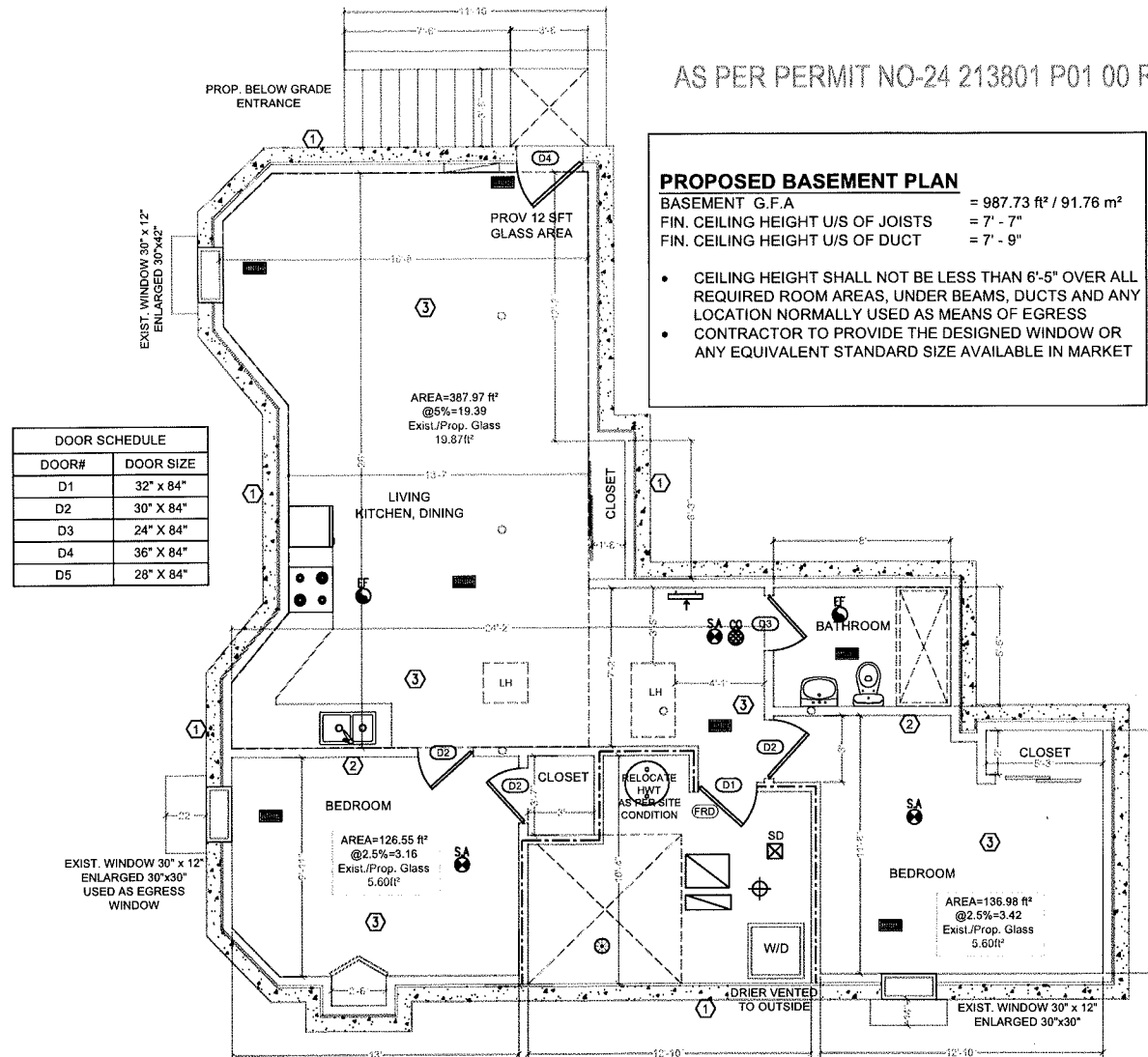
SHEET TITLE:

SITE PLAN

CHECKED: SS
DRAWN: MA
SCALE: 1:200
DATE: MAY 24 2024

DRAWING:

AD.1



LEGEND	
	EXISTING FOUNDATION WALL
	DRY WALL
	PROVIDE 30 MINUTE F.R.R. (SB3 W1C 38 x 89 mm WOOD STUDS @ 610 mm O.C W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEW/EXISTING WALL
	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
	SMOKE ALARMS W/ STROBE LIGHT - INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	SPRINKLER
	NEW / EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN
	EMERGENCY LIGHT
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	PROVIDE 30 MINUTE F.R.R. (2 x 3/4" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
	LIGHT
	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
	2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE

GENERAL NOTES:

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEA



1 ISSUED FOR BUILDING PERMIT MAY 24 2024

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L4T 1E3
TEL : 416-274-1100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR.
BRAMPTON, ON
L6P 1E8

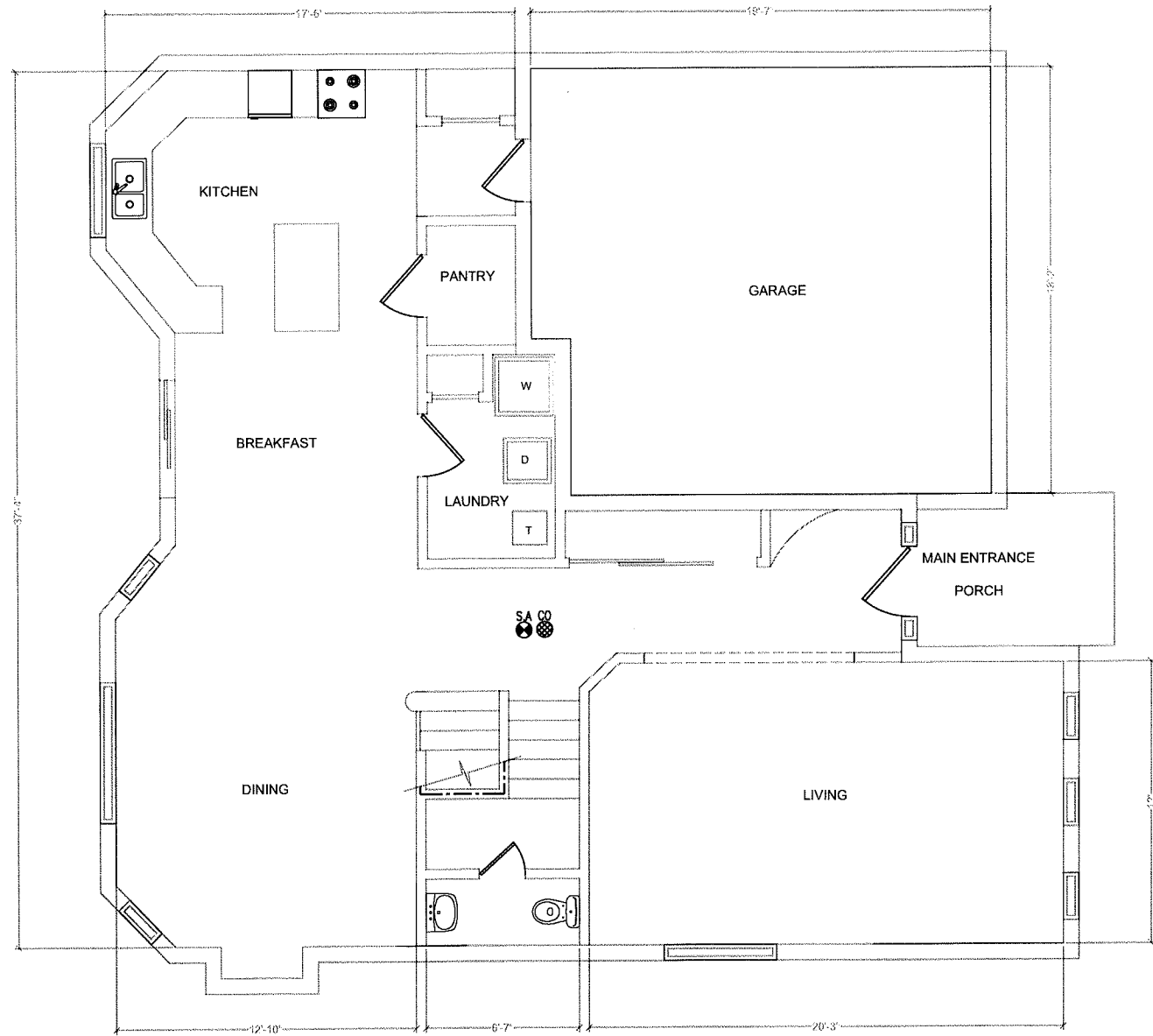
SHEET TITLE:

**EXIST.
BASEMENT PLAN**

CHECKED: SS
DRAWN: MA
SCALE: 1/4" = 1'
DATE: MAY 24 2024

DRAWING:

A1.1



GROUND FLOOR PLAN

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
ADDRESS : 16 RIFON ST, MISSISSAUGA, ON L4T 1E5
TEL. : 416-687-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

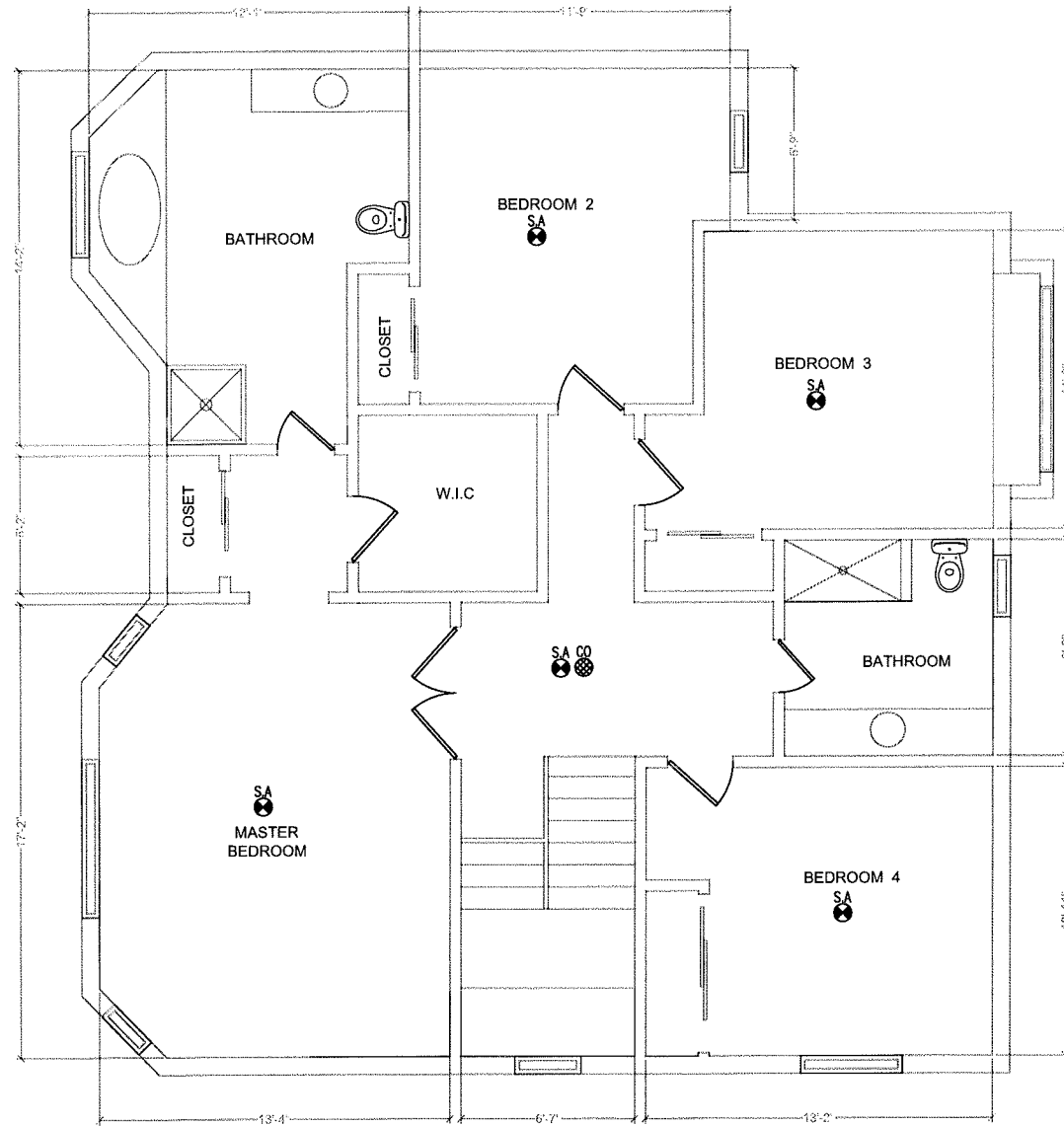
SHEET TITLE:

**EXIST. GROUND
FLOOR PLAN**

CHECKED: SS
DRAWN: MA
SCALE: 1:75
DATE: MAY 24 2024

DRAWING:

A1.2



SECOND FLOOR PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SQALED.
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HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST. MISSISSAUGA,
ON L4T 1E3
TEL : 905-271-1100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 BOLAN DR.
BRAMPTON, ON
L6P 1E8

SHEET TITLE:

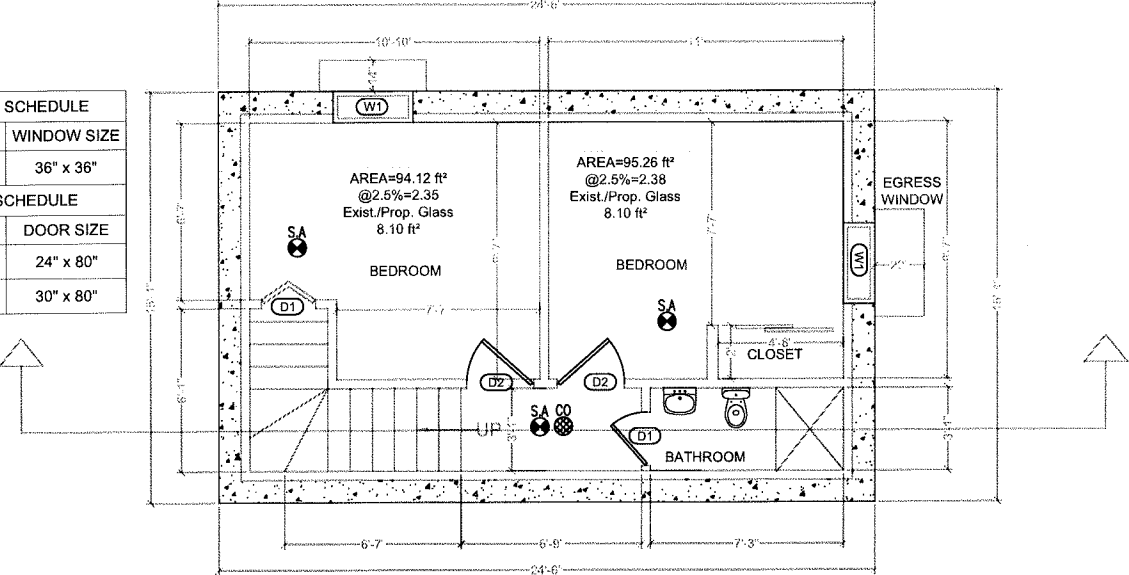
EXIST. SECOND
FLOOR PLAN

CHECKED: SS
DRAWN: MA
SCALE: 1/4"=1'
DATE: MAY 24 2024

DRAWING:

A1.3

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W1	36" x 36"
DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	24" x 80"
D2	30" x 80"



PROPOSED BASEMENT PLAN
BASEMENT G.F.A =375.66 ft² / 34.89 m²
FIN. CEILING HEIGHT U/S OF JOISTS = 8'-0"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

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SEA



1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 6 RIVINGTON ST, MISSISSAUGA, ON L4T 5B6
TEL : 416-627-9100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

30 CHATSWORTH DR,
BRAMPTON, ON

SHEET TITLE:

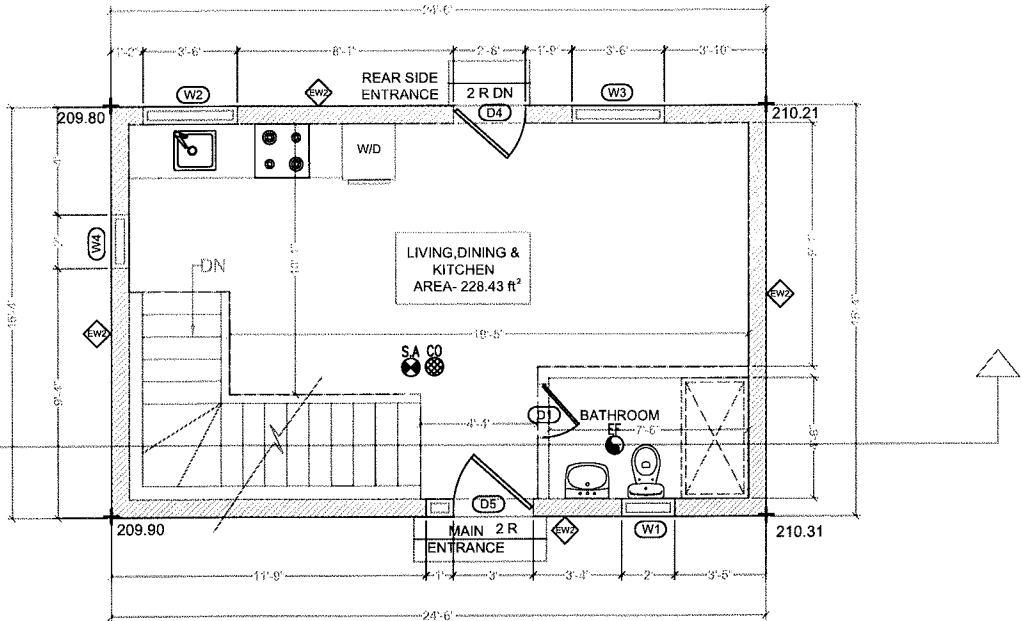
PROP.
BASEMENT
PLAN (GARDEN
SUITE)

CHECKED: SS
DRAWN: MA
SCALE: 1/8" = 1'
DATE: DEC 15, 2023

DRAWING:

A1.4

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W1	24" x 24"
W2	42" x 36"
W3	54" x 36"
W4	24" x 60"
DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	24" x 80"
D2	28" x 80"
D3	30" x 80"
D4	32" x 80"
D5	36" x 80"



PROP. GARDEN SUITE PLAN (MAIN FLOOR)

GARDEN SUITE GFA = 375.66 ft² / 34.89 m²
CEILING HEIGHT = 8'-0"
CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS,
UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

GENERAL NOTES:
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HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL



3	REVISION	AUG 20 2024
2	REVISION	JUNE 30 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 6 RIFON ST, MISSISSAUGA,
ON L4T 2G8
TEL : +1-662-741-000
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

SHEET TITLE:

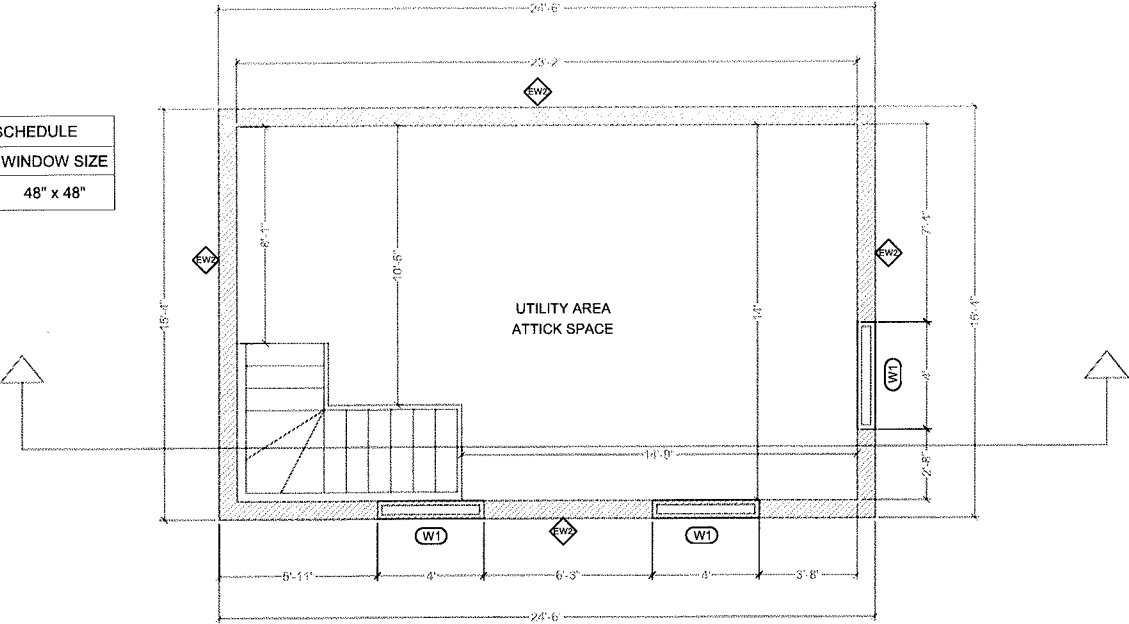
PROP. GROUND
FLOOR
PLAN (GARDEN
SUITE)

CHECKED: SS
DRAWN: MA
SCALE: 1/4" = 1'
DATE: MAY 24 2024

DRAWING:

A1.5

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
W1	48" x 48"



PROP. ATTIC FLOOR
ATTIC GFA = 375.66 ft² / 34.89 m²

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEA



2	REVISION	NOV 7 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 3G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

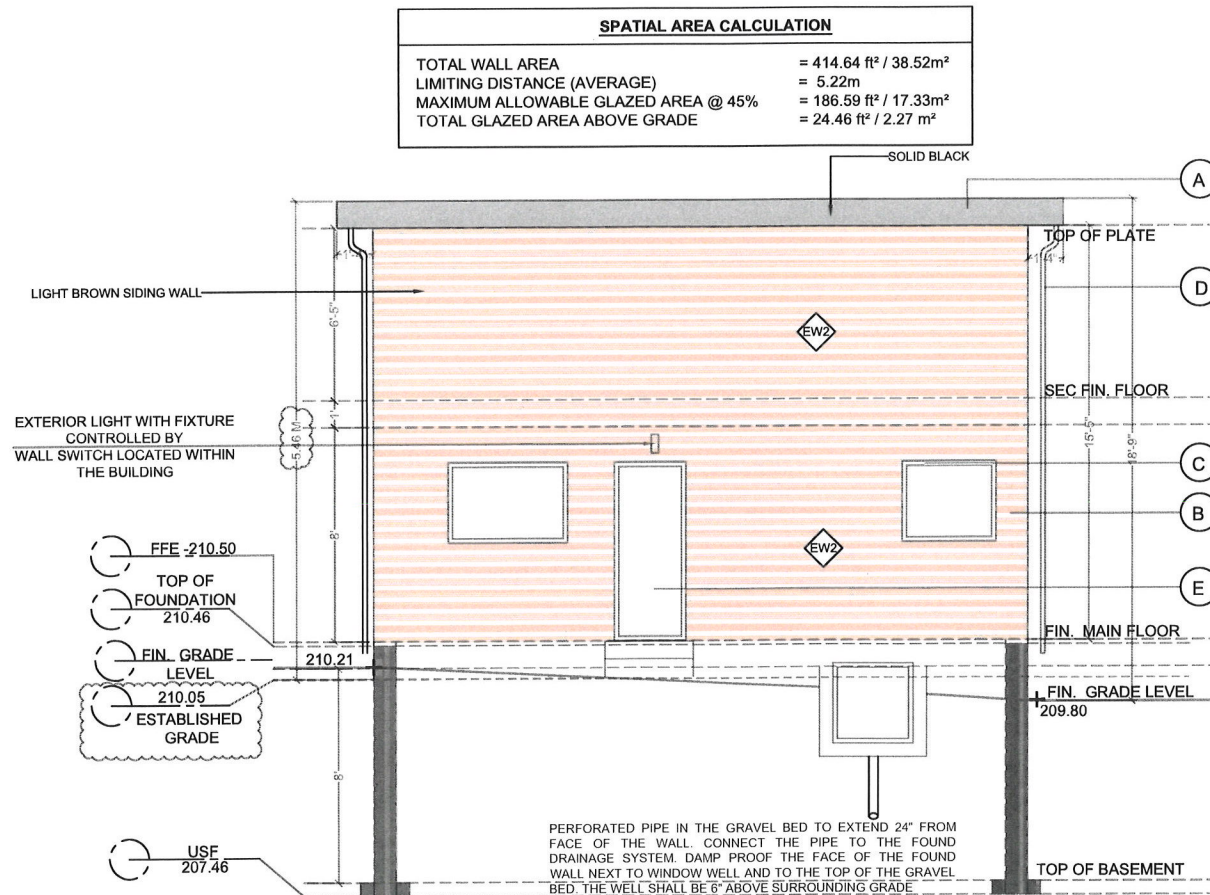
SHEET TITLE:






PROP. ATTIC
SPACE(GARDEN
SUITE)

CHECKED: SS
DRAWN: MA
SCALE: NTS
DATE: DEC 15, 2023

DRAWING:

A1.6



A		FLAT ROOF
B		SIDING WALL FINISH
C		PRE - FIN VINYL WINDOWS
D		TYPICAL RAIN GUTTERS
E		EXTERIOR DOOR

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	NOV 7 2024
2	REVISION	JUNE 30 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

SHEET TITLE:

REAR ELEVATION

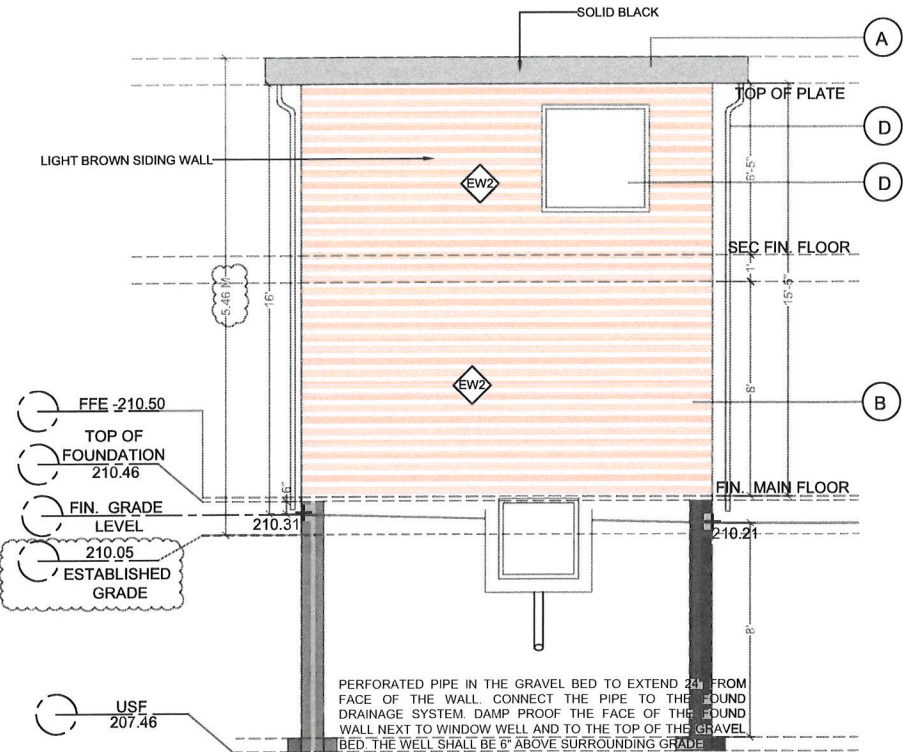
CHECKED: SS
DRAWN: MA
SCALE: 1/8" = 1'
DATE: MAY 24 2024

DRAWING:

A2.1

SPATIAL AREA CALCULATION

TOTAL WALL AREA	=245.56 ft² / 22.81m²
LIMITING DISTANCE (AVERAGE)	= 6.26m
MAXIMUM ALLOWABLE GLAZED AREA @ 90%	= 221.0 ft² / 20.53m²
TOTAL GLAZED AREA ABOVE GRADE	= 15.30 ft² / 1.42 m²



RIGHT SIDE ELEVATION

A		FLAT ROOF
B		SIDING WALL FINISH
C		PRE - FIN VINYL WINDOWS
D		TYPICAL RAIN GUTTERS
E		EXTERIOR DOOR

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SEA



NO.	DESCRIPTION	DATE
3	REVISION	NOV 7 2024
2	REVISION	JUNE 30 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024

ENGINEER:

Mechways Inc.

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TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

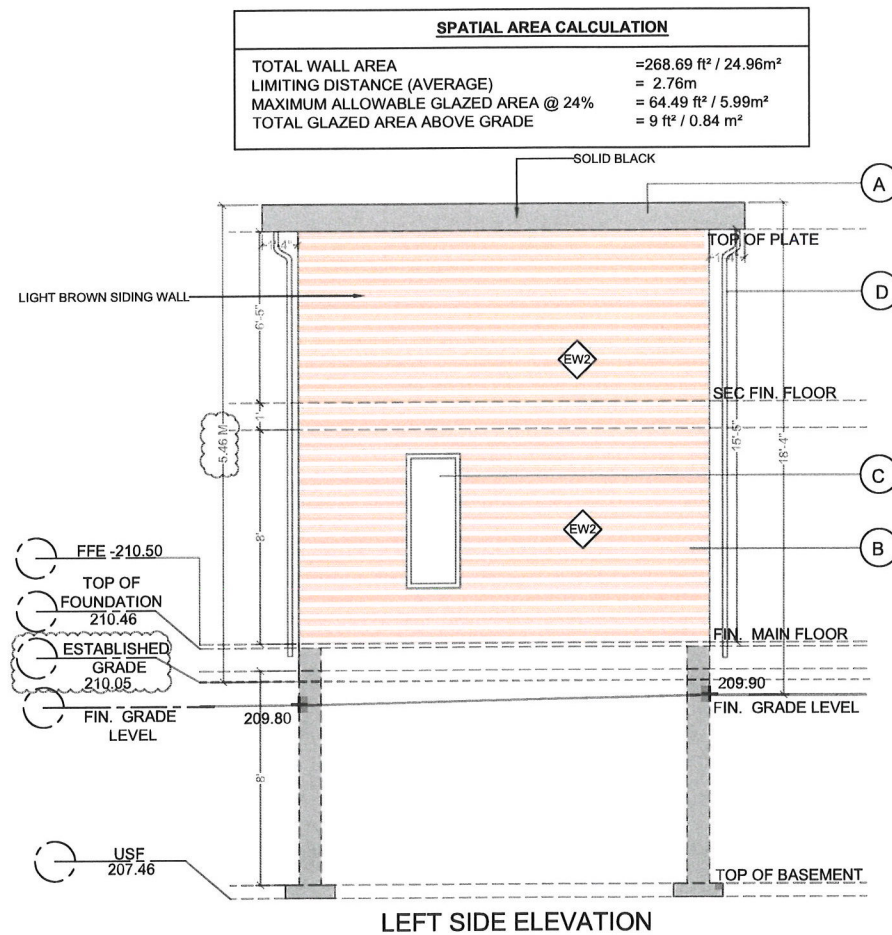
SHEET TITLE:






RIGHT SIDE
ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 1/8" = 1'
DATE: MAY 24 2024

DRAWING:

A2.2



A		FLAT ROOF
B		SIDING WALL FINISH
C		PRE - FIN VINYL WINDOWS
D		TYPICAL RAIN GUTTERS
E		EXTERIOR DOOR

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SEA



NO.	DESCRIPTION	DATE
3	REVISION	NOV 7 2024
2	REVISION	JUNE 30 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024

ENGINEER:

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TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

SHEET TITLE:

LEFT SIDE
ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 1/8" = 1'
DATE: MAY 24 2024

DRAWING:

A2.3

DRAWINGS ARE TO BE READ NOT
SCALED.
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DISCREPANCIES ARE DISCOVERED
WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:

3	REVISION	NOV 7 2024
2	REVISION	JUNE 30 2024
1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA,
ON L4T 1E2
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

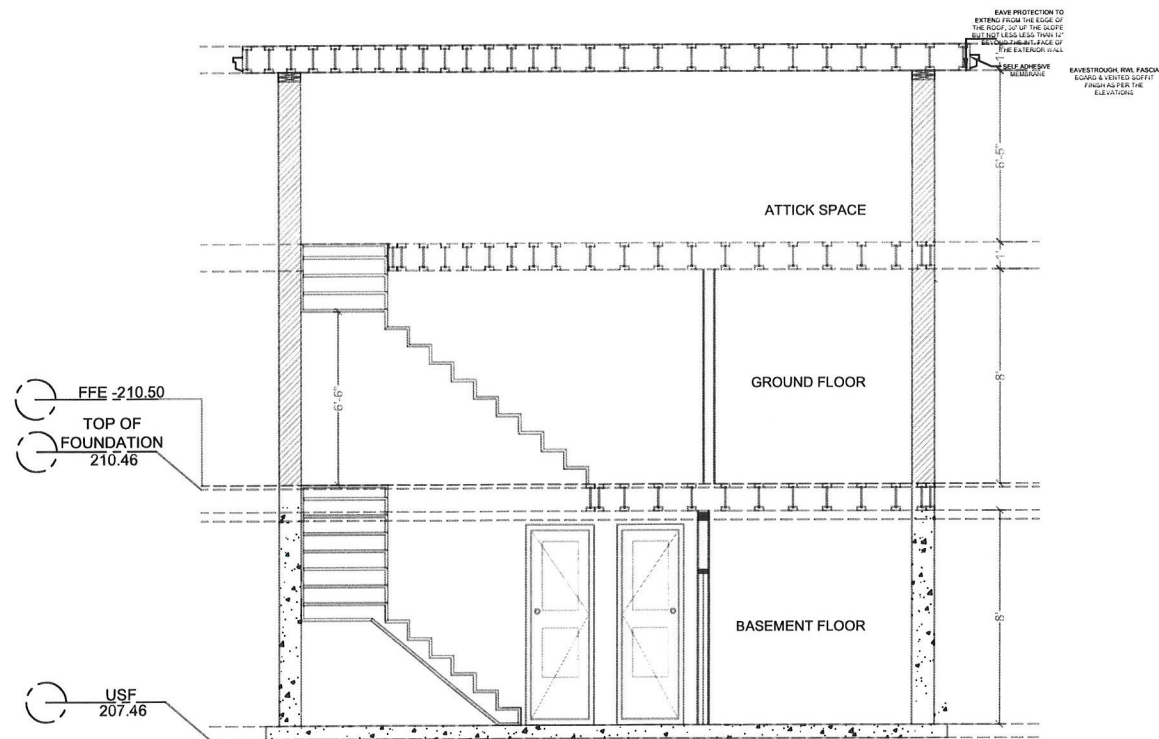
SHEET TITLE:

FRONT
ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: $\frac{3}{16}'' = 1'$
DATE: MAY 24 2024

DRAWING:

A2.4



GENERAL NOTES:

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SEA



1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L6T 1E2
TEL : 416-662-7400
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

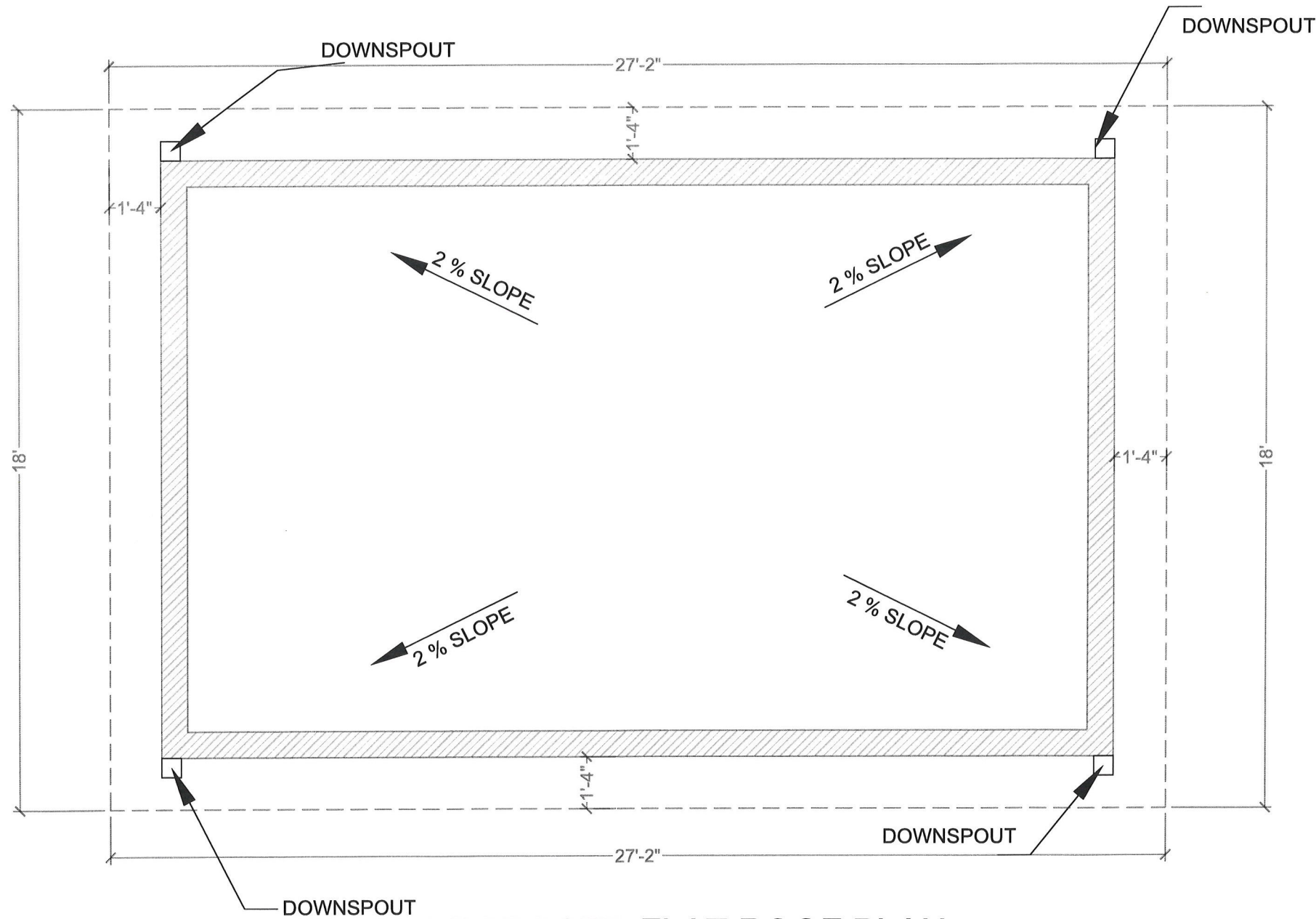
SHEET TITLE:

SECTION PLAN

CHECKED: SS
DRAWN: MA
SCALE: NTS
DATE: JAN 22, 2024

DRAWING:

A3.1



PROPOSED FLAT ROOF PLAN

GENERAL NOTES:

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SEA



1	ISSUED FOR BUILDING PERMIT	MAY 24 2024
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 6 RIFON ST, MISSISSAUGA, ON L6T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

4 GOLAN DR,
BRAMPTON, ON
L6P 1E8

SHEET TITLE:

PROP. ROOF
PLAN

CHECKED: SS
DRAWN: MA
SCALE: NTS
DATE: JAN 22, 2024

DRAWING:

A3.2

Zoning Non-compliance Checklist

File No.
A-2024-0412

Applicant: Valiuddin Mohammed
Address: 4 Golan Dr
Zoning: R1A-1711
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
GARDEN SUITE - BUILDING HEIGHT	To permit a proposed garden suite having a height of 5.71m,	whereas the by-law permits a garden suite having a maximum height of 4.5m in all other Residential zones.	10.16.2 (h)
GARDEN SUITE - SIZE	To permit a proposed garden having a gross floor area of 69.78 sq. m,	whereas the by-law permits a maximum gross floor area of 35 sq.m for a garden suite in all other Residential zones.	10.16.2 (c)
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/10/08

Date